



Digitally signed by
James G. Conway
Date: 2023.11.22
11:53:42-0500'

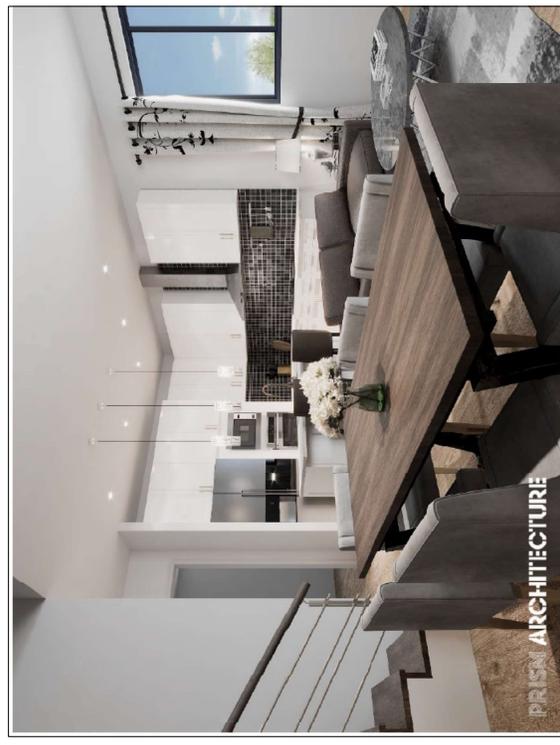
JAMES G. CONWAY, AIA
1153842-00000000
1153842-00000000
1153842-00000000
1153842-00000000
1153842-00000000

MULTIFAMILY PROJECT FOR:
MELALEUCA GARDENS
FOR SITE LOCATED AT
508-512 MELALEUCA DR., MARGATE, FL 33063

NO. 01	FOUNDATION DETAILS
NO. 02	FOUNDATION
NO. 03	FOUNDATION
NO. 04	FOUNDATION
NO. 05	FOUNDATION
NO. 06	FOUNDATION
NO. 07	FOUNDATION
NO. 08	FOUNDATION
NO. 09	FOUNDATION
NO. 10	FOUNDATION

DATE APPROVED: _____

DRAWN BY: _____
CHECKED BY: _____
PROJECT # _____
SCALE: _____
DATE: _____

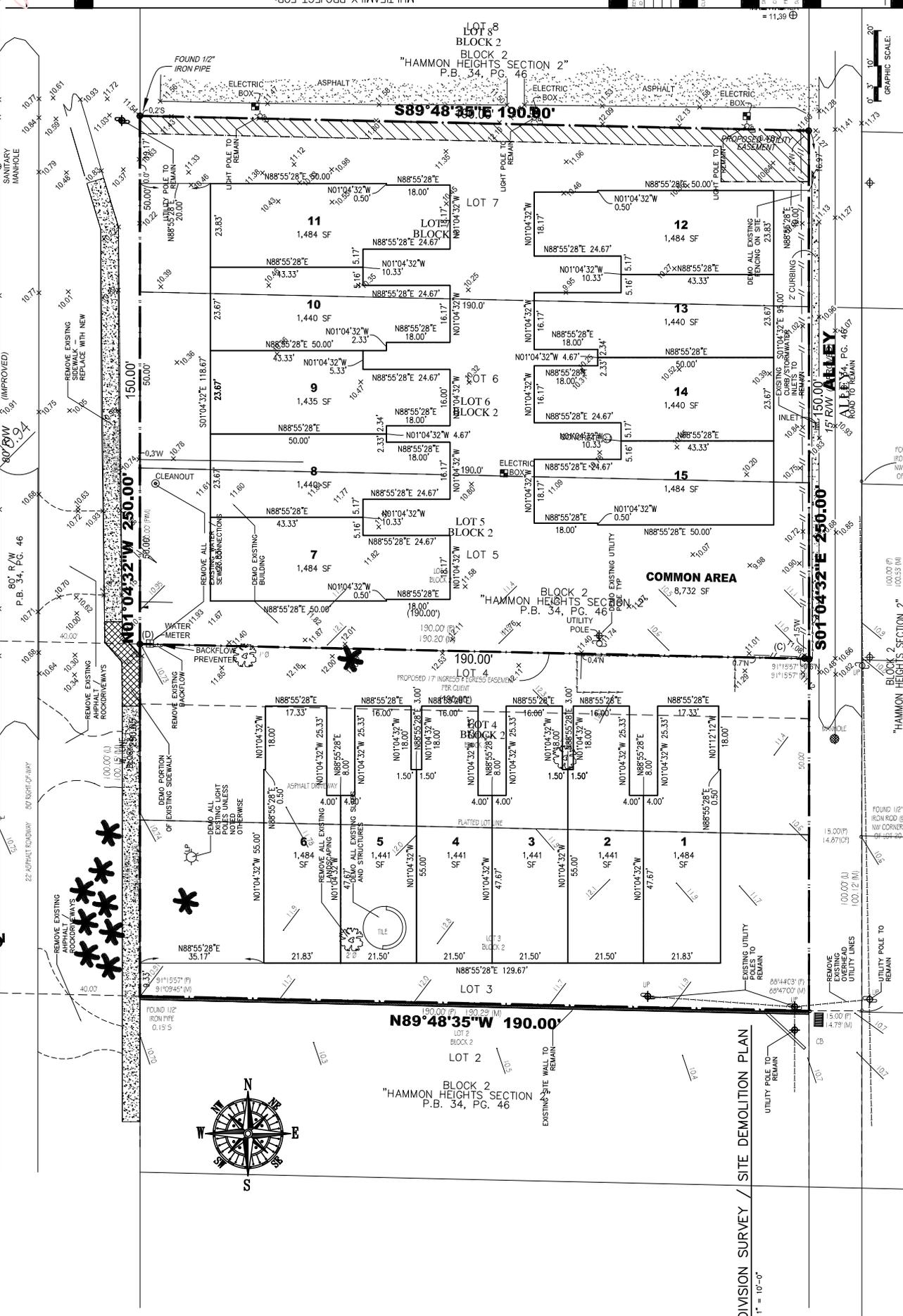


INTERIOR RENDERINGS
SCALE: NTS

1 ST. RD.

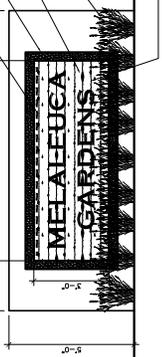
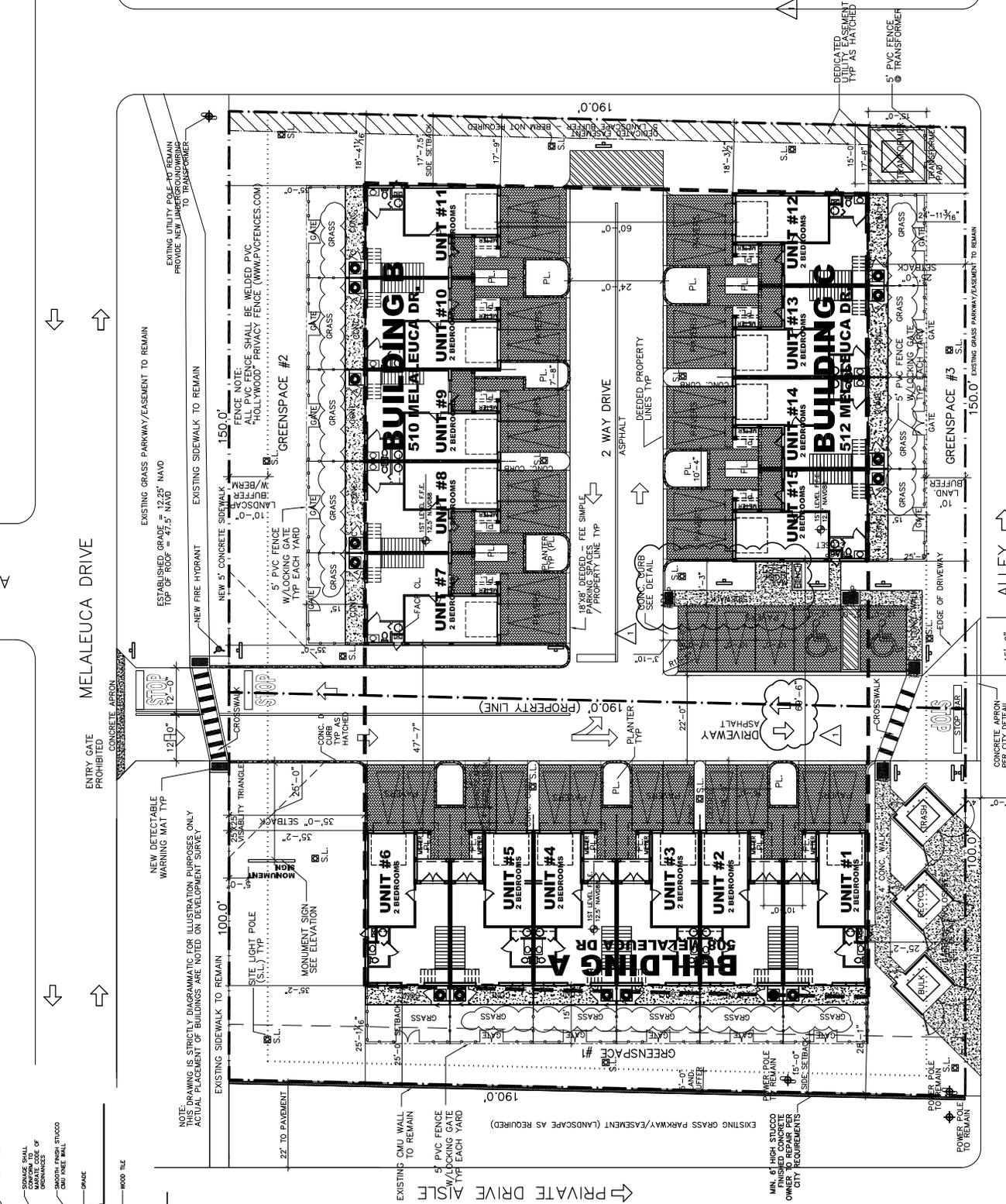
NW 61ST AVE. / MELALEUCA DR.
 MELALEUCA DRIVE (IMPROVED)
 80' R/W P.B. 34, PG. 46

MELALEUCA DRIVE
 80' R/W P.B. 34, PG. 46



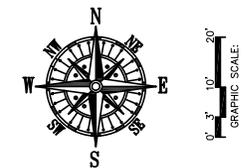
SUBDIVISION SURVEY / SITE DEMOLITION PLAN
 SCALE: 1" = 10'-0"

GRAPHIC SCALE:
 0' 3" 6" 9"



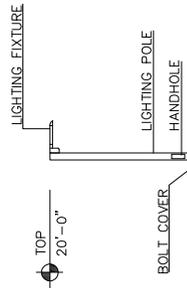
LINE TYPE LEGEND

- = BOUNDARY/PROPERTY LINE
- - - = DEDICATED FEE SIMPLE LINE
- = LANDSCAPE BUFFER LINE
- = DEDICATED EASEMENT BOUNDARY
- = BUILDING SETBACK LINE



LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	CATALOG NO.	LAMP	WATTAGE	LUMENS	SINGLE POLE COUNT	DOUBLE POLE COUNT
⊠	AREA LIGHT	ORE LIGHTING	LD SERIES	ORE-LD100-TSM-4000K	LED	100W	14,300	15	1



LIGHT POLE DETAIL

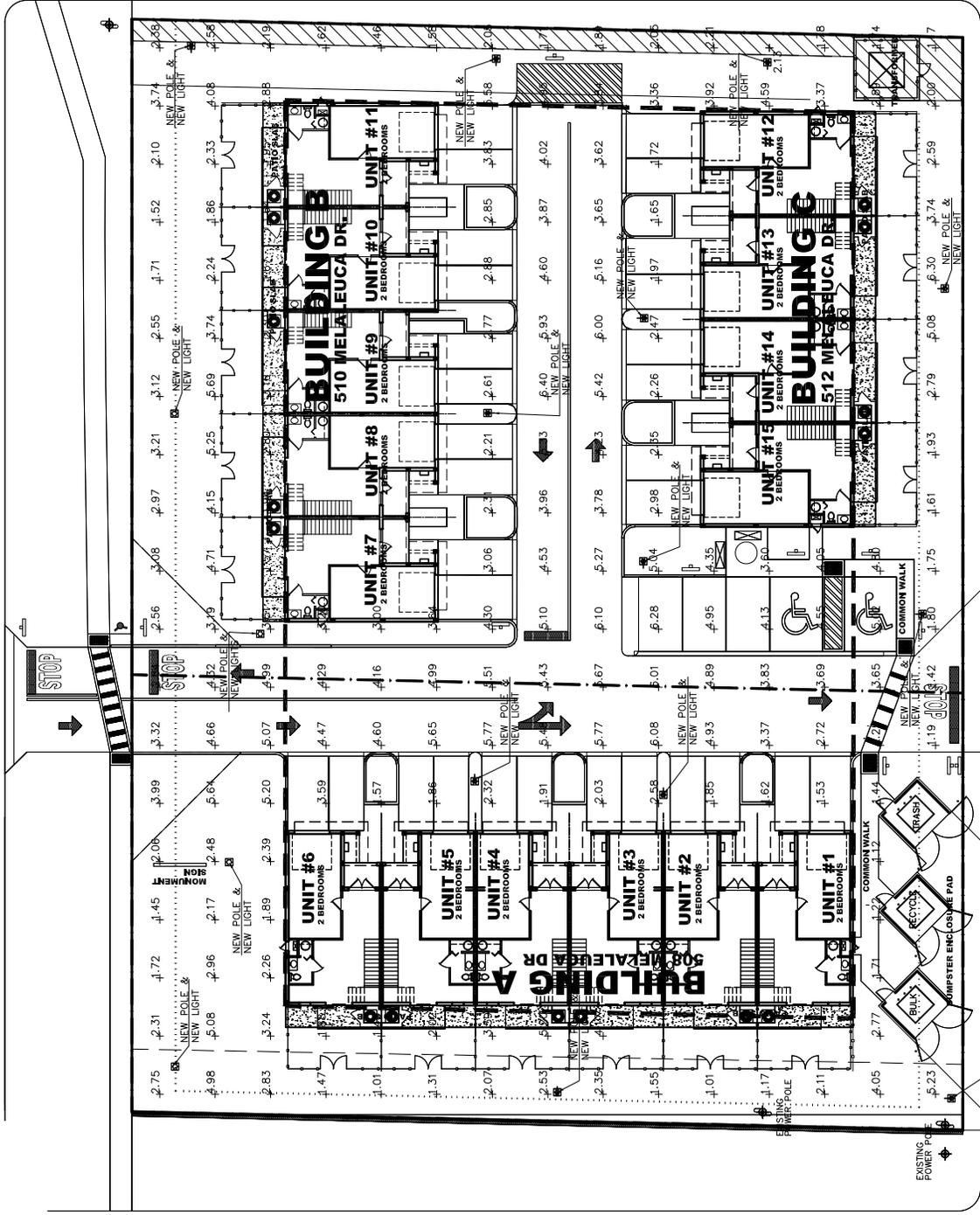
SCALE: NTS

LIGHT FIXTURE HEAD

SCALE: NTS



MELALEUCA DRIVE



SITE LIGHTING / PHOTOMETRIC PLAN

SCALE: 1"=10'-0"





NOTES:

1. ALL STRIPING AS SHOWN SHALL BE NEW
2. ALL STRIPING AND MOVEMENT MARKINGS LEADING TO RIGHT-OF-WAY MUST BE HIGH INTENSITY
3. ALL SIGNAGE LEADING TO RIGHT OF WAY MUST BE HIGH-INTENSITY SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH BCTE AND MUTCD STANDARDS

PRIVATE DRIVE AISLE



PAVEMENT MARKING / SIGNAGE PLAN

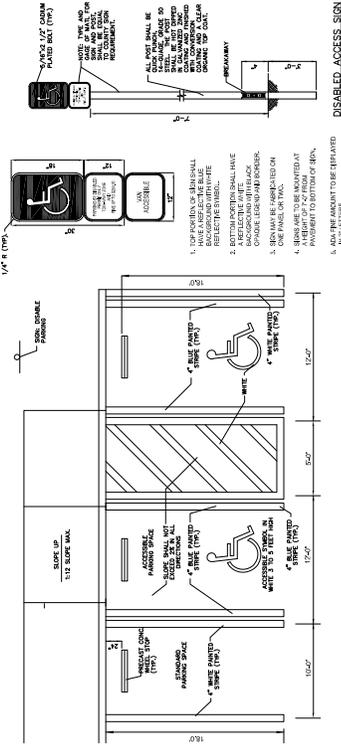
SCALE: 1"=10'-0"

0' 10' 20'
GRAPHIC SCALE

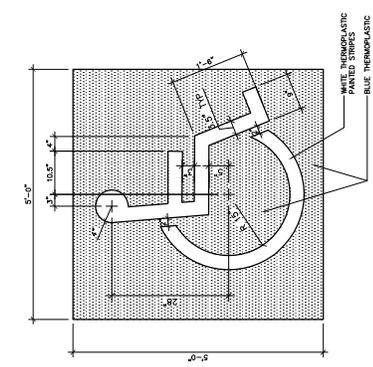


Digitally signed by
 James G. Centanni
 Date: 2023.11.22
 12:02:17 -0500

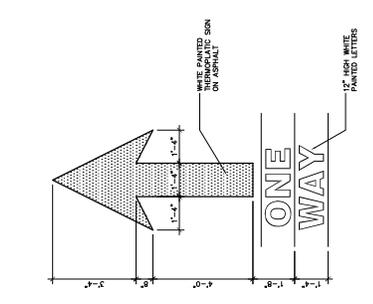
DATE APPROVAL:	
DESIGNED BY:	JG
CHECKED BY:	JG
PROJECT #:	1624-03
SCALE:	AS SHOWN



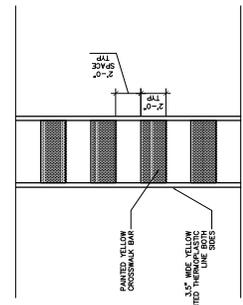
PARKING SPACE DETAILS
 SCALE: NTS



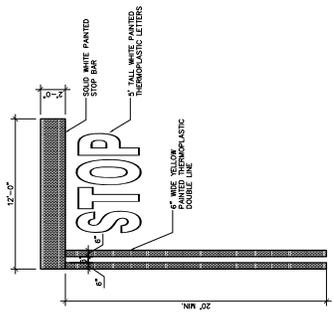
HANDICAP LOGO DETAIL
 SCALE: 1" = 1'-0"



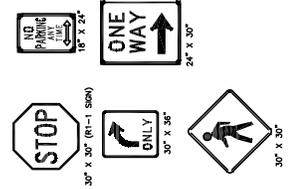
PAVEMENT MARKING DETAIL
 SCALE: NTS



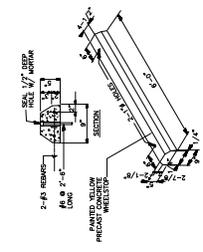
PEDESTRIAN CROSSWALK DETAIL
 SCALE: 1/4" = 1'-0"



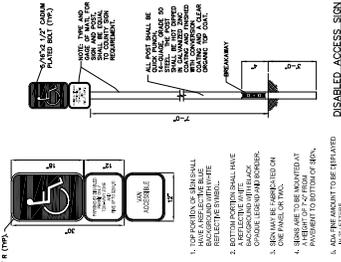
PAVEMENT MARKING DETAILS
 SCALE: NTS



VARIOUS SIGNAGE DETAILS
 SCALE: NTS



PRECAST WHEEL STOP DETAIL
 SCALE: NTS



DISABLED ACCESS SIGN

Landscaping Data:

Multiple Family Dwelling District (R-3)	Required	Provided
Minimum Landscaping Requirements for Zoning Districts - Sec. 23.11 Multiple family dwelling districts: each site shall contain a minimum of six (6) shrubs and the canopy equivalent of one (1) category 2 tree per dwelling unit.	(15) Trees (90 Shrubs) (15 DU's)	(15) Trees* (90 Shrubs)
Perimeter Landscaping - Sec. 23.05 One (1) shrub (40) total feet of frontage or portion thereof. In addition, a hedge shall be planted within the landscape strip and parallel with the street.	(11) Trees (440 ft)	(11) Trees*
Perimeter Landscaping Adjacent to Nonresidential - Sec. 23.11 One (1) category 1 non-deciduous tree shall be planted for every twenty-five (25) linear feet of the common property line.	(8) Trees (190 ft)	(8) Trees
Required Perimeter Landscaping - Sec. 23.7 Not more than 30% of the perimeter landscape site may be sodded with turf.	(6,450 sq) Total Perimeter Landscape Area	(2,373) sq Perimeter Landscape Area
Parking Area and Pedestrian Zone Interior Landscaping - Sec. 23.3 On-street parking areas shall provide at least twenty (20) square feet of interior landscaping for each parking space. There shall be one (1) shade tree and five (5) shrubs per two hundred (200) square feet, or fraction thereof, of interior landscaping.	(4) Trees (18 Shrubs) (35 Spaces = 700 sq) (1.156 of landscape area)	(5) Trees (128 Shrubs)
Native Requirements - Sec. 23.5 A minimum of 50% of all required landscaping shall be Florida native species.	(24) Native Trees (56) Native Shrubs	(63) Native Trees (614) Native Shrubs

*Note: Eight (8) total palm credits applied toward code required landscape. 16% of provided code trees (24) shade palm trees at 3:1.

Landscaping Notes:

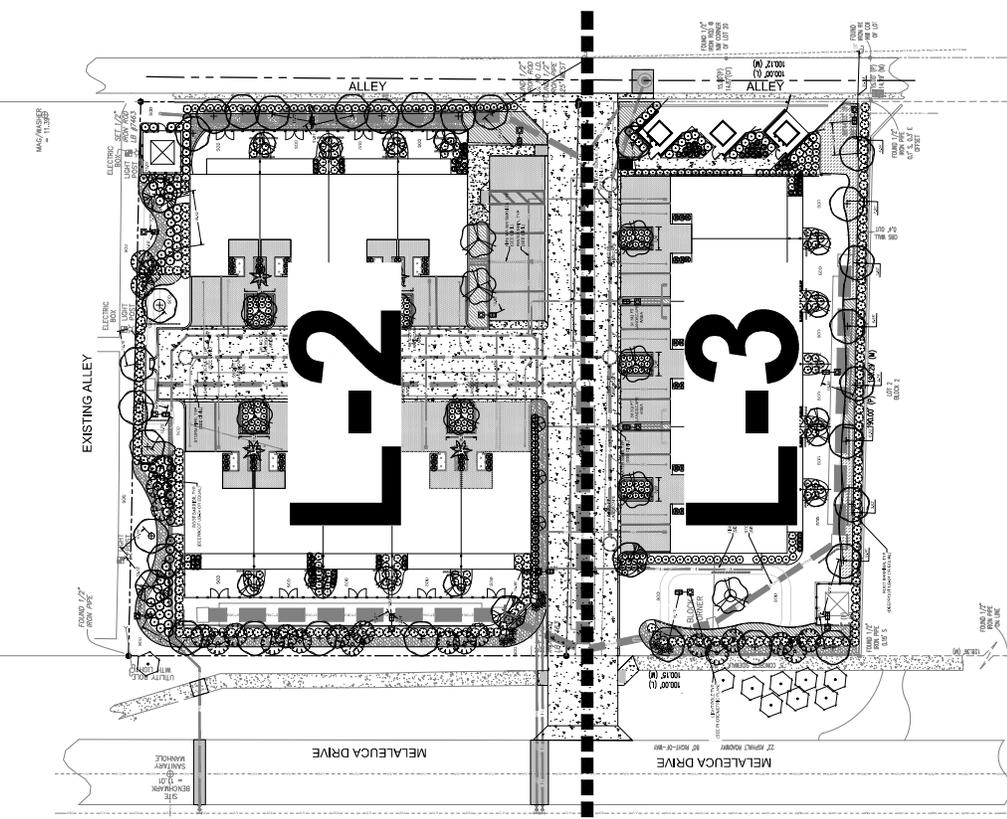
- Alternative plant species for required landscaping may be permitted subject to review and approval by the City of Margate Planning Department prior to installation.
- All provided trees and shrubs shall be selected from the list on this sheet or the list on the back of this sheet or the list on the back of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Margate Landscape Code.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place" and City of Margate Landscape Code.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation, contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- City assumes liability and maintenance of these areas outside of property line.
- Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.
- Temporary Relocation Note: Do not remove or relocate existing trees without obtaining permit from the City of Margate. Existing trees(s) to be relocated require root pruning by a registered arborist.
- Irrigation Note: All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Margate Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

Plant Schedule:

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE
CR	11	Quercus laevis	White Oak	CG, 12' HT, 2" DBH MIN. STD. SP	Native
CEP	31	Conocarpus erectus	Caribbean Palm	CG, 12' HT x 6" SPP, 2" DBH MIN. STD. SP	Native
CE	13	Conocarpus erectus	Senscua	FG, 12' HT, 2" DBH MIN. STD. SP	Native
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE
AM	4	Adonia merriamii	Christmas Palm	FG, 6' CT, SOIL SP	Native
SP	24	Sabal palmetto	Sabal Palm	FG, 8' +12' CT, HVY C, SP	Native
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE
CHR	63	Chrysobalanus icaco	Red Tip Coccothrum	35, 24" HT x 18" SPP, F, 30" OC	Native
LU	36	Lonicera japonica	Green Buttonwood	35, 24" OA, F	Non-Native
CEC	26	Conocarpus erectus	Senscua	35, 24" OA, F	Non-Native
CRL	9	Croton	Green Chromium Lily	75, 3' OA, SPP	Non-Native
HB	7	Hibiscus rose-serratus	Chinese Hibiscus	150, 5' HT x 3' SPP, STD. SP	Non-Native
MB	46	Miconia bicolor	Shrimp Plant	75, 4' HT x 3' SPP, FTB	Non-Native
MYF	46	Miconia bicolor	Shrimp Plant	75, 4' HT x 3' SPP, FTB	Non-Native
NEO	130	Nerium oleander	Ice Pink Oleander	30, 24" OA, F	Non-Native
POM	60	Podocarpus macrophylla	Podocarpus	70, 4' HT, FTB	Non-Native
UK	140	Uapaca	Uapaca	35, 18" OA, F	Non-Native
WRA	140	Wrightia speciosa	Asian Snow	35, 18" OA, F	Non-Native
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SPP	139	Spartina patens	Salt Meadow Cordgrass	15, 18" HT, 1.12' SPP, F	24" o.c.
TRF	108	Triplocha forficata	Florida Gamma Grass	35, 24" OA, F	24" o.c.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
ARG	467	Ardisia glauca 'Ecourii'	Emerald Blonk	15, 12" OA, F	12" o.c.
CAR	36	Carissa macrocarpa	Emerald Blonk	30, 12" OA, F	18" o.c.
UK	367	Uapaca	Uapaca	15, 12" OA, F	18" o.c.
FB	367	Ficus microcarpa	Green Island	30, 18" OA, F	24" o.c.

Note: See Landscaping Data for total native trees and shrubs provided.

Note: Landscaping code standards: SP=Specimen, F=Full, FTB=Full to Base, SPP=Spread, HT=Height, OA=Overall Height and Width, STD=Standard



Legend:

- Storm Pipe
- Sanitary Sewer
- Water Main
- Fire Water Service
- Light Pole
- Power Pole / Overhead Electric
- Root Barrier

Sheet Index:

- Code Calculations.....L-1
- Landscaping Plan.....L-1, L-2, L-3
- Plant Schedule.....L-1, L-2, L-3
- Tree Preservation Plan.....L-4
- Details & Specifications.....L-5

Know what's below.
Call before you dig.

Digitally Created by
Date: 03/23/22
Time: 10:58 AM
Project: 22010000000000000000
2022.03.23.10:58AM

LANDSCAPE ARCHITECT

LANDSCAPE SERVICES, LLC
Brandon White | Owner
774.248.1371 | bwhite@landscapeservices.com
774.248.0460 | paul@landscapeservices.com
PO Box 13, Margate, FL 33063

ARCHITECT

MICHAEL GARRISON
Prime Architecture, LLC
10000 NW 11th Street, Suite 100
FL 33063-1100
mgarri@primearch.com

Melaleuca Gardens
508-512 Melaleuca Drive, Margate, FL 33063

Landscape Plan

Date	Rev.	Description
03/29/22	BW	Revised P&I Comments
03/29/22	BW	Revised P&I Comments
03/29/22	BW	Revised P&I Comments
10/24/23	BW	Revised P&I Comments

PAUL DOULAS, P.L.A.
FLORIDA REG. # LA688807

Drawn By: BWT
Checked By: PCD
Scale: 1/8" = 1'-0"

SCALE: 1" = 20'

L-1

Project: 1500
 Landscape Architect:
LANDSCAPE ARCHITECTURAL SERVICES, LLC
 Brandon White | Owner
 772.638.1371 | brandon@landscapeservices.com
 772.638.0400 | paul@landscapeservices.com
 772.638.0400 | paul@landscapeservices.com
 PO Box 10000, Ft. Lauderdale, FL 33324
 1500
 MICHAEL GARRISON
 Principal Architect, L.L.C.
 1500
 PO Box 10000, Ft. Lauderdale, FL 33324
 michael@landscapeservices.com

Melaleuca Gardens
 508-512 Melaleuca Drive, Margate, FL 33063
 Landscape Plan

Date	Rev.	Description
03.09.20	BW	Revised Per Comments
03.28.22	BW	Revised Per Comments
05.16.23	BW	Revised Per Comments
10.04.23	BW	Revised Per Comments

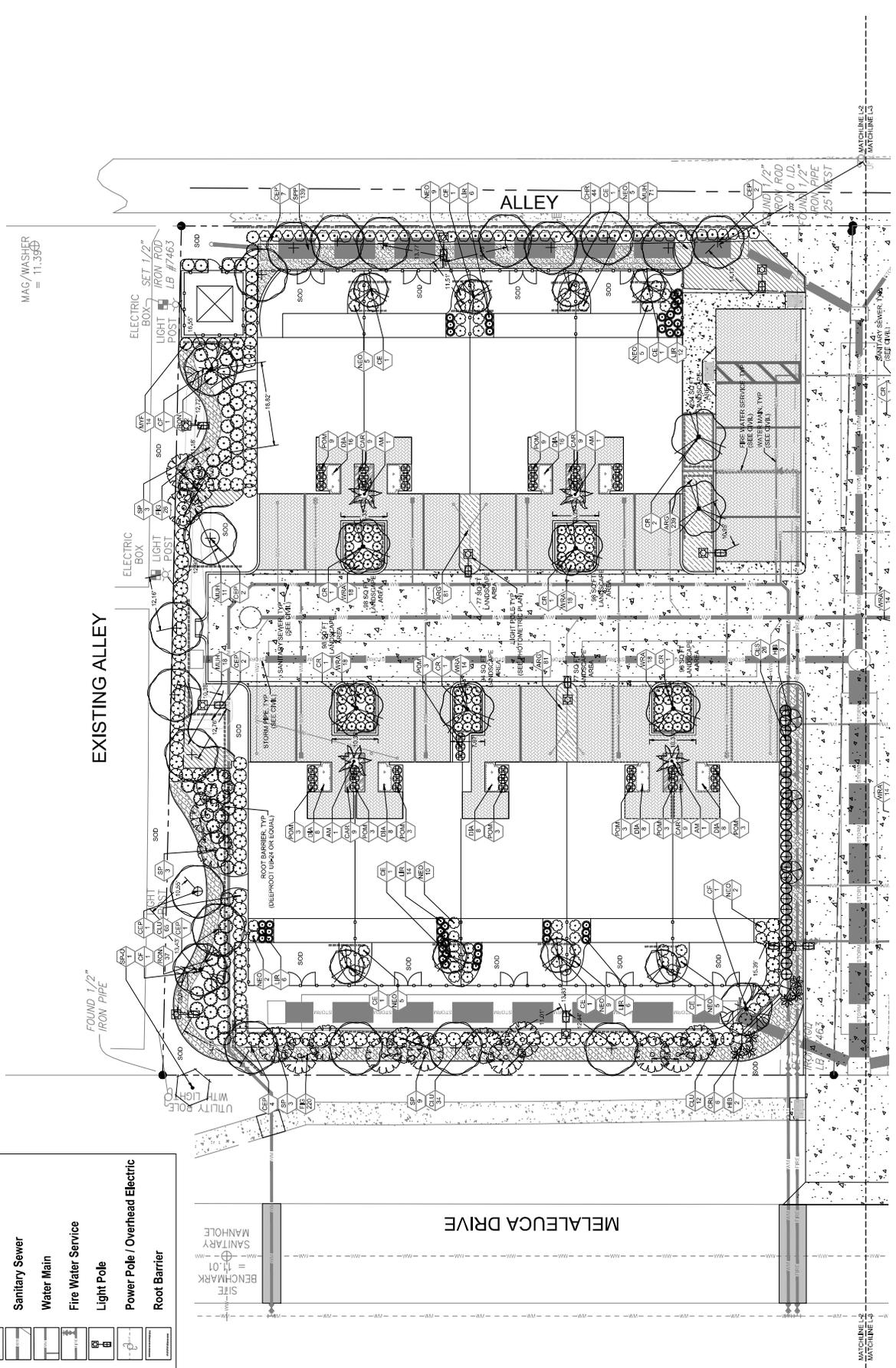


Drawn By: BW
 Checked By: PC
 Designer: PC
 Scale: 1" = 10'
 0' 5' 10' 20'
 L-2

Digitally signed by
 Paul Douglas
 Date: 2023.10.24
 15:21:58 -0400
 Reason: I am the author.
 2023.1000.20360

Legend:

- Storm Pipe
- Sanitary Sewer
- Water Main
- Fire Water Service
- Light Pole
- Power Pole / Overhead Electric
- Root Barrier



MATCHLINE 1
 MATCHLINE 2
 MATCHLINE 3

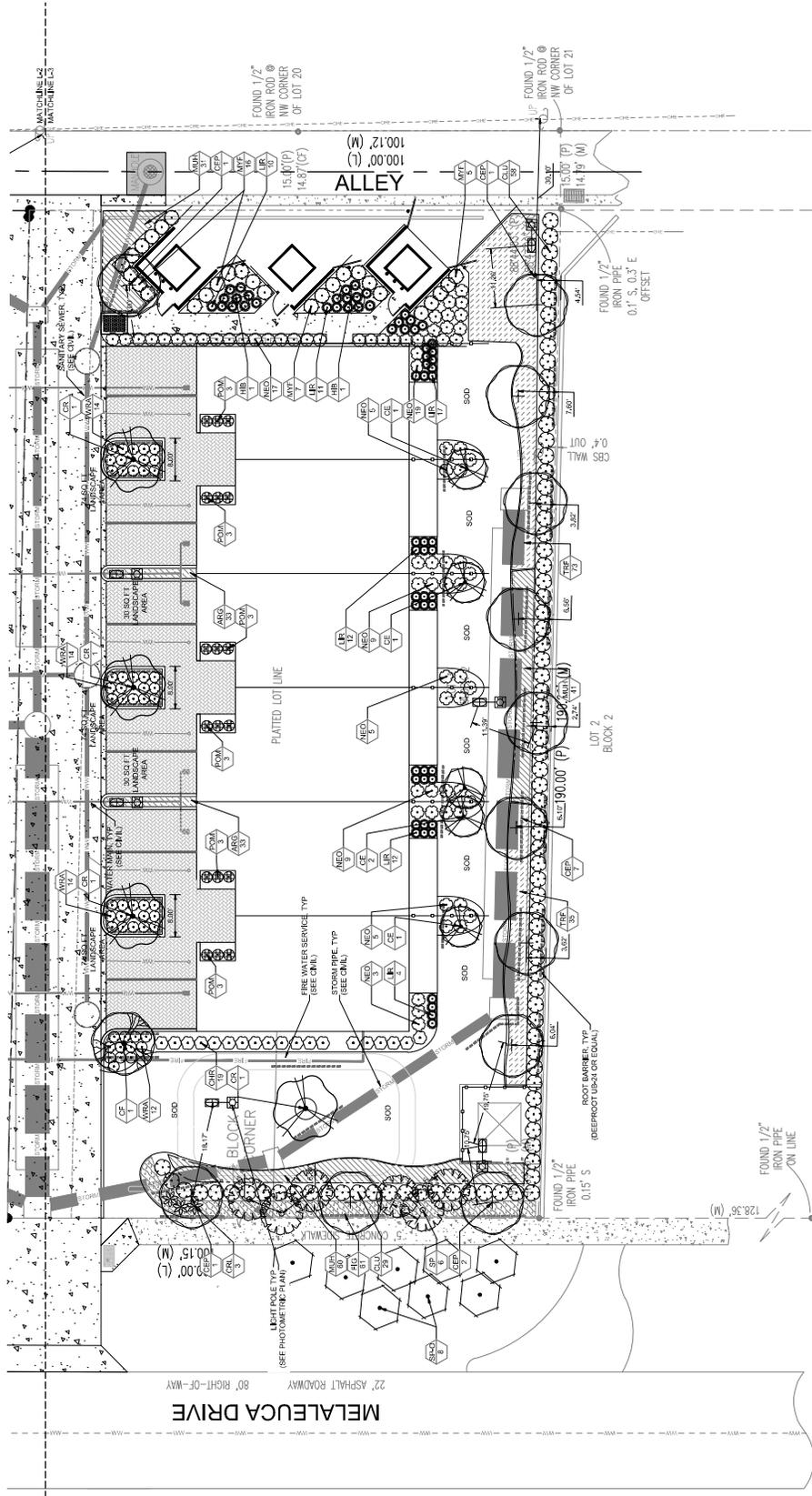
Project: 1500
 Landscape Architect:
LANDSCAPE ARCHITECTURAL SERVICES, LLC
 Brandon White | Owner
 772.328.1371 | brwhite@landscapeservices.com
 772.328.0460 | paul@landscapeservices.com
 772.328.0460 | paul@landscapeservices.com
 PO Box 13062, Ft. Lauderdale, FL 33324
 mich@landscapeservices.com

Melaleuca Gardens
 508-512 Melaleuca Drive, Margate, FL 33063
 Landscape Plan

Date	Rev.	Description
03.09.20	BW	Revised Per Comments
03.28.22	BW	Comments
05.16.23	BW	Revised Per Comments
10.04.23	BW	Comments



Drawn By: BW
 Checked By: PC
 Project: MARGATE PROJECT
 Scale:
 SCALE: 1" = 10'
 0' 5' 10' 20'
 NORTH
 L-3



Legend:

- Storm Pipe
- Sanitary Sewer
- Water Main
- Fire Water Service
- Light Pole
- Power Pole / Overhead Electric
- Root Barrier

Digital Signature
 Date: 2023.10.24
 1517-49-9400
 Albee-Accort
 2023.0062.0390

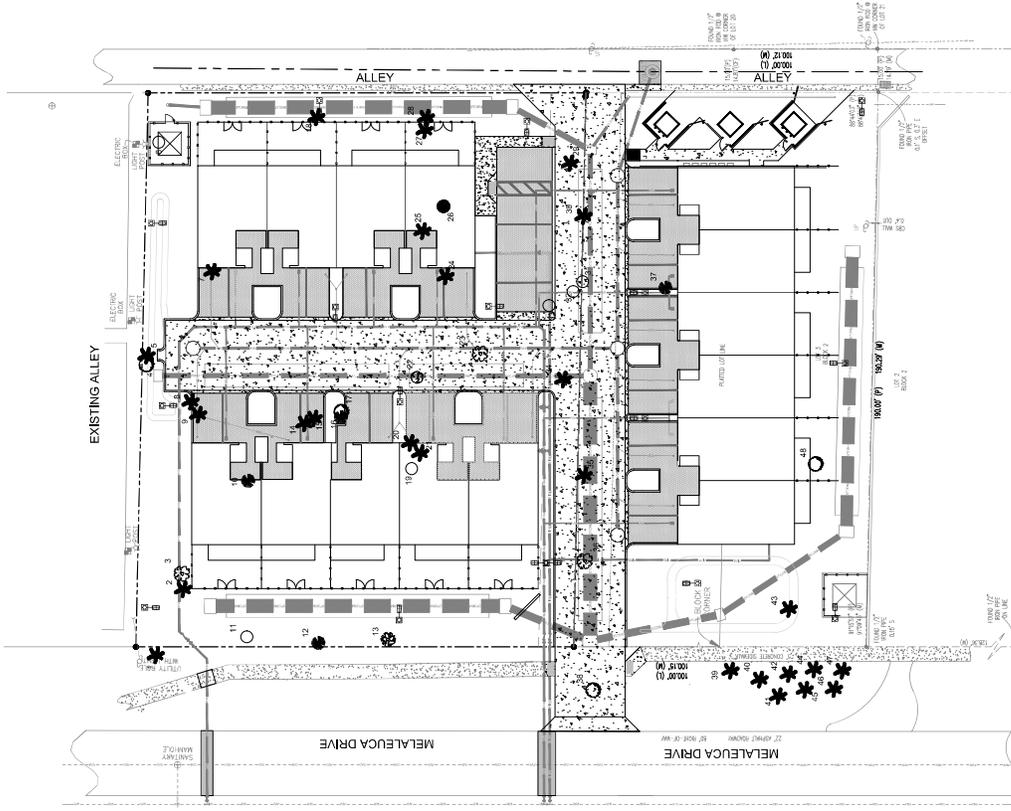
Tree Mitigation Data:

Total Trees and Palms Removed:	39 Trees and Palms Removed
Total Replacement Canopy Required:	16,327 SF (See Existing Tree Table Below)
Replacement Canopy Planted On-site:	5,100 SF (17 Category 1 Trees, See Plant Schedule, Sheet L-1)
Required Replacement Contribution in Lieu of Actual Tree Replacement:	11,227 SF Equivalent Value of (38) Category 1 Trees. Total contribution payment owed into City's Tree Preservation Account to be determined using a schedule for current value of replacement trees plus installation and maintenance as established by the City.

Existing Tree Table:

TREE #	DESCRIPTION	D.B.H.	HEIGHT	CANOPY	REPLACEMENT REQUIRED
1	SABAL PALM	12"	10'	20'	
2	SABAL PALM	18"	12'	15'	177 SF
3	MAHOGANY	4"	5'	15'	177 SF
4	LIVE OAK	18"	30'	45'	1590 SF
5	SABAL PALM	18"	12'	15'	177 SF
6	CARRIWOOD	10"	25'	25'	N/A - INVASIVE
7	4 SABAL CLUSTER	18"	30'	30'	708 SF
8	SABAL PALM	12"	15'	25'	491 SF
9	SABAL PALM	12"	15'	25'	491 SF
10	POINCIANA	20"	50'	30'	708 SF
11	POINCIANA	20"	50'	30'	708 SF
12	POINCIANA	20"	50'	30'	708 SF
13	STRANGLER FIG	38"	60'	40'	1267 SF
14	SABAL PALM	14"	12'	25'	491 SF
15	SABAL PALM	14"	15'	10'	79 SF
16	POINCIANA	20"	75'	30'	708 SF
17	LIVE OAK	10"	30'	35'	962 SF
18	SABAL PALM	18"	15'	20'	314 SF
19	FRANGPANI	6"	10'	12'	113 SF
20	SABAL PALM	15"	10'	25'	491 SF
21	SABAL PALM	12"	10'	12'	113 SF
22	MANGO TREE	12"	20'	25'	491 SF
23	MAHOGANY	20"	35'	25'	491 SF
24	SABAL PALM	10"	10'	20'	314 SF
25	SABAL PALM	10"	10'	20'	314 SF
26	MAGNOLIA	8"	20'	20'	314 SF
27	SABAL PALM	12"	10'	25'	491 SF
28	SABAL PALM	12"	10'	25'	491 SF
29	SABAL PALM	12"	10'	25'	491 SF
30	SABAL PALM	14"	12'	12'	113 SF
31	CARRIWOOD	6"	12'	18'	N/A - INVASIVE
32	FRANGPANI	8"	12'	18'	177 SF
33	FRANGPANI	8"	12'	18'	177 SF
34	SABAL PALM	10"	10'	20'	314 SF
35	SABAL PALM	14"	10'	20'	314 SF
36	MAHOGANY	6"	15'	20'	314 SF
37	POINCIANA	24"	50'	25'	491 SF
38	LIVE OAK	4"	5'	12'	113 SF
39	SABAL PALM	12"	8'	23'	
40	SABAL PALM	12"	8'	15'	
41	SABAL PALM	12"	8'	15'	
42	SABAL PALM	12"	8'	18'	
43	SABAL PALM	12"	8'	20'	314 SF
44	SABAL PALM	12"	8'	15'	
45	SABAL PALM	12"	8'	15'	
46	SABAL PALM	12"	8'	15'	
47	SABAL PALM	12"	8'	15'	
48	LIVE OAK	14"	30'	22'	380 SF

DELINEATES TREE TO REMAIN. NO MITIGATION REQUIRED



Melaleuca Gardens
508-512 Melaleuca Drive, Margate, FL 33063
Tree Preservation Plan

Revision	Date	By	Description
03.09.20	BW	Comments	
03.28.22	BW	Comments	
05.16.23	BW	Comments	
10.04.23	BW	Comments	



Drawn By: BW
 Checked By: PGO
 Project: L-4
 Scale: 1" = 20'
 0 10' 20' 40'
L-4

Digitally signed by Paul A. Goolsby
 DN: cn=Paul A. Goolsby, o=Paul A. Goolsby, ou=Paul A. Goolsby, email=Paul A. Goolsby@paulagoolsby.com, c=US
 Date: 2023.06.02 15:18:00 -0500
 Address: Account # 2023.06.02.23360

Paul A. Goolsby

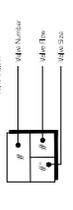
LANDSCAPE ARCHITECT
LANDSCAPE SERVICES, LLC
 Brandon White | Owner
 772.634.1371 | brwhite@landscapeservices.com
 772.634.0460 | paulwhite@landscapeservices.com
 772.634.0460 | paulwhite@landscapeservices.com
 PO Box 13062, Ft. Lauderdale, FL 33324
 mich@landscapeservices.com

MICHAEL GARRISON
 Project Architect, L.L.C.
 1100 NE 13th Ave, Ft. Lauderdale, FL 33304
 michaelgarrison.com

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
●	Hunter PROS-06-PRS30 5' strip spray	6	30
●	Turf Spray, 30 psi regulated 6.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.		
●	Hunter PROS-06-PRS30 15' radius	2	30
●	Turf Spray, 30 psi regulated 6.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.		
●	Hunter PROS-12-PRS30 adjustable 30'	96	30
●	Turf Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.		
●	Hunter PROS-12-PRS30 5' strip spray	7	30
●	Shrub Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.		
●	Hunter PROS-12-PRS30 8' radius	74	30
●	Shrub Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.		
●	Hunter PROS-12-PRS30 12' radius	20	30
●	Shrub Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.		
●	Hunter PROS-12-PRS30 Adjustable Act.	216	30
●	Shrub Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.		
●	Hunter PROS-00-PCN 10	84	30
●	Flood Bubble, on fixed riser.		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
⊕	Hunter IVC-G-BSA-FS	17	
⊕	1", 1'-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with BSP Threaded Inlet/Outlet, for Commercial/Municipal Use, With Filter Strainer.		
⊕	Gate Valve	3	
⊕	Aquafine Gate Valve or approved equal		
⊕	Hunter ACC-1800-SV	1	
⊕	18 Station Outdoor Modular Controller, With one ACM-6000 module, High-Eric Commercial Use, Stainless Steel Cabinet.		
⊕	Hunter RAIN-CLK	1	
⊕	Rain Sensor, with conduit installation, mount as noted. Normally closed switch.		
⊕	2" Centrifugal Pump	1	
⊕	2" W.P.		
⊕	1/2" Flow Filter	1	
⊕	1" Infiltration Well	1	
⊕	2" Galvanized Well	1	
⊕	Pump Start Relay	1	
⊕	Hunter PFR	1	
⊕	Irrigation Lateral Line: PVC Class 200	5761 ft.	
⊕	Irrigation Mainline: PVC Class 200	850 ft.	

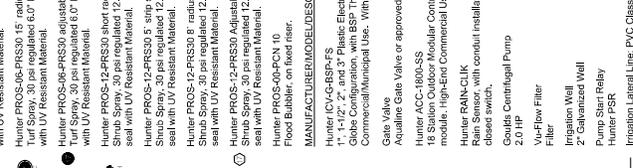
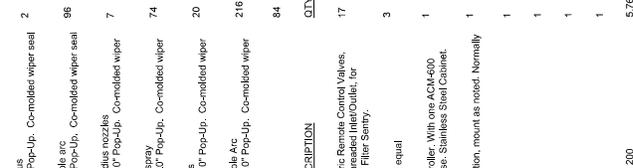
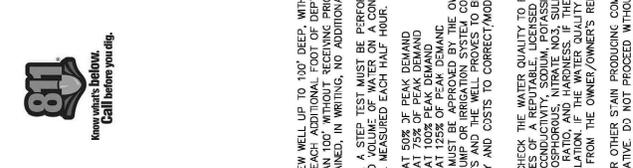
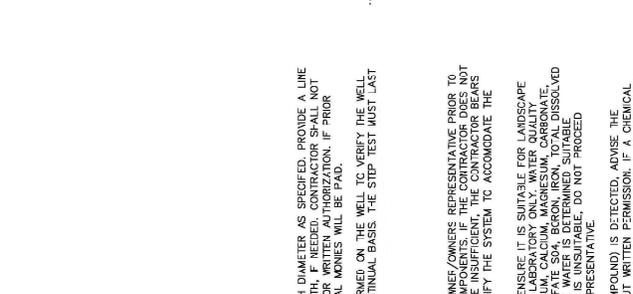
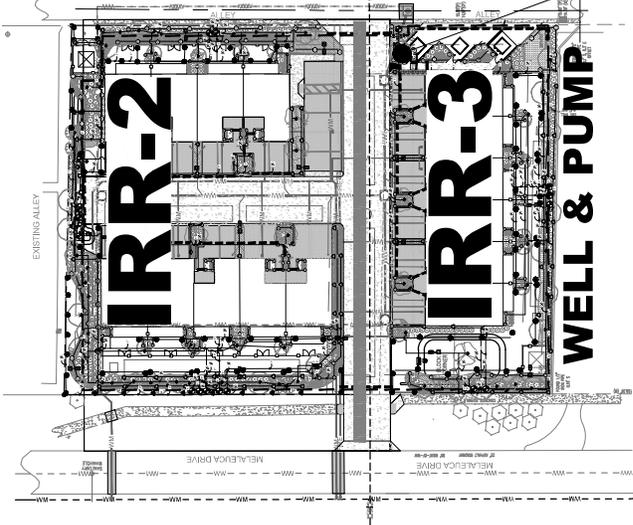
*Quantities to be field verified by contractor.
*All items listed may be substituted with LA Owner approved equal



1. Irrigation system design requires: 30 GPM minimum @ 50 PSI minimum at the point of connection. The Irrigation Contractor shall verify the available GPM and PSI prior to installation of the system. Point of Connection shall be a 2" Galvanized Well.

- Do not willfully install the irrigation system as shown on the drawings when it is obvious in the field that conditions exist that might not have been considered in the design. The Contractor shall be responsible for identifying such conditions, including, but not limited to, soil conditions, slope, and other site conditions, and shall coordinate with the owner to address such conditions.
- Piping may sometimes be indicated as being located in unlikely areas: i.e., under buildings or pavement, outside of property lines, in lakes or ditches, etc. The Contractor shall verify the location of such piping before installation.
- Piping may sometimes be indicated as being located in unlikely areas: i.e., under buildings or pavement, outside of property lines, in lakes or ditches, etc. The Contractor shall verify the location of such piping before installation.
- Contractor shall verify all underground utilities prior to commencement of work. The Contractor shall be responsible for identifying such utilities and shall coordinate with the owner to address such utilities and shall coordinate with the owner to address such utilities.
- Contractor shall install pop-up sprinklers 6" from edge of sidewalk, 12" from edge of driveway, and 18" from edge of road or parking area. The Contractor shall ensure that the sprinklers are installed in the correct location and shall coordinate with the owner to address such conditions.
- Irrigation system design is diagrammatic to improve clarity. All mainline piping, valves, and fittings shall be installed in landscape areas and within Right of Way boundaries.
- If required, the Irrigation Contractor shall provide the necessary "Right of Way" use permits.
- Install bubblers on all large trees and palms.
- Size all pipe to insure flow velocity is under 5 feet per second.
- Pipe size shall conform to those on the drawings. Substituting with smaller pipe sizes will not be permitted.

DRAWING INDEX:
IRR-1 OVERALL IRRIGATION PLAN, DETAILS, & IRRIGATION SCHEDULE
IRR-2 - IRR-3 DETAIL IRRIGATION PLANS



146
Landscape Architecture
SERVICES, LLC
772-884-1331 | landscape@146.com
772-884-1330 | 146.com
146.com | 146.com

Melaleuca Gardens
508-512 Melaleuca Drive, Margate, FL 33063
Irrigation Plan

Date	Rev.	Description
10-25-22	PG	Test Submittal
10-26-23	PG	Per Updated Landscape Plan



PAUL GOULET, P.E.
FLORIDA REG. # LA0698987
Checked By: PG
PG
Municipal Project:
Scale:
North
SCALE: 1" = 30'-0"
0 15 30 45



WELL NOTES:

- CONTRACTOR TO PROVIDE NEW WELL UP TO 130' DEEP, WITH DIAMETER AS SPECIFIED. PROVIDE A LINE DRILL THE WELL DEEPER THAN TOO, WITHOUT RECEIVING PRIOR WRITTEN AUTHORIZATION. IF PRIOR AUTHORIZATION IS NOT OBTAINED, IN WRITING, NO ADDITIONAL MONIES WILL BE PAID.
- AFTER THE WELL IS DRILLED, A STEP TEST MUST BE PERFORMED ON THE WELL TO VERIFY THE WELL CAN PRODUCE THE REQUIRED VOLUME OF WATER ON A CONTINUOUS BASIS. THE STEP TEST MUST LAST 8 HOURS WITH WATER LEVEL MEASURED EACH HALF HOUR.
HOURS 1-2 - PUMP AT 50% OF PEAK DEMAND
HOURS 3-4 - PUMP AT 75% OF PEAK DEMAND
HOURS 5-6 - PUMP AT 100% OF PEAK DEMAND
HOURS 7-8 - PUMP AT 125% OF PEAK DEMAND
THE RESULTS OF THIS TEST MUST BE APPROVED BY THE OWNER/OWNER'S REPRESENTATIVE PRIOR TO THE INSTALLATION OF THE PUMP OR IRRIGATION SYSTEM COMPONENTS. IF THE CONTRACTOR DOES NOT OBTAIN APPROVAL FROM THE OWNER/OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS TO CORRECT/ADJUST THE SYSTEM TO ACCOMMODATE THE EVENTUAL WATER SOURCE.
- AFTER DRILLING THE WELL, CHECK THE WATER QUALITY TO ENSURE IT IS SUITABLE FOR LANDSCAPE PLANTINGS. USE THE SERVICES OF A REPUTABLE, LICENSED LABORATORY ONLY. WATER QUALITY TESTS MUST INCLUDE PH, CONDUCTIVITY, SODIUM, POTASSIUM, CALCIUM, MAGNESIUM, CARBONATE, CHLORIDE, SULFATE, NITRATE, NITRITES, AMMONIA, PHOSPHORUS, IRON, COPPER, ZINC, CADMIUM, LEAD, SOLIDS, SODIUM ABSORPTION RATIO, AND HARDNESS. IF THE WATER QUALITY IS UNSUITABLE, DO NOT PROCEED WITH IRRIGATION INSTALLATION. IF THE WATER QUALITY IS UNSUITABLE, DO NOT PROCEED WITHOUT WRITTEN DIRECTION FROM THE OWNER/OWNER'S REPRESENTATIVE.
- IF A HIGH IRON CONTENT (OR OTHER STAIN PRODUCING COMPOUND) IS DETECTED, ADVISE THE OWNER/OWNER'S REPRESENTATIVE. DO NOT PROCEED WITHOUT WRITTEN PERMISSION. IF A CHEMICAL INJECTION SYSTEM IS REQUIRED BY THE OWNER, IT MUST BE DIRECTED BY THE OWNER AND INSTALLED BY THE PUMP SYSTEM MANUFACTURER.
- THE WELL CASING SHALL BE GALVANIZED STEEL PIPE (SIZED PER PLAN).

IRRIGATION SCHEDULE

SYMBOL **MANUFACTURER/MODEL/DESCRIPTION** **QTY** **PSI**

Hunter PROS-06-PRS30 5' strip spray 6 30
Turf Spray, 30 psi regulated 6.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.

Hunter PROS-06-PRS30 15' radius 2 30
Turf Spray, 30 psi regulated 6.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.

Hunter PROS-12-PRS30 adjustable 30' 96 30
Turf Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.

Hunter PROS-12-PRS30 5' strip spray 7 30
Shrub Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.

Hunter PROS-12-PRS30 8' radius 74 30
Shrub Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.

Hunter PROS-12-PRS30 12' radius 20 30
Shrub Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.

Hunter PROS-12-PRS30 Adjustable Act. 216 30
Shrub Spray, 30 psi regulated 12.0" Pop-Up, Co-modded wiper seal with UV Resistant Material.

Hunter PROS-00-PCN 10 84 30
Flood Bubble, on fixed riser.

SYMBOL **MANUFACTURER/MODEL/DESCRIPTION** **QTY**

Hunter IVC-G-BSA-FS 17
1", 1'-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with BSP Threaded Inlet/Outlet, for Commercial/Municipal Use, With Filter Strainer.

Gate Valve 3
Aquafine Gate Valve or approved equal

Hunter ACC-1800-SV 1
18 Station Outdoor Modular Controller, With one ACM-6000 module, High-Eric Commercial Use, Stainless Steel Cabinet.

Hunter RAIN-CLK 1
Rain Sensor, with conduit installation, mount as noted. Normally closed switch.

2" Centrifugal Pump 1
2" W.P.

1/2" Flow Filter 1
1" Infiltration Well 1
2" Galvanized Well 1
Pump Start Relay 1
Hunter PFR 1
Irrigation Lateral Line: PVC Class 200 5761 ft.
Irrigation Mainline: PVC Class 200 850 ft.

***Quantities to be field verified by contractor.
*All items listed may be substituted with LA Owner approved equal**

1. Irrigation system design requires: 30 GPM minimum @ 50 PSI minimum at the point of connection. The Irrigation Contractor shall verify the available GPM and PSI prior to installation of the system. Point of Connection shall be a 2" Galvanized Well.

2. Do not willfully install the irrigation system as shown on the drawings when it is obvious in the field that conditions exist that might not have been considered in the design. The Contractor shall be responsible for identifying such conditions, including, but not limited to, soil conditions, slope, and other site conditions, and shall coordinate with the owner to address such conditions.

3. Piping may sometimes be indicated as being located in unlikely areas: i.e., under buildings or pavement, outside of property lines, in lakes or ditches, etc. The Contractor shall verify the location of such piping before installation.

4. Contractor shall verify all underground utilities prior to commencement of work. The Contractor shall be responsible for identifying such utilities and shall coordinate with the owner to address such utilities.

5. Contractor shall install pop-up sprinklers 6" from edge of sidewalk, 12" from edge of driveway, and 18" from edge of road or parking area. The Contractor shall ensure that the sprinklers are installed in the correct location and shall coordinate with the owner to address such conditions.

6. Irrigation system design is diagrammatic to improve clarity. All mainline piping, valves, and fittings shall be installed in landscape areas and within Right of Way boundaries.

7. If required, the Irrigation Contractor shall provide the necessary "Right of Way" use permits.

8. Install bubblers on all large trees and palms.

9. Size all pipe to insure flow velocity is under 5 feet per second.

10. Pipe size shall conform to those on the drawings. Substituting with smaller pipe sizes will not be permitted.

11. Mainline shall be installed with a minimum of 24" depth of cover. Lateral lines shall be installed with a minimum of 12" depth of cover.

12. Whenever practical, install valves in mulched beds and/or out of high traffic areas. All valves and wire splices shall be installed in heavy duty plastic valve boxes with covers that read irrigation and be sister as follows:

13. Refer to Valve Designation Symbols for valve size, station number and designed flow rate for each remote control valve.

14. All 24 volt control cable to be UL Listed, single strand, type F90 Volt control cable. Size and color as follows:

15. All splices to the 24 volt control wiring shall be made with DBY or equal type connectors.

Common Wires - size AWG #14 and WHITE in color.
Spare Wires - size AWG #14 and BLUE in color.

16. Run one (2) spare wires from controller in each direction of the mainline to terminate valves.

17. All pop-up sprinkler heads shall be installed level and flush to grade.

18. Provide and install one sensor where it will be exposed to unobstructed sunlight and connect to irrigation controller.

19. All sleeves shall be 2 nominal pipe sizes larger than the size of the pipe to be installed. Pipe crossings over 5 feet in length shall be installed inside PVC pipe sleeves.

20. Any other equipment required that is not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.

21. The final location of all components shall be approved by the project engineer and/or owner.

VALVE DETAIL

LEGEND
① WIRE CONTROL VALVE (WV) WITH 1/2" PVC SUP & 1" FTY APPROX
② REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
③ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
④ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑤ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑥ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑦ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑧ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑨ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑩ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑪ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑫ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑬ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑭ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑮ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑯ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑰ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑱ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑲ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
⑳ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉑ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉒ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉓ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉔ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉕ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉖ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉗ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉘ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉙ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉚ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉛ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉜ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉝ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉞ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㉟ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊱ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊲ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊳ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊴ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊵ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊶ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊷ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊸ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊹ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊺ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊻ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊼ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊽ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊾ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX
㊿ REMOTE CONTROL VALVE (RCV) WITH 1/2" PVC SUP & 1" FTY APPROX

CONTROLLER DETAIL

LEGEND
① HUNTER ACC-1800-SV
② HUNTER PFR
③ HUNTER IVC-G-BSA-FS
④ HUNTER RAIN-CLK
⑤ HUNTER PFR
⑥ HUNTER IVC-G-BSA-FS
⑦ HUNTER PFR
⑧ HUNTER IVC-G-BSA-FS
⑨ HUNTER PFR
⑩ HUNTER IVC-G-BSA-FS
⑪ HUNTER PFR
⑫ HUNTER IVC-G-BSA-FS
⑬ HUNTER PFR
⑭ HUNTER IVC-G-BSA-FS
⑮ HUNTER PFR
⑯ HUNTER IVC-G-BSA-FS
⑰ HUNTER PFR
⑱ HUNTER IVC-G-BSA-FS
⑲ HUNTER PFR
⑳ HUNTER IVC-G-BSA-FS
㉑ HUNTER PFR
㉒ HUNTER IVC-G-BSA-FS
㉓ HUNTER PFR
㉔ HUNTER IVC-G-BSA-FS
㉕ HUNTER PFR
㉖ HUNTER IVC-G-BSA-FS
㉗ HUNTER PFR
㉘ HUNTER IVC-G-BSA-FS
㉙ HUNTER PFR
㉚ HUNTER IVC-G-BSA-FS
㉛ HUNTER PFR
㉜ HUNTER IVC-G-BSA-FS
㉝ HUNTER PFR
㉞ HUNTER IVC-G-BSA-FS
㉟ HUNTER PFR
㊱ HUNTER IVC-G-BSA-FS
㊲ HUNTER PFR
㊳ HUNTER IVC-G-BSA-FS
㊴ HUNTER PFR
㊵ HUNTER IVC-G-BSA-FS
㊶ HUNTER PFR
㊷ HUNTER IVC-G-BSA-FS
㊸ HUNTER PFR
㊹ HUNTER IVC-G-BSA-FS
㊺ HUNTER PFR
㊻ HUNTER IVC-G-BSA-FS
㊼ HUNTER PFR
㊽ HUNTER IVC-G-BSA-FS
㊾ HUNTER PFR
㊿ HUNTER IVC-G-BSA-FS

PUMP START RELAY DETAIL

LEGEND
① HUNTER PFR
② HUNTER PFR
③ HUNTER PFR
④ HUNTER PFR
⑤ HUNTER PFR
⑥ HUNTER PFR
⑦ HUNTER PFR
⑧ HUNTER PFR
⑨ HUNTER PFR
⑩ HUNTER PFR
⑪ HUNTER PFR
⑫ HUNTER PFR
⑬ HUNTER PFR
⑭ HUNTER PFR
⑮ HUNTER PFR
⑯ HUNTER PFR
⑰ HUNTER PFR
⑱ HUNTER PFR
⑲ HUNTER PFR
⑳ HUNTER PFR
㉑ HUNTER PFR
㉒ HUNTER PFR
㉓ HUNTER PFR
㉔ HUNTER PFR
㉕ HUNTER PFR
㉖ HUNTER PFR
㉗ HUNTER PFR
㉘ HUNTER PFR
㉙ HUNTER PFR
㉚ HUNTER PFR
㉛ HUNTER PFR
㉜ HUNTER PFR
㉝ HUNTER PFR
㉞ HUNTER PFR
㉟ HUNTER PFR
㊱ HUNTER PFR
㊲ HUNTER PFR
㊳ HUNTER PFR
㊴ HUNTER PFR
㊵ HUNTER PFR
㊶ HUNTER PFR
㊷ HUNTER PFR
㊸ HUNTER PFR
㊹ HUNTER PFR
㊺ HUNTER PFR
㊻ HUNTER PFR
㊼ HUNTER PFR
㊽ HUNTER PFR
㊾ HUNTER PFR
㊿ HUNTER PFR

RAIN SENSOR DETAIL

LEGEND
① HUNTER RAIN-CLK
② HUNTER RAIN-CLK
③ HUNTER RAIN-CLK
④ HUNTER RAIN-CLK
⑤ HUNTER RAIN-CLK
⑥ HUNTER RAIN-CLK
⑦ HUNTER RAIN-CLK
⑧ HUNTER RAIN-CLK
⑨ HUNTER RAIN-CLK
⑩ HUNTER RAIN-CLK
⑪ HUNTER RAIN-CLK
⑫ HUNTER RAIN-CLK
⑬ HUNTER RAIN-CLK
⑭ HUNTER RAIN-CLK
⑮ HUNTER RAIN-CLK
⑯ HUNTER RAIN-CLK
⑰ HUNTER RAIN-CLK
⑱ HUNTER RAIN-CLK
⑲ HUNTER RAIN-CLK
⑳ HUNTER RAIN-CLK
㉑ HUNTER RAIN-CLK
㉒ HUNTER RAIN-CLK
㉓ HUNTER RAIN-CLK
㉔ HUNTER RAIN-CLK
㉕ HUNTER RAIN-CLK
㉖ HUNTER RAIN-CLK
㉗ HUNTER RAIN-CLK
㉘ HUNTER RAIN-CLK
㉙ HUNTER RAIN-CLK
㉚ HUNTER RAIN-CLK
㉛ HUNTER RAIN-CLK
㉜ HUNTER RAIN-CLK
㉝ HUNTER RAIN-CLK
㉞ HUNTER RAIN-CLK
㉟ HUNTER RAIN-CLK
㊱ HUNTER RAIN-CLK
㊲ HUNTER RAIN-CLK
㊳ HUNTER RAIN-CLK
㊴ HUNTER RAIN-CLK
㊵ HUNTER RAIN-CLK
㊶ HUNTER RAIN-CLK
㊷ HUNTER RAIN-CLK
㊸ HUNTER RAIN-CLK
㊹ HUNTER RAIN-CLK
㊺ HUNTER RAIN-CLK
㊻ HUNTER RAIN-CLK
㊼ HUNTER RAIN-CLK
㊽ HUNTER RAIN-CLK
㊾ HUNTER RAIN-CLK
㊿ HUNTER RAIN-CLK

PROS-12 DETAIL

LEGEND
① HUNTER PROS-12-PRS30
② HUNTER PROS-12-PRS30
③ HUNTER PROS-12-PRS30
④ HUNTER PROS-12-PRS30
⑤ HUNTER PROS-12-PRS30
⑥ HUNTER PROS-12-PRS30
⑦ HUNTER PROS-12-PRS30
⑧ HUNTER PROS-12-PRS30
⑨ HUNTER PROS-12-PRS30
⑩ HUNTER PROS-12-PRS30
⑪ HUNTER PROS-12-PRS30
⑫ HUNTER PROS-12-PRS30
⑬ HUNTER PROS-12-PRS30
⑭ HUNTER PROS-12-PRS30
⑮ HUNTER PROS-12-PRS30
⑯ HUNTER PROS-12-PRS30
⑰ HUNTER PROS-12-PRS30
⑱ HUNTER PROS-12-PRS30
⑲ HUNTER PROS-12-PRS30
⑳ HUNTER PROS-12-PRS30
㉑ HUNTER PROS-12-PRS30
㉒ HUNTER PROS-12-PRS30
㉓ HUNTER PROS-12-PRS30
㉔ HUNTER PROS-12-PRS30
㉕ HUNTER PROS-12-PRS30
㉖ HUNTER PROS-12-PRS30
㉗ HUNTER PROS-12-PRS30
㉘ HUNTER PROS-12-PRS30
㉙ HUNTER PROS-12-PRS30
㉚ HUNTER PROS-12-PRS30
㉛ HUNTER PROS-12-PRS30
㉜ HUNTER PROS-12-PRS30
㉝ HUNTER PROS-12-PRS30
㉞ HUNTER PROS-12-PRS30
㉟ HUNTER PROS-12-PRS30
㊱ HUNTER PROS-12-PRS30
㊲ HUNTER PROS-12-PRS30
㊳ HUNTER PROS-12-PRS30
㊴ HUNTER PROS-12-PRS30
㊵ HUNTER PROS-12-PRS30
㊶ HUNTER PROS-12-PRS30
㊷ HUNTER PROS-12-PRS30
㊸ HUNTER PROS-12-PRS30
㊹ HUNTER PROS-12-PRS30
㊺ HUNTER PROS-12-PRS30
㊻ HUNTER PROS-12-PRS30
㊼ HUNTER PROS-12-PRS30
㊽ HUNTER PROS-12-PRS30
㊾ HUNTER PROS-12-PRS30
㊿ HUNTER PROS-12-PRS30

PROS-6 DETAIL

LEGEND
① HUNTER PROS-6-PRS30
② HUNTER PROS-6-PRS30
③ HUNTER PROS-6-PRS30
④ HUNTER PROS-6-PRS30
⑤ HUNTER PROS-6-PRS30
⑥ HUNTER PROS-6-PRS30
⑦ HUNTER PROS-6-PRS30
⑧ HUNTER PROS-6-PRS30
⑨ HUNTER PROS-6-PRS30
⑩ HUNTER PROS-6-PRS30
⑪ HUNTER PROS-6-PRS30
⑫ HUNTER PROS-6-PRS30
⑬ HUNTER PROS-6-PRS30
⑭ HUNTER PROS-6-PRS30
⑮ HUNTER PROS-6-PRS30
⑯ HUNTER PROS-6-PRS30
⑰ HUNTER PROS-6-PRS30
⑱ HUNTER PROS-6-PRS30
⑲ HUNTER PROS-6-PRS30
⑳ HUNTER PROS-6-PRS30
㉑ HUNTER PROS-6-PRS30
㉒ HUNTER PROS-6-PRS30
㉓ HUNTER PROS-6-PRS30
㉔ HUNTER PROS-6-PRS30
㉕ HUNTER PROS-6-PRS30
㉖ HUNTER PROS-6-PRS30
㉗ HUNTER PROS-6-PRS30
㉘ HUNTER PROS-6-PRS30
㉙ HUNTER PROS-6-PRS30
㉚ HUNTER PROS-6-PRS30
㉛ HUNTER PROS-6-PRS30
㉜ HUNTER PROS-6-PRS30
㉝ HUNTER PROS-6-PRS30
㉞ HUNTER PROS-6-PRS30
㉟ HUNTER PROS-6-PRS30
㊱ HUNTER PROS-6-PRS30
㊲ HUNTER PROS-6-PRS30
㊳ HUNTER PROS-6-PRS30
㊴ HUNTER PROS-6-PRS30
㊵ HUNTER PROS-6-PRS30
㊶ HUNTER PROS-6-PRS30
㊷ HUNTER PROS-6-PRS30
㊸ HUNTER PROS-6-PRS30
㊹ HUNTER PROS-6-PRS30
㊺ HUNTER PROS-6-PRS30
㊻ HUNTER PROS-6-PRS30
㊼ HUNTER PROS-6-PRS30
㊽ HUNTER PROS-6-PRS30
㊾ HUNTER PROS-6-PRS30
㊿ HUNTER PROS-6-PRS30

LANSING AVENUE
 476
 MICHAEL GARRESON
 ARCHITECTURAL
 SERVICES, LLC
 772-884-1333 | michael@garre-
 son.com
 772-831-8500 | pm@garre-
 son.com
 1000 S. W. 11th Street
 West Palm Beach, FL 33411
 michael@garre-son.com

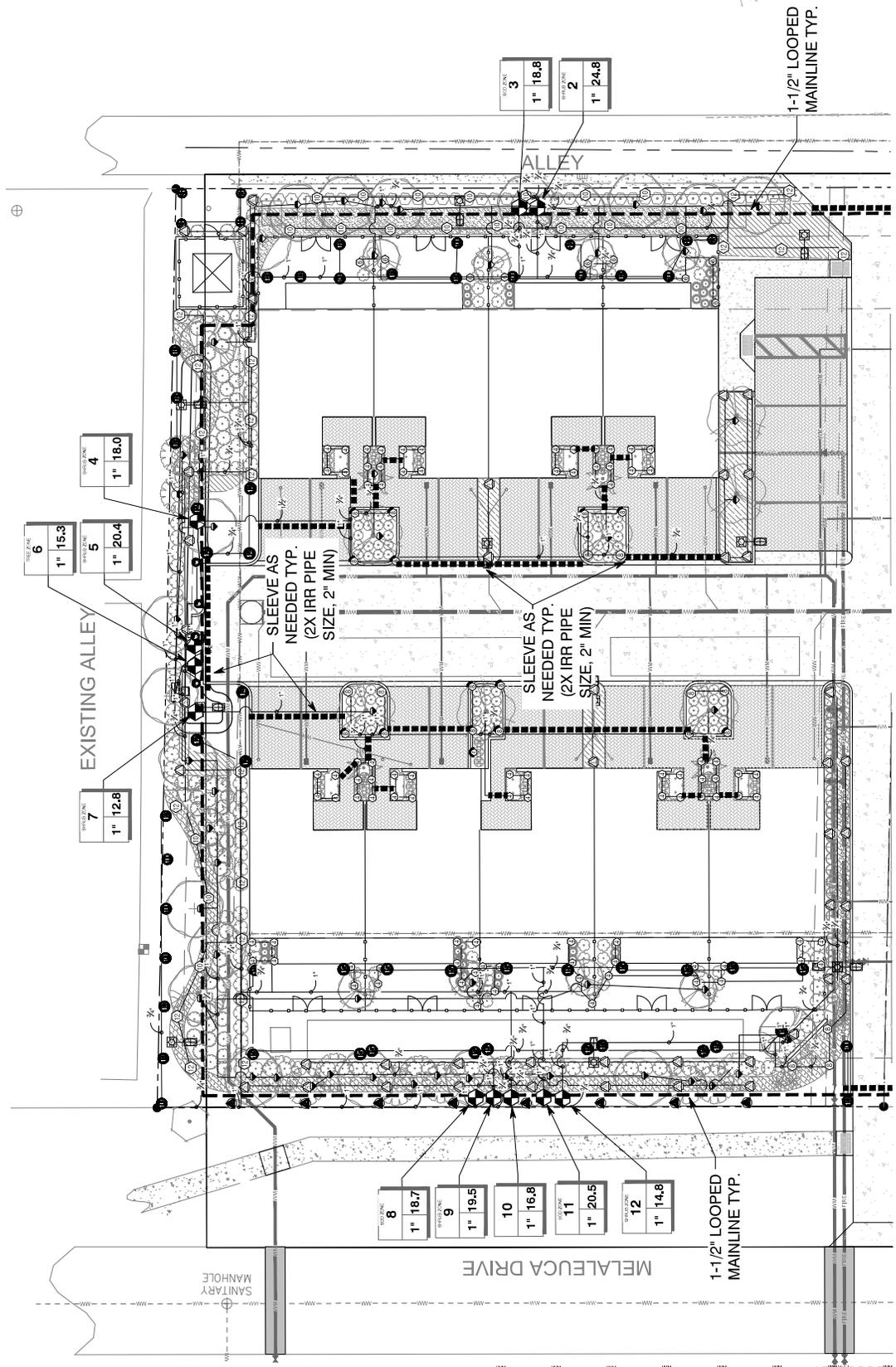
Melaleuca Gardens
 508-512 Melaleuca Drive, Margate, FL 33063
 Detail Irrigation Plan

Date	By	Description	Test
10/25/22	PG	Submittal	
10/26/23	PG	Per Upstream	
		Landscaping	
		Plan	



PAUL GOULAS, P.E.
 FLORIDA REG. # LF69697
 Checked By: PG
 Municipal Project:
 Scale:
 SCALE: 1" = 100'
 0' 5' 10' 20'
IRR-2

Digitally signed
 by Paul A. Goulas
 DN: cn=Paul A. Goulas,
 o=Professional Engineer,
 ou=Professional Engineer,
 email=pgoulas@floridapdf.com,
 c=US



6
 1" 15.3
 5
 1" 20.4
 4
 1" 18.0

7
 1" 12.8
 EXISTING ALLEY

SLEEVE AS
 NEEDED TYP.
 (2X IRR PIPE
 SIZE, 2" MIN)

SLEEVE AS
 NEEDED TYP.
 (2X IRR PIPE
 SIZE, 2" MIN)

8
 1" 18.7
 9
 1" 19.5
 10
 1" 16.8
 11
 1" 20.5
 12
 1" 14.8

1-1/2" LOOPED
 MAINLINE TYP.

1-1/2" LOOPED
 MAINLINE TYP.

*MAINLINE, VALVES, & LATERAL LOCATIONS ARE SHOWN FOR GRAPHIC
 PURPOSES ONLY; CONTRACTOR TO FIELD LOCATE AS NEEDED TO AVOID
 CONFLICTS WITH CIVIL OR LANDSCAPE ITEMS.

PROJECT NUMBER: 146
 PROJECT ADDRESS: 508-512 MELALEUCA DRIVE, MARGATE, FL 33063
 ARCHITECTURAL SERVICES, LLC
 772-884-1313 | 1111 MELALEUCA DRIVE, SUITE 200
 MARGATE, FL 33063 | 305-887-1111
 MICHAEL GARRESON
 100 SE 3rd Ave., 10th Floor
 MIAMI, FL 33131
 (305) 372-2222
 michael@mgars.com

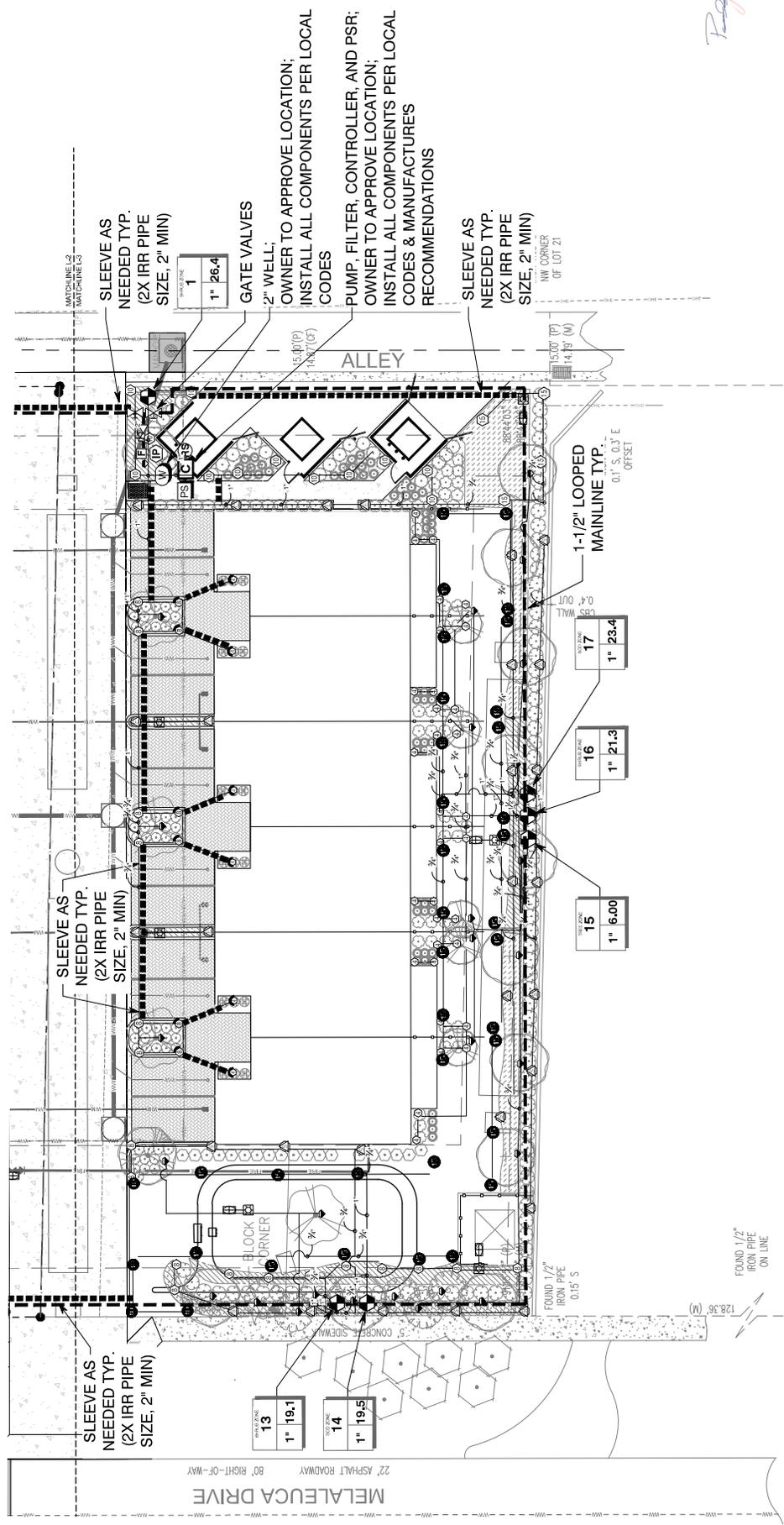
Melaleuca Gardens
 508-512 Melaleuca Drive, Margate, FL 33063
 Detail Irrigation Plan

Date	REV.	Description
10.26.22	PG	Submittal
10.26.23	PG	Per Yearland Landscape Plan

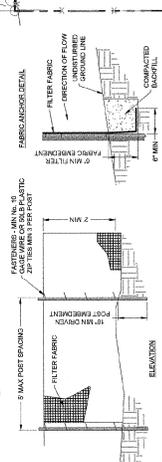
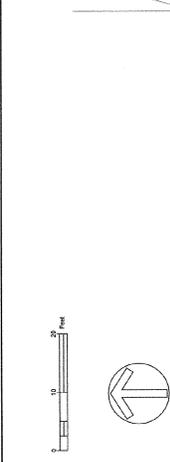
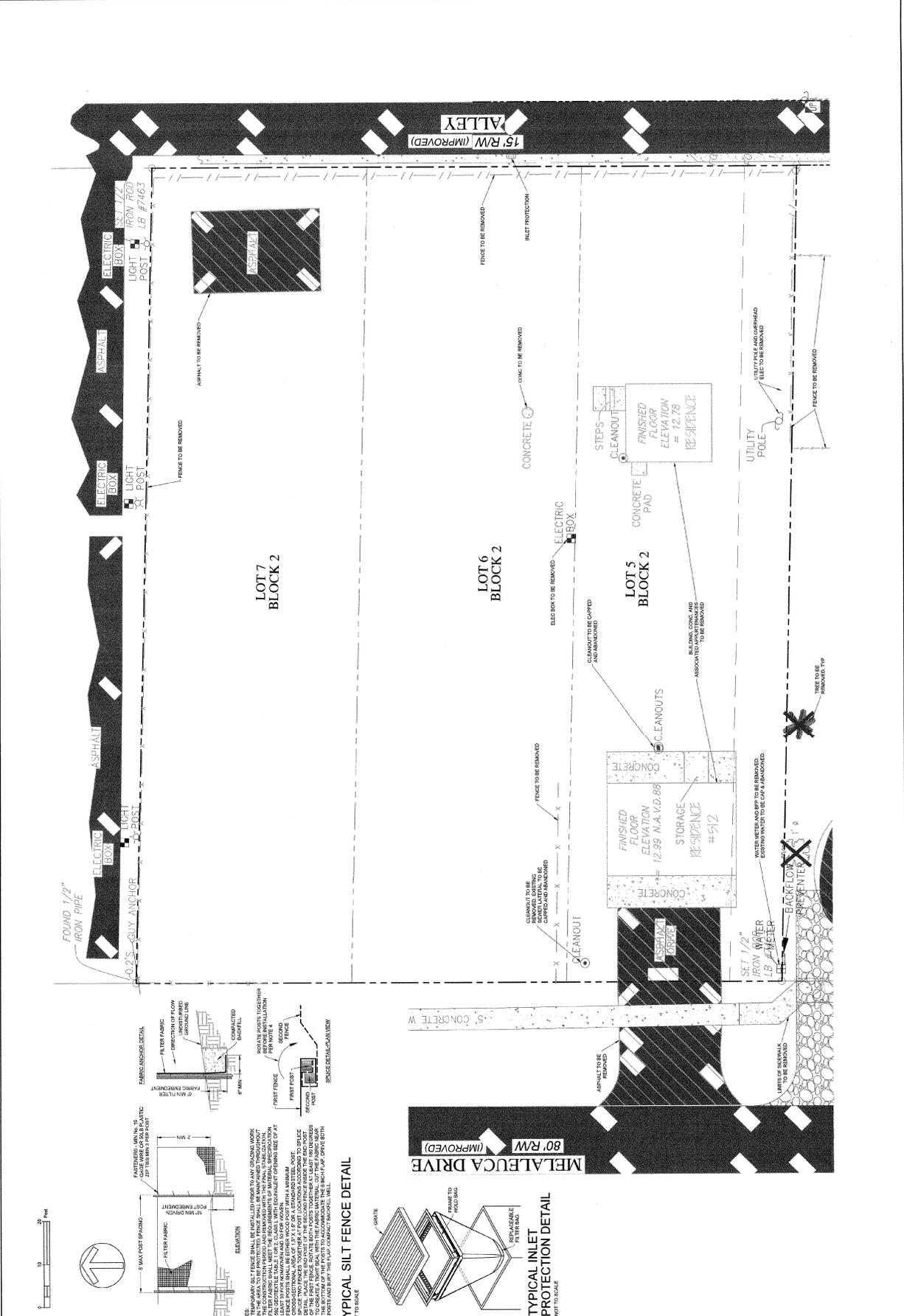


Drawn By: PG
 Checked By: PG
 Municipal Project:
 Scale:
 SCALE 1" = 100'
 0' 5' 10' 15'
IRR-3

Digitally signed by
 Paul Goulas
 DN: cn=Paul Goulas, o=Paul Goulas, ou=Professional Engineer, email=paul.goulas@floridapdf.com, c=US
 Date: 2023.10.26 15:28:44-0500
 Reason: I have not modified this document
 version: 2023100600100



*MAINLINE, VALVES, & LATERAL LOCATIONS ARE SHOWN FOR GRAPHIC PURPOSES ONLY; CONTRACTOR TO FIELD LOCATE AS NEEDED TO AVOID CONFLICTS WITH CIVIL OR LANDSCAPE ITEMS.



TYPICAL SILT FENCE DETAIL
 NOT TO SCALE

TYPICAL INLET PROTECTION DETAIL
 NOT TO SCALE

NOTES:

1. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
3. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
4. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

REINFORCING - DESIGN REVISIONS:
 2023-11 CITY SUBMITTAL
 2023-10-25 CITY SUBMITTAL

NUMBER OF RECORD
 11 SHEETS
 11 SHEETS
 11 SHEETS

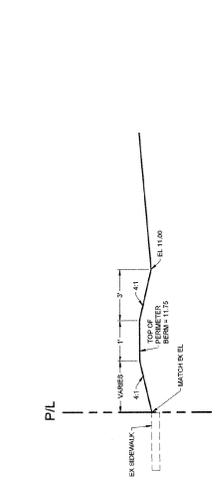


CLIENT: PRISM ARCHITECTURE, LLC
 DESIGN: M.E. STERN, PE
 QUALITY CONTROL: M.E. STERN, PE
 DATE: 10/20/23
 PROJECT #

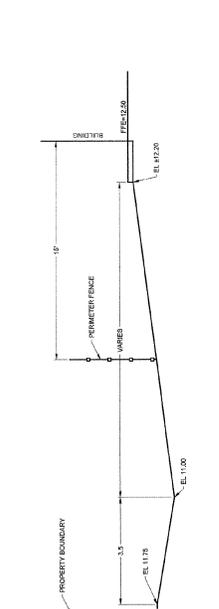
MALALEUCA GARDENS

SECTIONS AND DETAILS

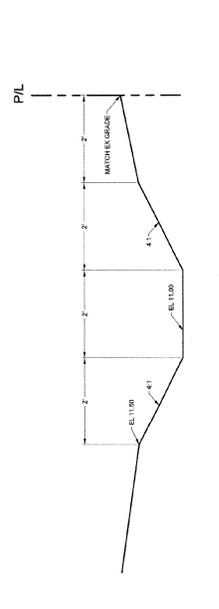
C-250



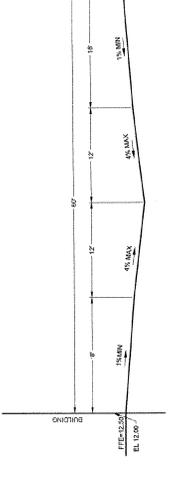
SECTION A-A
NOT TO SCALE



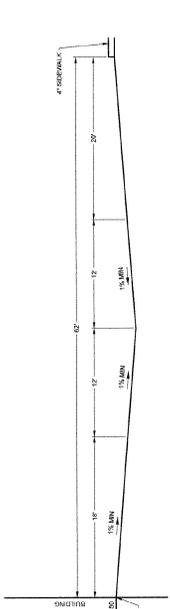
SECTION B-B
NOT TO SCALE



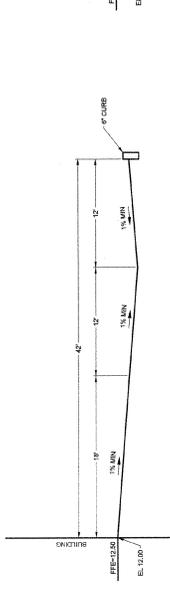
SECTION C-C
NOT TO SCALE



SECTION D-D
NOT TO SCALE



SECTION E-E
NOT TO SCALE



SECTION F-F
NOT TO SCALE

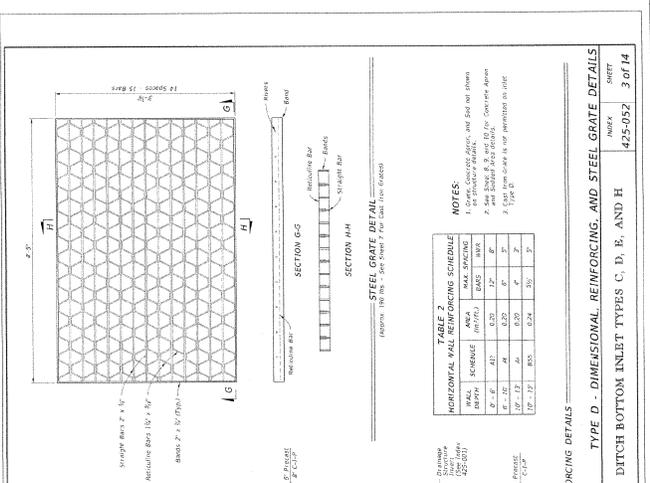
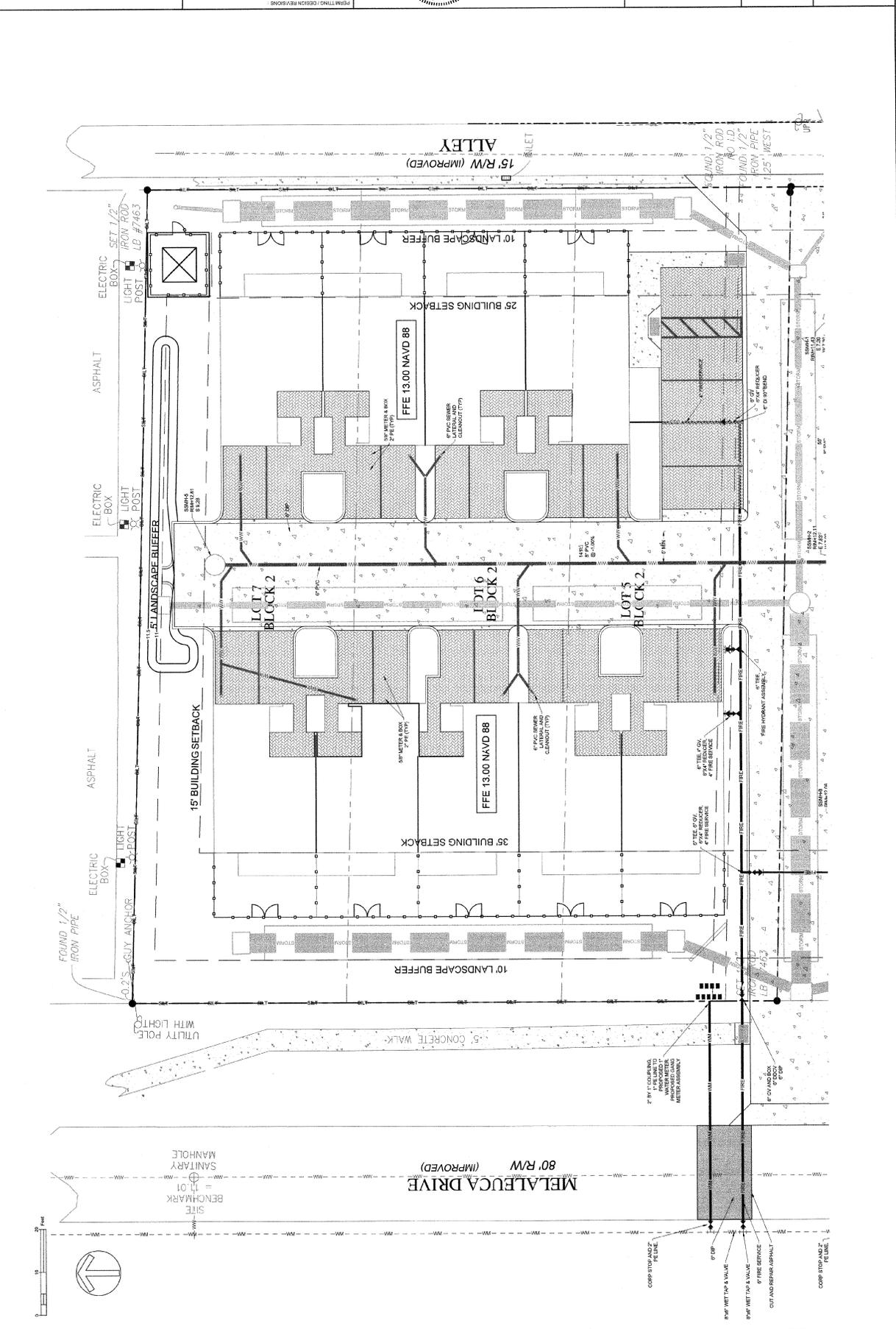
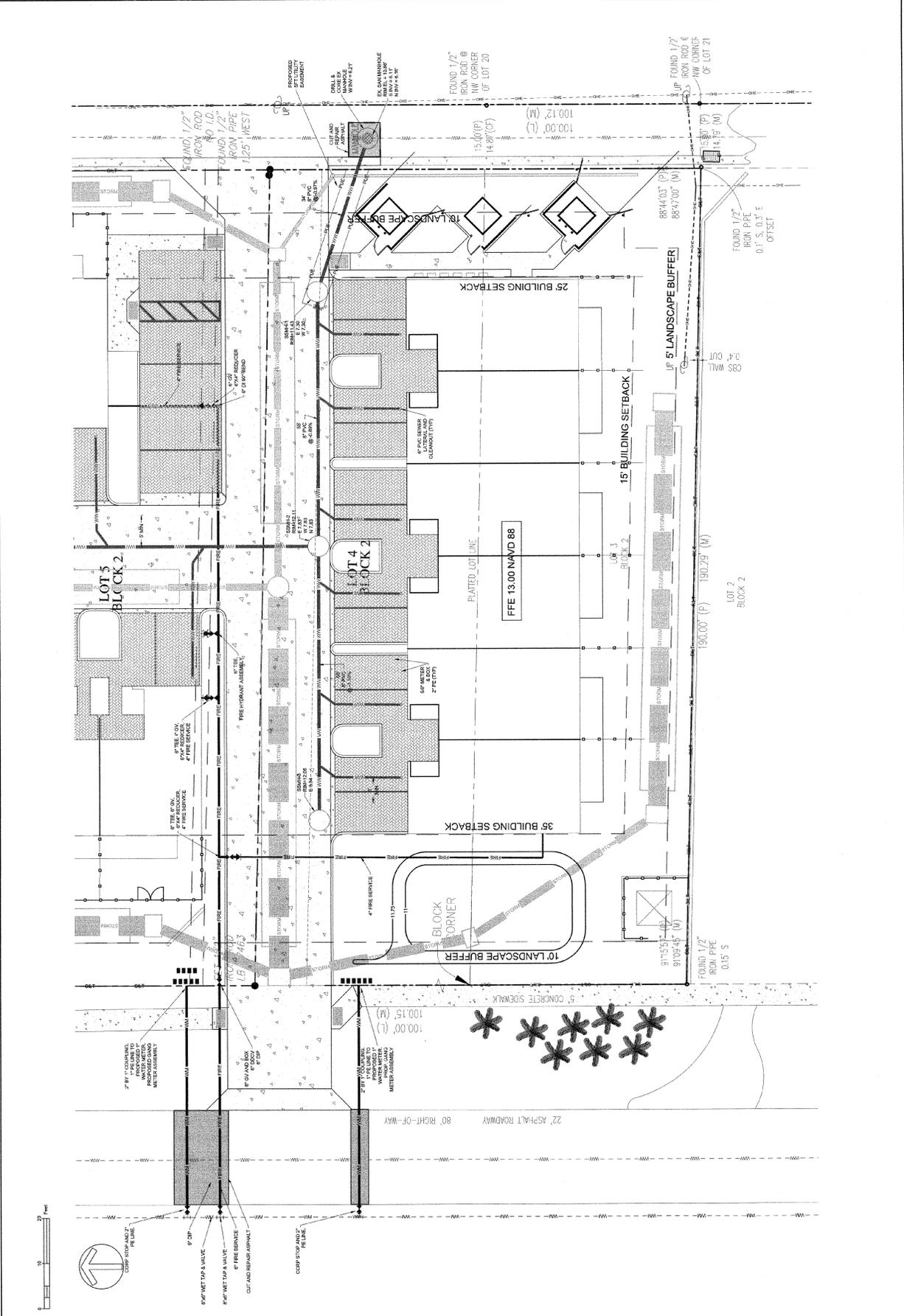
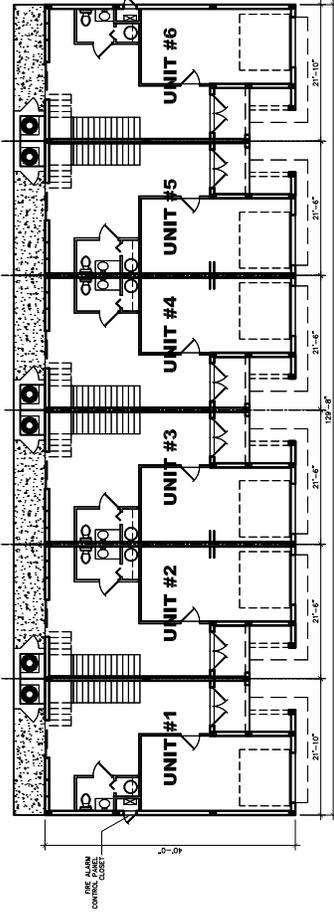


TABLE 2
HORIZONTAL WALL REINFORCING SCHEDULE

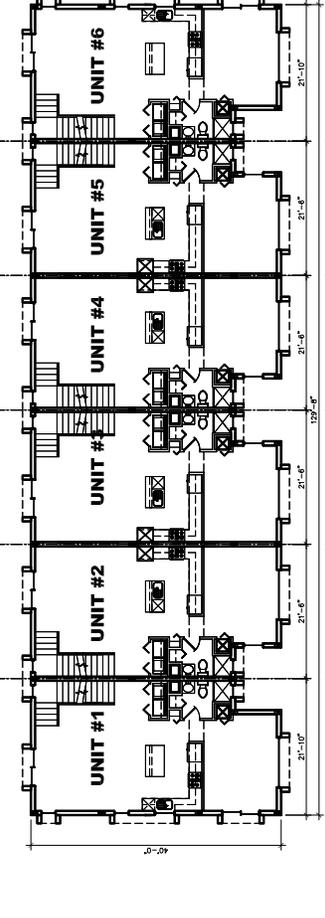
WALL TYPE	SCHEDULE	AREA (sq/ft)	MAX. SPACING (in)	WORK
B-E	#4	0.50	12"	WORK
C-F	#4	0.50	12"	WORK
D-G	#4	0.50	12"	WORK
E-H	#4	0.50	12"	WORK
F-I	#4	0.50	12"	WORK
G-J	#4	0.50	12"	WORK
H-K	#4	0.50	12"	WORK
I-L	#4	0.50	12"	WORK
J-M	#4	0.50	12"	WORK
K-N	#4	0.50	12"	WORK
L-O	#4	0.50	12"	WORK
M-P	#4	0.50	12"	WORK
N-Q	#4	0.50	12"	WORK
O-R	#4	0.50	12"	WORK
P-S	#4	0.50	12"	WORK
Q-T	#4	0.50	12"	WORK
R-U	#4	0.50	12"	WORK
S-V	#4	0.50	12"	WORK
T-W	#4	0.50	12"	WORK
U-X	#4	0.50	12"	WORK
V-Y	#4	0.50	12"	WORK
W-Z	#4	0.50	12"	WORK
X-AA	#4	0.50	12"	WORK
Y-AB	#4	0.50	12"	WORK
Z-AC	#4	0.50	12"	WORK
AA-AD	#4	0.50	12"	WORK
AB-AE	#4	0.50	12"	WORK
AC-AF	#4	0.50	12"	WORK
AD-AG	#4	0.50	12"	WORK
AE-AH	#4	0.50	12"	WORK
AF-AI	#4	0.50	12"	WORK
AG-AJ	#4	0.50	12"	WORK
AH-AK	#4	0.50	12"	WORK
AI-AL	#4	0.50	12"	WORK
AJ-AM	#4	0.50	12"	WORK
AK-AN	#4	0.50	12"	WORK
AL-AO	#4	0.50	12"	WORK
AM-AP	#4	0.50	12"	WORK
AN-AQ	#4	0.50	12"	WORK
AO-AR	#4	0.50	12"	WORK
AP-AS	#4	0.50	12"	WORK
AQ-AT	#4	0.50	12"	WORK
AR-AU	#4	0.50	12"	WORK
AS-AV	#4	0.50	12"	WORK
AT-AW	#4	0.50	12"	WORK
AU-AX	#4	0.50	12"	WORK
AV-AY	#4	0.50	12"	WORK
AW-AZ	#4	0.50	12"	WORK
AX-AA	#4	0.50	12"	WORK
AY-AB	#4	0.50	12"	WORK
AZ-AC	#4	0.50	12"	WORK
BA-BD	#4	0.50	12"	WORK
BB-BE	#4	0.50	12"	WORK
BC-BF	#4	0.50	12"	WORK
BD-BG	#4	0.50	12"	WORK
BE-BH	#4	0.50	12"	WORK
BF-BI	#4	0.50	12"	WORK
BG-BJ	#4	0.50	12"	WORK
BH-BK	#4	0.50	12"	WORK
BI-BL	#4	0.50	12"	WORK
BJ-BM	#4	0.50	12"	WORK
BK-BN	#4	0.50	12"	WORK
BL-BO	#4	0.50	12"	WORK
BM-BP	#4	0.50	12"	WORK
BN-BQ	#4	0.50	12"	WORK
BO-BR	#4	0.50	12"	WORK
BP-BS	#4	0.50	12"	WORK
BQ-BT	#4	0.50	12"	WORK
BR-BU	#4	0.50	12"	WORK
BS-BV	#4	0.50	12"	WORK
BT-BW	#4	0.50	12"	WORK
BU-BX	#4	0.50	12"	WORK
BV-BY	#4	0.50	12"	WORK
BW-BZ	#4	0.50	12"	WORK
BX-CA	#4	0.50	12"	WORK
BY-CB	#4	0.50	12"	WORK
BZ-CC	#4	0.50	12"	WORK
CA-CE	#4	0.50	12"	WORK
CB-CF	#4	0.50	12"	WORK
CC-CG	#4	0.50	12"	WORK
CD-CH	#4	0.50	12"	WORK
CE-CI	#4	0.50	12"	WORK
CF-CJ	#4	0.50	12"	WORK
CG-CK	#4	0.50	12"	WORK
CH-CL	#4	0.50	12"	WORK
CI-CM	#4	0.50	12"	WORK
CJ-CN	#4	0.50	12"	WORK
CK-CO	#4	0.50	12"	WORK
CL-CP	#4	0.50	12"	WORK
CM-CQ	#4	0.50	12"	WORK
CO-CR	#4	0.50	12"	WORK
CP-CS	#4	0.50	12"	WORK
CQ-CT	#4	0.50	12"	WORK
CR-CU	#4	0.50	12"	WORK
CS-CV	#4	0.50	12"	WORK
CT-CW	#4	0.50	12"	WORK
CU-CX	#4	0.50	12"	WORK
CV-CY	#4	0.50	12"	WORK
CW-CZ	#4	0.50	12"	WORK
CX-CA	#4	0.50	12"	WORK
CY-CB	#4	0.50	12"	WORK
CZ-CC	#4	0.50	12"	WORK
CA-CE	#4	0.50	12"	WORK
CB-CF	#4	0.50	12"	WORK
CC-CG	#4	0.50	12"	WORK
CD-CH	#4	0.50	12"	WORK
CE-CI	#4	0.50	12"	WORK
CF-CJ	#4	0.50	12"	WORK
CG-CK	#4	0.50	12"	WORK
CH-CL	#4	0.50	12"	WORK
CI-CM	#4	0.50	12"	WORK
CJ-CN	#4	0.50	12"	WORK
CK-CO	#4	0.50	12"	WORK
CL-CP	#4	0.50	12"	WORK
CM-CQ	#4	0.50	12"	WORK
CO-CR	#4	0.50	12"	WORK
CP-CS	#4	0.50	12"	WORK
CQ-CT	#4	0.50	12"	WORK
CR-CU	#4	0.50	12"	WORK
CS-CV	#4	0.50	12"	WORK
CT-CW	#4	0.50	12"	WORK
CU-CX	#4	0.50	12"	WORK
CV-CY	#4	0.50	12"	WORK
CW-CZ	#4	0.50	12"	WORK
CX-CA	#4	0.50	12"	WORK
CY-CB	#4	0.50	12"	WORK
CZ-CC	#4	0.50	12"	WORK
CA-CE	#4	0.50	12"	WORK
CB-CF	#4	0.50	12"	WORK
CC-CG	#4	0.50	12"	WORK
CD-CH	#4	0.50	12"	WORK
CE-CI	#4	0.50	12"	WORK
CF-CJ	#4	0.50	12"	WORK
CG-CK	#4	0.50	12"	WORK
CH-CL	#4	0.50	12"	WORK
CI-CM	#4	0.50	12"	WORK
CJ-CN	#4	0.50	12"	WORK
CK-CO	#4	0.50	12"	WORK
CL-CP	#4	0.50	12"	WORK
CM-CQ	#4	0.50	12"	WORK
CO-CR	#4	0.50	12"	WORK
CP-CS	#4	0.50	12"	WORK
CQ-CT	#4	0.50	12"	WORK
CR-CU	#4	0.50	12"	WORK
CS-CV	#4	0.50	12"	WORK
CT-CW	#4	0.50	12"	WORK
CU-CX	#4	0.50	12"	WORK
CV-CY	#4	0.50	12"	WORK
CW-CZ	#4	0.50	12"	WORK
CX-CA	#4	0.50	12"	WORK
CY-CB	#4	0.50	12"	WORK
CZ-CC	#4	0.50	12"	WORK
CA-CE	#4	0.50	12"	WORK
CB-CF	#4	0.50	12"	WORK
CC-CG	#4	0.50	12"	WORK
CD-CH	#4	0.50	12"	WORK
CE-CI	#4	0.50	12"	WORK
CF-CJ	#4	0.50	12"	WORK
CG-CK	#4	0.50	12"	WORK
CH-CL	#4	0.50	12"	WORK
CI-CM	#4	0.50	12"	WORK
CJ-CN	#4	0.50	12"	WORK
CK-CO	#4	0.50	12"	WORK
CL-CP	#4	0.50	12"	WORK
CM-CQ	#4	0.50	12"	WORK
CO-CR	#4	0.50	12"	WORK
CP-CS	#4	0.50	12"	WORK
CQ-CT	#4	0.50	12"	WORK
CR-CU	#4	0.50	12"	WORK
CS-CV	#4	0.50	12"	WORK
CT-CW	#4	0.50	12"	WORK
CU-CX	#4	0.50	12"	WORK
CV-CY	#4	0.50	12"	WORK
CW-CZ	#4	0.50	12"	WORK
CX-CA	#4	0.50	12"	WORK
CY-CB	#4	0.50	12"	WORK
CZ-CC	#4	0.50	12"	WORK
CA-CE	#4	0.50	12"	WORK
CB-CF	#4	0.50	12"	WORK
CC-CG	#4	0.50	12"	WORK
CD-CH	#4	0.50	12"	WORK
CE-CI	#4	0.50	12"	WORK
CF-CJ	#4	0.50	12"	WORK
CG-CK	#4	0.50	12"	WORK
CH-CL	#4	0.50	12"	WORK
CI-CM	#4	0.50	12"	WORK
CJ-CN	#4	0.50	12"	WORK
CK-CO	#4	0.50	12"	WORK
CL-CP	#4	0.50	12"	WORK
CM-CQ	#4	0.50	12"	WORK
CO-CR	#4	0.50	12"	WORK
CP-CS	#4	0.50	12"	WORK
CQ-CT	#4	0.50	12"	WORK
CR-CU	#4	0.50	12"	WORK
CS-CV	#4	0.50	12"	WORK
CT-CW	#4	0.50	12"	WORK
CU-CX	#4	0.50	12"	WORK
CV-CY	#4	0.50	12"	WORK
CW-CZ	#4	0.50	12"	WORK
CX-CA	#4	0.50	12"	WORK
CY-CB	#4	0.50	12"	WORK
CZ-CC	#4	0.50	12"	WORK
CA-CE	#4	0.50	12"	WORK
CB-CF	#4	0.50	12"	WORK
CC-CG	#4	0.50	12"	WORK
CD-CH	#4	0.50	12"	WORK
CE-CI	#4	0.50	12"	WORK
CF-CJ	#4	0.50	12"	WORK
CG-CK	#4	0.50	12"	WORK
CH-CL	#4	0.50	12"	WORK
CI-CM	#4	0.50	12"	WORK
CJ-CN	#4	0.50	12"	WORK
CK-CO	#4	0.50	12"	WORK
CL-CP	#4	0.50	12"	WORK
CM-CQ	#4	0.50	12"	WORK
CO-CR	#4	0.50	12"	WORK
CP-CS	#4	0.50	12"	WORK
CQ-CT	#4	0.50	12"	WORK
CR-CU	#4	0.50	12"	WORK
CS-CV	#4	0.50	12"	WORK
CT-CW	#4	0.50	12"	WORK
CU-CX	#4	0.50	12"	WORK
CV-CY	#4	0.50	12"	WORK
CW-CZ	#4	0.50	12"	WORK
CX-CA	#4	0.5		



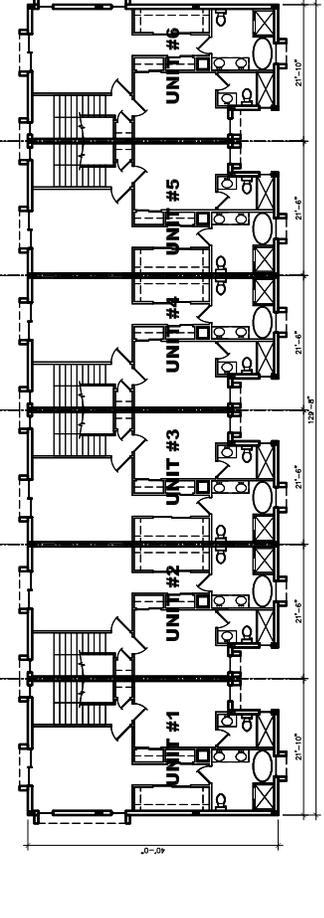




BUILDING A 1ST LEVEL BUILDING PLAN
 SCALE: 1/8" = 1'-0"

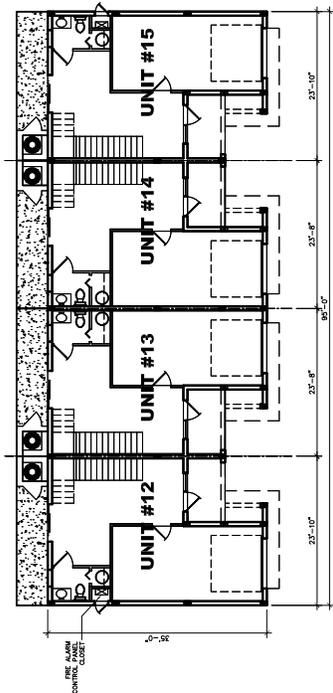


BUILDING A 2ND LEVEL BUILDING PLAN
 SCALE: 1/8" = 1'-0"

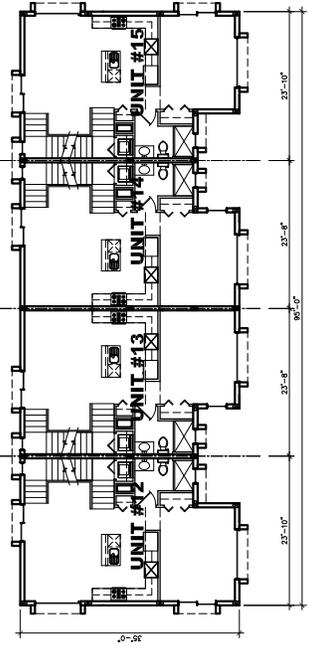


BUILDING A 3RD LEVEL BUILDING PLAN
 SCALE: 1/8" = 1'-0"

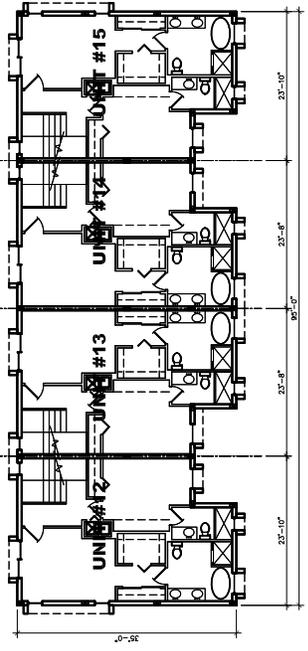
BUILDING A AREA CALCS	
AREA	TOTALS
FIRST LEVEL BUILDING COVERAGE	4,826 S.F.
TOTAL BUILDING SQUARE FOOTAGE	13,786 S.F.



BUILDING C, 1ST LEVEL BUILDING PLAN
 SCALE: 1/8" = 1'-0"



BUILDING C, 2ND LEVEL BUILDING PLAN
 SCALE: 1/8" = 1'-0"



BUILDING C, 3RD LEVEL BUILDING PLAN
 SCALE: 1/8" = 1'-0"

BUILDING C AREA CALCS	
AREA	TOTALS
FIRST LEVEL BUILDING COVERAGE	3,812 S.F.
TOTAL BUILDING SQUARE FOOTAGE	8,662 S.F.



Digitally signed by
 James G Centanni
 DN: cn=James G Centanni,
 o=PRISM ARCHITECTURE
 LLC, ou=PRISM ARCHITECTURE
 LLC, email=jcentanni@prismarch.com,
 c=US

DATE: 08/20/2024
 TIME: 11:58:43 AM
 PROJECT: 24-001-1873
 SHEET: 24-001-1873-01
 1100 S. W. 10TH AVE.
 MIAMI, FL 33135
 305.371.1122
 WWW.PRISMARCHITECTURE.COM

MULTIFAMILY PROJECT FOR:
MELALEUCA GARDENS
 FOR SITE LOCATED AT
 508-512 MELALEUCA DR., MARGATE, FL 33063

CONTRACT NO./SHEET NO.
 DATE
 DRAWN BY
 CHECKED BY
 PROJECT #
 SCALE

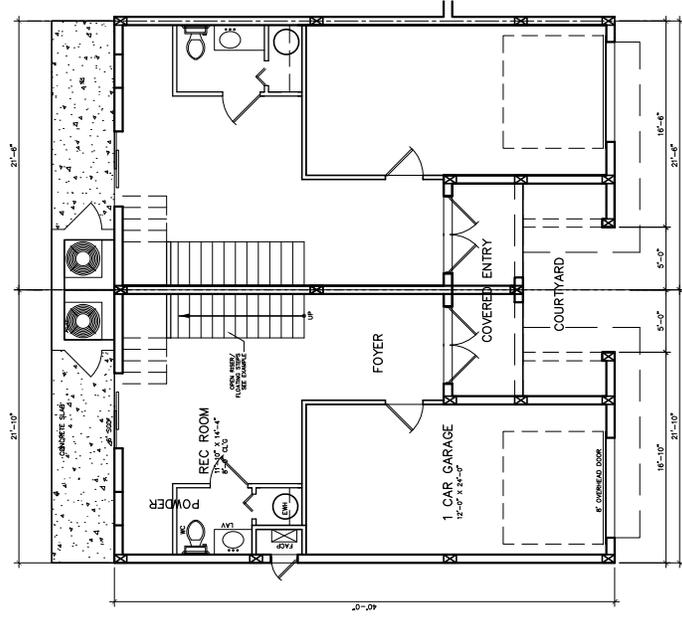
DATE APPROVED
 MISC.
 J.C.
 PROJECT #
 NO. 24-001-1873

UNITS #1, #6 AREA CALCULATIONS

AREA	TOTALS
FIRST LEVEL A/G (MINUS EXCP. G. CLOSET)	428 S.F.
SECOND LEVEL A/G	292 S.F.
THIRD LEVEL A/G	761 S.F.
SUBTOTAL	2,001 S.F.
GARAGE	321 S.F.
COVERED ENTRY	48 S.F.
BALCONIES	74 S.F.
TOTAL	2,441 S.F.

UNITS #2-#5 AREA CALCULATIONS

AREA	TOTALS
FIRST LEVEL A/G	436 S.F.
SECOND LEVEL A/G	749 S.F.
THIRD LEVEL A/G	749 S.F.
SUBTOTAL	1,934 S.F.
GARAGE	303 S.F.
COVERED ENTRY	48 S.F.
BALCONIES	74 S.F.
TOTAL	2,404 S.F.



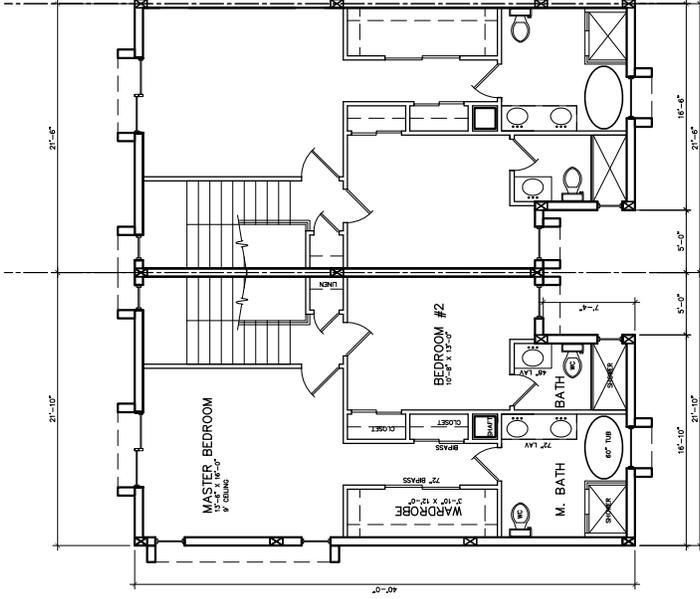
UNITS #1, #6
 END UNITS

UNITS #2-#5
 MIDDLE UNITS

BUILDING A 1ST LEVEL FLOOR PLANS
 SCALE: 1/4" = 1'-0"



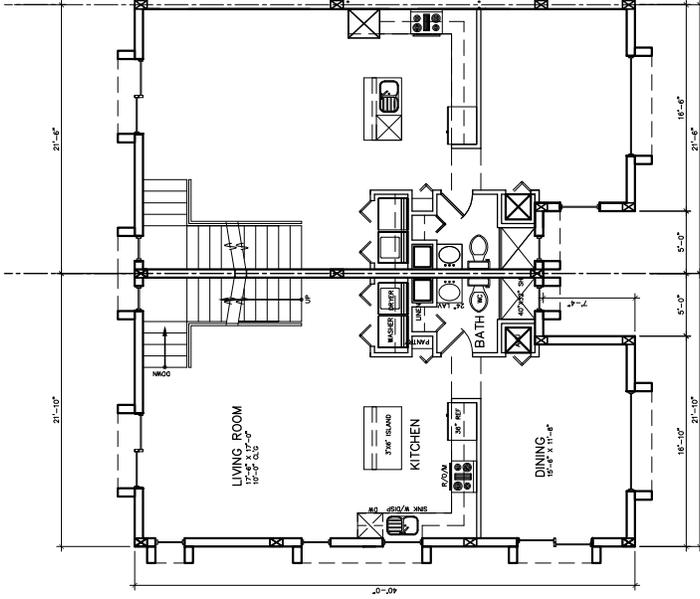
EXAMPLE STAIR DESIGN
 SCALE: NTS



UNITS #1, #6
END UNITS

UNITS #2-#5
MIDDLE UNITS

BUILDING A, 3RD LEVEL FLOOR PLANS
SCALE: 1/4" = 1'-0"



UNITS #1, #6
END UNITS

UNITS #2-#5
MIDDLE UNITS

BUILDING A, 2ND LEVEL FLOOR PLANS
SCALE: 1/4" = 1'-0"

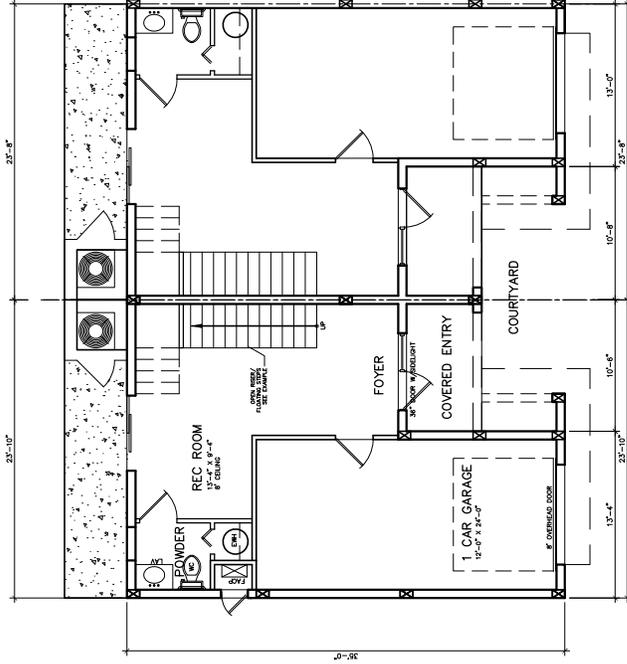


Digitally signed by
 James G Centanni
 Date: 2023.11.23
 11:56:53 -0500
 DN: cn=James G Centanni, o=Prism Architecture LLC, ou=Prism Architecture LLC, email=jcentanni@prismarchitecture.com, c=US

508-512 MELALEUCA DR., MARGATE, FL 33063
 MELALEUCA GARDENS
 MULTIFAMILY PROJECT FOR:

UNITS #7, #11, #12, #15 AREA CALCS	
AREA	TOTALS
FIRST LEVEL A/C (MINUS ENCL. CLOSET)	360 S.F.
SECOND LEVEL A/C	750 S.F.
THIRD LEVEL A/C	750 S.F.
SUBTOTAL	1,860 S.F.
GARAGE	371 S.F.
COVERED ENTRY	65 S.F.
BALCONIES	58 S.F.
TOTAL	2,375 S.F.

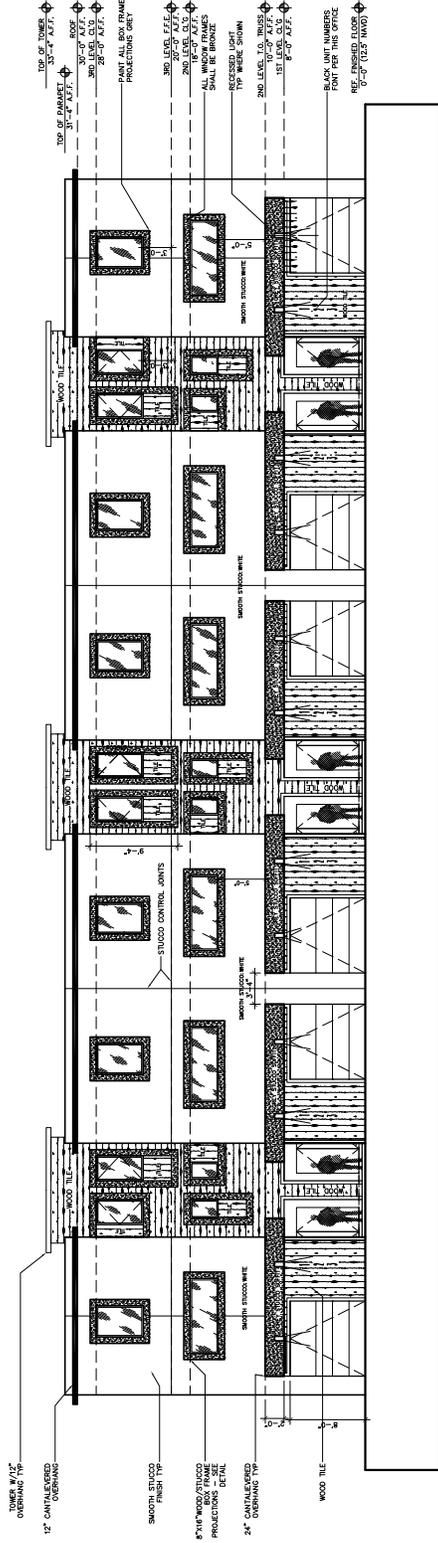
UNITS #8- #10, AND #13-#14 AREA CALCS	
AREA	TOTALS
FIRST LEVEL A/C	360 S.F.
SECOND LEVEL A/C	751 S.F.
THIRD LEVEL A/C	750 S.F.
SUBTOTAL	1,861 S.F.
GARAGE	312 S.F.
COVERED ENTRY	65 S.F.
BALCONIES	74 S.F.
TOTAL	2,313 S.F.



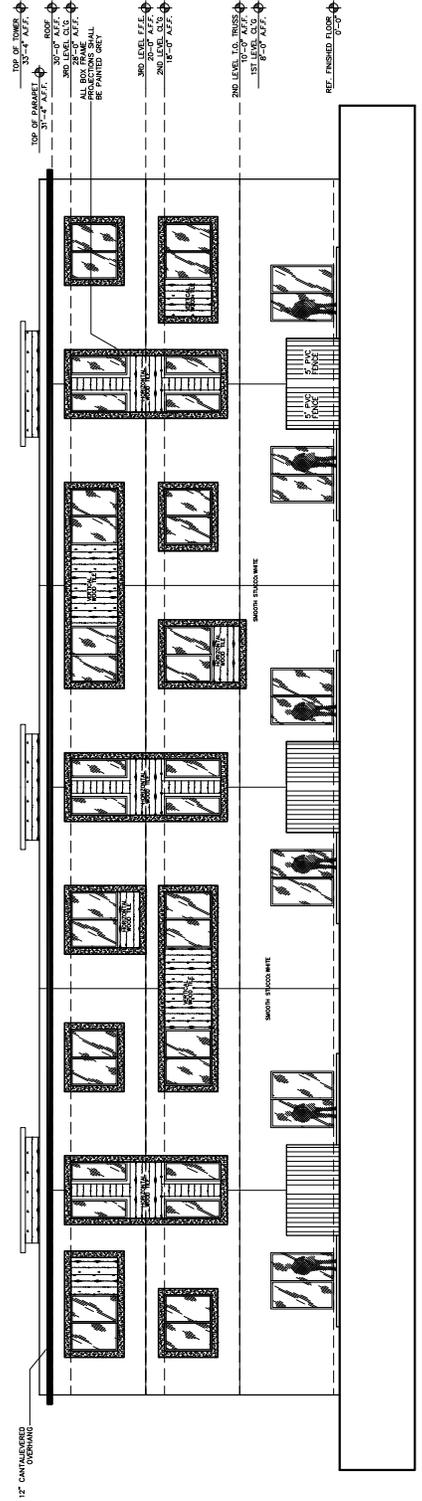
UNITS #7, #11, #12, #15
 END UNITS

UNITS #8-#10, #13-#14
 MIDDLE UNITS

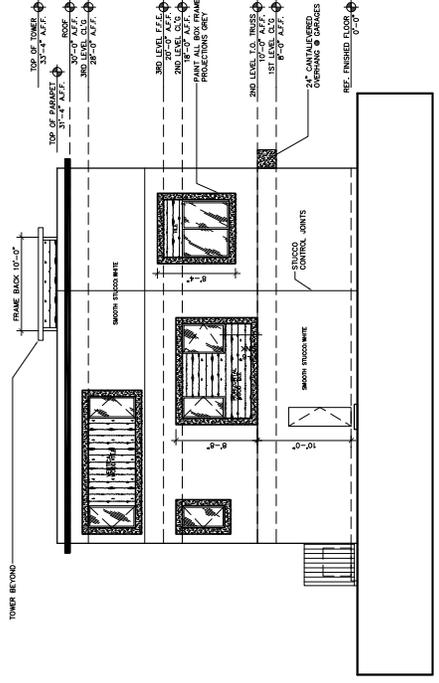
BUILDING B & C 1ST LEVEL FLOOR PLANS
 SCALE: 1/4" = 1'-0"



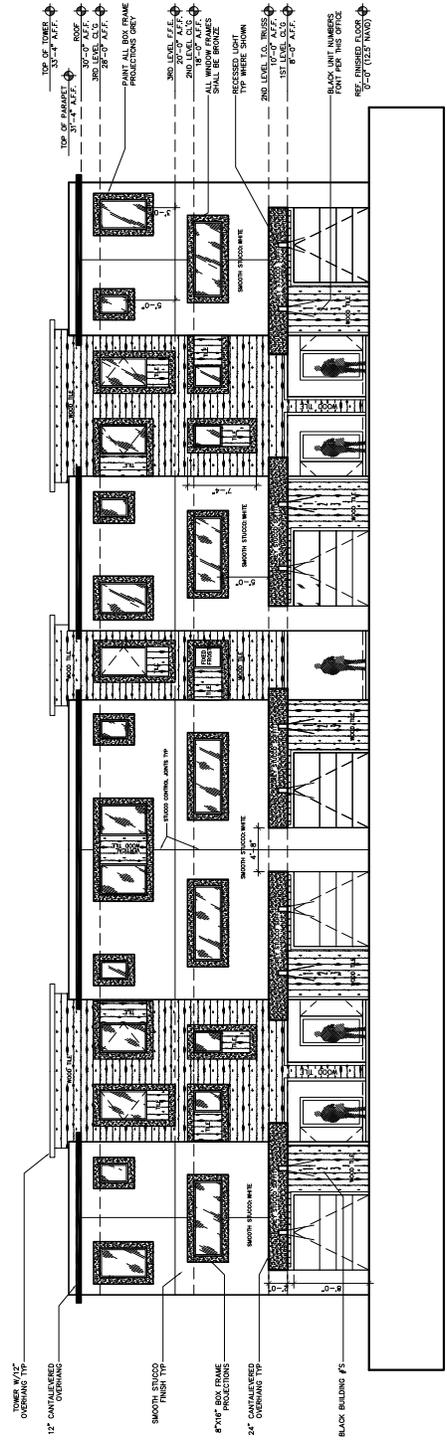
BUILDING A FRONT ELEVATION
 SCALE: 3/16" = 1'-0"



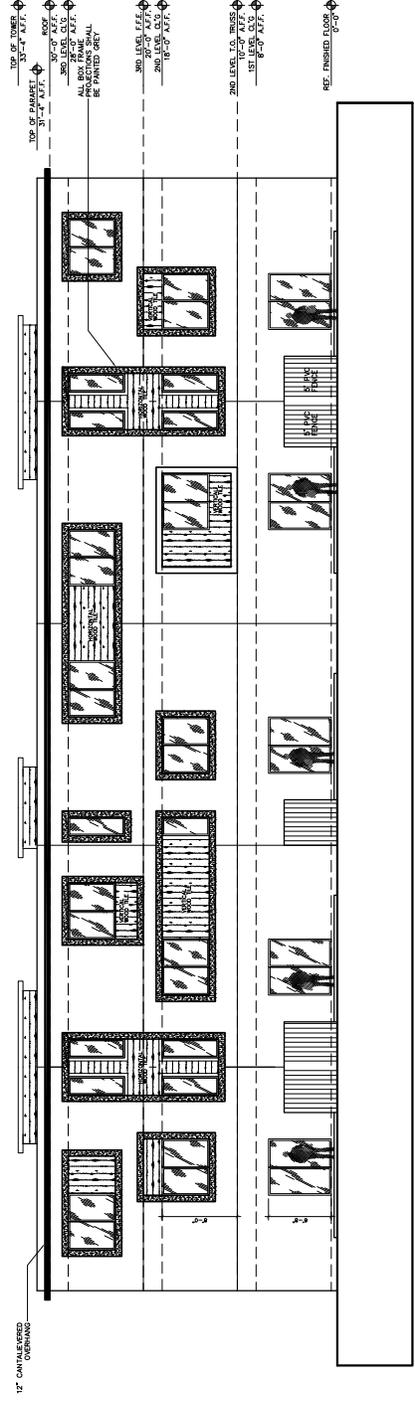
BUILDING A REAR ELEVATION
 SCALE: 3/16" = 1'-0"



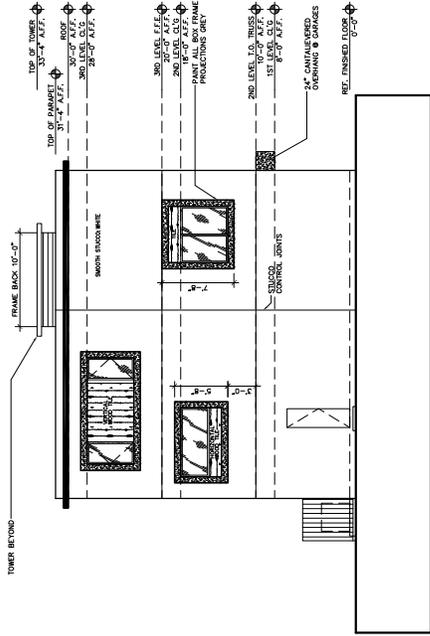
BUILDING A SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



BUILDING B FRONT ELEVATION
SCALE: 3/16" = 1'-0"



BUILDING B REAR ELEVATION
SCALE: 3/16" = 1'-0"



BUILDING B SIDE ELEVATION

SCALE: 3/16" = 1'-0"



Digitally signed by
James G Centanni
Date: 2023.11.22
11:58:27 -0500

PROJECT NO. 23-001
DATE: 11/22/23
DRAWN BY: JGC
CHECKED BY: JGC
PROJECT #:
SCALE:

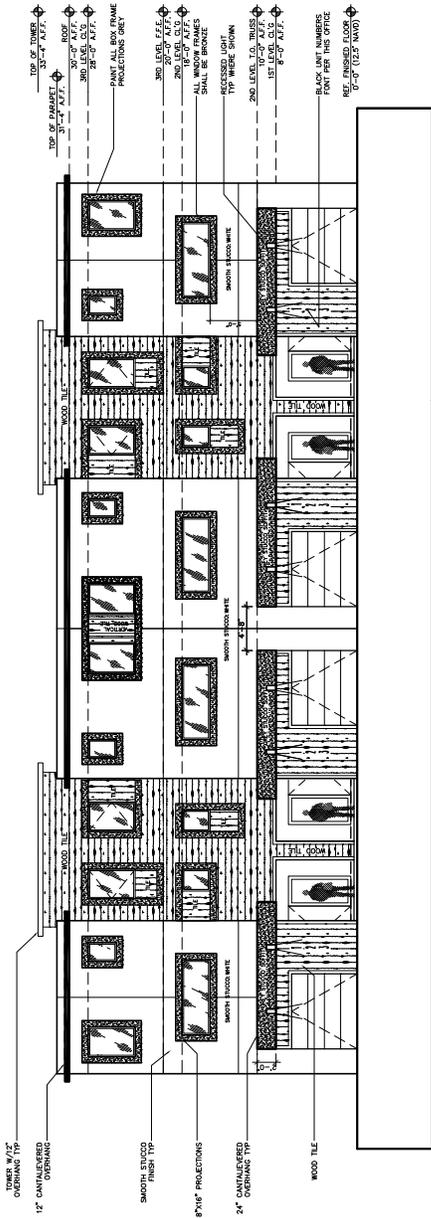
MULTIFAMILY PROJECT FOR:
MELALEUCA GARDENS
FOR SITE LOCATED AT
508-512 MELALEUCA DR., MARGATE, FL 33063

CONSTRUCTION DETAILS
DATE: 11/22/23

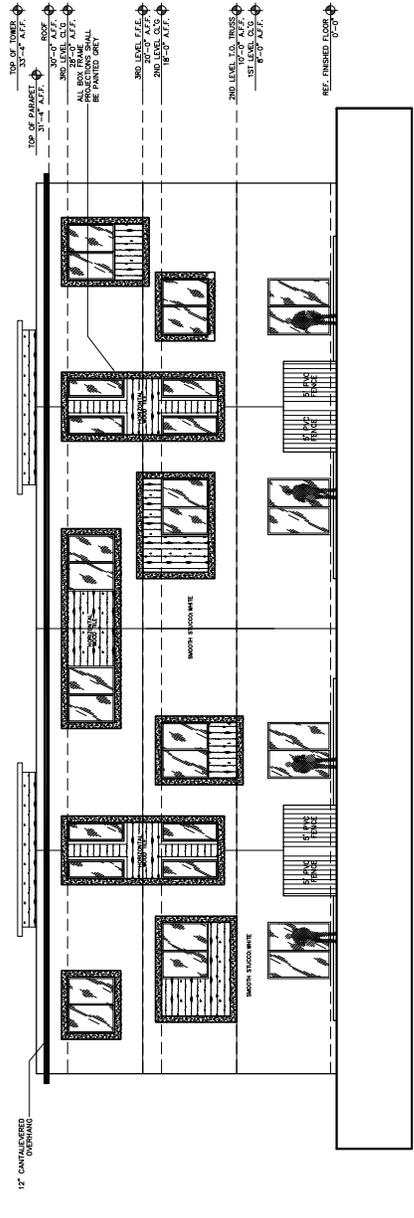
CURT APPEARANCE

DRAWN BY: JGC
CHECKED BY: JGC
PROJECT #:
SCALE:

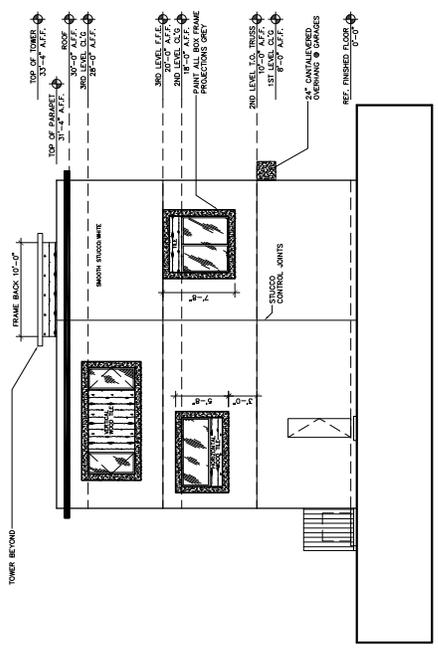
A12
12 OF 33



BUILDING C FRONT ELEVATION
SCALE: 3/16" = 1'-0"



BUILDING C REAR ELEVATION
SCALE: 3/16" = 1'-0"



BUILDING C SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

FINISH SCHEDULE

ID#	DESCRIPTION	MANUFACTURER	COLOR/PRODUCT	PHOTO	FINISH
1	TILE CLADDING	ATLAS CONCORDE CR EQUAL	ENTICED BROWN OAK ELEGANT		MATT - 7%*47% - GRIP RETIFIED
2	PAINT	SHERWINWILLIAMS	SW 7006 EXTRA WHITE		EGGSHELL
3	PAINT	SHERWINWILLIAMS	SW 7647 CRUSHED ICE		EGGSHELL
4	PAINT	SHERWINWILLIAMS	SW 7075 WEB GRAY		EGGSHELL
5	WINDOW FRAME/HARDWARE	ES WINDOWS	BLACK - UC4377		
6	WINDOW TINT		AZURE BLUE		LAMINATED

508 MELALEUCA FRONT ELEVATION

SCALE: 1/8" = 1'-0"



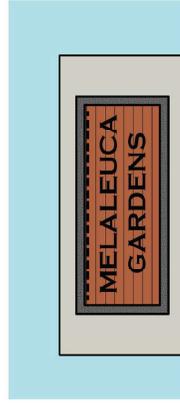
508 MELALEUCA REAR ELEVATION

SCALE: 1/8" = 1'-0"



MONUMENT SIGN ELEVATION

SCALE: 1/2" = 1'-0"



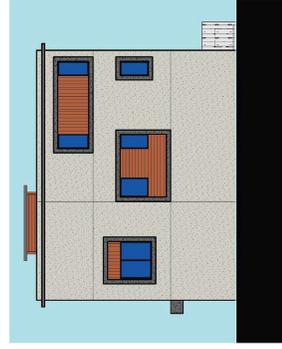
508 MELALEUCA LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



508 MELALEUCA RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



MULTIFAMILY PROJECT FOR:
MELALEUCA GARDENS
FOR SITE LOCATED AT
508-512 MELALEUCA DR., MARGATE, FL 33063

JAMES W. WILSON, AIA
ARCHITECT
1100 S. BIRDAVENUE
APT. 1000
MARGATE, FL 33063
PH: 904.281.1100
WWW.MELALEUCAGARDENS.COM

Prism Architecture
12194
2024.03.17
James G. Williams
Certified
Professional
Architect
FL 12194
-0199

REGISTERED BY:
PRISM ARCHITECTURE
ARCHITECTURE
LLC
STATE OF FLORIDA
12194-0199

DATE: 11.05.24
PROJECT #:
CHECKED BY:
CLIENT APPROVAL:
DATE: 11.05.24

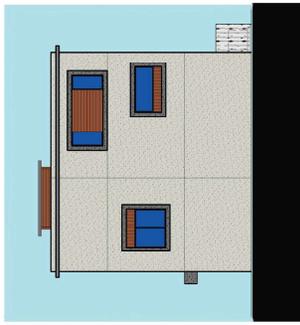
508



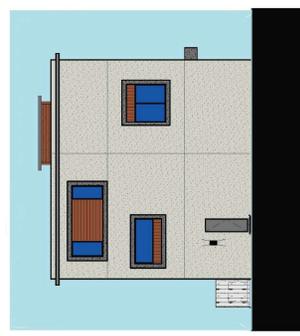
510 MELALEUCA FRONT ELEVATION
SCALE: 1/8" = 1'-0"



510 MELALEUCA REAR ELEVATION
SCALE: 1/8" = 1'-0"



510 MELALEUCA RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



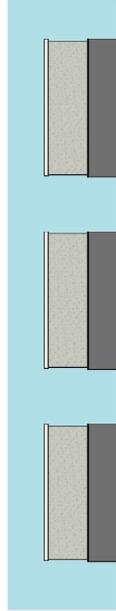
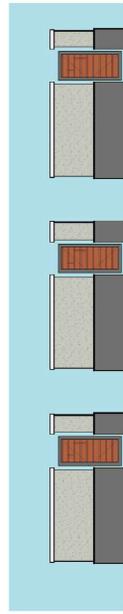
510 MELALEUCA LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

FINISH SCHEDULE

ID #	DESCRIPTION	MANUFACTURER	COLOR/PRODUCT	PHOTO	FINISH
1	TILE CLADDING	ATLAS CONCORDE OR EQUAL	ENICED BROWN OAK ELEGANT		MATT - 7% x 47% - GRIP RECTIFIED
2	PAINT	SHERWIN WILLIAMS	SW 7006 EXTRA WHITE		EGGSHELL
3	PAINT	SHERWIN WILLIAMS	SW 7547 CRUSHED ICE		EGGSHELL
4	PAINT	SHERWIN WILLIAMS	SW 7075 WEB GRAY		EGGSHELL
5	WINDOW FRAME/HARDWARE	ESWINDOWS	BLACK - UC40577		
6	WINDOW TINT		AZURE BLUE		LAMINATED

FINISH SCHEDULE

ID #	DESCRIPTION	MANUFACTURER	COLOR/PRODUCT	PHOTO	FINISH
1	TILE CLADDING	ATLAS CONCORDE OR EQUAL	ENTICED BROWN OAK ELEGANT		MATT - 7% *47% - GRIP RECTIFIED
2	PAINT	SHERWIN WILLIAMS	SW 7006 EXTRA WHITE		EGGSHELL
3	PAINT	SHERWIN WILLIAMS	SW 7617 CRUSHED ICE		EGGSHELL
4	PAINT	SHERWIN WILLIAMS	SW 7005 WEBB GRAY		EGGSHELL
5	WINDOW FRAME, HARDWARE	ES WINDOWS	BLACK - UC40577		
6	WINDOW TINT		AZURE BLUE		LAMINATED



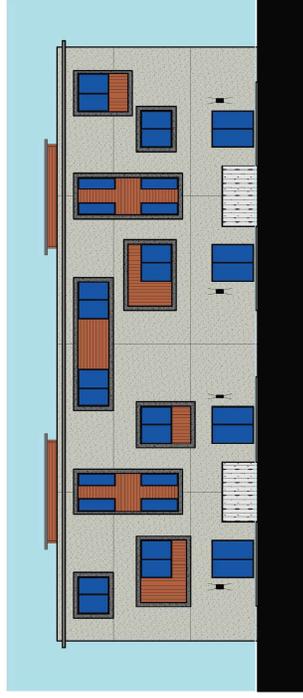
ENCLOSURE ELEVATIONS

SCALE: 1/4" = 1'-0"



512 MELALEUCA FRONT ELEVATION

SCALE: 1/8" = 1'-0"



512 MELALEUCA REAR ELEVATION

SCALE: 1/8" = 1'-0"



512 MELALEUCA LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



512 MELALEUCA RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

