

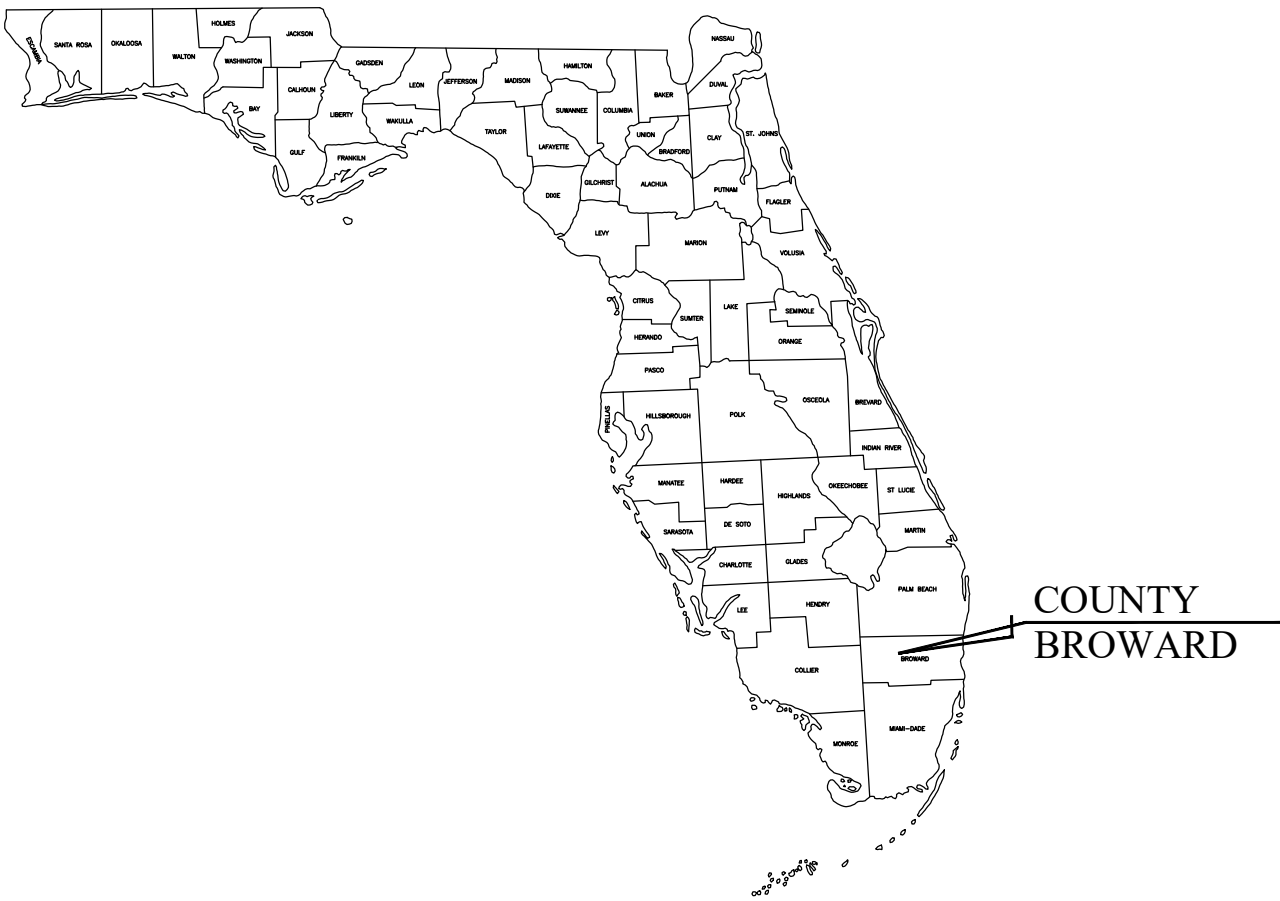
SITE PLAN/ SPECIAL EXCEPTION APPLICATION
FOR

CLUTCH COFFEE

FOLIO #484231150016

5300 COCONUT CREEK PKWY.

MARGATE, FLORIDA 33083



PREPARED FOR:
CLUTCH COFFEE EXPANSION, LLC
MAY 2020

PROJECT LOCATION

PROJECT CONTACTS:

OWNER:
CLUTCH COFFEE EXPANSION, LLC
112 DAVENTRY PLACE
MOORESVILLE, NC 28117
(541) 643-1144
CONTACT: DARREN SPICER

ARCHITECT:
PRISM ARCHITECTURE
100 SE 3RD AVE.,
FORT LAUDERDALE, FL 33394
(561) 719-4224
CONTACT: MICHAEL GARRISON

ENGINEER OF RECORD:
DYNAMIC ENGINEERING CONSULTANTS, P.C.
100 NE 5TH AVE, SUITE B2
DELRAY BEACH, FL 33483
(561) 921-8570
CONTACT: MICHAEL D. MILES, P.E.

LANDSCAPE ARCHITECT:
SCOTT BARBER DESIGNS, PA.
1551 WYNDCLIFF DR.
WELLINGTON, FL 33414
(561) 309-7263
CONTACT: SCOTT BARBER

SURVEYOR:
POLICE LAND SURVEYORS, INC.
5381 NOB HILL RD.
SUNRISE, FL 33351
(954) 572-1777
CONTACT: JOHN F. POLICE

TRAFFIC ENGINEER:
KBP CONSULTING, INC.
8400 N UNIVERSITY DR, STE. 309,
TAMARAC, FL 33321
(954) 560-7103
CONTACT: KARL B. PETERSON, P.E.

LAND USE ATTORNEY:
DUNAY, MISKEL & BACKMAN, LLP
14 SE 4TH ST, STE. 36,
BOCA RATON, FL 33432
(561) 405-3350
CONTACT: MATTHEW H. SCOTT

AGENCY CONTACTS:

PLANNING AND ZONING:
THE CITY OF MARGATE
901 NW 66TH AVE
MARGATE, FL 33063
(954) 979-6213
CONTACT: ANDREW PINNEY

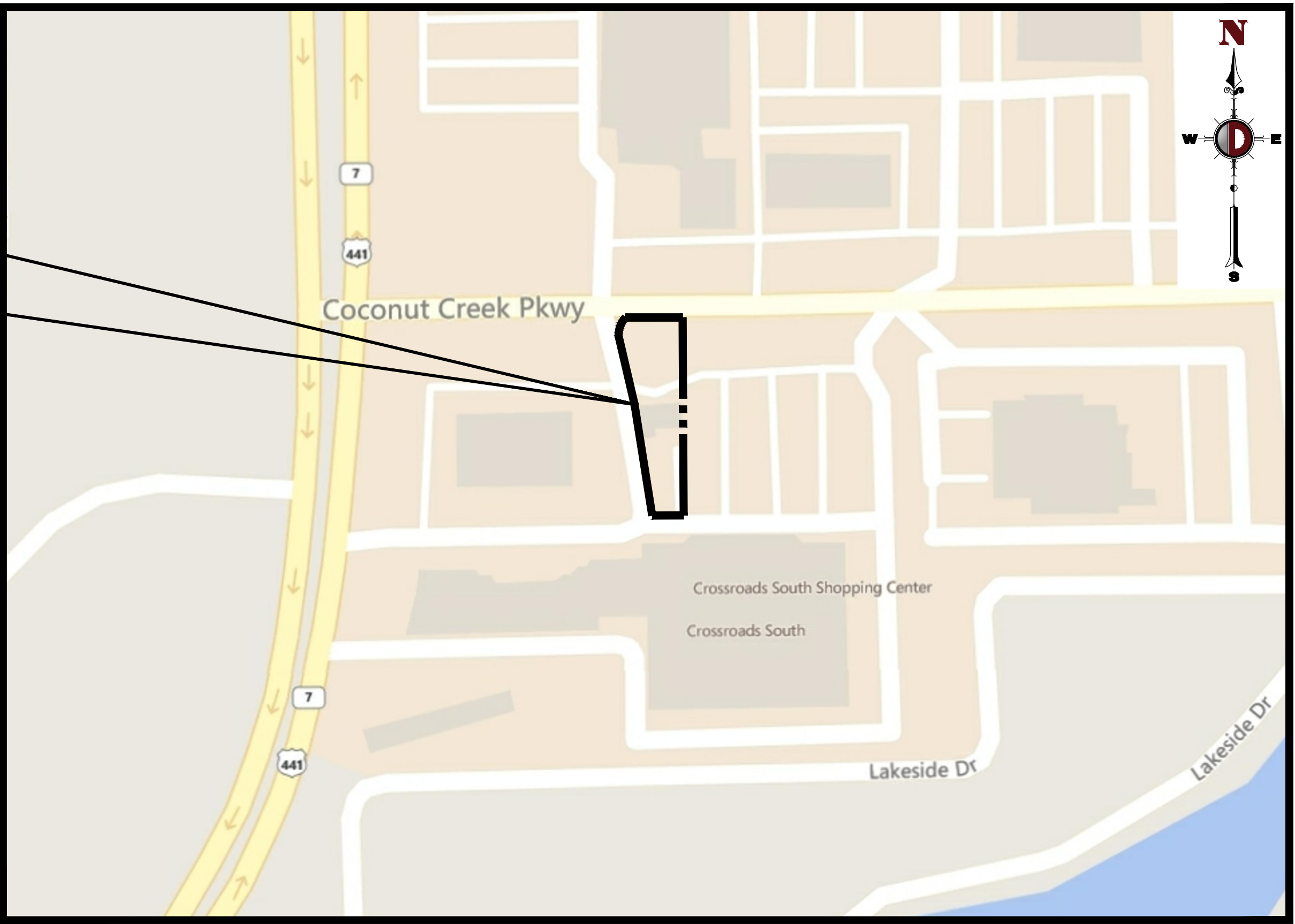
PLANNING AND ZONING:
THE CITY OF MARGATE
901 NW 66TH AVE
MARGATE, FL 33063
(954) 884-3685
CONTACT: ALEXIA HOWALD

FIRE RESCUE:
CITY OF MARGATE
1811 BANKS RD.
MARGATE, FL 33063
(954) 971-7010
CONTACT: ROBERTO LORENZO

UTILITIES:
CITY OF MARGATE UTILITIES DIVISION
901 NW 66TH AVE
MARGATE, FL 33063
(954) 972-0828
CONTACT: DANIELLA HILL

CABLE UTILITIES:
COMCAST
2501 SW 145TH AVE
MIRAMAR, FL 33027
(754) 221-1254
CONTACT: LEONARD MAXWELL-NEUBOLD

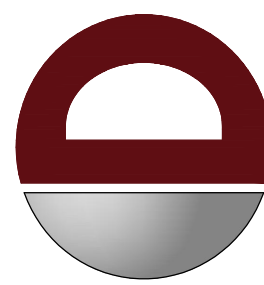
ELECTRIC UTILITIES:
FLORIDA POWER & LIGHT
3951 POWERLINE ROAD,
POMPANO BEACH, FL 33073
(386) 586-6403
CONTACT: JOEL BRAY



VICINITY MAP
SCALE: NOT TO SCALE
SECTION 30, TOWNSHIP 48S, RANGE 42E

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
100 N.E. 5TH AVENUE - SUITE B2
DELRAY BEACH, FLORIDA 33483
WWW.DYNAMICEC.COM

DRAWING INDEX	
C0.00	COVER SHEET
C1.00	SITE PLAN
C1.01	LOADING TRUCK ROUTE PLAN
C1.02	REFUSE TRUCK ROUTE PLAN
C2.00	DEMOLITION AND EROSION CONTROL PLAN
C3.00	PAVING, GRADING AND DRAINAGE PLAN
C4.00	CONSTRUCTION DETAILS
C4.01	CONSTRUCTION DETAILS
C5.00	PHOTOMETRIC PLAN
C5.01	PHOTOMETRIC DETAILS
C5.02	PHOTOMETRIC DETAILS
L1.00	LANDSCAPE PLAN
L1.01	LANDSCAPE DETAILS
L2.00	IRRIGATION PLAN
L2.01	IRRIGATION DETAILS
SHEETS BY OTHERS	
1 OF 4	EXISTING & DEMOLITION PLAN
2 OF 4	PROPOSED FLOOR PLAN
3 OF 4	ARCHITECTURAL ELEVATIONS
4 OF 4	ARCHITECTURAL ELEVATIONS
1 OF 1	ALTA NSPS LAND TITLE SURVEY



DYNAMIC
ENGINEERING • EARTH
SURVEY • TRAFFIC

THIS PLAN SET IS FOR PERMITTING PURPOSES
ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT:
CLUTCH COFFEE EXPANSION, LLC
5300 COCONUT CREEK PARKWAY
MARGATE, FL 33083

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING
100 NE 5th Avenue, Suite B2
DeLray Beach, FL 33483
T: 561.921.8570
Offices conveniently located at:
Lakeland, FL • T: 752.742.0198
Coral Gables, FL • T: 305.479.9292
Newport News, VA • T: 757.783.7200
Tampa Bay, FL • T: 727.974.1100
Hialeah, FL • T: 305.485.0075
Alhambra, CA • T: 951.244.2446
DeLray Beach, FL • T: 561.921.8570
Florida Certificate of Authorization No. 32535
www.dynamiccec.com

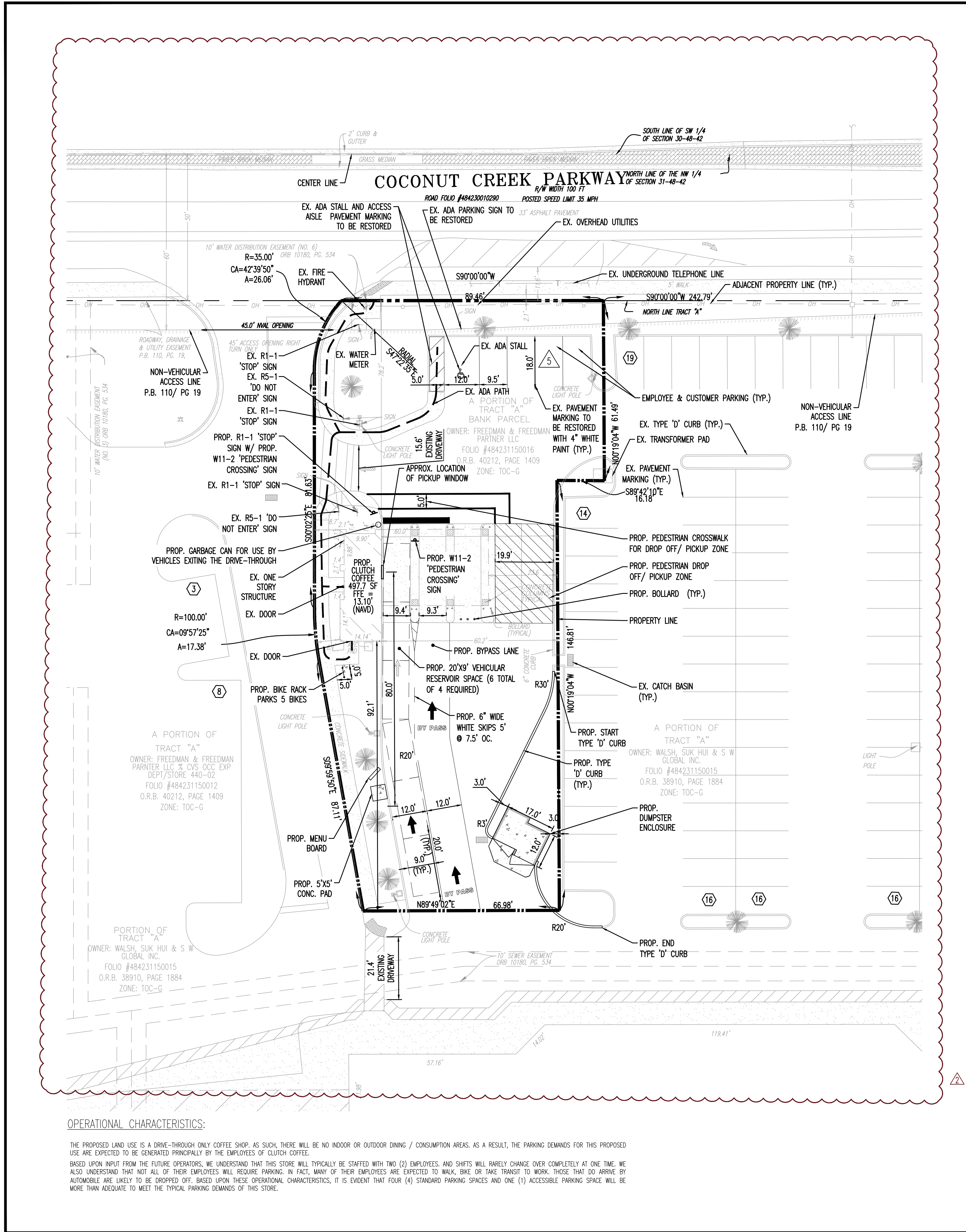
MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 11/20/2020

811
PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
ENGINEERS, DESIGNERS, OR ANY PERSON
PREPARING TO EXCAVATE THE EARTH'S
SURFACE ANYWHERE IN ANY STATE.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

TITLE:
COVER SHEET

SCALE (H) AS NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: **C0.00** Rev. #: **2**



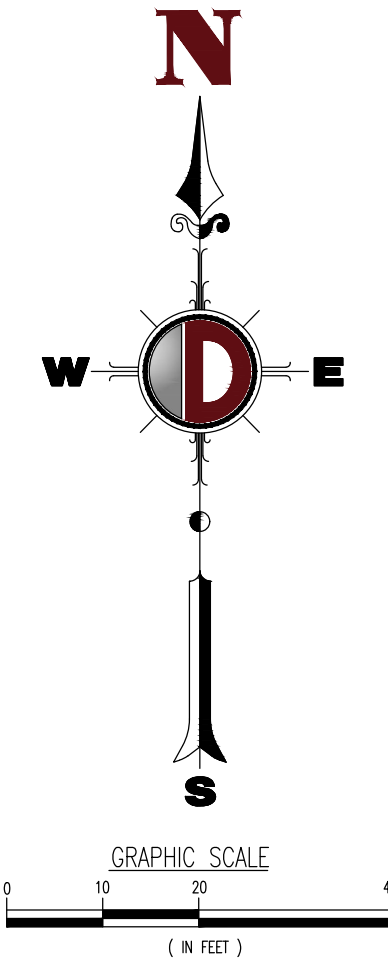
SITE DATA				
FOLIO NO.:	484231150016			
ADDRESS:	5300 COCONUT CREEK PARKWAY, CITY OF MARGATE, FL 33063			
ZONING DISTRICT:	TOC- G			
CURRENT USE:	ABANDONED FINANCIAL INSTITUTION			
PROPOSED USE:	DRIVE THROUGH ONLY COFFEE SHOP			
LEGAL DESCRIPTION:	A PORTION OF TRACT "A", "BRANDON-FARRIS DEVELOPMENTS PLAT NO.2" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 110, PAGE 19 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.			
HOURS OF OPERATION	5:00 AM - 9:00 PM			
DEVELOPMENT DATA				
LOT COVERAGE	EXISTING (SF)	PROPOSED (SF)	PROPOSED (AC)	PERCENTAGE (%)
GROSS ACREAGE:	17,443.00	17,443.00	0.4004	100.00%
PROJECT SITE AREA:	17,443.00	17,443.00	0.4004	100.00%
BUILDING GFA:	497.70	497.70	0.0114	2.85%
PAVEMENT & SIDEWALK AREAS:	13,483.82	12,946.74	0.2972	74.22%
TOTAL IMPERVIOUS (INCLUDES BUILDING):	13,981.52	13,444.44	0.3086	77.08%
LANDSCAPE/OPEN SPACE:	3,461.48	3,998.56	0.0918	22.92%
TOTAL PERVIOUS:	3,461.48	3,998.56	0.0918	22.92%
LOT DIMENSIONS	REQUIRED		PROVIDED	
MIN. LOT SIZE	100' FRONTAGE		89.46' (EXISTING)	
	10,000 SF		17,443.00 SF	
MAX. HEIGHT	100'		35' (+/-) (EXISTING)	
PARKING				
PARKING RATIO*:	REQUIRED	TYPE	EXISTING	PROPOSED
	N/A	STANDARD	4	4
		ADA	1	1
		TOTAL	5	5
BIKE PARKING RATIO:	1 SPACE/ 2,000 SF OF GFA	BICYCLE PARKING	0	1
		TOTAL	0	5
*SEE OPERATIONAL CHARACTERISTICS NOTES ON THIS SHEET				

SITE PLAN NOTES

- ALL CURBING IS TYPE 'D' UNLESS OTHERWISE STATED.
- TYPE 'D' CURB SHALL BE CONSTRUCTED PER LATEST FDOT INDEX 300.
- ALL DIMENSIONS SHOWN, OTHER THAN LANDSCAPE DIMENSIONS, ARE TO FACE OF CURB FOR TYPE 'D' CURB OR EDGE OF PAVEMENT FOR NO CURB, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPAIR AND ADDRESS POT HOLES AND PONDING WATER ON EXISTING PAVEMENT, SEALCOAT PARKING LOT, RE-STRIPE PARKING LOT, TRIM/CLEAN UP LANDSCAPING AREAS, REPLACE BROKEN LIGHT FIXTURES, REPLACE BROKEN DISABLED PARKING SIGNAGE, REMOVE UNUSED SIGN POST, PRESSURE CLEAN STAINS ON ROOF, REMOVE TRASH FROM SUBJECT PROPERTY, REMOVE RUSTED RED AND GREEN LIGHTS INSTALLED ON THE SOUTH SIDE OF THE EXISTING DRIVE THROUGH CANOPY THAT ARE USED FOR TRAFFIC CONTROL.

SIGN AND MARKING LEGEND:

	PROPOSED STOP BARS
	EXISTING STOP BARS
	PROPOSED WHITE PAINTED THROUGH LANE-USE ARROW IN DRIVE AISLES PER FDOT INDEX 711-001.
	PROPOSED YELLOW 8' WIDE 45' 4' O.C. PER MUTCD 3B.24.05
	EXISTING DIRECTIONAL ARROW
	EXISTING SIDEWALK
	PROPOSED CONCRETE PAD
	PARKING COUNT (ONSITE)
	PARKING COUNT (OFFSITE)
	5' ACCESS AISLE WHITE PAINTED STRIPING PER FDOT INDEX 711-001.
	PROPOSED 12' WHITE PEDESTRIAN CROSSWALK STRIPING, PER FDOT INDEX 711-001



DYNAMIC
ENGINEERING • SURVEY • TRAFFIC

2	11/13/20	UPC COMMENTS	ACM	ACM	BY
1	08/25/20	UPC COMMENTS	ACM	ACM	BY
REV.	DATE	COMMENTS			

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DRAWN BY: JCP
CHECKED BY: JCP
DESIGNED BY: JCP
MDM
ACM

PROJECT: **CLUTCH COFFEE EXPANSION, LLC**
DRIVE-THROUGH COFFEE SHOP
5300 COCONUT CREEK PARKWAY
MARGATE, FL 33063

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING
100 NE 5th Avenue, Suite B2
Delray Beach, FL 33483
T: 561.921.8570
Offices conveniently located at:
Lakeland, FL • T: 772.974.0198
Cape Coral, FL • T: 941.879.9299
Newport News, VA • T: 757.783.7200
Tampa Bay, FL • T: 727.974.0198
Hialeah, FL • T: 305.465.0074
Arlington, VA • T: 703.454.0100
New York, NY • T: 212.789.4400
Austin, TX • T: 512.446.2446
Delray Beach, FL • T: 561.921.8570
Florida Certificate of Authorization No. 32535
www.dynamicce.com

MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 11/20/2020

811
PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
ENGINEERS, DESIGNERS, OR ANY PERSON
PREPARING TO DIGEST THE EARTH'S
SURFACE ANCHORS IN ANY STATE.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

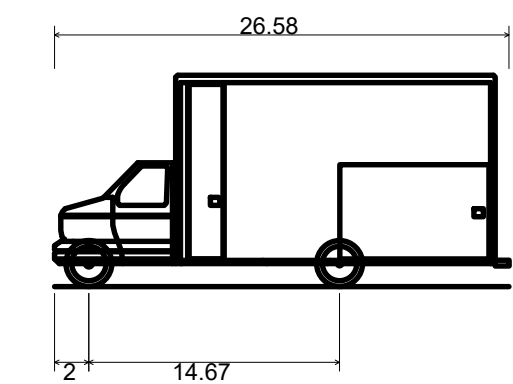
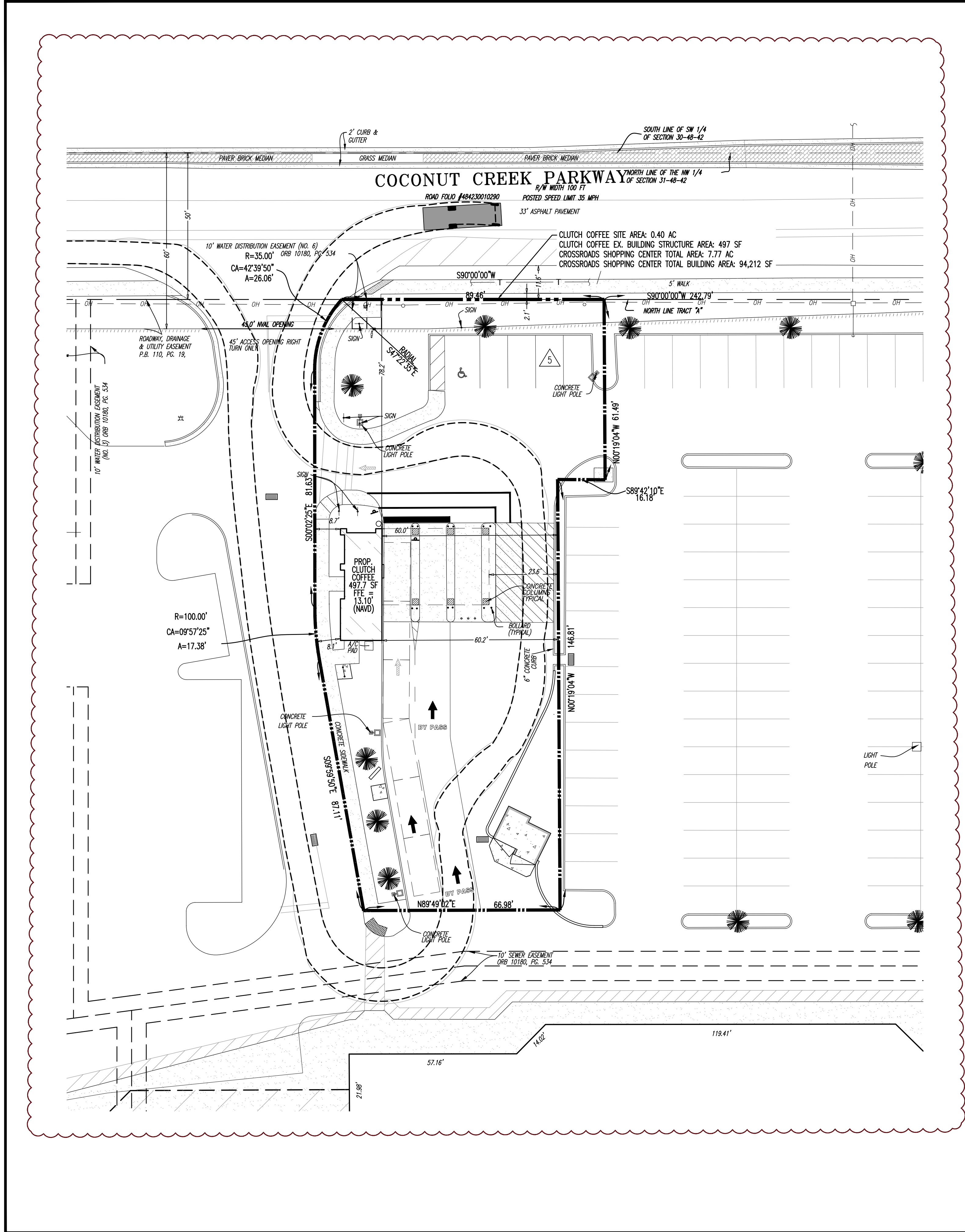
TITLE:
SITE PLAN

SCALE (H) AS
(N) NOTED
PROJECT No:
3422-99-001

SHEET No:
C1.00

DATE:
06/01/2020

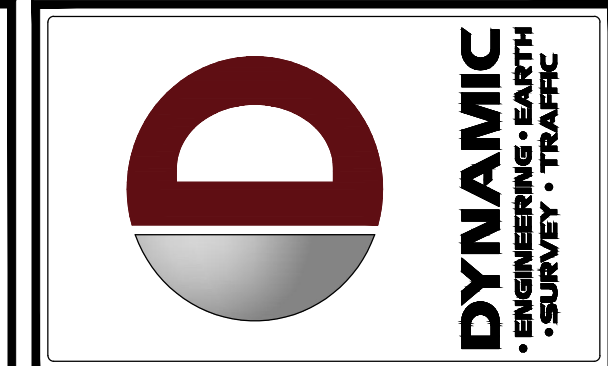
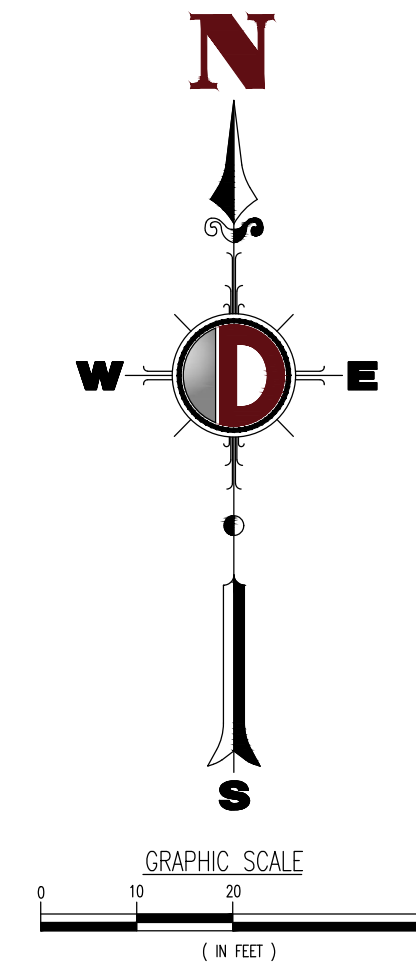
Rev. #:
2



20 FT UHAUL
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Steering Angle (Virtual)

26.580ft
7.670ft
12.353ft
1.204ft
7.670ft
5.00s
31.80°

LOADING TRUCK



REV.	DATE	COMMENTS	BY
2	11/13/20	UPC COMMENTS	ACM
1	08/25/20	UPC COMMENTS	ACM

THIS PLAN SET IS FOR PERMITTING PURPOSES
ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY: JCP
CHECKED BY: JCP
MDM
ACM

PROJECT: **CLUTCH COFFEE EXPANSION, LLC**
DRIVE-THROUGH COFFEE BAR
5530 COCONUT CREEK PARKWAY
MARGATE, FL 33063

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

100 NE 5th Avenue, Suite B2
Delray Beach, FL 33483
T: 561.921.8570

Offices conveniently located at:
Lakeland, FL • T: 772.747.0198
Chandler, AZ • T: 480.879.0202
Newport, NJ • T: 973.753.7200
Tampa, FL • T: 813.747.1198
Houston, TX • T: 281.465.0274
Austin, TX • T: 512.444.2446
Delray Beach, FL • T: 561.921.8870

Florida Certificate of Authorization No. 32535
www.dynamicce.com

MICHAEL D. MILES

PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 11/20/2020

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
ENGINEERS, DESIGNERS, OR ANY PERSON
PREPARING TO EXCAVATE THE EARTH'S
SURFACE ANCHORS IN ANY STATE.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

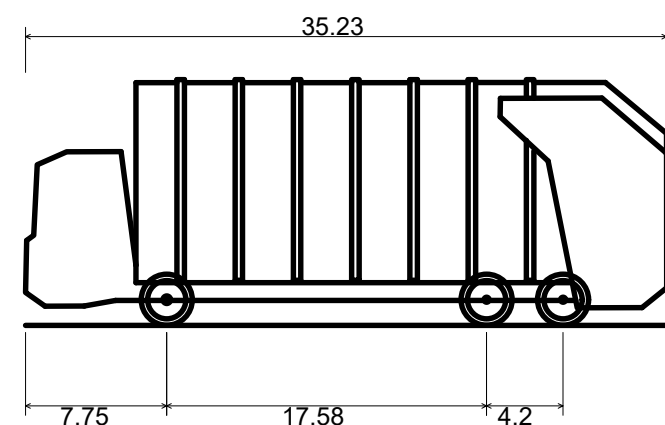
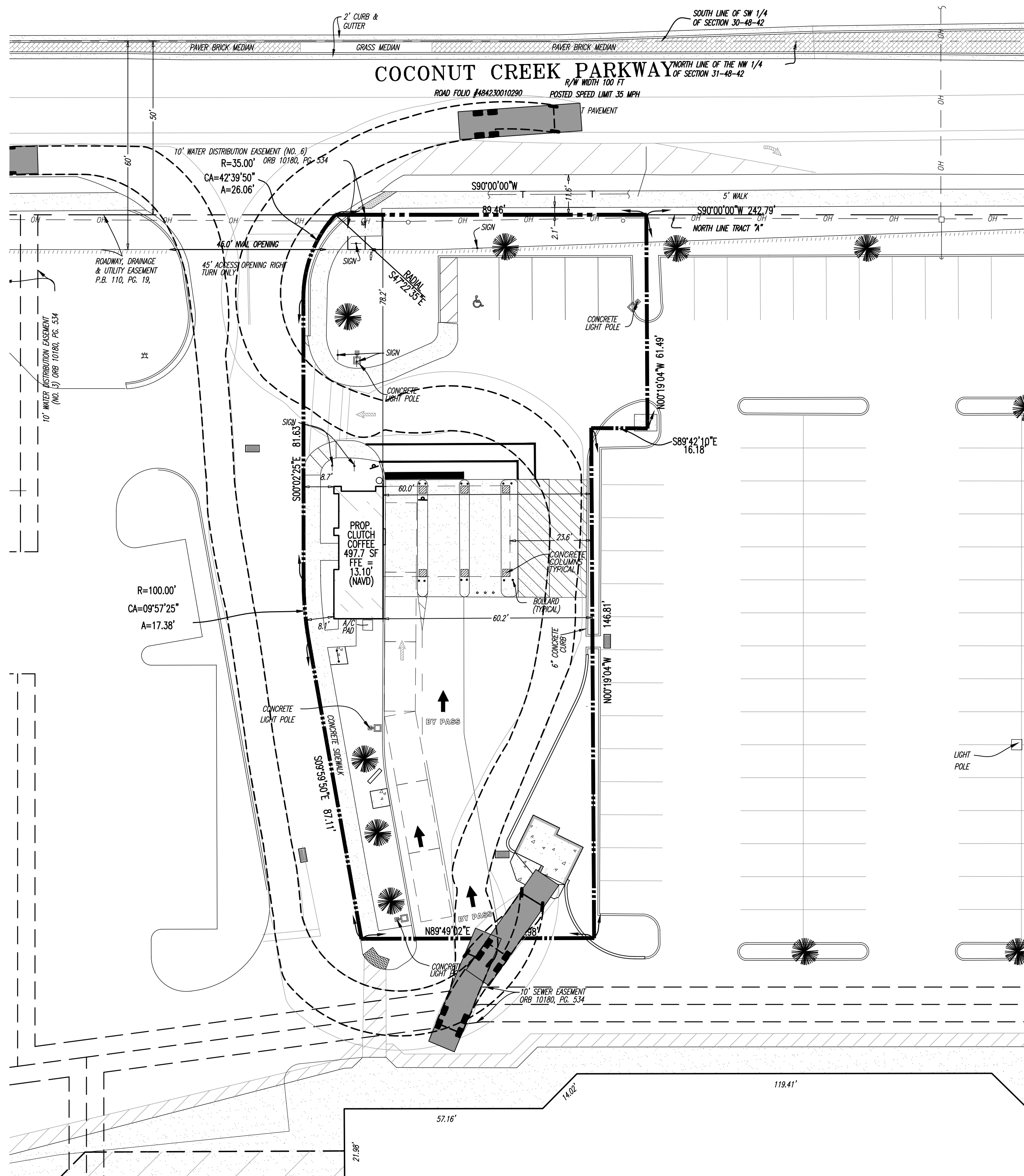
TITLE:
**LOADING TRUCK
ROUTE PLAN**

SCALE: (H) AS NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: **C1.01** Rev. #: **2**

Plotted: 12/02/20 - 2:24 PM, By: jparkinson
File: F:\DEPC PROJECTS\4422 Clutch Coffee Expansion, LLC\99-001 Clutch Coffee- Margate Dwg\Entitlements\442299001\SXS.dwg, ----> C1.02 REFUSE TRUCK ROUTE PLAN

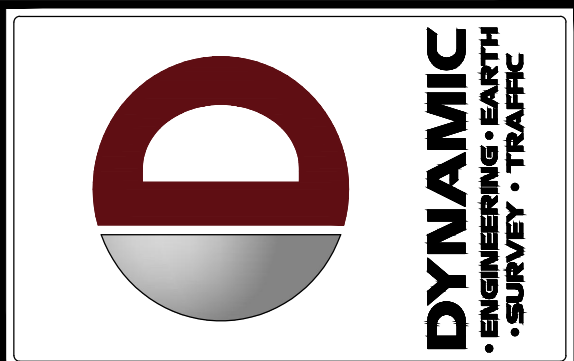
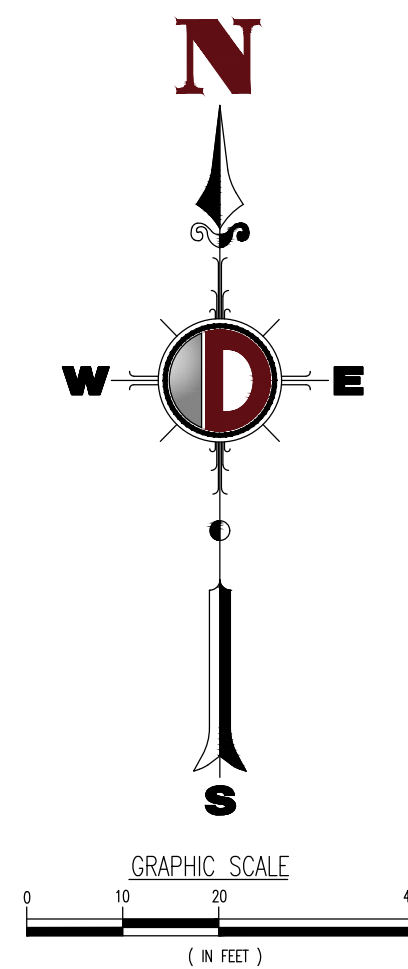
COPYRIGHT © 2020 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED



Refuse (Front Load)
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

35.230ft
8.000ft
13.500ft
0.961ft
8.000ft
6.00s
33.90°

REFUSE TRUCK



REV.	DATE	COMMENTS	BY
1	08/25/20	UPC COMMENTS	ACM
2	11/13/20	UPC COMMENTS	ACM

THIS PLAN SET IS FOR PERMITTING PURPOSES
ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY: JCP
CHECKED BY: JCP
DRAWN BY: JCP
MDM
ACM

PROJECT: CLUTCH COFFEE EXPANSION, LLC
DRIVE-THROUGH COFFEE BAR
5500 COCONUT CREEK PARKWAY
MARGATE, FL 33063

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

100 NE 5th Avenue, Suite B2
Delray Beach, FL 33483
T: 561.921.8570

Offices conveniently located at:
Lakeland, FL • T: 752.974.0198
Cape Coral, FL • T: 941.879.0001
Newport News, VA • T: 757.753.7200
Tampa Bay, FL • T: 727.974.0198
Houston, TX • T: 281.789.4400
Austin, TX • T: 512.446.2446
Delray Beach, FL • T: 561.921.8570

Florida Certificate of Authorization No. 32535
www.dynamiccec.com

MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 11/20/2020

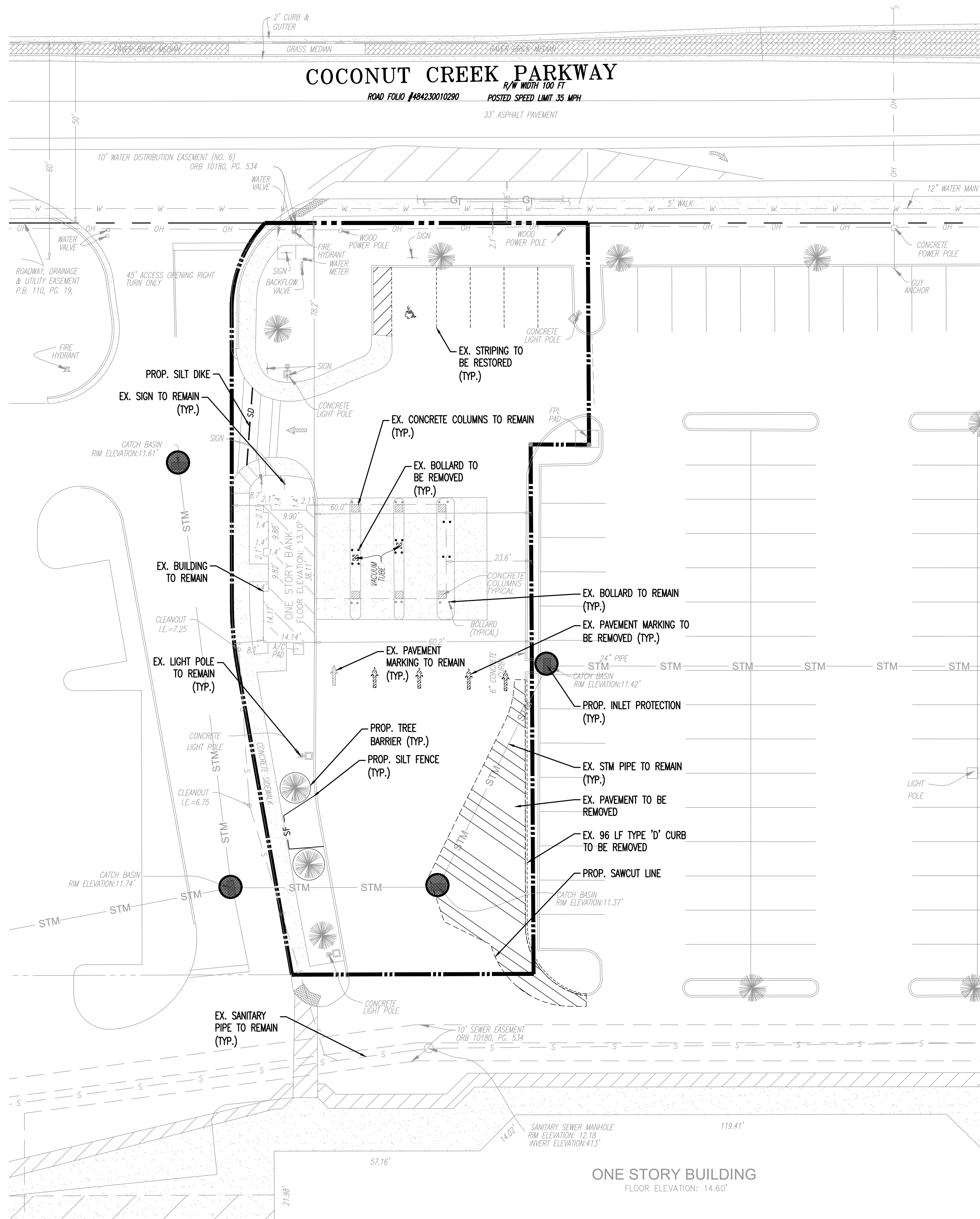
811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
ENGINEERS, DESIGNERS, OR ANY PERSON
PREPARING TO EXCAVATE THE EARTH'S
SURFACE AND/OR IN ANY STATE.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

TITLE:
REFUSE TRUCK
ROUTE PLAN

SCALE (H) AS NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: C1.02 Rev. #: 2

Plotted: 12/02/20 - 2:24 PM, By: jparkinson
File: F:\DEPC PROJECTS\1422 Clutch Coffee Expansion, LLC\09-001 Clutch Coffee- Mangata Dwg\Entitlements\1342299001SR0.dwg, ----> DEMOLITION AND EROSION CONTROL PLAN



DEMOLITION NOTES:

- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- REFER TO LANDSCAPE PLANS FOR TREE REMOVAL, RELOCATION, AND PROTECTION INFORMATION. ANY AREAS FOR LANDSCAPING SHALL HAVE ALL BASE AND SUBGRADE MATERIAL REMOVED TO A DEPTH OF 3 FEET.
- ALL VALVE BOXES, MANHOLES, CATCH BASINS, AND OTHER ITEMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
- THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
- THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION AND DEMATERING PERMITS, IF APPLICABLE.
- ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE.
- CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ARBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
- CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
- WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS. CONTRACTOR SHALL REPLACE DAMAGED STRUCTURES AT THEIR EXPENSE.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. AS APPROVED BY THE CITY OF PALM BEACH GARDENS AND CONSTRUCTION MANAGER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES AND CONSTRUCTION OF NEW FACILITIES. SIGNAGE SHALL BE POSTED TO DIRECT THE PUBLIC TO THE PATH OF TRAVEL.
- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.

EROSION CONTROL NOTES:

- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
- ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
- AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
- SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEARED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
- EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND COUNTY PERMITS.
- CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEMATERING ACTIVITIES.
- CONTRACTOR MUST INCORPORATE MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
- THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
- NOI SHALL BE POSTED ON SITE.
- DEMATERING ACTIVITIES:
 - DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
 - CONTRACTOR MUST HAVE A TRANSFERABLE SWPPP DEMATERING PERMIT.
 - NO HYDRAULIC PUMPS MAY BE USED FOR DEMATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA.
- CONTRACTOR TO REPAIR AND ADDRESS POT HOLES AND PONING WATER ON EXISTING PAVEMENT, SEALCOAT PARKING LOT, RE-STRIPE PARKING LOT, TRIM/CLEAN UP LANDSCAPING AREAS, REPLACE BROKEN LIGHT FIXTURES, REPLACE BROKEN DISABLED PARKING SIGNAGE, REMOVE UNUSED SIGN POST, PRESSURE CLEAN STAINS ON ROOF, REMOVE TRASH FROM SUBJECT PROPERTY, REMOVE RUSTED RED AND GREEN LIGHTS INSTALLED ON THE SOUTH SIDE OF THE EXISTING DRIVE THROUGH CANOPY THAT ARE USED FOR TRAFFIC CONTROL.

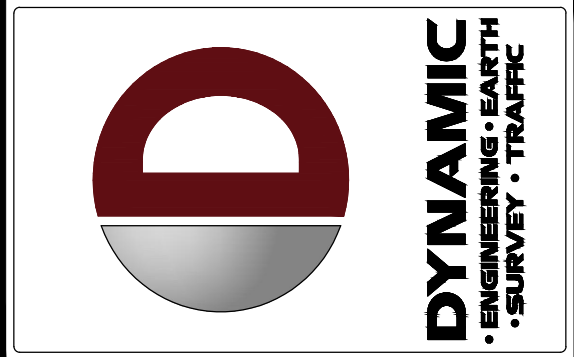
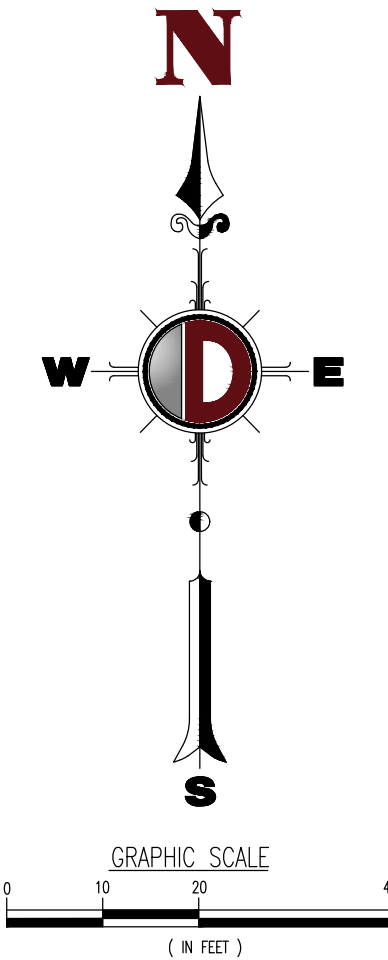
PHASING NOTES:

- CONTRACTOR MAY PHASE EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH SITE CONSTRUCTION PHASING.
- CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION AREA IS SEPARATED FROM THE AREA NOT UNDER CONSTRUCTION WITH A TEMPORARY CHAIN LINK FENCE AND ENSURE THE SAFETY OF THE PUBLIC.
- CONTRACTOR SHALL PROVIDE SWPPP AS REQUIRED FOR THE PROPOSED PAVING, GRADING AND DRAINAGE PLAN. SEE ATTACHED DETAILS AS NECESSARY.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE												
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH SPECIFIC PROJECT SCHEDULE												
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION ENTRANCE												
TEMPORARY CONTROL MEASURES												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												

LEGEND:

- LIMITS OF EXISTING SITE FEATURES TO BE REMOVED
- TREE BARRIER
- SF — SILT FENCE
- INLET PROTECTION
- SD — SILT DIKE
- EXISTING CURB TO BE REMOVED
- ▨ EXISTING PAVEMENT TO BE REMOVED



REV	DATE	COMMENTS	BY
1	08/25/20	UPC COMMENTS	ACM
2	11/13/20	UPC COMMENTS	ACM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **CLUTCH COFFEE EXPANSION, LLC**
DRIVE-THROUGH COFFEE BAR
5530 COCONUT CREEK PARKWAY
MARGATE, FL 33063

CHECKED BY: _____
DRAWN BY: JCP

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

100 NE 5th Avenue, Suite B2
Delray Beach, FL 33483
T: 561.921.8570

Offices conveniently located at:
Lakeland, FL • 1.752.974.0198
Cape Coral, FL • 1.941.879.9299
Newport News, VA • 1.757.753.7200
Tampa Bay, FL • 1.757.974.0198
Hialeah, FL • 1.305.465.0075
Alhambra, CA • 1.926.454.0100
New York, NY • 1.201.789.6400
Austin, TX • 1.512.446.2446
Delray Beach, Florida • T: 561.921.8570

Florida Certificate of Authorization No. 32535
www.dynamiccec.com

MICHAEL D. MILES

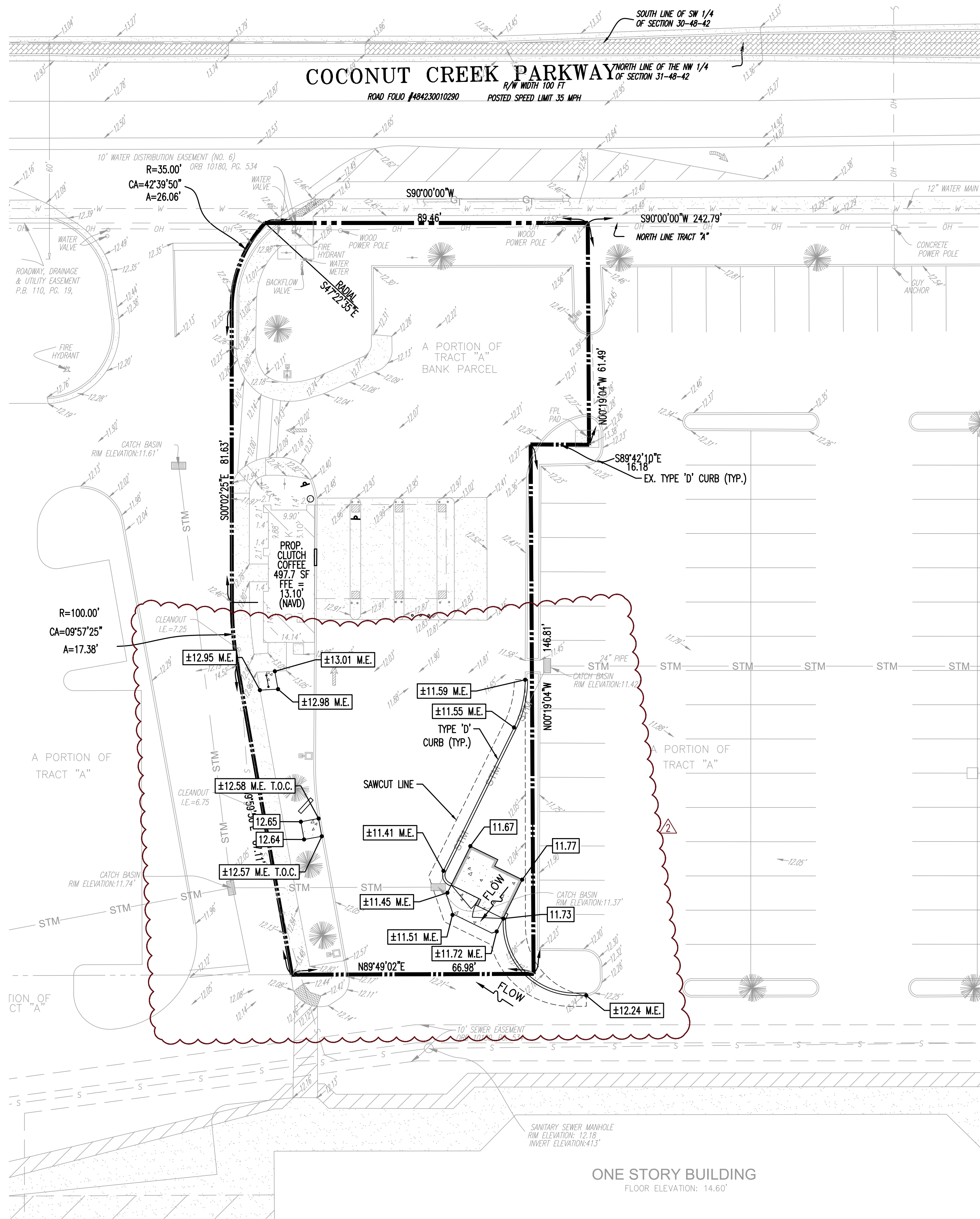
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 11/20/2020

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
EXCAVATORS, DESIGNERS, OR ANY PERSON
PREPARING TO EXCAVATE THE EARTH'S
SURFACE ANYWHERE IN ANY STATE.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

TITLE: **DEMOLITION AND EROSION CONTROL PLAN**

SCALE: (H) AS NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: **C2.00** Rev. #: **2**

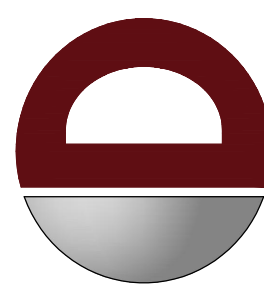
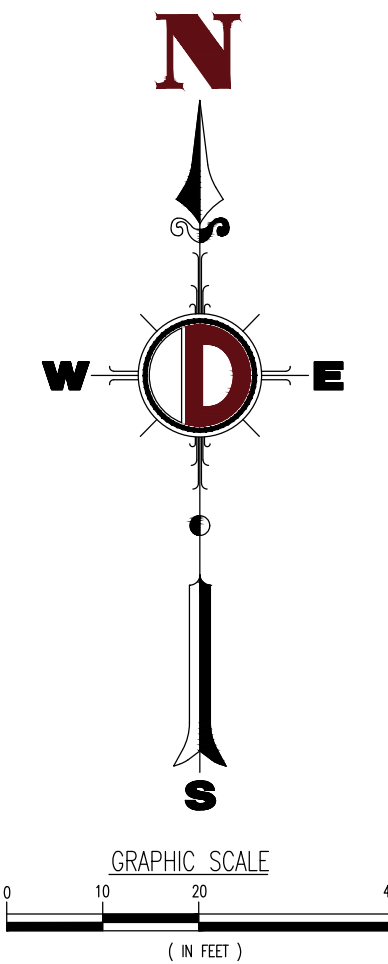


PAVING, GRADING & DRAINAGE NOTES:

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL, COUNTY OR FOOT REQUIREMENTS.
2. ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. '88).
3. THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0%. THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 1V:12H (8.3%). ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2.0% IN ANY DIRECTION (INCLUDING DIAGONAL).
4. ALL RAMPS SHALL COMPLY WITH FOOT INDEX 522.
5. CONTRACTOR SHALL CLEAN ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AND PIPES UPON COMPLETION OF CONSTRUCTION.
6. PROPOSED ELEVATIONS OF CURB REPRESENT TOP OF CURB ELEVATIONS UNLESS OTHERWISE NOTED.
7. ALL STRIPING IS TO BE PAINTED IN ACCORDANCE WITH FOOT REQUIREMENTS UNLESS OTHERWISE NOTED.
8. ALL PAVEMENT MARKING AND STRIPING, EXCLUDING PARKING STALL STRIPING, SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS.
9. CONTRACTOR TO REPAIR AND ADDRESS POT HOLES AND PONDING WATER ON EXISTING PAVEMENT, SEAL/COAT PARKING LOT, RE-STRIP PARKING LOT, TRIM/CLEAN UP LANDSCAPING AREAS, REPLACE BROKEN LIGHT FIXTURES, REPLACE BROKEN DISABLED PARKING SIGNAGE, REMOVE UNUSED SIGN POST, PRESSURE CLEAN STAINS ON ROOF, REMOVE TRASH FROM SUBJECT PROPERTY, REMOVE RUSTED RED AND GREEN LIGHTS INSTALLED ON THE SOUTH SIDE OF THE EXISTING DRIVE THROUGH CANOPY THAT ARE USED FOR TRAFFIC CONTROL.

LEGEND:

- EXISTING CONCRETE SIDEWALK & PAVEMENT SECTIONS
- PROPOSED CONCRETE SIDEWALK & PAVEMENT SECTIONS
- PROPOSED GRADES
- MATCH EXISTING GRADES @ TOP OF CURB
- EXISTING GRADES
- DIRECTION OF FLOW



DYNAMIC
ENGINEERING • EARTH
SURVEY • TRAFFIC

THIS PLAN SET IS FOR PERMITTING PURPOSES
ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DRAWN BY: JCP CHECKED BY: MDW
JCP MDW

PROJECT: **CLUTCH COFFEE EXPANSION, LLC**
DRIVE-THROUGH COFFEE BAR
5330 COCONUT CREEK PARKWAY
MARGATE, FL 33063

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING
100 NE 5th Avenue, Suite 82
Delray Beach, FL 33483
T: 561.921.8570
Offices conveniently located at:
Lakeland, FL • T: 752.742.0198
Chandler, AZ • T: 480.879.5099
Newark, NJ • T: 973.753.7200
Tampa, FL • T: 727.974.1198
Houston, TX • T: 281.465.0075
Aliso Viejo, CA • T: 949.454.0100
New York, NY • T: 201.789.4400
Austin, TX • T: 512.446.2446
Delray Beach, FL • T: 561.921.8870
Florida Certificate of Authorization No. 32535
www.dynamicce.com

MICHAEL D. MILES

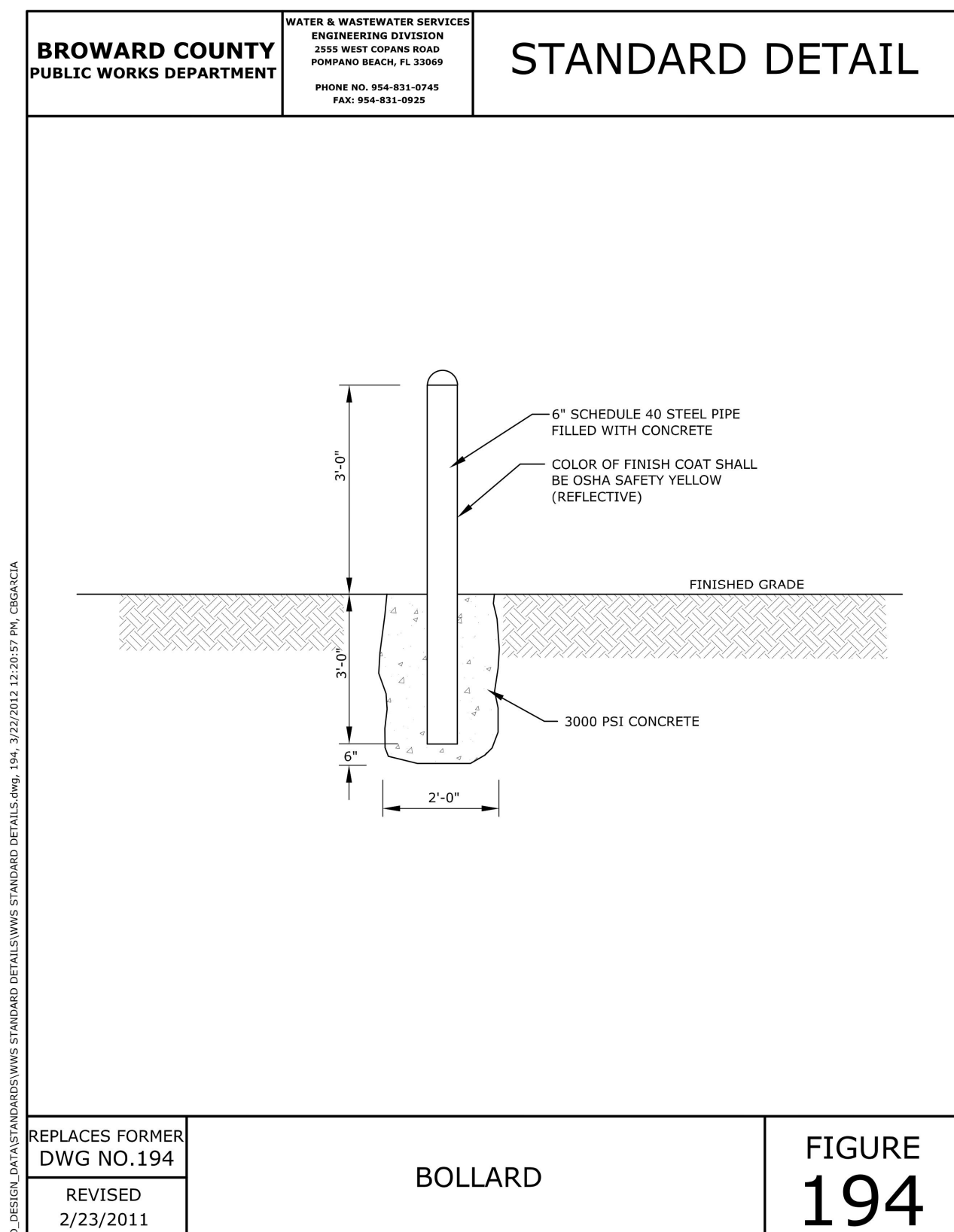
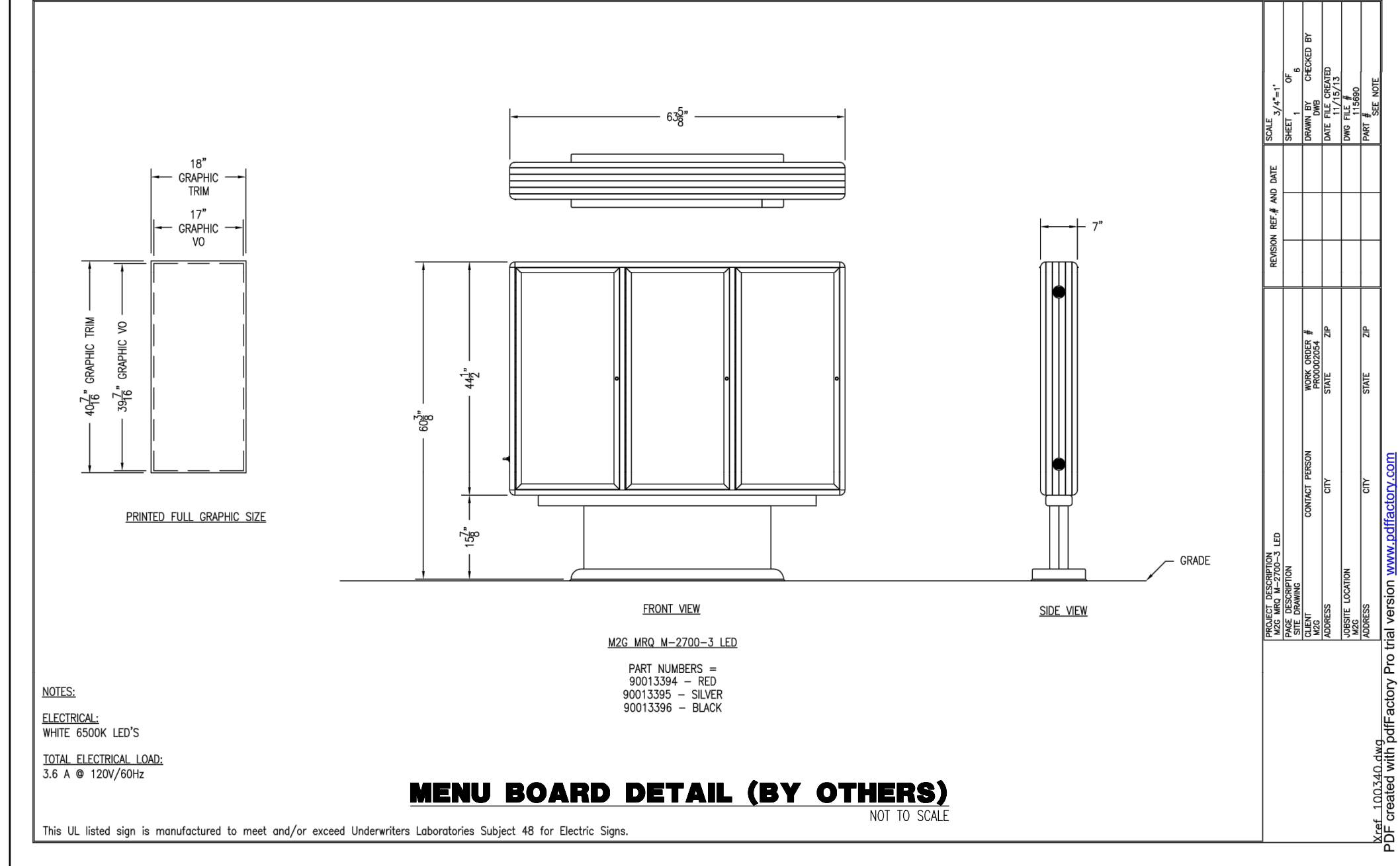
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 11/20/2020

811
PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
EXCAVATORS, DESIGNERS, OR ANY PERSON
PREPARING TO EXCAVATE THE EARTH'S
SURFACE ANYWHERE IN ANY STATE.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

TITLE:
**PAVING, GRADING
AND DRAINAGE PLAN**

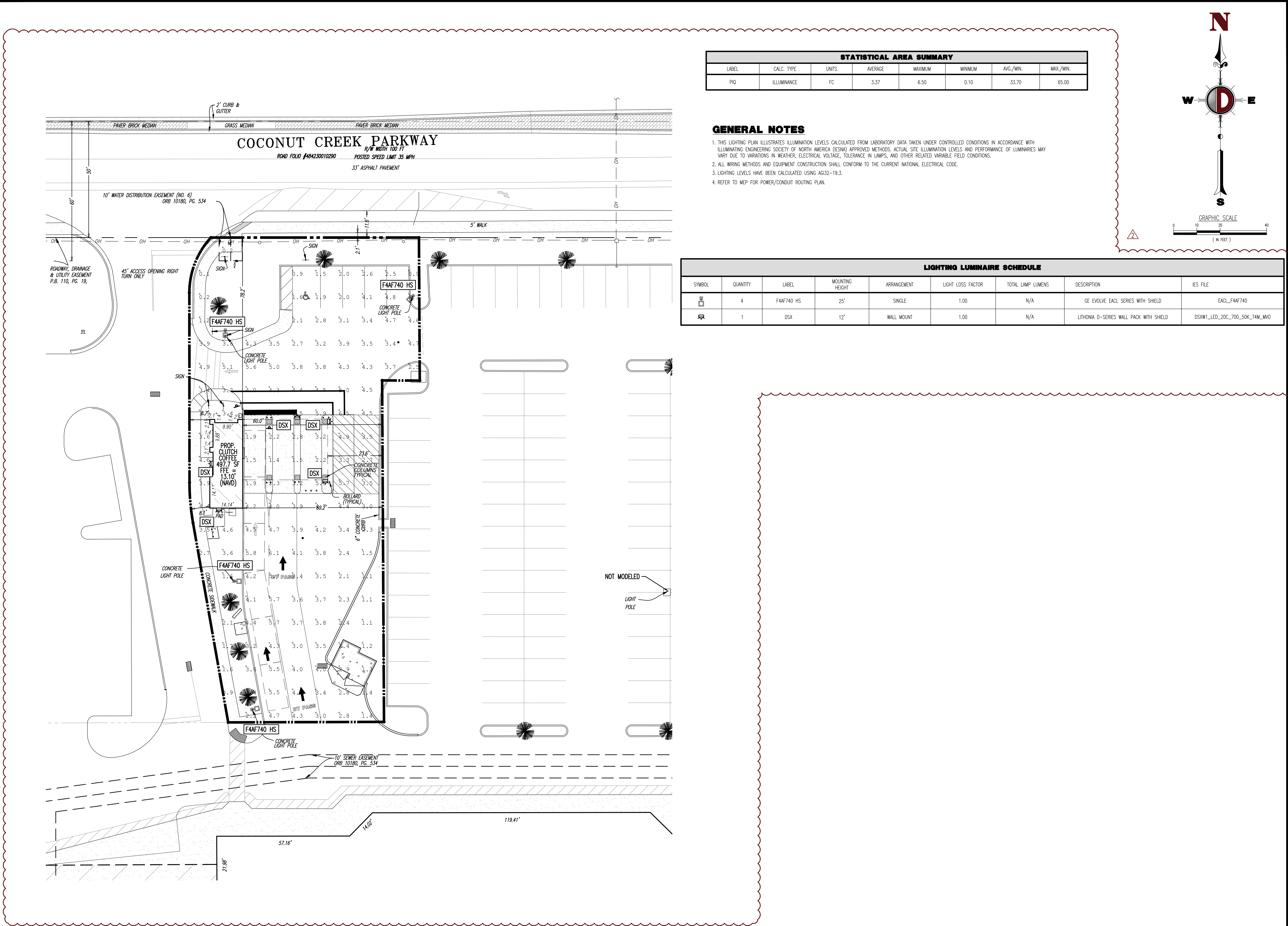
SCALE: (H) AS NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: **C3.00** Rev. #: **2**



COPYRIGHT © 2020 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED

Plotted: 12/02/20 - 2:25 PM, By: jparkinson
File: F:\DEPC PROJECTS\422 Clutch Coffee Expansion, LLC\99-001 Clutch Coffee- Margate Dwg\Entitlements\03-2299001ISO.dwg, ----> PHOTOMETRIC PLAN

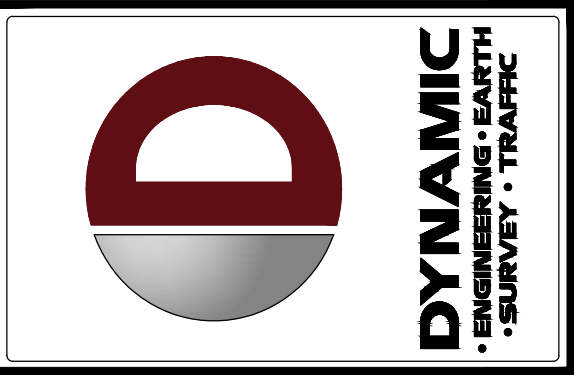


STATISTICAL AREA SUMMARY							
LABEL	CALC. TYPE	UNITS	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.
PIQ	ILLUMINANCE	FC	3.37	6.50	0.10	33.70	65.00

GENERAL NOTES

1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
3. LIGHTING LEVELS HAVE BEEN CALCULATED USING AG32-19.3.
4. REFER TO MEP FOR POWER/CONDUIT ROUTING PLAN.

LIGHTING LUMINAIRE SCHEDULE								
SYMBOL	QUANTITY	LABEL	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	TOTAL LAMP LUMENS	DESCRIPTION	IES FILE
	4	F44F740 HS	25'	SINGLE	1.00	N/A	GE EVOLVE EACL SERIES WITH SHIELD	EACL_F44F740
	1	DSX	12'	WALL MOUNT	1.00	N/A	LITHONIA D-SERIES WALL PACK WITH SHIELD	DSXW1_LED_200_700_50K_T4M_MV0



REV.	DATE	COMMENTS	BY
1	08/25/20	UPC COMMENTS	ACM
2	11/13/20	UPC COMMENTS	ACM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY: _____ CHECKED BY: _____

DRAWN BY: _____ JCP _____ MDW _____

PROJECT: **CLUTCH COFFEE EXPANSION, LLC**
DRIVE-THROUGH COFFEE BAR
5500 COCONUT CREEK PARKWAY
MARGATE, FL 33063

DYNAMIC ENGINEERING

LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

100 NE 5th Avenue, Suite B2
Delray Beach, FL 33483
T: 561.921.8570

Offices conveniently located at:

Lake County, New Jersey • T: 732.974.0198
Cherokee County, Georgia • T: 706.879.9292
Newark, New Jersey • T: 973.753.7200
Tampa Bay, New Jersey • T: 732.974.0198
Henderson, Pennsylvania • T: 248.465.0274
Aliso Viejo, California • T: 949.454.0100
New York, New York • T: 201.789.4400
Austin, Texas • T: 512.446.2446
Delray Beach, Florida • T: 561.921.8870

Florida Certificate of Authorization No. 32535

www.dynamiccec.com

MICHAEL D. MILES

PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 11/20/2020

811

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
ENGINEERS, DESIGNERS, OR ANY PERSON
PREPARING TO DIG INTO THE EARTH'S
SURFACE AND/OR IN ANY STATE.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

TITLE:
PHOTOMETRIC PLAN

SCALE: (H) AS NOTED (M) NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: **C5.00** Rev. #: **2**

 **SCOTT
BARBER
DESIGNS
P.A.**

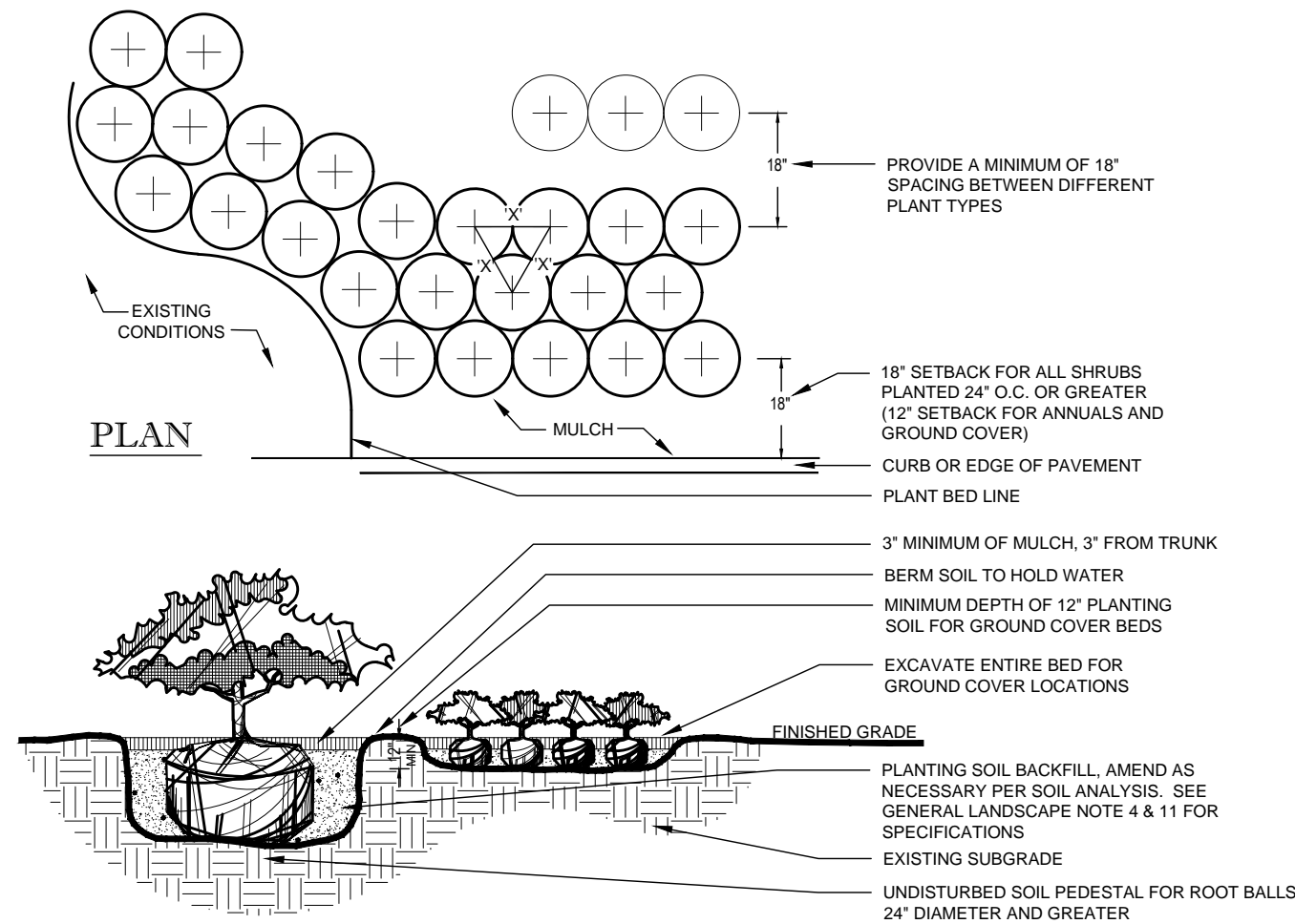
LANDSCAPE ARCHITECTURE & PLANNING

LC-26000593

1551 WYNDCLIFF DRIVE
WELLINGTON, FL 33414
(561) 309-7263

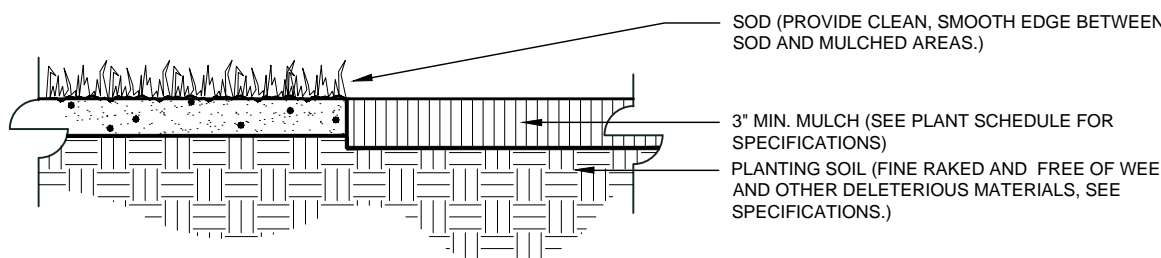
NOTES:

- CONTRACTOR SHALL ENSURE FREE DRAINAGE/PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION.
- ALL PLANTING PITS SHOULD HAVE VERTICAL SIDES AND BE APPROXIMATELY TWO TIMES LARGER THAN ROOT BALL.
- PLANT MATERIAL SHALL BE INSTALLED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL.
- WHERE GROUND COVERS ARE USED IN MASSES, THE ENTIRE BED SHALL BE EXCAVATED PRIOR TO RECEIVING PLANT MATERIAL AND PLANTING SOIL EXCEPT WHERE SPECIFIED.
- ALL PLANT MATERIAL MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED. REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING 'X'.
- PLANT MATERIAL INSTALLED ADJACENT TO STRAIGHT EDGES SHALL BE SPACED IN ROWS PARALLEL TO THE STRAIGHT EDGE. THOSE INSTALLED ADJACENT TO CURVED EDGES SHALL BE PLANTED IN ROWS PARALLEL TO THE CURVED EDGE



3 SHRUB AND GROUND COVER
SCALE: NTS

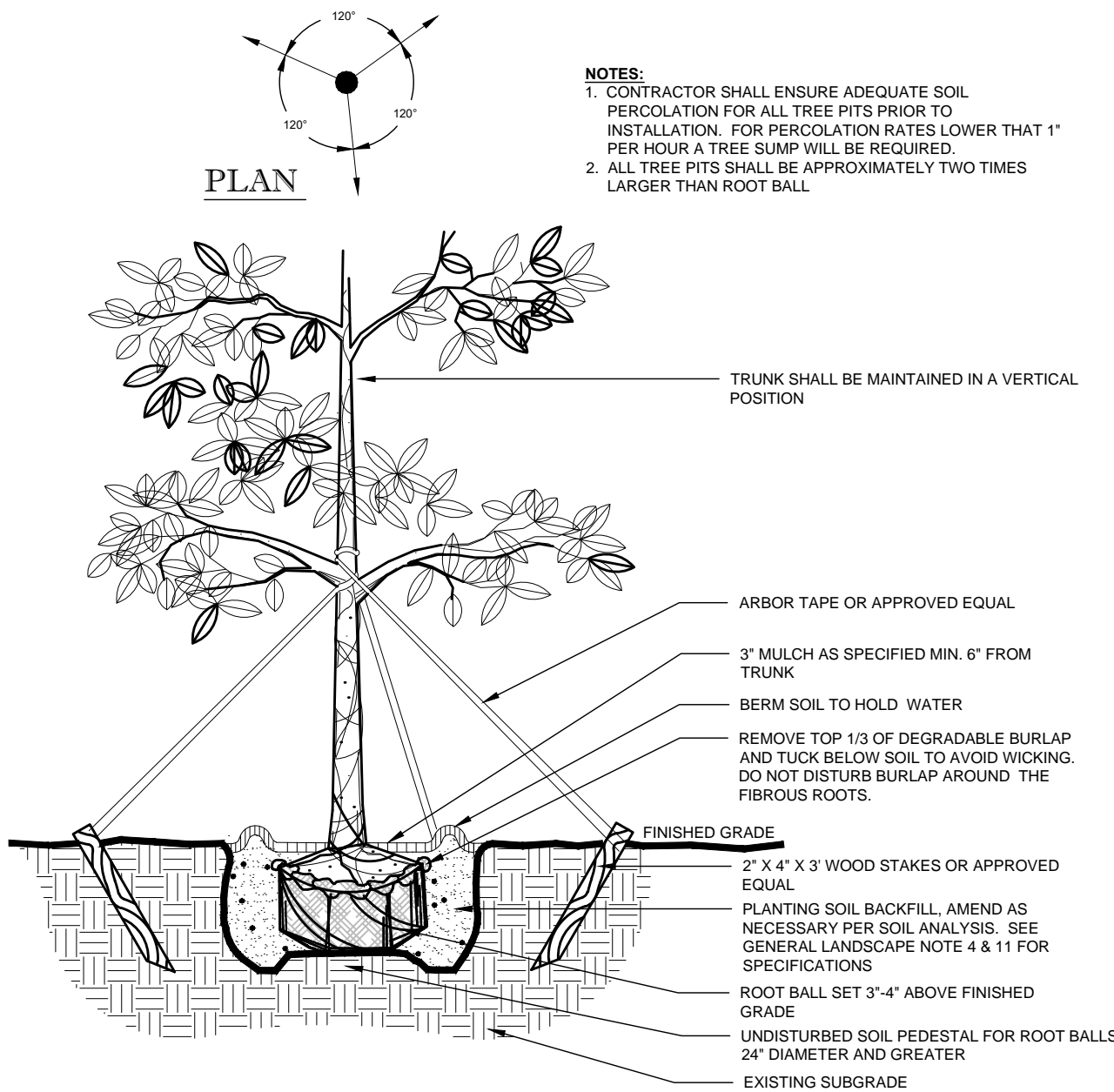
- NOTES:
- ALL MULCH SHALL BE PEST AND INSECT FREE.
 - COMPLETELY REMOVE EXISTING SOD AS REQUIRED PRIOR TO PLACING MULCH.



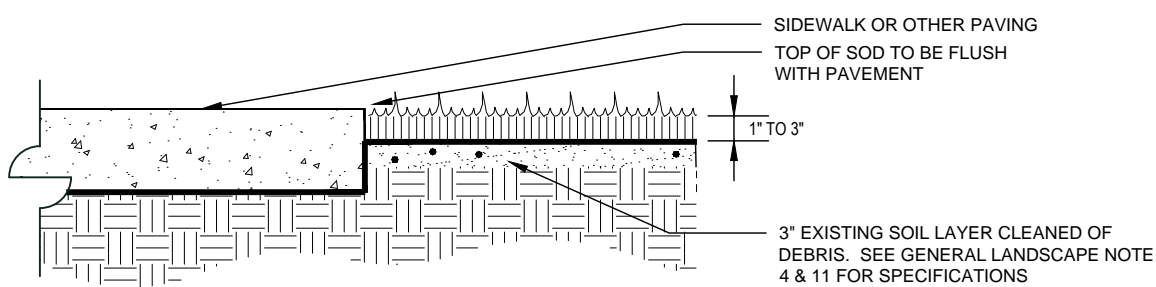
4 MULCH APPLICATION
SCALE: NTS

CANOPY TREE PLANTING NOTES:

- EACH TREE SHALL RECEIVE SIX 'AGRIFORM' 21 GRAM TABLETS PER MANUFACTURER'S DIRECTIONS.
- ALL TREES SHALL HAVE A MINIMUM CLEARANCE OF 15' FROM LIGHT POLES, AND SHALL NOT BE INSTALLED WITHIN 10 FT. OF ANY ABOVE GROUND UTILITIES OR WITHIN 30 FT. OF THE FACE OF A STOP SIGN.
- ALL TREE TRIMMING SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI)A-300 PRUNING STANDARDS.



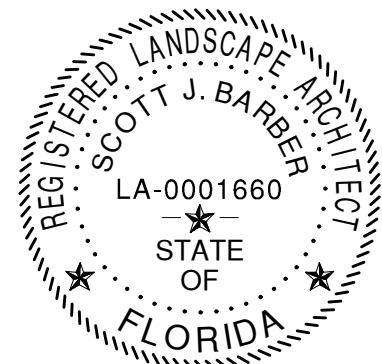
1 CANOPY TREE
SCALE: NTS



2 SOD APPLICATION
SCALE: NTS

GENERAL PLANTING NOTES:

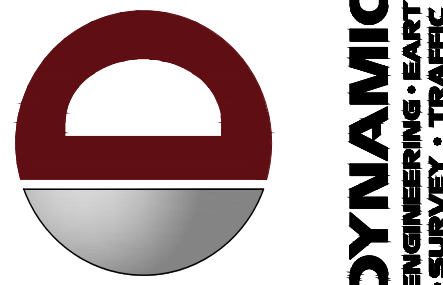
- NUISANCE, EXOTIC PLANT SPECIES REMOVAL SHALL BE COMPLETED IN ACCORDANCE WITH SECTIONS OF THE MUNICIPAL REGULATIONS, GUIDELINES AND STANDARDS.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER, AS SET FORTH BY THE LATEST EDITION OF FLORIDA GRADES AND STANDARDS.
- PLANT MATERIAL SHALL BE LOCAL FLORIDA NURSERY STOCK.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL ANALYSIS REPORT FOR THE EXISTING TOPSOIL AND NOTIFY THE OWNER OF ANY IMPROPER SOIL CONDITIONS (WETNESS, MUCK, DEBRIS, ETC.) PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL AMENDMENTS AND/OR FERTILIZER RECOMMENDED BY THE SOIL ANALYSIS REPORT FOR HEALTHY, VIGOROUS PLANT GROWTH. SEE NOTE 11.
- ALL PLANT MATERIAL HOLES SHALL BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES OR PROJECT IMPROVEMENTS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPE ELEMENTS UNTIL CONSTRUCTION IS COMPLETE AND ACCEPTED BY THE OWNER'S REP. THIS MAINTENANCE SHALL INCLUDE BUT MAY NOT BE LIMITED TO MOWING, EDGING AND TRIMMING GRASS, KEEPING PLANTING BEDS FREE OF DEBRIS AND WEEDS, MANAGING ALL DISEASE OR INFESTATION, WATERING OF PLANT MATERIALS, AND MAINTAINING MULCH.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM THE DATE OF COMPLETION OF CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND STAKE ALL UTILITIES. A MINIMUM OF TEN FEET SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREE PLANTINGS. IN ADDITION, ALL TREES SHALL BE LOCATED AT LEAST SIX FEET AWAY FROM THE FLOW LINE OF SWALES AND PROPOSED OR EXISTING STORM WATER INLETS.
- NEW PLANT MATERIAL TO BE INSTALLED WILL BE FIELD ADJUSTED TO ACCOMMODATE EXISTING PLANT MATERIAL. SUCH AS OVERHEAD CANOPY TREES, UNDER-STORY TREES AND SHRUBS OR GROUND COVER. THIS WILL ENSURE EXISTING PLANT MATERIAL TO REMAIN IN ITS NATURAL STATE. THEREFORE, NO EXISTING PLANT MATERIAL WILL BE ALTERED BY REMOVING, CUTTING TRIMMING OR DESTROYING IN ORDER TO INSTALL NEW PLANT MATERIAL.
- ALL PLANT MATERIALS TO BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED. BAG GROWN PLANTS ARE NOT ACCEPTABLE.
- THE PLANTING SOIL USED IN THE PLANTING OPERATIONS SHALL BE A MIXTURE OF 2 PARTS EXISTING TOPSOIL AND 1 PART CLEAN SAND. THE TOPSOIL SHALL CONSIST OF NATURAL, FRIABLE, FINE LOAM SOIL WITH A pH OF 5.5 TO 7.0, AND 3-5% ORGANIC MATTER. IT SHALL BE FREE OF WEED SEEDS, PATHOGENS, LITTER, SOD, CLAY, ROAD BASE, STONES, ROOTS AND STUMPS. SOIL DEPTH SPECIFIED ON THE PLANS IS MEASURED AFTER LIGHT COMPACTION. TOP SOIL THAT DOES NOT MEET THIS SPEC SHALL BE SUBSTITUTED WITH PROPER BORROW SOIL. SEE NOTE 4.
- BED PREPARATION: LOOSEN SOIL TO A MINIMUM DEPTH OF TWELVE INCHES AND REMOVE ALL DEBRIS. RE-GRADE THE BED TO ITS ORIGINAL GRADE. DIG PLANTING PITS AT 2 TIMES THE DIAMETER OF THE ROOT BALL. FILL PLANT PIT WITH SPECIFIED PLANTING MIX AND COMPACT SO THAT THE TOP OF ROOT BALL WILL SETTLE 1/8 DEPTH OF THE ROOT BALL ABOVE FINISH GRADE. SET PLANT AND FILL. REMAINDER OF HOLE WITH PLANTING MIX. FERTILIZE EACH PLANT WITH THE RECOMMENDED RATE BASED ON SOIL ANALYSIS AND RECOMMENDATIONS. WATER IN THOROUGHLY. RESET ANY PLANTS THAT SETTLE TOO DEEP. REMOVE SPOIL SOIL AND RAKE THE BED TO ITS FINISH GRADE. COVER ALL BED AREAS WITH A 3' DEPTH OF APPROVED ORGANIC MULCH. ENSURE MULCH OVER ROOT BALLS DOES NOT EXCEED A DEPTH OF ONE INCH. REMOVE ALL DEBRIS FROM THE MULCH. WATER BED THOROUGHLY.
- ALL PROPOSED PLANTING AREAS SHALL RECEIVE A THREE INCH LAYER OF MULCH. ALL TREES NOT LOCATED WITHIN A PLANTING BED SHALL RECEIVE A FOUR FEET DIAMETER MULCH RING. MULCH SHALL MATCH THE TYPE USED ON THE OVERALL SHOPPING CENTER.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HOLDING THE FINE GRADING OF PLANTING AREAS TO ENSURE AT LEAST THREE PERCENT POSITIVE DRAINAGE AWAY FROM BUILDINGS AND INTO TURF AREAS, PONDS, STREETS OR OTHER DRAINAGE WAYS. IN ADDITION, THE FINISH MULCH ELEVATION AT THE BUILDINGS SHALL BE AT LEAST SIX INCHES BELOW FINISH FLOOR OF THE ADJACENT BUILDING. PARKING LOT ISLANDS SHALL SLOPE AT THREE PERCENT FROM CENTER. TURF AND PLANTING BEDS SHALL MEET SIDEWALKS AND FLATWORK AT TWO INCHES BELOW THE FLATWORK.
- SLOPES GREATER THAN 4:1 SHALL REQUIRE SODDING FOR STABILIZATION.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE AND MAYBE UTILIZED AT THE OWNERS DISCRETION.
- IF ALTERNATIVE VEGETATION IS UTILIZED (I.E. MATCHING AND/OR EXTENDING EXISTING SHRUB BED, THE INSTALLED MATERIAL MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASES. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO.1 GRADE, ACCORDING TO THE 'GRADES AND STANDARDS FOR NURSERY PLANTS', PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. MATERIAL IN SOME INSTANCES SHALL EXCEED NO. 1 GRADE, IN ORDER TO MEET THE MINIMUM REQUIREMENTS OF THIS PROJECT.
- SOD SHALL BE INSTALLED IN ALL DISTURBED LANDSCAPE AREAS THAT ARE NOT PLANTED OR HARDSCAPED. CONTRACTOR SHALL VERIFY SOD QUANTITY.
- LANDSCAPE CONTRACTOR SHALL REPAIR, RELOCATE AND/OR REPLACE ANY CONSTRUCTION DAMAGED OR REMOVED LANDSCAPE MATERIALS, ON OR OFF SITE, THAT ARE NOT DELINEATED ON THE DEMOLITION PLANS. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO ANY REMEDIATION LANDSCAPE EFFORTS.



SCOTT
BARBER
DESIGNS
P.A.

LANDSCAPE ARCHITECTURE & PLANNING
LC-26000593

1551 WYNDCLIFF DRIVE
WELLINGTON, FL 33414
(561) 309-7263



NO.	DATE	REV.	BY	COMMENTS
1	8/25/20			DRC COMMENTS
2	11/17/20			DRC COMMENTS

DESIGNED BY: _____	CHECKED BY: _____
DRAWN BY: _____	SUB _____
PROJECT: CLUTCH COFFEE EXPANSION, LLC	DRIVE-THROUGH COFFEE BAR
5350 COCONUT CREEK PARKWAY MARGATE, FL 33063	

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

100 NE 5th Avenue, Suite B2
Delray Beach, FL 33483
T: 561.921.8570

Offices conveniently located at:
Lake County, New Jersey • T: 732.974.0198
Cheshire, New Jersey • T: 908.879.0297
Newark, New Jersey • T: 973.753.7200
Trenton, New Jersey • T: 732.974.0198
Hempstead, Pennsylvania • T: 561.465.0074
Allen, Texas • T: 972.334.0100
Houston, Texas • T: 281.789.6400
Austin, Texas • T: 512.446.5046
Daytona Beach, Florida • T: 561.921.8570

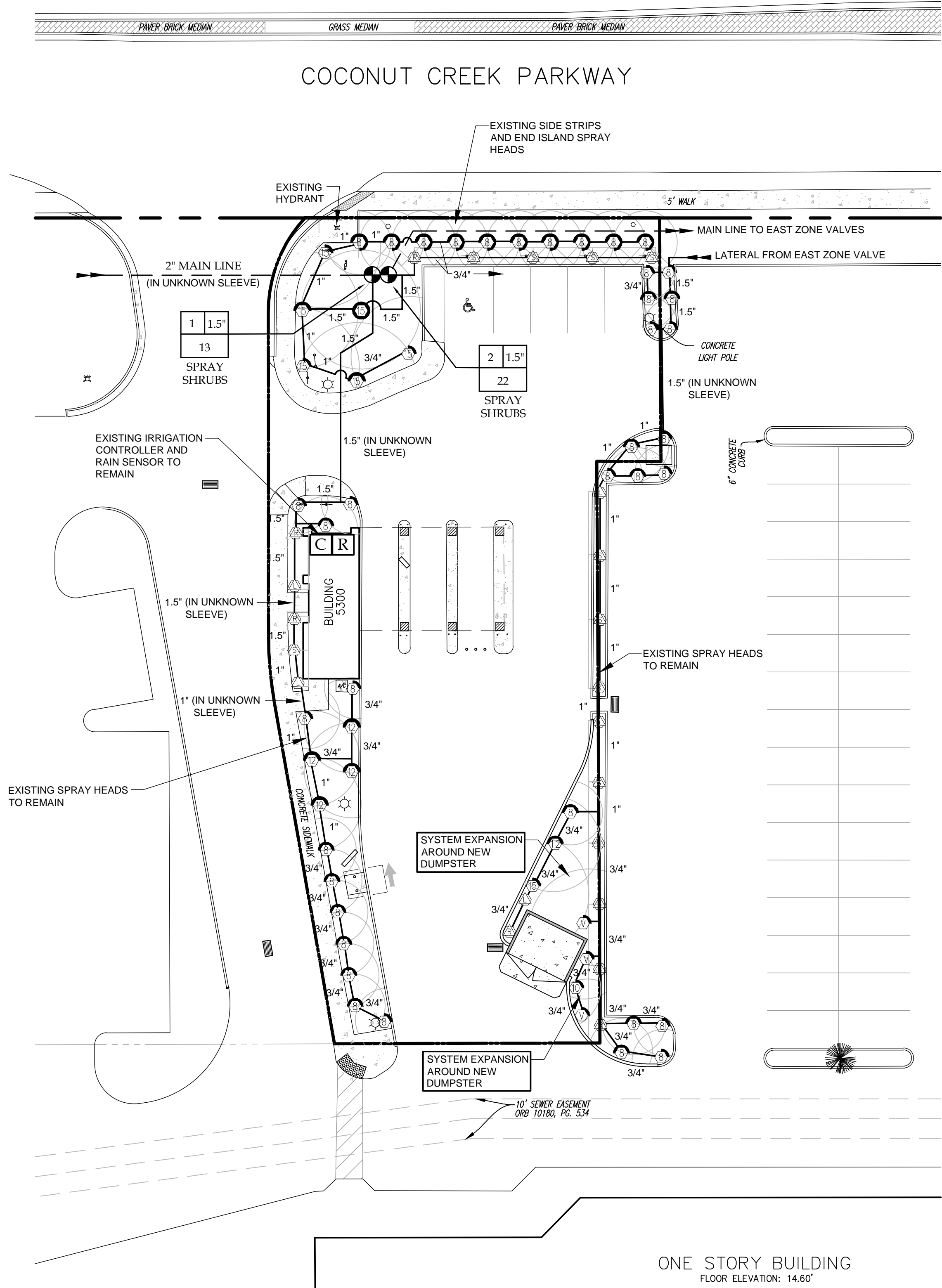
Florida Certificate of Authorization No. 32535
www.dynamicce.com

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF
ENGINEERS, DESIGNERS, OR ANY PERSON
PREPARING TO DISTURB THE EARTH'S
SURFACE ANYWHERE IN ANY STATE.
Know what's below
Call before you dig
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

TITLE: LANDSCAPE
DETAILS

SCALE: (H) AS
(V) NOTED
PROJECT No: 20-010.04
DATE: 06/2/2020

SHEET No: L1.01
Rev. #: 0



GENERAL IRRIGATION NOTES

1. THE MAIN LINE CONNECTION IS SCHEMATIC ONLY. THE CONTRACTOR SHALL VERIFY AND ADJUST ANY NEW EQUIPMENT TO FIELD CONDITIONS, WITHIN THE LANDSCAPE AREAS.
2. CLEAN AND TEST EXISTING SPRAY HEADS SO THEY ARE OPERATIONAL. REPLACE ANY BROKEN OR DAMAGED NOZZLES AND OTHER EQUIPMENT IN KIND.
3. SCHEDULE THE SYSTEM TO RUN BETWEEN 10 PM AND 6 AM.
4. TRENCHING IN TREE ROOT PROTECTION ZONES IS PROHIBITED. EQUIPMENT LOCATIONS ON THIS PLAN ARE CONCEPTUAL AND MAY REQUIRE FIELD ADJUSTMENTS.

IRRIGATION SCHEDULE

(CONTRACTOR TO VERIFY QUANTITIES)

SYMBOL	MANUFACTURER/MODEL	ARC	PSI	GPM	RADIUS
Ⓐ	Rainbird 1800 / MPR	LST or RST	25	.47	4'x15'
Ⓑ	Rainbird 1800 / MPR	SST	25	1.11	4'x30'
Ⓒ	Rainbird 1800 / MPR	8Q	90	.25	7'
Ⓓ	Rainbird 1800 / MPR	8H	180	.47	7'
Ⓔ	Rainbird 1800 / MPR	8TQ	270	.93	7'
Ⓕ	Rainbird 1800 / MPR	10Q or Var.	25	.35	9'
Ⓖ	Rainbird 1800 / MPR	12H	180	1.20	11'
Ⓗ	Rainbird 1800 / MPR	15Q or Var.	25	.93	14'
Ⓘ	Rainbird 1800 / MPR	15H	180	1.80	14'
Ⓚ	Rainbird 1800 / MPR	15H	360	3.60	14'

Ⓒ Existing Rainbird ESP-6 Controller (Outdoor model)
(Mount on north building exterior)

Ⓓ Existing Rain Sensor
(Mount on north building exterior)

Ⓚ Existing Rainbird 1.5" Electronic Plastic Zone Control Valve

Existing Irrigation Lateral Line: PVC pipe. Only lateral transition pipe sizes of 1" and above are indicated on the plan, with all others being 3/4".

New Irrigation Lateral Line: Class 200, SDR 21, PVC irrigation pipe. Only lateral transition pipe sizes 1" and above are indicated on the plan, with all others being 3/4" in size.

Existing Irrigation Mainline: PVC Schedule 40 (2")

PIPE SIZING CHART

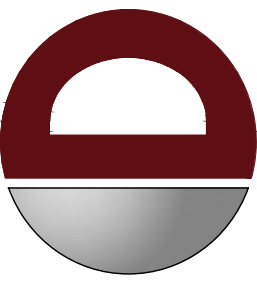
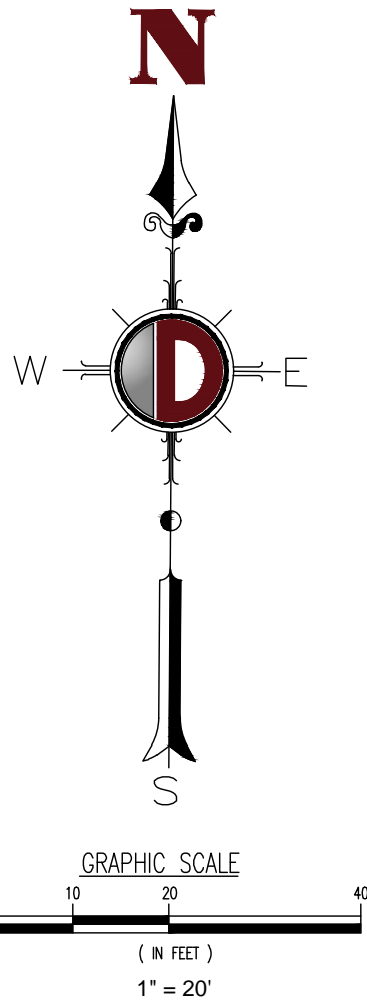
EXISTING PIPE SIZES ARE ESTIMATED AND SHALL BE VERIFIED BY THE CONTRACTOR

SIZE PIPE SO NOT TO EXCEED A MAXIMUM FLOW OF 5 FEET PER SECOND (fps)
PIPE SIZE GUIDELINE:
3/4" (0-9 GPM)
1" (10-16 GPM)
1 1/4" (16-25 GPM)
1 1/2" (25-35 GPM)
2" (35-52 GPM)

SYSTEM SCHEDULE (3/4 INCH PER DAY)

No.	TYPE	SIZE	GPM	PRECIP (IN/HR)	RUN TIME (Min.)
ZONE 1	SHRUB SPRAY	1.5"	13	.85	26
ZONE 2	SHRUB SPRAY	1.5"	22	.85	26

NOTE: DAILY OPERATION FOR 60 DAY ESTABLISHMENT PERIOD, AFTER 3 DAYS PER WEEK



DYNAMIC
ENGINEERING • EARTH
SURVEY • TRAFFIC

NO.	REV.	DATE	COMMENTS
1	11/17/20		

PROJECT: **CLUTCH COFFEE EXPANSION, LLC**
DRIVE-THROUGH COFFEE BAR
5300 COCONUT CREEK PARKWAY
MARGATE, FL 33063

DESIGNED BY: _____
CHECKED BY: _____
SUB: _____
SUB: _____
SUB: _____
SUB: _____

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

100 NE 5th Avenue, Suite B2
Delray Beach, FL 33483
T: 561.921.8570

Offices conveniently located at:
Louisville, KY • T: 502.734.0100
Chester, PA • T: 610.679.9229
Newark, NJ • T: 973.735.7200
Trenton, NJ • T: 609.971.1100
Newton, PA • T: 481.485.0276
Albany, NY • T: 518.534.2100
Hickory, NC • T: 813.789.6400
Austin, TX • T: 512.244.2444
Delray Beach, FL • T: 561.921.8570

Florida Certificate of Authorization No. 32535
www.dynamiccec.com

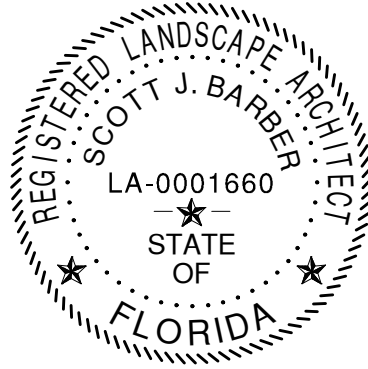
TITLE: **IRRIGATION PLAN**

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES BEFORE ANY DIGGING TO EXPOSE THE EARTH'S SURFACE ANYWHERE IN ANY STATE.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

SCALE: (H) AS SHOWN (V) NOTED DATE: 06/2/2020
PROJECT No: 20-010.04

SHEET No: **L2.00** Rev. #: **0**

THIS SEAL CERTIFIES NEW EQUIPMENT RETROFIT AND THAT THE IRRIGATION SYSTEM IDENTIFIED AS AN EXISTING OPERATIONAL SYSTEM WAS DESIGNED BY RHETT ROY, LANDSCAPE ARCHITECTURE - PLANNING, P.A. AS SEEN ON FINAL APPROVED PLANS DATED 6/16/03.



SCOTT BARBER DESIGNS P.A.

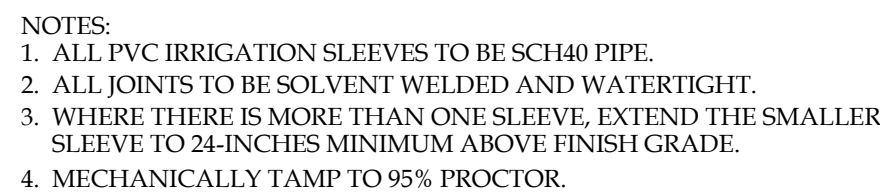
LANDSCAPE ARCHITECTURE & PLANNING
LC-26000593

1551 WYNDCLIFF DRIVE
WELLINGTON, FL 33414
(561) 309-7263



TESTING:
Upon completion of main line and prior to backfill, pressure test the entire water-filled main line (with valves and backflow closed) at (150) pounds per square inch for 30 minutes using a pump and pressure gauge. Repair any systems which exceed (5) pounds per square inch drop in 30 minutes of testing, until the standard can be achieved and verified.

REMOTE CONTROL VALVE



PIPE AND WIRE SLEEVE DETAIL

Before scheduling run times, the site should be "walked" and planted areas inspected to observe plant stress and health. Soil moisture levels should be inspected throughout planted areas, and appropriate adjustments made to the irrigation schedule. Each irrigation session should be scheduled to encourage deep roots through deep watering and minimal runoff. This can be achieved through use of multiple short repeat cycles when necessary, especially on slopes and sites with compacted soils. Watering times should be adjusted according to a depth of 12 inches. Run times should be adjusted accordingly to soil type and plant water requirements. Less water is needed to soak a sandy soil compared to a clay soil. Soils should be allowed to dry to a 50% moisture depletion level between irrigations to avoid root rot and allow adequate air to be present in the soil. Run times shall be adjusted seasonally.

1. The irrigation system is existing and operational. The Contractor must retrofit the existing automatic underground irrigation system and provide 100% coverage and head to head coverage of all new landscape material. The system has a potable water source through a 2" meter, backflow preventer, and main line from the lot to the west. No data is available regarding design pressure and volume. The contractor shall verify that the source prior to expanding zone valves.
2. The Controller and rain sensor are existing, operational and located on the north side of the building. Contractor will reprogram the controller to meet the needs of new plantings during establishment.
3. The Contractor must comply with the current Florida Building Code.

The following notes apply to new retrofitted equipment only

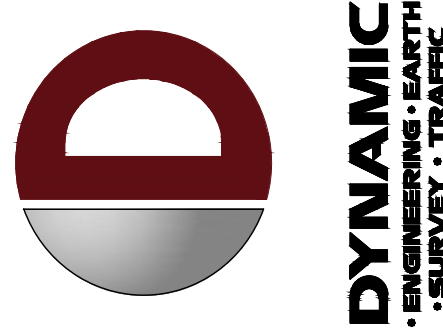
1. No product substitutions or changes will be allowed without the written approval of the Owner and Irrigation Designer.
2. The Contractor is responsible for all permits and fees
3. Over-spray onto buildings, signs or pavement is prohibited.
4. The Contractor is responsible for locating utilities prior to digging.
5. No rocks or other extraneous materials to be used in backfilling of pipe trenches.
6. All pipe to be installed as per manufacturer's specifications.
7. All threaded joints to be coated with Teflon tape or liquid Teflon.
8. All pipes to be thoroughly flushed before installation of heads.
9. All low voltage electrical connections made in the field to be installed in valve boxes with waterproof connectors.
10. The Contractor shall be responsible for proper coverage of all landscape areas.
11. The Contractor to supply to the Owner with operation manuals and two (2) wrenches for adjusting each valve and head type.
12. All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
13. All control wires shall be minimum #14 AWG. Run two (2) spare control wires and identify them in the valve box.
14. All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers. All shall be marked indicating station numbers.
15. 120 VAC electrical power source at controller location is existing. The contractor shall verify connections are operational.
16. The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
17. Do not willingly install the sprinkler system as shown on the drawings with it be obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering, such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
18. All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
19. The irrigation contractor shall install check valves on all irrigation heads as needed to prevent low head drainage where possible post valve shut-off draining will occur.
20. Installer is required to conduct final testing and adjustment to achieve design specification prior to completion of the system and acceptance by the owner or owner's representative.
21. Contractor to provide owner with post construction documentation, including as-built drawings, recommended maintenance schedules and activities, operational schedule, design precipitation rates, system adjusting methods for increasing water once landscape is established, water source and shutoff method and all operational guides for controller.

THIS SEAL CERTIFIES NEW EQUIPMENT RETROFIT AND THAT THE IRRIGATION SYSTEM IDENTIFIED AS AN EXISTING OPERATIONAL SYSTEM WAS DESIGNED BY RHETT ROY LANDSCAPE ARCHITECTURE - PLANNING, PA. AS SEEN ON FINAL APPROVED PLANS DATED 6/16/03.



LANDSCAPE ARCHITECTURE & PLANNING
LC-26000593

1551 WYNDCLIFF DRIVE
WELLINGTON, FL 33414
(561) 309-7263

[illegible]

DOWN BI:	DESIGNED BY:	CHECKED BY:	CHECKED BY:
S.B.I.	S.B.I.	S.B.I.	S.B.I.

PROJECT: CLUTCH COFFEE EXPANSION, LLC
DRIVE-THROUGH COFFEE BAR
 1500 COUNTRYSIDE PARKWAY
 MARGATE, FL 33063

DYNAMIC ENGINEERING

**LAND DEVELOPMENT CONSULTING • PERMITTING
GEOCHEMICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING**

**100 NE 5th Avenue, Suite B2
Delray Beach, FL 33483
T: 561.921.8570**

Offices conveniently located at:

Littleton, New Jersey	• 732.975.7200
Cheshire, New Jersey	• 908.897.9229
Lakewood, New Jersey	• 973.755.7200
North Wilder, New Jersey	• 732.974.0168
Northvale, New Jersey	• 201.261.8502
Alton, Texas	• 972.634.2700
Houston, Texas	• 281.289.4640
San Jose, CA	• 415.226.6834
Delray Beach, Florida	• 561.921.8570

Florida Certificate of Authorization No. 32535

www.dynamicinc.com



Know what's below
Call before you dig. PREPARING TO DISTURB THE EARTH'S
SURFACE ANYWHERE IN ANY STATE
OR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

TITLE: IRRIGATION
DETAILS

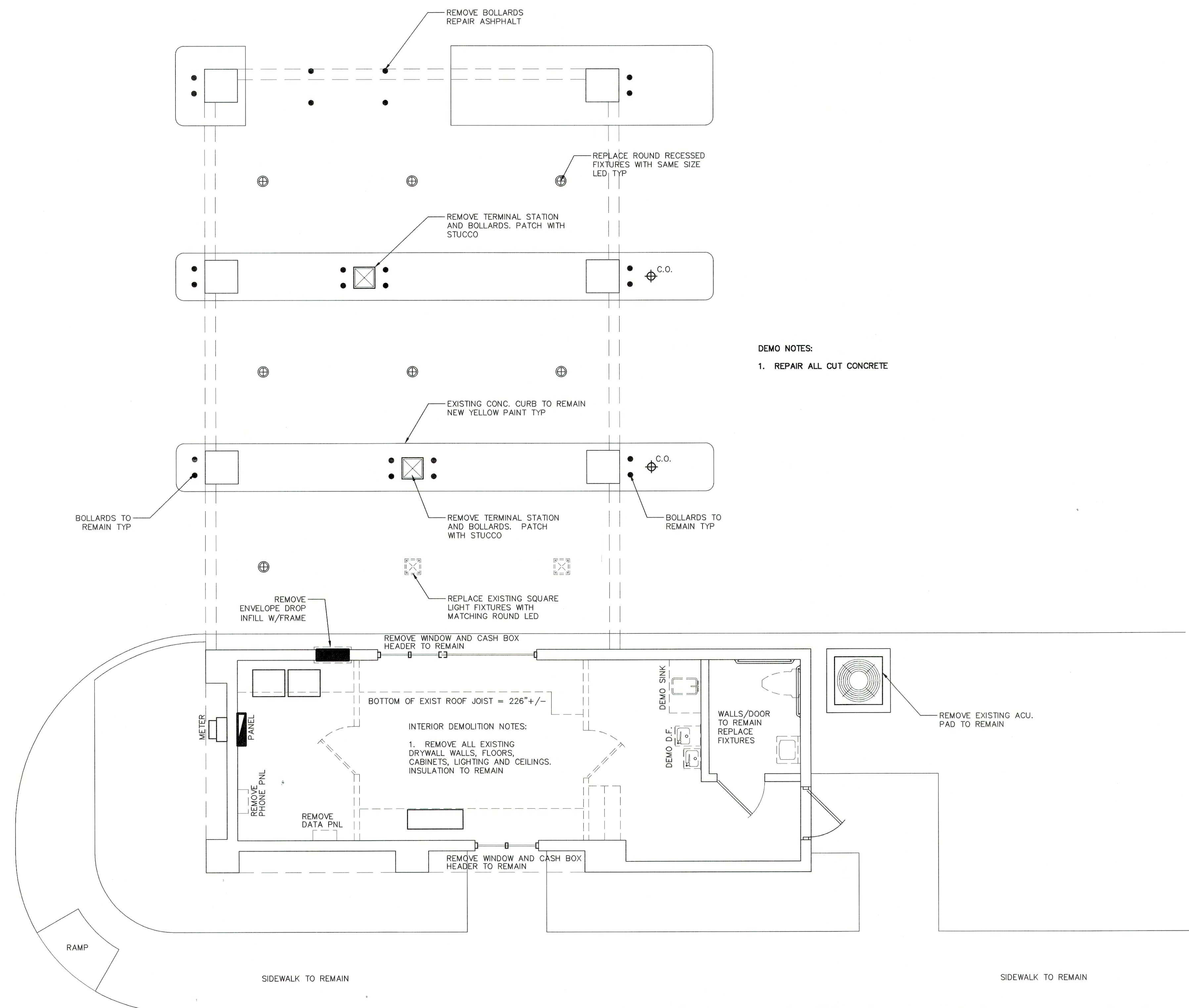
SCALE: (H) AS (V) NOTED	DATE: 06/25/2020
PROJECT No: 20-010.04	

SHEET No:	L2.01	Rev. #:	0
-----------	-------	---------	---

DRC SUBMITTAL DOCUMENTS FOR:
CLUTCH COFFEE
© 5300 COCONUT CREEK PARKWAY, MARGATE, FL

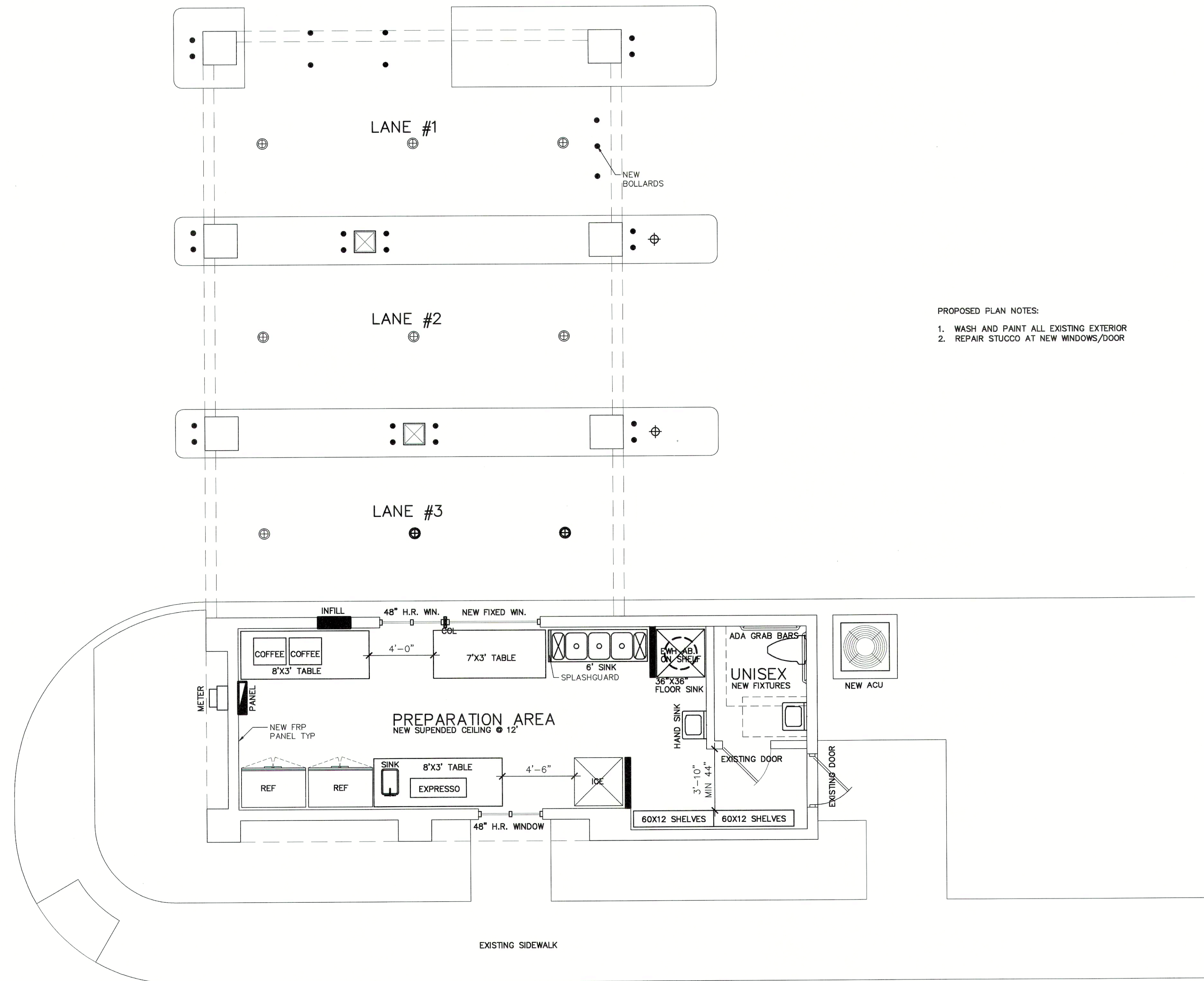
[illegible]

RAWN BY: MSG
CHECKED BY: JC
PROJECT #: ---
DATE: 12.1.2020



EXITING/DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

ARCHITECTURE BY:
PRISM
ARCHITECTURE
LLC
CERT. OF AUTH. AA #26002852

James G. Centanni, Jr.
12/03/20

JAMES G. CENTANNI, JR.
AR #0015973

1101 BRICKELL AVE
8TH FLOOR, SOUTH TOWER
MIAMI, FL 33131
561.719.4224 /
INFO@PRISMARCH.COM

DRC SUBMITTAL DOCUMENTS FOR:
CLUTCH COFFEE
@ 5300 COCONUT CREEK PARKWAY, MARGATE, FL

REVISIONS/SUBMITTALS:

ID	DESC
1	SIGNAGE 12.1.2020

DRAWN BY: MSG

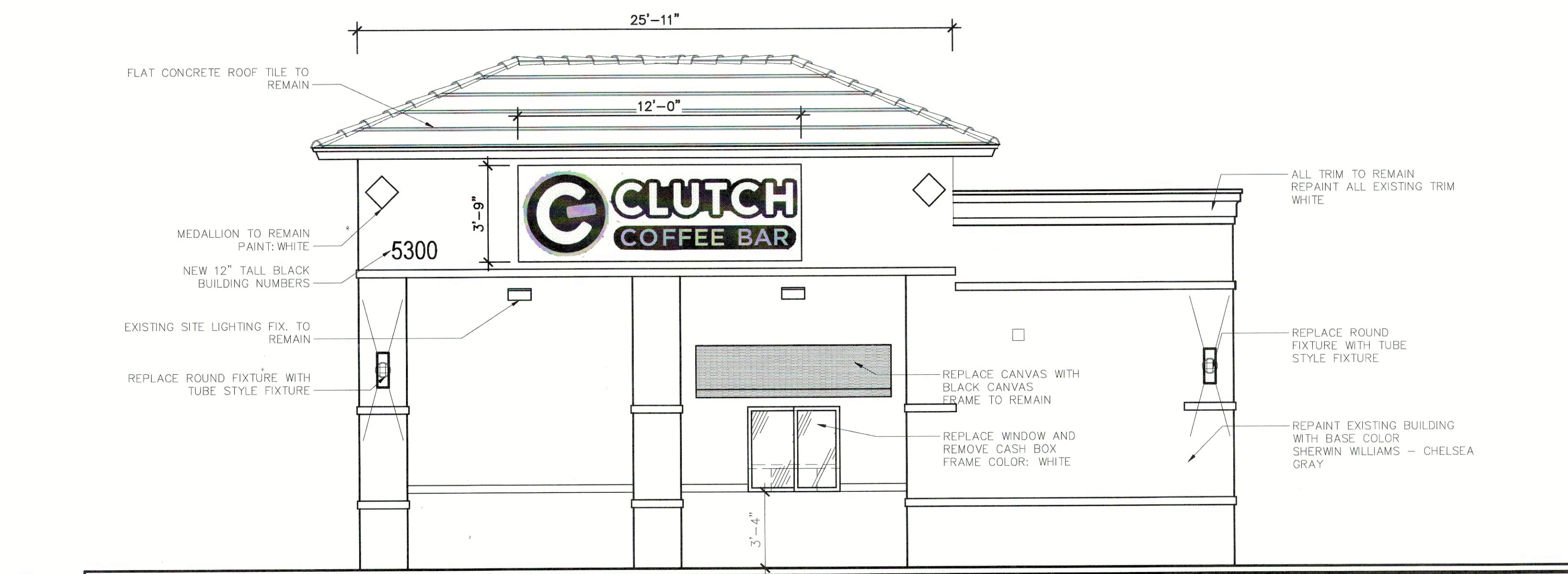
CHECKED BY: JC

PROJECT #: ---

DATE: 12.1.2020

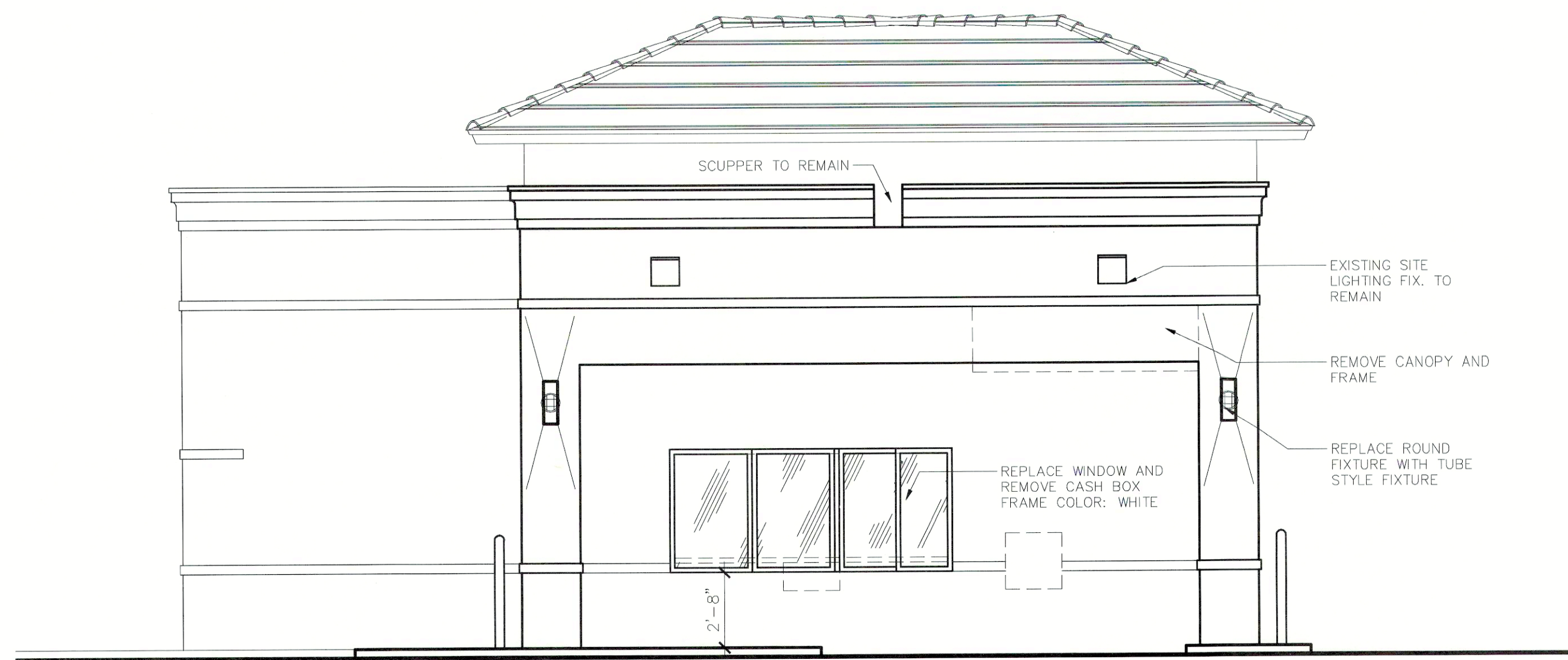
REVISIONS/SUBMITTALS:	
ID	DESC
1	SIGNAGE 12.1.2020

DRAWN BY: MSG
CHECKED BY: JC
PROJECT #: ---
DATE: 12.1.2020



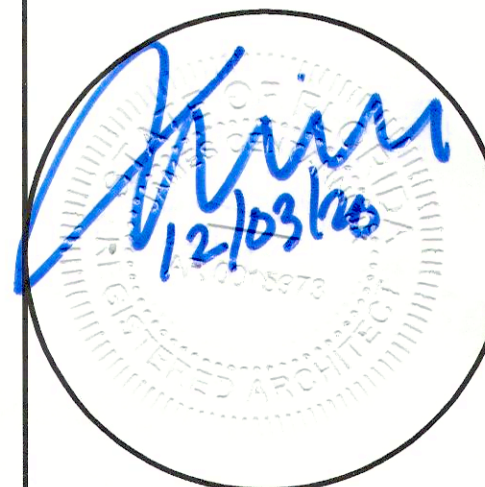
WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



JAMES G. CENTANNI, JR.
AR #0015973
1101 BRICKELL AVE
8TH FLOOR, SOUTH TOWER
MIAMI, FL 33131
561.719.4224 /
INFO@PRISMARCH.COM

DRC SUBMITTAL DOCUMENTS FOR:
CLUTCH COFFEE
© 5300 COCONUT CREEK PARKWAY, MARGATE, FL

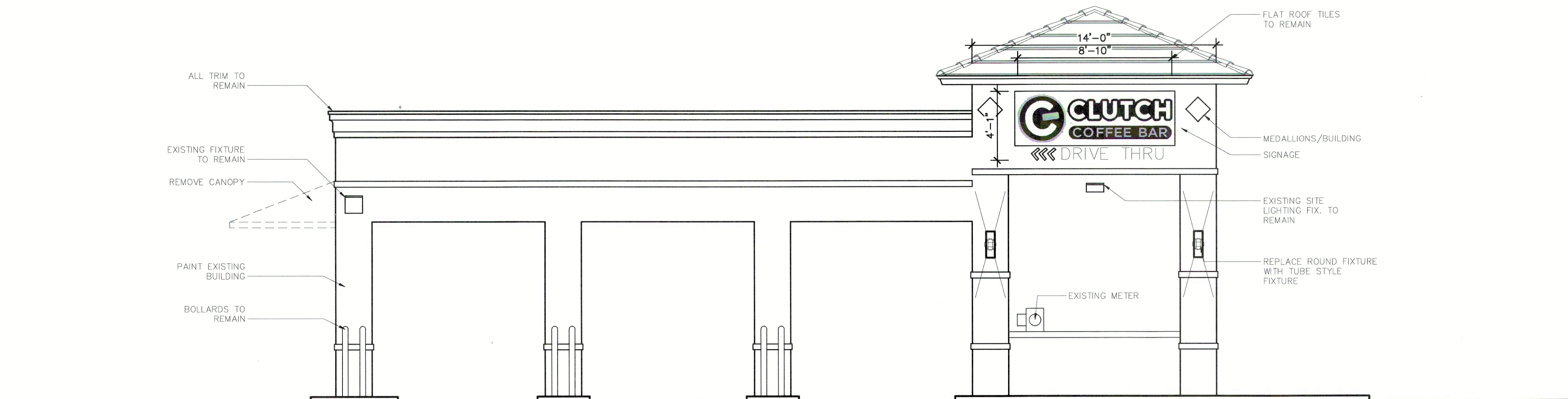
REVISIONS/SUBMITTALS:	
ID	DESC
1	SIGNAGE 12.1.2020

DRAWN BY: MSG
CHECKED BY: JC
PROJECT #: ---
DATE: 12.1.2020



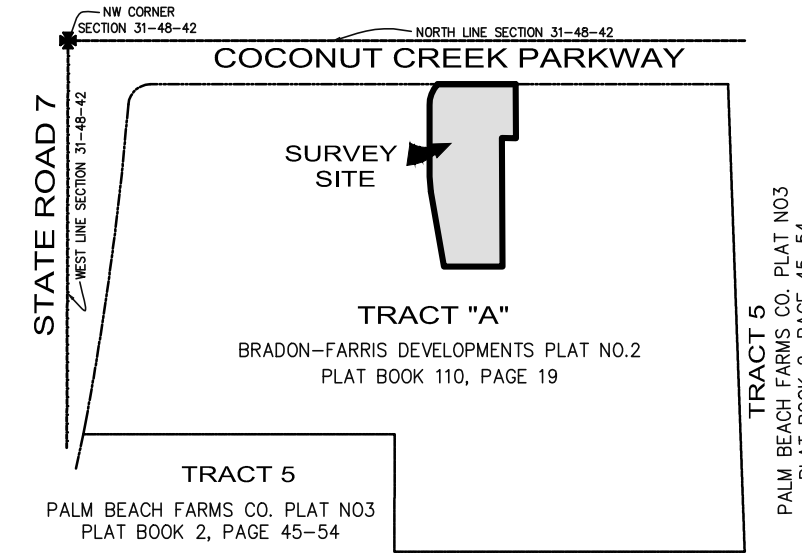
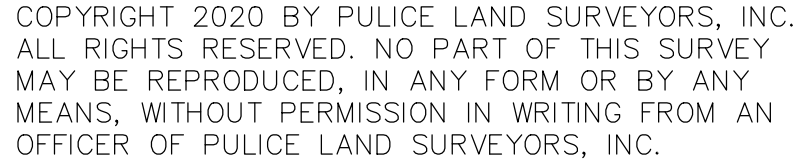
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



















NORTH ELEVATION

SCALE: 1/4" = 1'-0"



VICINITY MAP
NOT TO SCALE

- # LEGEND
- | | |
|---|---|
|  | CONCRETE |
|  | ASPHALT PAVEMENT |
|  | PAVER BRICK |
|  | ADA MAT |
|  | ELEVATION |
|  | OVERHEAD WIRES |
|  | UNDERGROUND STORM SEWER LINE |
|  | UNDERGROUND SANITARY SEWER LINE |
|  | UNDERGROUND ELECTRIC LINE |
|  | UNDERGROUND TELEPHONE LINE |
|  | UNDERGROUND WATER LINE |
|  | UNDERGROUND GAS LINE |
|  | NON-VEHICULAR ACCESS LINE |
|  | CENTERLINE |
| O.R.B. | OFFICIAL RECORDS BOOK |
| TP | TRAVERSE POINT (FOR FIELD INFORMATION ONLY) |
| R= | RADIUS |
| CA= | CENTRAL ANGLE |
| A= | ARC LENGTH |
| FPL | FLORIDA POWER & LIGHT COMPANY |
| LB | LICENSED BUSINESS |
| A/C | AIR CONDITIONING UNIT |
|  | PALM TREE |
|  | UNIDENTIFIED TREE |

A PORTION OF TRACT "A", "BRANDON-FARRIS DEVELOPMENTS PLAT NO. 2" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 110, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT "A"; THENCE SOUTH 90°00'00" WEST ON THE NORTH LINE OF SAID TRACT "A" 242.79 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 90°00'00" WEST ON SAID NORTH LINE 89.46 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE CONCAVE EAST, WITH A RADIAL BEARING OF SOUTH 47°22'35" EAST; THENCE SOUTHERLY ON THE ARC OF SAID CURVE, WITH A RADIUS OF 35.00 FEET AND A CENTRAL ANGLE OF 42°39'50" AN ARC DISTANCE OF 26.06 FEET TO A POINT OF TANGENCY; THENCE SOUTH 00°02'25" EAST 81.63 FEET TO A POINT OF CURVE; THENCE CONTINUE ON THE ARC OF SAID CURVE, WITH A RADIUS OF 35.00 FEET AND A CENTRAL ANGLE OF 100°00 FEET AND A CENTRAL ANGLE OF 09°57'25" AN ARC DISTANCE OF 17.38 FEET TO A POINT OF TANGENCY; THENCE SOUTH 09°59'50" EAST 87.11 FEET; THENCE NORTH 89°49'02" EAST 66.98 FEET; THENCE NORTH 00°19'04" WEST 146.81 FEET; THENCE SOUTH 89°42'10" EAST 16.18 FEET; THENCE NORTH 00°19'04" WEST 61.49 FEET TO THE POINT OF BEGINNING.

- 1) THIS SITE CONTAINS 17,443 SQUARE FEET (0.4004 ACRES) MORE OR LESS.
- 2) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #1441; ELEVATION: 16.162 FEET.
- 3) FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; COMMUNITY 120047; PANEL 12011C0355H; MAP DATE: 8/18/14.
- 4) THIS SITE LIES IN SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- 5) BEARINGS ARE BASED ON AN ASSUMED MERIDIAN WITH THE NORTH LINE OF TRACT "A" BEING 50°00'00"W.
- 6) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 7) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.07'$. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.07'$.
- 8) THIS SITE CONTAINS 5 TOTAL PARKING SPACES (4 REGULAR & 1 DISABLED).
- 9) ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
- 10) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.

TO: CLUTCH COFFEE EXPANSION LLC; DUNAY MISKEL BACKMAN LLP.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, & 11 OF TABLE A THEREOF.

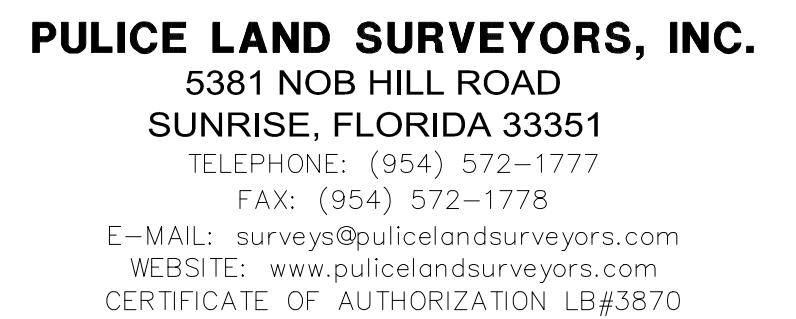
THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR A DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

- ☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
☐ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
STATE OF FLORIDA

5		
4		
3	CORRECTED NON-VEHICULAR ACCESS OPENINGS 11/16/20	B.B.
2	CORRECTED LIGHT POLE LOCATION 11/11/20	B.B.
1	CORRECTED CATCH BASIN ELEVATION	J.F.P.
NO.	REVISIONS	BY

**BANK PARCEL AT
CROSSROADS SHOPPING CENTER**
COCONUT CREEK PARKWAY, EAST OF STATE ROAD 7
MARGATE, BROWARD COUNTY,
FLORIDA 33063

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**



DRAWN BY: M.D.
CHECKED BY: J.F.P.

SCALE: 1" = 20'
SURVEY DATE: 1/31/20

FILE: CLUTCH COFFEE EXPANSION LLC
ORDER NO.: 66808