



Parcel Information

Parcel Id: [494206180935](#)

Owner: JADE'S HOLDINGS LLC

Situs Address: 830 S STATE ROAD 7 MARGATE
FL 33068

Legal: SERINO PARK SEC 3 81-46 B
TRACT B LESS N 865.18

Millage Code: 1212

Use Code: 28

Land Value: \$ 798,800

Building Value: \$ 45,800

Other Value: 0

Neighborhood:

Land Tag: 54

Price	Factor	Type
18.00	44,378.00	SF

Other Exempt Amt: \$ 0



Broward County Transportation Concurrency Satisfaction Certificate

*** Please note that this approval does not constitute Environmental Review Approval. You will still need the Environmental Approval Certificate to submit to the Building Department.**

Issue Date: 01/23/2024

DR Review #: 0090738

Application Number: 000447513

Title of Drawings: Brothers No 29

Project#: A2220

Plan Last Revision Date: 15-SEP-23

Bldg Dept Jurisdiction: Margate

Legal Description: Plat Name: SERINO PARK SEC 3

Plat Number: **Book:** 81 **Page:** 46 **Lot:** **Block:**

Address: 830 S State Road 7, Margate, Fl. 33068

Construction Type: New Construction

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval. Any changes in footprint, Lot #, or bedrooms or use will require a new approval.

Development Review

BUILDING OFFICIAL:

Receipt#: 0090738

TRANSPORTATION CONCURRENCY SATISFACTION:

Certificate is hereby issued

*Any revision to these plans requires a new development review by the division.

This application was routed in accordance with the Broward County Land Development Code, Chapter 5, Article IX, Section 5-181.

If a building permit is not applied for within 90 days of the Development and Environmental Review Approval, plans must be re-submitted to the Urban Planning Division for re-evaluation.

Development Reviewer Name: Monica Randino

This instrument prepared by
and returned to:
Gregg R. Lehrer
Gray Robinson, P.A.
301 East Pine Street, Suite 1400
Orlando, Florida 32801
407-843-8880

DECLARATION OF EASEMENTS AND RESTRICTIONS

THIS DECLARATION OF EASEMENTS AND RESTRICTIONS is made and executed this 5th day of October, 2021, by **IP NUVO MARGATE, LLC**, a Delaware limited liability company, referred to herein as the "Declarant", whose address is P.O. Box 356, Winter Park, Florida 32789.

WITNESSETH:

WHEREAS, Declarant is the owner of that certain real property located in Broward County, Florida, more particularly described in **Exhibit "A"**, which is attached hereto and made a part hereof (the "Property"); and

WHEREAS, Declarant desires to ensure that the development of the Property will proceed pursuant to a uniform plan of development with consistently high architectural, environmental and aesthetic standards; and

WHEREAS, the Declarant desires that all of the Property be subjected to certain restrictive covenants for the mutual benefit and protection of itself and all persons, corporations, partnerships or entities who may hereafter, own, purchase or lease all or any portion of the Property.

NOW, THEREFORE, the Declarant hereby declares that the Property is and shall be held, transferred, sold, conveyed, leased and occupied subject to the covenants, restrictions and easements set forth in this Declaration, which shall be binding upon and enforceable against each and every person, corporation, partnership, lessee, or other entity who or which shall hereafter own or lease all or any portion of the Property, or any right, title interest, or estate therein.

ARTICLE I

DEFINITIONS

The following terms, as used in this Declaration, shall have the following meanings:

1.1 "Declarant" shall mean and refer to IP NUVO MARGATE, LLC, a Delaware limited liability company, its successors and assigns.

1.2 "Declaration" shall mean and refer to this instrument, including all exhibits hereto, as it may be amended from time to time.

1.3 "Lessee" shall mean and refer to the record lessee, whether one or more persons or entities, of any portion of the Property.

1.4 "Self-Storage Parcel" shall mean and refer to the Self-Storage Parcel as legal described and depicted on **Exhibit "B-1"**, attached hereto and incorporated herein.

1.5 "Out Parcel" shall mean and refer to the Out Parcel as legally described and depicted on **Exhibit "B-2"**, attached hereto and incorporated herein.

1.6 "Storm Water, Drainage and Retention System" shall mean and refer to the Storm Water, Drainage and Retention System as set forth in that certain Drainage Plan prepared by McLeod, McCarthy & Associates, P.A. set forth in **Exhibit "C"**, attached hereto and incorporated herein , the ("Drainage Plan").

ARTICLE II

PROPERTY SUBJECT TO THIS DECLARATION

2.1 The Property shall be subject to the provisions of this Declaration upon the recording of this Declaration in the Public Records of Broward County, Florida.

ARTICLE III

EASEMENTS

3.1 Access Travel Lane Easement. There is hereby created, declared and reserved for the benefit of each of the Self-Storage Parcel and the Out Parcel, their customers, invitees, successors and assigns, a non-exclusive, perpetual easement of passage and use for vehicular and or pedestrian ingress, egress and passage in common, over and across those portions of the Property shown in the cross hatched areas and labeled as "Access Travel Lane Easement" on **Exhibit "D"**, attached hereto and incorporated herein, for ingress and egress to and from the Property, and any portion thereof, to and from State Road 7 and S.W. 8th Court, the ("Access Travel Lane Easement").

No barriers, obstructions, fences or other hindrances in the Access Travel Lane Easement to free and unrestricted two way pedestrian and vehicular traffic shall be erected or maintained on or within the Access Travel Lane Easement hereby created, except temporarily for reasonable times and in a reasonable manner for purposes of performing maintenance or repair work by the owner of that portion of the Access Travel Lane Easement that lies upon the Self-Storage Parcel or the Out Parcel, respectively. Provided however, there shall at all times be available to the Property alternate access, ingress and egress to public rights of way during any such maintenance and repair activities. The Access Travel Lane Easement shall be maintained by the owner of the Self-Storage Parcel or the Out Parcel upon which that portion of the Access Travel Lane Easement lies which is the subject of any such repair and maintenance at such owner's cost and expense.

3.2 Utility Easements. There are hereby declared, created and reserved for the benefit of the Self-Storage Parcel and the Out Parcel and their respective successors and assigns: (1) non-exclusive easements for utility purposes upon those portions of the Property that are not improved with a building (hereinafter referred to as the "Utility Easement Areas"); and (2) a non-exclusive easement and license, to enter upon such Utility Easement Areas for the purpose of installing, replacing, inspecting, maintaining and repairing any and all utility lines and facilities located within such Utility Easement Areas. The utilities contemplated to be served by such utility easements from time to time include, but are not limited to: water lines, fire lines, sewer lines and related appurtenances, fire hydrants and related appurtenances and potable water lines as depicted in the Water and Wastewater Plan set forth in **Exhibit "E"**, attached hereto and incorporated herein. All such utility lines shall be installed underground unless required by applicable governmental or utility authorities to be installed above ground. No such installation, maintenance or repair of the utility lines shall unreasonably impede the Access Travel Lane Easement created in Section 3.1, above, or ongoing business operations on the Property.

3.3 Storm Water, Drainage and Retention Easements. There is hereby declared, created and reserved for the benefit of the Out Parcel and the Self-Storage Parcel, a non-exclusive perpetual easement for the use of the Storm Water, Drainage and Retention System as depicted in the Drainage Plan. The Self-Storage Parcel owner shall be responsible to operate, repair and maintain the Storm Water, Drainage and Retention System as more particularly set forth in Section 4, below. Except as allowed under Section 3.8, below, no improvements of any kind shall be constructed or erected on any portion of the Property so as to change, alter, impede, revise or otherwise interfere with the flow and volume of water in the Storm Water, Drainage and Retention System, without the prior written approval of the Self-Storage Parcel owner and the Out Parcel owner.

3.4 Dumpster Easement. There is hereby declared, created and reserved for the benefit of the Self-Storage Parcel, a non-exclusive perpetual easement for use of the dumpster, dumpster pad and dumpster enclosure located on the Out Parcel as depicted in **Exhibit "F"**, attached hereto and incorporated herein and there is hereby declared, created and reserved for the benefit of the Out Parcel, a non-exclusive perpetual easement for use of the dumpster, dumpster pad and dumpster enclosure located on the Self-Storage Parcel as depicted in **Exhibit "F"**, attached hereto and incorporated herein, the ("Dumpster Easement"). The cost of garbage removal shall be allocated among the Self-Storage Parcel and the Out Parcel with the Self-Storage Parcel owner paying the aforesaid invoices and billing the Out Parcel on a bi-yearly basis at the rate of fifty percent (50%) of the actual amounts incurred for garbage removal.

3.5 Landscape Buffer. There is hereby declared and created a landscape buffer easement around the Self-Storage Parcel and the Out Parcel as approximately depicted in Exhibit **"G"**, attached hereto and incorporated herein for the installation and maintenance of landscape as required by the City of Margate from time to time, the ("Landscape Buffer").

3.6 Parking Space Easement. The Self-Storage Parcel owner shall have the non-exclusive right to utilize one (1) parking space located on the Out Parcel. The Out Parcel owner shall have the right to designate the specific parking space that the Self-Storage Parcel owner has the right to utilize and the Out Parcel owner shall have the right to change the parking space that is the subject of this parking easement from time to time.

3.7 Site Lighting System. The Property has been developed to include site lighting pursuant to the Site Lighting Plan prepared by Cardinal Engineering Associates set forth in **Exhibit "H"**, attached hereto and incorporated herein, the ("Site Lighting Plan"). Neither the Self-Storage Parcel owner or the Out Parcel owner shall take any action that will interfere with the Site Lighting Plan, or site lights on any of the Property. Notwithstanding the foregoing, the Out Parcel owner may relocate lighting fixtures that may exist on the Out Parcel during development of the Out Parcel. No such relocation shall interfere with the Site Lighting System located on the Self-Storage Parcel.

3.8 Out Parcel Development. Notwithstanding anything contained in this Article III, or elsewhere in this Declaration to the contrary, the Out Parcel owner shall have the right to reconfigure, relocate and otherwise change the location of any utility lines, the Storm Water, Drainage and Retention System lines, the Site Lighting System and the Parking Space Easement existing on the Out Parcel, if such is necessary for the future development of the Out Parcel, subject to applicable approvals and permits from governmental agencies having jurisdiction. None of the foregoing actions by the Out Parcel owner shall unreasonably interfere with the Self-Storage Parcel owner's ongoing business operations on the Self-Storage Parcel. The Out Parcel owner covenants to the Self-Storage Parcel owner for the benefit of the Self-Storage Parcel that the Out Parcel shall not be used for operation of a self-storage facility or mini warehouse, or as an operation providing outdoor storage for vehicles, RVs or boats.

ARTICLE IV

MAINTENANCE

4.1 Maintenance Obligation. It is the intent of the Declarant to impose the following maintenance obligations:

- (i) Access Travel Lane Easement: The improvements consisting of paved areas, drive lanes and curb cuts which are located in the Access Travel Lane Easement which are located within or upon the Self-Storage Parcel and the Out Parcel, respectively, are to be maintained and kept in good repair by the owner of the Self-Storage Parcel or the Out Parcel upon which that portion of the Access Travel Lane Easement that requires repair or maintenance lies.
- (ii) Stormwater, Drainage and Retention System: The Self-Storage Parcel owner shall be responsible to maintain and repair the Storm Water, Drainage and Retention System and the Self-Storage Parcel owner and the

Out Parcel owner shall share in the cost and expense incurred by the Self-Storage Parcel owner to repair, maintain and operate the Storm Water, Drainage and Retention System on a pro rata basis calculated on the square footage of the Self-Storage Parcel and the square footage of the Out Parcel divided by the square footage of the Property. Notwithstanding the foregoing, before incurring any expense greater than \$10,000.00 to maintain and repair the Storm Water, Drainage and Retention System, the Out Parcel owner shall be given written notice and a period of not less than ten (10) days to approve the expense, not to be unreasonably withheld by the Out Parcel owner. Nothing contained herein shall prevent the Self-Storage Parcel owner from conducting repairs to the Storm Water, Drainage and Retention System on an emergency basis if in the reasonable opinion of the Self-Storage Parcel owner, any delay would cause harm or damage to life or property located on the Property.

- (iii) Dumpster Easement. Maintenance and repair of the Dumpster Easement shall be undertaken by the Self-Storage Parcel owner and reasonable expenses incurred shall be shared equally by the Self-Storage Parcel and the Out Parcel.
- (iv) Landscape Buffer. The improvements installed within the Landscape Buffer which are located within or upon the Self-Storage Parcel and the Out Parcel, respectively, are to be maintained and kept in good condition and repair by the owner of the Self-Storage Parcel or the Out Parcel upon which that portion of the Landscape Buffer lies. Further, any future requirements imposed upon the Landscape Buffer by the City of Margate shall be the responsibility of the owner of the Self-Storage Parcel or the Out Parcel, respectively, as to each owner's parcel.
- (v) Water and Sewer Lines. The Self-Storage Parcel owner shall maintain all common water lines and fire lines up to, but not including, the water meters and Double Check Detector Assemblies, the ("DCDA's"). Each owner shall maintain the water lines and fire lines from and including the water meters and DCDA's to their respective buildings. Each owner shall maintain their respective sewer service lines and fire hydrants.

ARTICLE V

DEFAULT AND REMEDIES

The covenants and easements herein contained may be enforced by the Self-Storage Parcel owner or the Out Parcel owner, in any judicial proceeding seeking any remedy recognizable at law or in equity, including damages, injunction, or any other form of relief against any person, firm or entity violating or attempting to violate any covenant, assessment, restriction or provision hereunder. The failure by either party to enforce any such covenant or easement herein contained shall in no event be deemed a waiver of such

covenant or easement. The prevailing party in any such litigation shall be entitled to all costs thereof including, but not limited to, reasonable attorneys' fees, both at trial and on appeal.

ARTICLE VI

GENERAL PROVISIONS

6.1 Incorporation into Leases. Any and all leases conveying a leasehold interest to any portion of the Property shall be conclusively presumed to have incorporated therein all the terms and conditions of this Declaration, whether or not the incorporation is specifically set forth by reference in such lease, and acceptance by the lessee of such a lease shall be deemed to be acceptance by such lessee of all the terms and conditions of this Declaration and the jurisdiction, rights, powers and privileges of the Declarant as stated herein.

6.2 Notices. Any notice or other communication required or permitted to be given or delivered hereunder shall be deemed properly given and delivered upon personal delivery or upon the mailing thereof by United States Certified Mail, Return Receipt Requested, postage fully prepaid, addressed to: (i) any tenant under any lease granted by Declarant, at the address of the person whose name appears in said lease; (ii) the Declarant, or such other address as the Declarant shall hereafter make known to the tenants by reasonable effort, for example, mailing, posting or personal delivery; or (iii) the then record owner of the Self-Storage Parcel or the Out Parcel. All notices marked as set forth herein shall be deemed received on the third business day after being deposited with a clerk of the United States Post Office.

6.3 Captions, Headings and Titles. Article and section captions, headings and titles inserted through this Declaration are intended as a matter of convenience only, and in no way shall such captions, heading and titles define, limit or in any way affect the subject matter or any of the terms and provisions thereunder, no the terms and provisions of this Declaration.

6.4 Context. Whenever the context so requires or admits, any pronoun used herein may be deemed to mean the corresponding masculine, feminine or neuter form thereof, and the singular form of any nouns and pronouns herein be deemed to mean the corresponding plural form thereof and visa versa.

6.5 Attorneys' Fees. Any provision in this Declaration for the collection or recovery of attorneys' fees shall be deemed to include, but shall not be limited to, attorneys' fees for the attorneys' services at all trial and appellate levels, whether or not suit is instituted.

6.6 Severability. In the event any provisions of this Declaration shall be deemed invalid by a court of competent jurisdiction, said judicial determination shall in no

way affect any of the other provisions hereof, which shall remain in full force and effect, and any provisions of this Declaration deemed invalid by a court of competent jurisdiction by virtue of the term or scope thereof shall be deemed limited to the maximum term and scope permitted by law. Further, the invalidation of any of the covenants or restrictions or terms and conditions of this Declaration, or reduction in the scope or term of the same by reason of judicial application of the legal rules against perpetuities, or otherwise, shall in no way affect any other provision which shall remain in full force and effect for such period of time and to such extent as may be permitted by law.

6.7 Amendment and Modification. This Declaration shall not be amended or modified, in whole or in part without the requirement of the joinder or consent of both the Self-Storage Parcel owner and the Retail Parcel owner in writing.

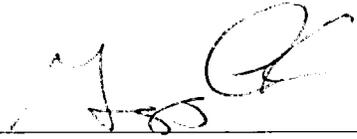
6.8 Duration and Covenants Run With the Land This Declaration and each and every one of the terms, provisions, conditions, covenants, restrictions, reservations, regulations, easements, burdens and benefits contained herein shall run with and bind all portions of the Property and shall inure to the benefit of the Declarant, all owners of the Property, all tenants and their respective legal representatives, heirs, successors and assigns, until fifty (50) years from the date of this Declaration, after which time this Declaration shall renew for successive ten (10) year periods unless terminated by the mutual consent by a written document of the Self-Storage Parcel owner and the Out Parcel owner, joined by any mortgagees of record, recorded in the Broward County Public Records.

IN WITNESS WHEREOF, this DECLARATION OF EASEMENTS AND RESTRICTIONS was executed on the day and year first above written.

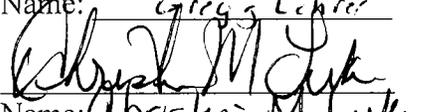
WITNESSES:

DECLARANT

IP NUVO MARGATE, LLC, a Delaware limited liability company


Name: Gregory Lepore

By: 
Name: Gary Cardamone
Title: President


Name: Christina M. Luke

STATE OF FLORIDA
COUNTY OF ORANGE

THE FOREGOING INSTRUMENT was acknowledged before me by means of physical presence or online notarization, this 5th day of October, 2021, by Gary Cardamone, as President of IP Nuvo Margate, LLC, a Delaware, on behalf thereof, who is personally known to me, or produced _____ as identification.


Notary Public Signature
Print Notary Name: Christina M. Luke
My commission expires: 1/8/2025

[AFFIX NOTARY SEAL]



EXHIBIT "A"

LEGAL DESCRIPTION OF THE PROPERTY

THE SOUTH 429.56 FEET OF THE NORTH 865.18 FEET OF TRACT "B", SERINO PARK SECTION 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 81, PAGE 46 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

AND

ALL OF TRACT "B", LESS THE NORTH 865.18 FEET OF TRACT "B", SERINO PARK SECTION 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 81, PAGE 46 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

EXHIBIT B-1

LEGAL DESCRIPTION AND DEPICTION OF SELF-STORAGE PARCEL

THE SOUTH 429.56 FEET OF THE NORTH 865.18 FEET OF TRACT "B", SERINO PARK SECTION 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 81, PAGE 46 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



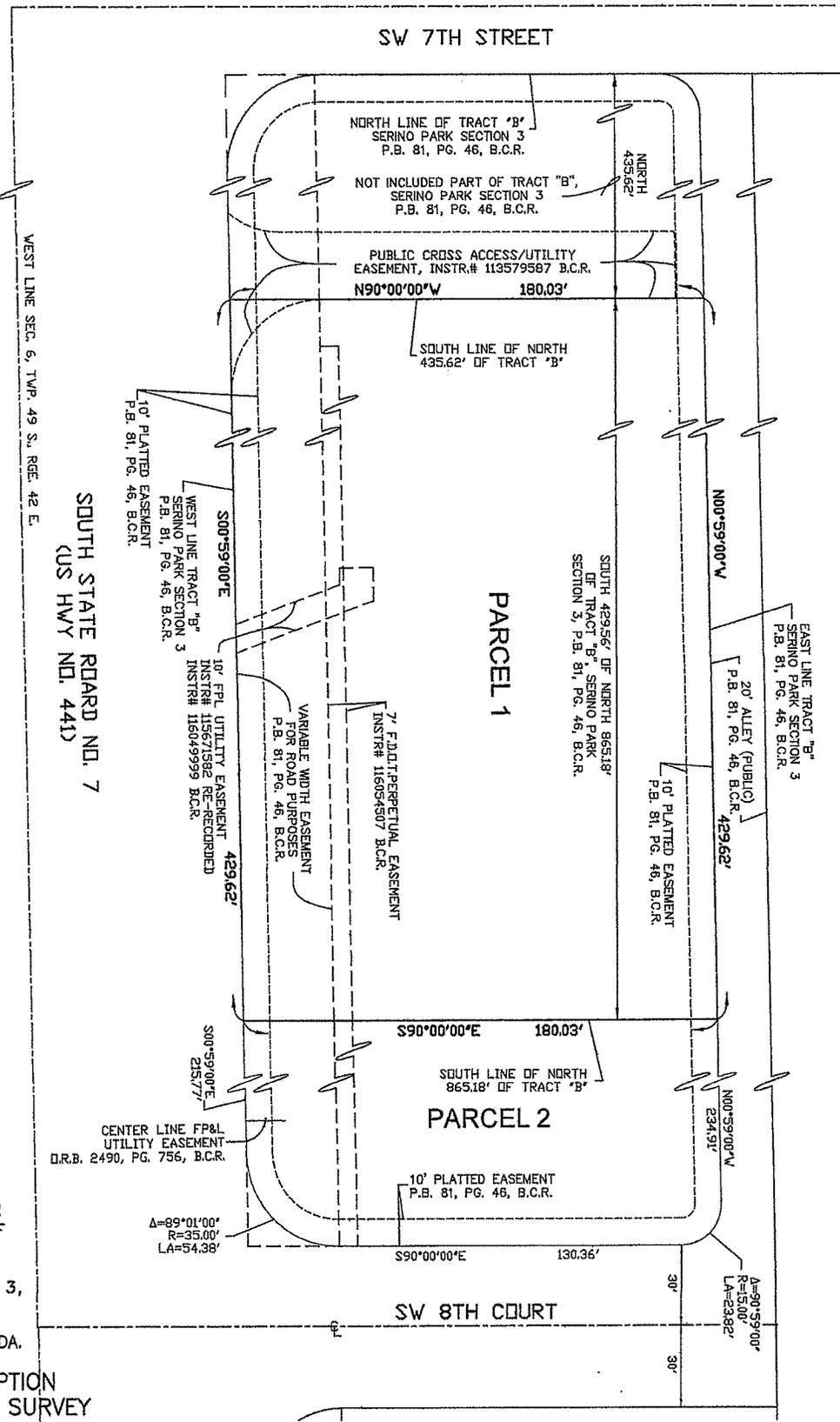
PARAMOUNT ENGINEERING GROUP, INC.

Engineers
Planners
Surveyors

902 Clint Moore Road, Suite 218, Boca Raton, FL 33487
Telephone: (561)989-2280
Email Address: paramountengineeringgroup@aol.com
State of Florida Certificate of Authorization No. LB3353

PROJECT:	3862 PRCL-1 SUBD
DATE:	07/24/21
SHEET:	2 OF 3

SCALE: 1"=60'



SKETCH & LEGAL DESCRIPTION FOR "PARCEL 1" THE NORTH PARCEL OF THE SUBDIVISION OF THE NUVO MARGATE PARENT TRACT, LYING IN TRACT "B", SERINO PARK SECTION 3, P.B. 81, PG. 46, B.C.R. IN SEC. 6, TWP. 49 S., RGE. 42 E., CITY OF MARGATE, BROWARD COUNTY, FLORIDA.

SKETCH OF LEGAL DESCRIPTION
THIS IS NOT A BOUNDARY SURVEY

EXHIBIT B-2

LEGAL DESCRIPTION AND DEPICTION OF OUT PARCEL

ALL OF TRACT "B", LESS THE NORTH 865.18 FEET OF TRACT "B", SERINO PARK SECTION 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 81, PAGE 46 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



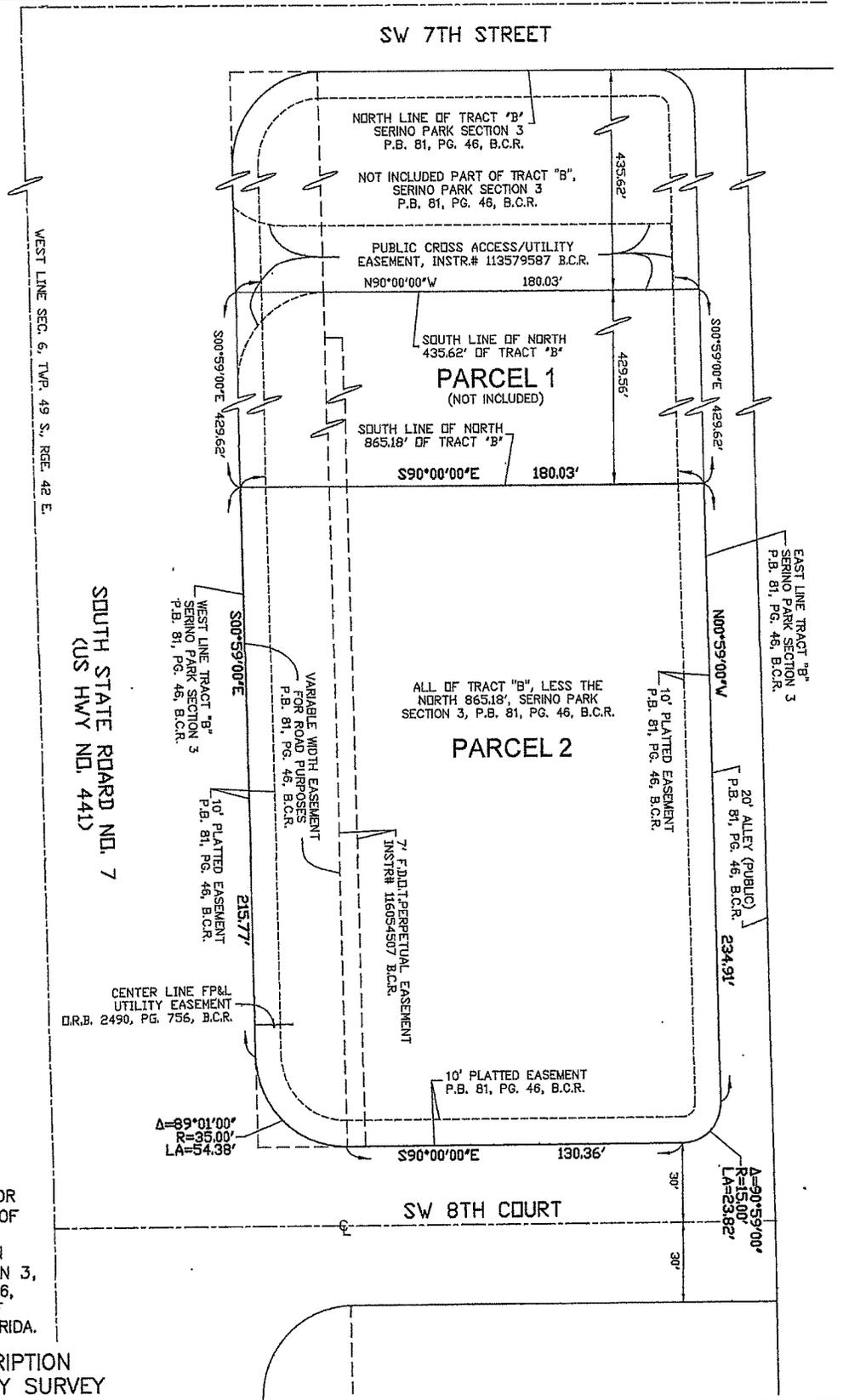
PARAMOUNT ENGINEERING GROUP, INC.

Engineers
Planners
Surveyors

902 Clint Moore Road, Suite 218, Boca Raton, FL 33487
Telephone: (561)989-2280
Email Address: paramountengineeringgroup@aol.com
State of Florida Certificate of Authorization No. LB3353

PROJECT:	3862 PRCL-2 SUBD
DATE:	07/24/21
SHEET:	2 OF 3

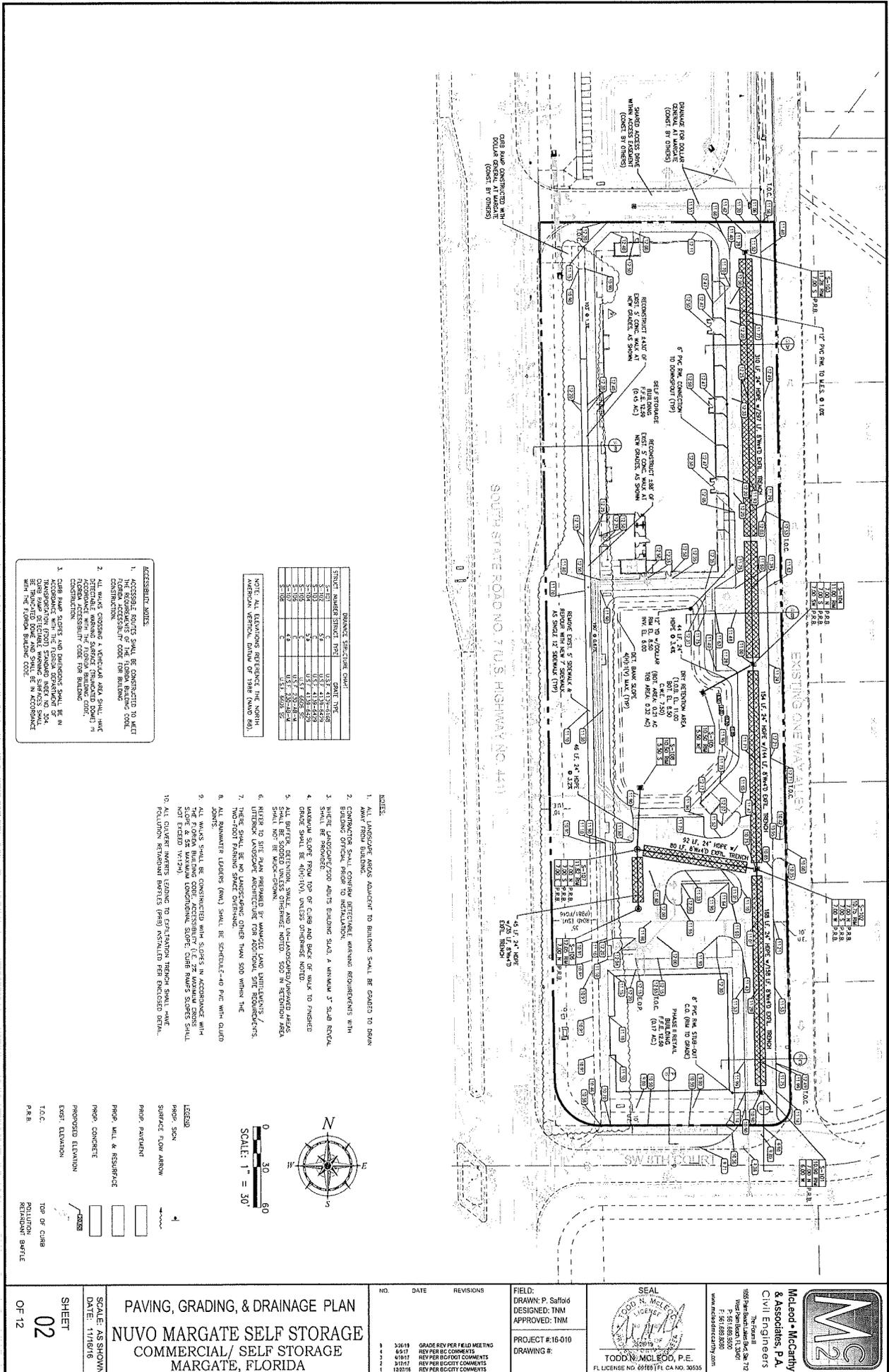
SCALE: 1"=60'



SKETCH & LEGAL DESCRIPTION FOR "PARCEL 2" THE SOUTH PARCEL OF THE SUBDIVISION OF THE NUVO MARGATE PARENT TRACT, LYING IN TRACT "B", SERINO PARK SECTION 3, P.B. 81, PG. 46, B.C.R. IN SEC. 6, TWP. 49 S., RGE. 42 E., CITY OF MARGATE, BROWARD COUNTY, FLORIDA.

SKETCH OF LEGAL DESCRIPTION
THIS IS NOT A BOUNDARY SURVEY

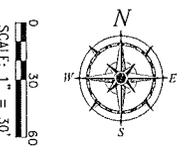
EXHIBIT C
DRAINAGE PLAN



STRUCTURE NUMBER	STRUCTURE TYPE	CONCRETE	PAVING	GRADING	DRAINAGE
1-10	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-11	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-12	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-13	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-14	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-15	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-16	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-17	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-18	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-19	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY
1-20	CONCRETE	CONCRETE	ASPH/FLY	ASPH/FLY	ASPH/FLY

- ACCESSIBILITY NOTES:**
1. ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, CHAPTER 610, F.S. AND THE ADA.
 2. ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE TRANSDUCED COVERT IN ACCORDANCE WITH THE FLORIDA BUILDING CODE FOR BUILDING CONSTRUCTION.
 3. DETECTABLE WALKS AND SURFACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPEC NO. 304, SECTION 709.01, AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.

- NOTES:**
1. ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
 2. CONTRACTOR SHALL COMPLY DETECTABLE WARNING REQUIREMENTS WITH BUILDING CODE.
 3. WALKS SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, CHAPTER 610, F.S. AND THE ADA.
 4. MINIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4:1 (1%) UNLESS OTHERWISE NOTED.
 5. ALL BUFFERS, DETENTION SWALE, AND UNLANDSCAPED/UNPAVED AREAS SHALL BE SLOPED UNLESS OTHERWISE NOTED. 50:1 IN RETENTION AREA SHALL NOT BE WASH-DOWN.
 6. REFER TO SITE PLAN DRAWING FOR POWERED LONG DRAINAGE SYSTEMS, AND TO THE NOTES ON THE DRAWING FOR THE DETAIL OF THE SYSTEMS.
 7. THESE SHALL BE NO LANDSCAPE OTHER THAN SOIL WITHIN THE TWO-FOOT FURNISHING SPACE OVERHEAD.
 8. ALL RUNOFF WATER (RW) SHALL BE SCHEDULE-40 PVC WITH GULF JOINTS.
 9. ALL WALKS SHALL BE CONSTRUCTED WITH SLOPES IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, CHAPTER 610, F.S. AND THE ADA. SLOPES SHALL NOT EXCEED 1:12 (8.33%).
 10. ALL CULVERT INVERTS (EASING TO EXPLANATION) TRENCH SHALL HAVE FILLUTION RETARDING BARRIERS (FRB) INSTALLED PER ENCLOSED DETAIL.



- LEGEND:**
- PROPOSED CONCRETE
 - PROPOSED ELEVATION
 - EXIST. ELEVATION
 - TOP OF CURB
 - POLLUTION RETARDING BARRIER

SCALE: AS SHOWN
DATE: 11/16/16
SHEET 02
OF 12

PAVING, GRADING, & DRAINAGE PLAN
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

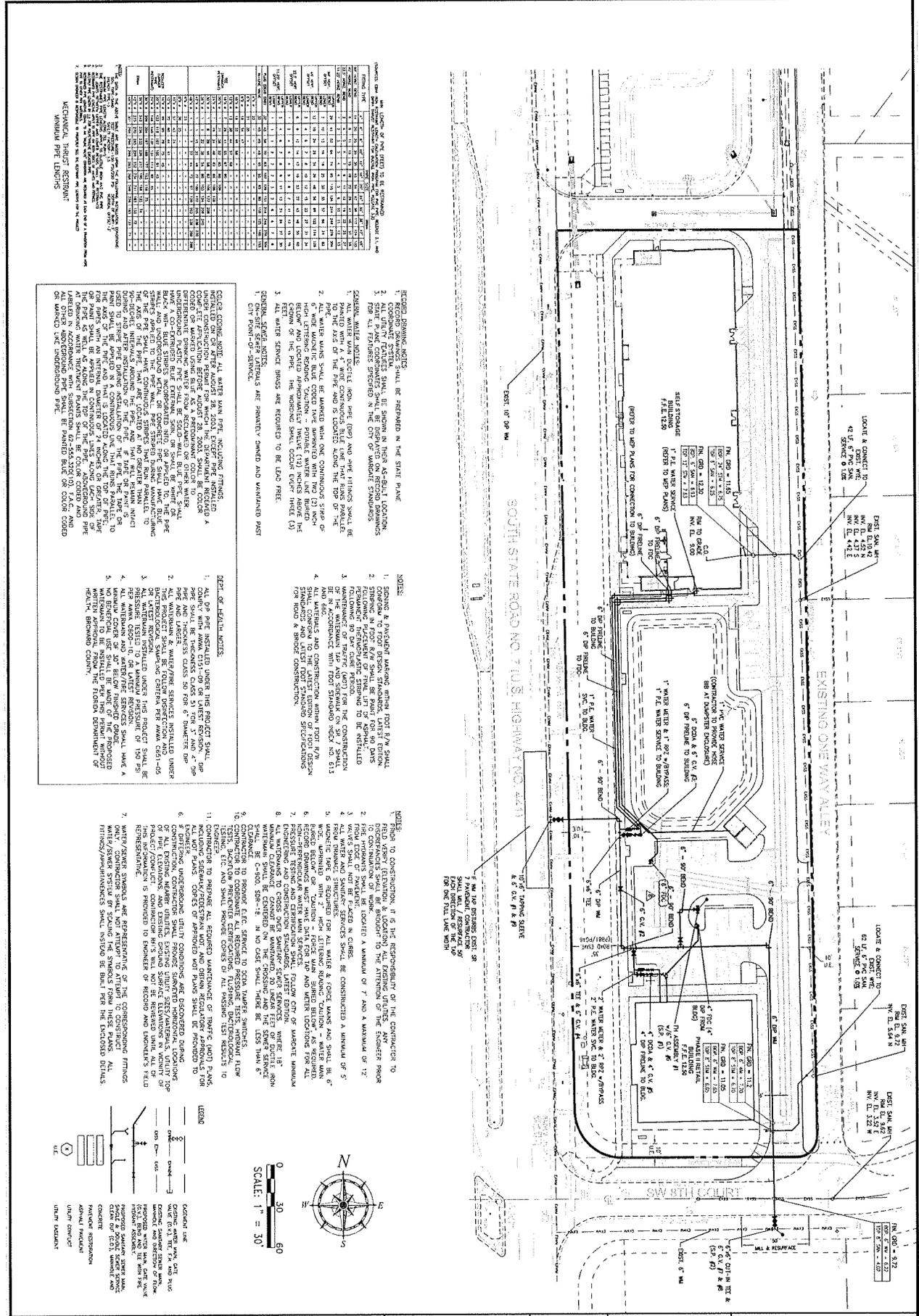
NO.	DATE	REVISIONS
1	11/16/16	GRADE REV PER FLD MEETING
2	11/16/16	REV PER BC COMMENTS
3	11/16/16	REV PER BC COMMENTS
4	11/16/16	REV PER BCITY COMMENTS
5	11/16/16	REV PER BCITY COMMENTS

FIELD: P. Saffold
DESIGNED: TNM
APPROVED: TNM
PROJECT #: 16-010
DRAWING #:



McLeod • McCarthy & Associates, P.A.
Civil Engineers
The Firm
3550 MacArthur Blvd., Suite 710
Margate, FL 32050
P: 954.288.8000
F: 954.288.8000
www.mcleodmccarthy.com

EXHIBIT D
WATER AND WASTE WATER PLAN



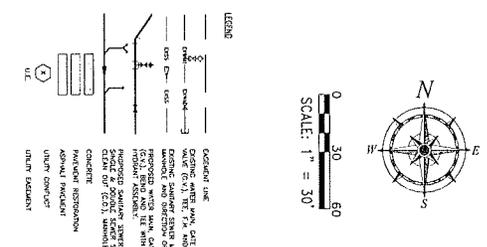
MANUFACTURER'S DATA

ITEM	DESCRIPTION	MANUFACTURER'S DATA
1	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
2	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
3	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
4	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
5	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
6	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
7	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
8	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
9	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
10	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
11	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
12	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
13	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
14	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
15	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
16	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
17	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
18	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
19	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
20	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
21	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
22	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
23	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
24	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
25	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
26	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
27	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
28	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
29	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
30	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
31	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
32	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
33	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
34	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
35	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
36	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
37	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
38	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
39	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
40	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
41	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
42	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
43	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
44	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
45	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
46	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
47	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
48	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
49	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
50	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
51	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
52	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
53	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
54	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
55	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
56	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
57	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
58	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
59	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
60	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
61	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
62	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
63	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
64	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
65	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
66	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
67	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
68	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
69	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
70	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
71	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
72	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
73	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
74	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
75	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
76	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
77	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
78	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
79	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
80	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
81	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
82	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
83	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
84	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
85	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
86	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
87	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
88	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
89	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
90	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
91	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
92	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
93	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
94	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
95	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
96	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
97	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
98	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
99	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG
100	1/2" DIA. 10' LONG	1/2" DIA. 10' LONG

- RECORD DRAWING NOTES**
1. RECORD DRAWINGS SHALL BE PREPARED IN THE STATE PLANS.
 2. ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.
 3. ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.
- GENERAL WATER NOTES**
1. ALL WATER MAINS SHALL BE 12" (MIN) AND THE FITTINGS SHALL BE POINTED WITH A 1" RADIUS CONE POINTS SHALL BE POINTED WITH A 1/2" RADIUS CONE POINTS.
 2. ALL WATER MAINS SHALL BE 12" (MIN) AND THE FITTINGS SHALL BE POINTED WITH A 1" RADIUS CONE POINTS SHALL BE POINTED WITH A 1/2" RADIUS CONE POINTS.
 3. ALL WATER MAINS SHALL BE 12" (MIN) AND THE FITTINGS SHALL BE POINTED WITH A 1" RADIUS CONE POINTS SHALL BE POINTED WITH A 1/2" RADIUS CONE POINTS.
 4. ALL WATER MAINS SHALL BE 12" (MIN) AND THE FITTINGS SHALL BE POINTED WITH A 1" RADIUS CONE POINTS SHALL BE POINTED WITH A 1/2" RADIUS CONE POINTS.
- GENERAL SEWER NOTES**
1. ALL SEWER MAINS SHALL BE 12" (MIN) AND THE FITTINGS SHALL BE POINTED WITH A 1" RADIUS CONE POINTS SHALL BE POINTED WITH A 1/2" RADIUS CONE POINTS.
 2. ALL SEWER MAINS SHALL BE 12" (MIN) AND THE FITTINGS SHALL BE POINTED WITH A 1" RADIUS CONE POINTS SHALL BE POINTED WITH A 1/2" RADIUS CONE POINTS.
 3. ALL SEWER MAINS SHALL BE 12" (MIN) AND THE FITTINGS SHALL BE POINTED WITH A 1" RADIUS CONE POINTS SHALL BE POINTED WITH A 1/2" RADIUS CONE POINTS.
 4. ALL SEWER MAINS SHALL BE 12" (MIN) AND THE FITTINGS SHALL BE POINTED WITH A 1" RADIUS CONE POINTS SHALL BE POINTED WITH A 1/2" RADIUS CONE POINTS.

- NOTES**
1. EXISTING AND PROPOSED WATER MAINS SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.
 2. EXISTING AND PROPOSED SEWER MAINS SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.
 3. EXISTING AND PROPOSED WATER MAINS SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.
 4. EXISTING AND PROPOSED SEWER MAINS SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.

- NOTES**
1. EXISTING AND PROPOSED WATER MAINS SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.
 2. EXISTING AND PROPOSED SEWER MAINS SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.
 3. EXISTING AND PROPOSED WATER MAINS SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.
 4. EXISTING AND PROPOSED SEWER MAINS SHALL BE SHOWN IN THEIR AS-BUILT LOCATIONS FROM THE FIELD SURVEY AND SHALL BE SHOWN IN THE STATE PLANS.



<p>WATER & WASTEWATER PLAN</p> <p>NUVO MARGATE SELF STORAGE</p> <p>COMMERCIAL / SELF STORAGE</p> <p>MARGATE, FLORIDA</p> <p>SCALE: AS SHOWN</p> <p>DATE: 11/16/16</p>	<p>NO. DATE REVISIONS</p> <p>1 11/16/16 PDC INCREASED TO 4"</p> <p>2 11/16/16 DRG VALVING ADDED PER INVEOR</p> <p>3 11/16/16 NOTES & REVISIONS</p> <p>4 11/16/16 PERLINE REV PER CO</p> <p>5 11/16/16 REV PER BIDDY COMMENTS</p> <p>6 11/16/16 REV PER BIDDY COMMENTS</p> <p>7 11/16/16 REV PER BIDDY COMMENTS</p>	<p>FIELD DRAWN: P. Saffold</p> <p>DESIGNED: TMI</p> <p>APPROVED: TMI</p> <p>PROJECT #: 16-010</p> <p>DRAWING #:</p>	<p>SEAL</p> <p>TODD W. MOLEDO, P.E.</p> <p>FL LICENSE NO. 69188 P.E. CA NO. 96531</p>	<p>McLeod + McCarthy & Associates, P.A.</p> <p>Civil Engineers</p> <p>1655 Chapman Avenue, Suite 200</p> <p>West Palm Beach, FL 33411</p> <p>Phone: 561.838.8800</p> <p>www.mcleodmccarthy.com</p>
	<p>SHEET 09 OF 12</p>			

EXHIBIT E
DEPICTION OF DUMPSTER EASEMENT

EXHIBIT F
DEPICTION OF LANDSCAPE BUFFER

EXHIBIT G

DEPICTION OF ACCESS TRAVEL LANE EASEMENT

EXHIBIT H
SITE LIGHTING SYSTEM



Resilient Environment Department
URBAN PLANNING DIVISION

1 North University Drive, Building A, Box 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

Broward County Environmental Review Approval Certificate

Issue Date: 05/03/2024

ER Review #: 000447513

Title of Drawings: Brothers No 29

Project#: A2220

Plan Last Revision Date: 15-SEP-23

Bldg Dept Jurisdiction: Margate

Legal Description: Plat Name: SERINO PARK SEC 3

Lot:

Block:

Address: 830 S State Road 7, Margate, Fl. 33068

Construction Type: New Construction

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval, any changes in footprint, Lot #, or bedrooms or use will require a new approval.

APPROVED

WARNING Notification to the Urban Planning Division is required within ten (10) working days after issuance of a building permit, a certificate of occupancy, a temporary certificate of occupancy, certificate of completion, final inspection or any other action that allows occupancy of the building or facility. The building department is required to electronically update building permit and co data online at <https://dmdweb.broward.org/dmdweb/login.aspx>

COMMENTS New construction: new retail shell building with two retail spaces and including site work. Note: shell only. All interior buildout on separate permit.

SURFACE WATER MANAGEMENT LICENSE

The stormwater management system serving this project shall be constructed in accordance with Broward County Surface Water Management License No.:SWM2017-047-0
The license and approved plans may be viewed at <http://dpep.broward.org/Enviros>.

SURFACE WATER CERTIFICATE OF OCCUPANCY HOLD

In accordance with the Broward County Natural Resource Protection code: No certificate of occupancy, No temporary Certificate of Occupancy, No certificate of Completion, or final Inspection shall be issued until the above conditions are satisfied and written authorization has been given to the building official by the Broward County Surface Water Management Licensing Program.

If a building permit is not applied for within 90 days of the Development and Environmental Review Approval, plans must be re-submitted to the Urban Planning Division for re-evaluation.

Environmental Reviewer Name: Mark Gerberding

July 12, 2025

City of Margate - Department of Environmental & Engineering Services
Engineering Division / 5790 Margate Blvd. Margate, FL 33063

RE: ERC Calculation - Proposed Childcare/Educational Facility
Property Location: 830 S State Rd 7, Margate, FL 33068

On behalf of the development team for the proposed childcare/educational facility, we respectfully submit this correspondence to address the required Equivalent Residential Connection (ERC) demand as requested by the City of Margate's engineering review:

Proposed Use: Childcare / Educational Facility
Proposed Student Capacity: 132 children

Based on this methodology:

City of Margate's adopted methodology for calculating ERC demand for non-residential uses—pursuant to Resolution No. 23-107, adopted and approved on December 6, 2023, which governs the schedule of fees and ERC equivalencies under Chapter 39 (Water and Sewers - Department of Environmental and Engineering Services)—the applicable formula for day-care/school uses is:

Daily Flow = Number of Students \times 15 GPD

ERC Conversion = 1 ERC per 350 GPD

CALCULATION:

132 students \times 15 GPD = 1,980 GPD

1,980 GPD \div 350 GPD/ERC = 5.66 ERCs

Total demand of 5.66 ERCs.

Sincerely,

Radames Iribar FL P.E. 63925



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
JADE'S HOLDINGS, LLC

Filing Information

Document Number	L23000554262
FEI/EIN Number	99-1598431
Date Filed	12/18/2023
Effective Date	12/15/2023
State	FL
Status	ACTIVE

Principal Address

1800 CATHEDRAL DRIVE
MARGATE, FL 33063

Mailing Address

1800 CATHEDRAL DRIVE
MARGATE, FL 33063

Registered Agent Name & Address

LOUIS, WILZA L
1800 CATHEDRAL DRIVE
MARGATE, FL 33063

Authorized Person(s) Detail

Name & Address

Title MGR

LOUIS, WILZA LISA
1800 CATHEDRAL DRIVE
MARGATE, FL 33063

Title MGR

Stleger, Breana
1800 CATHEDRAL DRIVE
MARGATE, FL 33063

Annual Reports

Report Year	Filed Date
--------------------	-------------------

2024	02/29/2024
2025	03/04/2025

Document Images

[03/04/2025 -- ANNUAL REPORT](#)

View image in PDF format

[02/29/2024 -- ANNUAL REPORT](#)

View image in PDF format

[12/18/2023 -- Florida Limited Liability](#)

View image in PDF format

MARGATE DAYCARE

830 South State Road 7 (US 441)
City of Margate, Broward County, Florida

Trip Generation Assessment Report

Prepared For:
Raymond Baladi
Project Manager



A&R Bal General & Pool Contractor
CRID
P: 786-542-3739
O: 754-271-8489

Prepared By:
Caltran Engineering Group

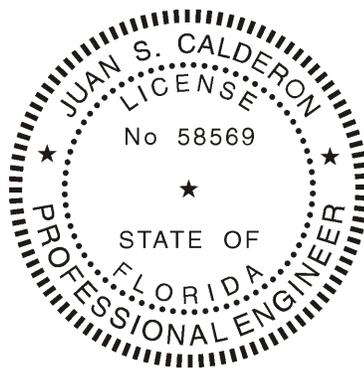
2025

DATE: July 2025
PROJECT LOCATION: Margate Day Care Facility
CLIENT: A&R Bal General & Pool Contractor
P: 786-542-3739
O: 754-271-8489

REPORT BY: CALTRAN Engineering Group, Inc.
790 NW 107th Avenue, Suite 200
Miami, FL, 33172
Certificate of Authorization 29379

ENGINEER'S CERTIFICATION

I, JUAN S. CALDERON, CERTIFY THAT I CURRENTLY HOLD AN ACTIVE PROFESSIONAL ENGINEER'S LICENSE IN THE STATE OF FLORIDA AND I AM COMPETENT THROUGH EDUCATION AND EXPERIENCE TO PROVIDE ENGINEERING SERVICES IN THE CIVIL AND TRAFFIC ENGINEERING DISCIPLINES CONTAINED IN THIS REPORT. I FURTHER CERTIFY THAT THIS REPORT WAS PREPARED BY ME, OR UNDER MY RESPONSIBLE CHARGE, AS REQUIRED BY CHAPTER 61G15-18. F.A.C. AND THAT ALL STATEMENTS, CONCLUSIONS AND RECOMMENDATIONS MADE HEREIN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND ABILITY.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

CALTRAN ENGINEERING GROUP
790 NW 107 AVENUE, Suite 200
MIAMI, FL 33172
CERTIFICATE OF AUTHORIZATION 29379
JUAN S. CALDERON, P.E. NO. 58569

Caltran Engineering Group, Inc. has developed this traffic memorandum in support of a proposed daycare facility to be located at 830 South State Road 7 (US 441) in the City of Margate, Broward County, Florida. The proposed facility is expected to accommodate a total enrollment of 132 students, organized by age group to facilitate staggered drop-off and pick-up times in an effort to minimize traffic impacts on adjacent roadways.

In addition to the student population, the facility will employ approximately 12 administrative and instructional staff members. Staffing levels are anticipated to remain consistent throughout the day, with arrival occurring prior to student drop-off periods and departure after the final student pick-up, ensuring efficient on-site supervision and operations.

A breakdown of student groups and associated schedule information is provided in the following table:

Age Group	Number of Students	Drop-off Time	Pick-up Time
Infants to 4 years	70	7:00 AM	4:30 PM – 6:00 PM
5-year-olds	62	8:00 AM	2:00 PM

Exhibit A. illustrates a location map of the proposed daycare

Please refer to **APPENDIX A** for the proposed development Site Plan

(Intentionally Blank Space)

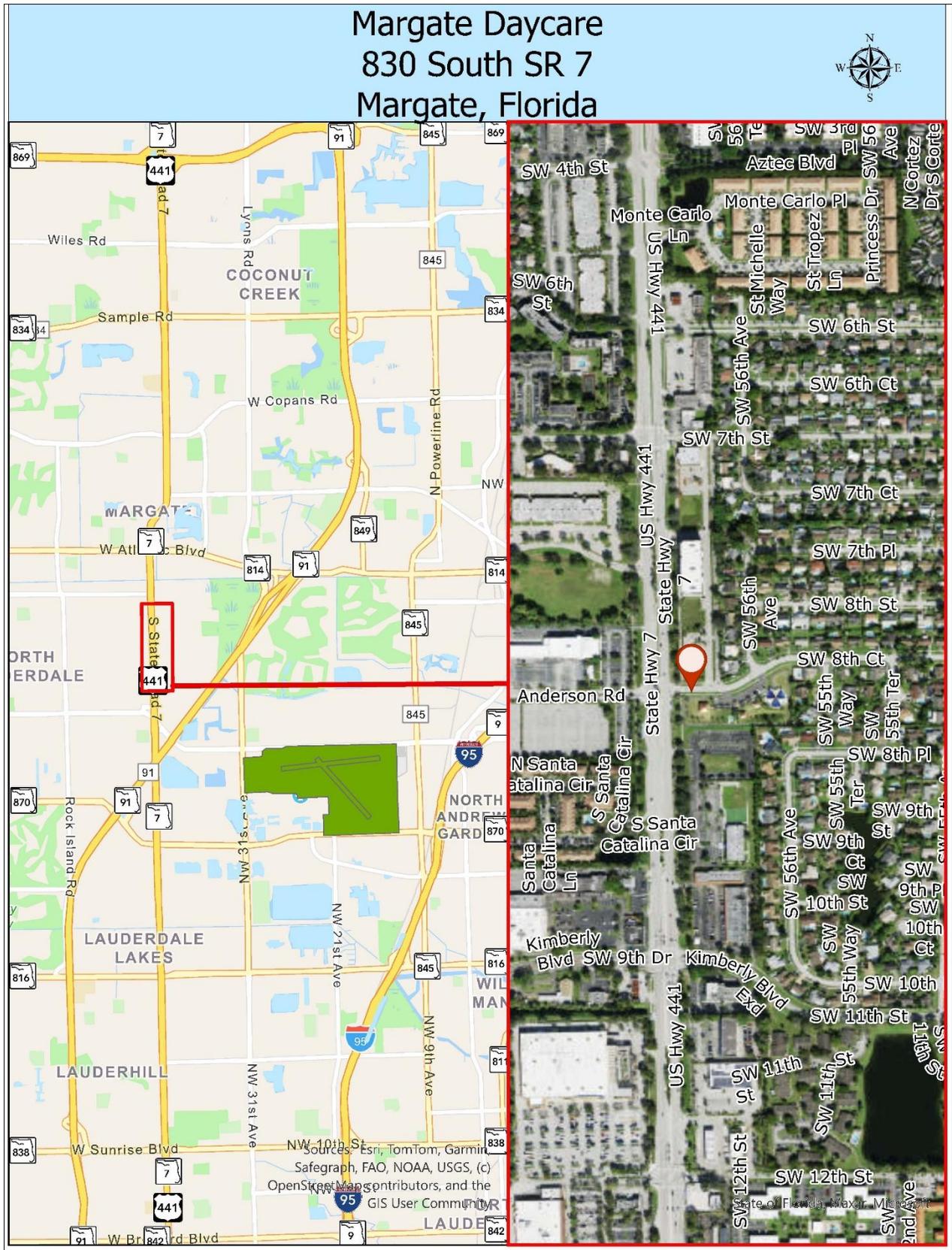


Exhibit 1. Location Map.

1.0 Trip Generation Assessment

The subject site is currently vacant; however, to account for previously approved development entitlements, a net trip assessment was conducted based on the trip generation associated with the prior approved use. This approach allows for the application of trip credits consistent with the City’s practices.

The previously approved proposed Brothers No. 29 development site consisted of a 7,350-square-foot retail building. A preliminary site plan and floor plan illustrating the layout and access configuration are included in **APPENDIX B** of this memorandum.

A trip generation analysis for the proposed use was conducted using trip generation data published by the Institute of Transportation Engineers (ITE) in the Trip Generation Manual, 11th Edition. Based on the characteristics of the development, the most appropriate ITE land use category was identified as Land Use Code 822 – Strip Retail Plaza (<40,000 square feet). The applicable trip generation rates used to estimate the vehicular activity associated with the proposed site are summarized below:

ITE Land Use Code 822 – Strip Retail Plaza (<40k GLA)

- Daily: T = 54.45(X)
- AM Peak Hour: T = 2.36(X) (60% in / 40% out)
- PM Peak Hour: T = 6.59(X) (50% in / 50% out)

Where T = number of trips and X = 1,000 square feet of gross leasable area.

A pass-by trip reduction of 40% was applied, consistent with ITE guidance for similar land uses, such as Land Use Code 821.

Table 1 below summarizes the resulting trip generation estimates associated with the previously approved Brothers No. 29 Retail Plaza.

Table 1. Brothers No. 29 Retail Plaza Trip Generation

Land Use	Size	Daily Tirps	AM Peak Hour Trips			PM Peak Hour Trips		
			IN	Out	Total	In	Out	Total
Retail Plaza	7,350 Sf	400	10	7	17	24	24	48
Pass By (40%)		160	4	3	7	10	9	19
Total		240	6	4	10	14	15	29

Trip generation for the proposed educational facility was evaluated using the same methodology described previously. The analysis was conducted based on ITE Land Use Code 565 – Day Care Center, and the resulting trip estimates are summarized in Table 2 below.

Day Care (ITE Land Use 565)

- *Daily Trips:* $T = \text{Average (4.09)}$

Where T = average daily vehicle trip ends and X = number of students

- *AM Peak Hour:* $T = 0.66 (X) + 8.42$ with 53% inbound and 47% outbound

Where T = AM peak hour trip ends and X = number of students

- *PM Peak Hour:* $\ln (T) = 0.87 \ln (X) + 0.29$ with 47% inbound and 53% outbound

Table 2. Margate Daycare Trip Generation

<i>Land Use</i>	<i>Size</i>	<i>Daily Tirps</i>	<i>AM Peak Hour Trips</i>			<i>PM Peak Hour Trips</i>		
			<i>IN</i>	<i>Out</i>	<i>Total</i>	<i>In</i>	<i>Out</i>	<i>Total</i>
<i>Day Care</i>	<i>132 Students</i>	<i>540</i>	<i>51</i>	<i>45</i>	<i>96</i>	<i>44</i>	<i>50</i>	<i>94</i>

Net Trip Assessment is summarized as follows:

Table 3. Net Trip Generation Assessment

<i>Land Use</i>	<i>Daily Tirps</i>	<i>AM Peak Hour Trips</i>			<i>PM Peak Hour Trips</i>		
		<i>IN</i>	<i>Out</i>	<i>Total</i>	<i>In</i>	<i>Out</i>	<i>Total</i>
<i>Retail Plaza</i>	<i>240</i>	<i>6</i>	<i>4</i>	<i>10</i>	<i>14</i>	<i>15</i>	<i>29</i>
<i>Daycare</i>	<i>540</i>	<i>51</i>	<i>45</i>	<i>96</i>	<i>44</i>	<i>50</i>	<i>94</i>
<i>Total</i>	<i>300</i>	<i>45</i>	<i>41</i>	<i>86</i>	<i>30</i>	<i>35</i>	<i>65</i>

Based on the trip generation analysis, the proposed development is anticipated to generate a total of approximately 300 daily vehicle trips. Of these trips, approximately 86 trips are expected to occur during the AM peak hour, while 65 trips are projected during the PM peak hour. These estimates reflect both inbound and outbound movements and are consistent with the operational characteristics of similar land uses as defined by ITE Land Use Code 565 – Day Care Center. Please Refer to **APPENDIX B** for Trip Generation result sheets.

2.0 Parking Assessment

The site currently provides a total of 24 parking spaces, including one ADA-compliant (handicap-accessible) stall.

According to the Institute of Transportation Engineers (ITE) Parking Generation Manual, 6th Edition, a 7,682-square-foot daycare facility would typically require approximately 18 parking spaces. When using the projected 12 employees as the independent variable, the estimated parking demand increases slightly to 19 spaces.

Given that 24 spaces are proposed, the future Margate Day Care facility will offer sufficient parking capacity to meet anticipated demand and comply with applicable parking standards.

However, due to the share parking agreement, with the storage facility located at 750 S. State Road 7, Margate, FL 33068, not all available parking spaces were considered in the analysis. For evaluation purposes, it is assumed that 19 of the 24 total spaces will be allocated for daycare use. The parking demand analysis, based on a 10-minute average dwell time per vehicle, is summarized as follows:

Erlang C model:

- Morning drop-off (45 vehicles/hour, 10 minutes per vehicle):
The probability that a vehicle will not find an available parking space immediately is negligible (effectively zero).
- Afternoon pick-up (30 vehicles/hour, 5 minutes per vehicle):
The probability that a vehicle will not find an available parking space immediately is negligible (effectively zero).

Please refer to **APPENDIX C** for Erlang C model Calculations.

Conclusion:

With 19 parking spaces and the given drop-off/pick-up durations, site is able to adequately address the parking demand, the expectancy of a parent needing to wait for an available space is negligible during both peak periods.

3.0 Concurrency analysis

A capacity/level of service evaluation was undertaken for S. State Road 7. The results of this effort are presented in **Tables 3 and 4**. As indicated in the tables, S. State Road 7 is currently operating at level of service “C” and will continue to operate adequately with the proposed day care facility in place. During the AM peak hour, the segment is expected to continue to operate under level of service “B”. Please refer to **APPENDIX D** for 2024 FDOT traffic monitoring site data.

Table 4. Concurrency Analysis

Station	FDOT AADT 2024	Trip Generation	Total Volume	LOS
860426	50,125	300	50,425	C

Station	Peak Hour 2024	Trip Generation	Total Volume	LOS
860426	3,516	86	3,602	B

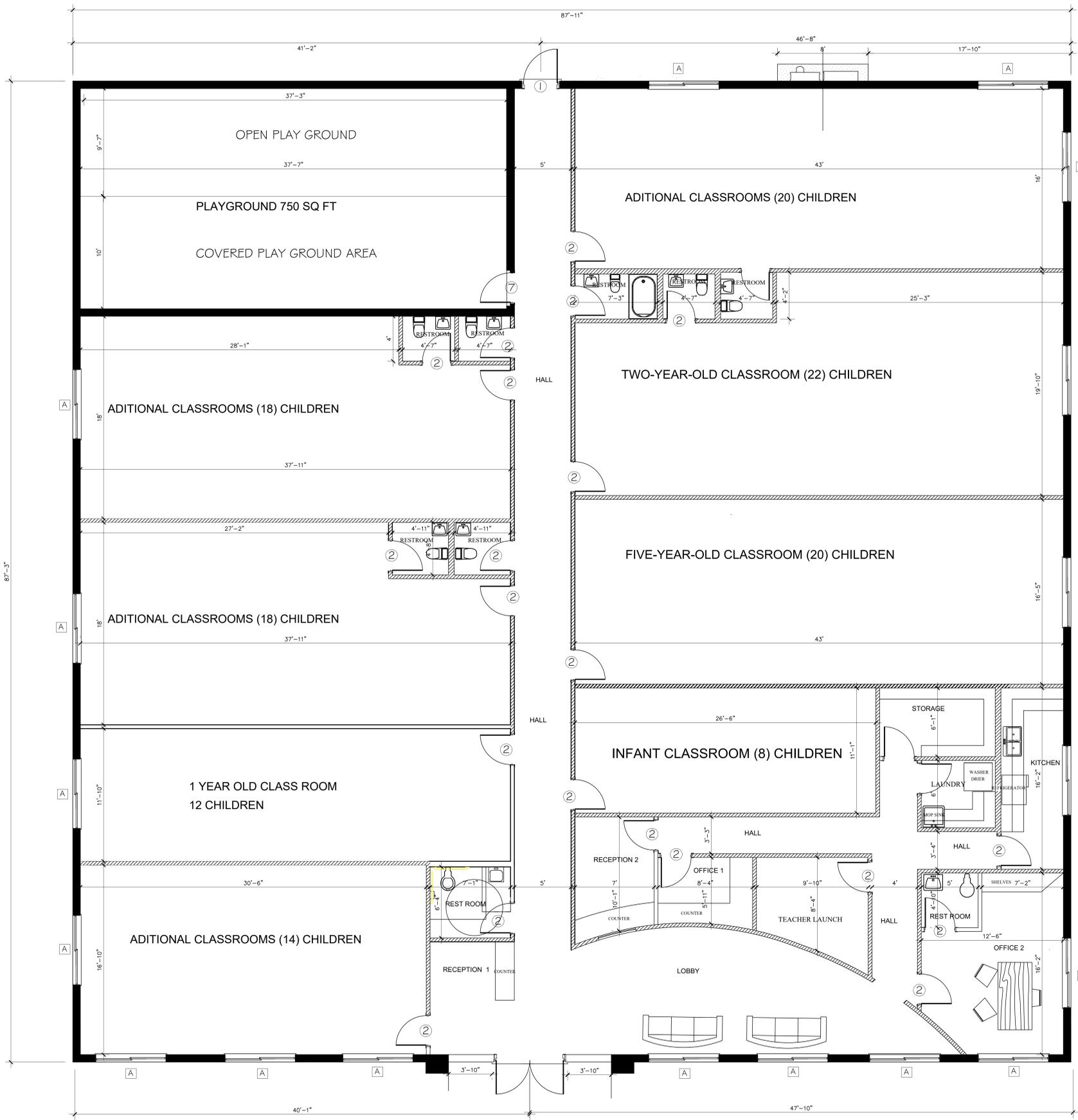
4.0 Summary

The proposed daycare facility is projected to generate approximately 300 additional daily trips compared to the previously approved retail development on the site. During the peak operational periods—corresponding to student drop-off in the morning and pick-up in the afternoon—the facility is expected to generate 86 AM peak hour trips and 65 PM peak hour trips.

According to traffic volume data collected from FDOT monitoring sites, S. Road 7 (SR 7) is currently operating at an acceptable Level of Service (LOS). The addition of the projected site-generated traffic is not expected to adversely impact existing traffic conditions, and the roadway segment is anticipated to continue operating within acceptable LOS thresholds.

Furthermore, a parking demand assessment was performed using the Erlang C queuing model. Assuming an average dwell time of 5 minutes per student for drop-off and pick-up—facilitated by internal operational logistics designed to streamline circulation—the probability of a vehicle not finding an available parking space upon arrival is negligible. With a total of 19 on-site parking spaces, the facility is adequately parked to accommodate both staff and visitor demand without operational delays or queuing impacts on adjacent roadways.

APPENDIX A
Development Site Plan

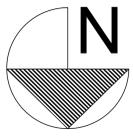


DOOR SCHEDULE						
No.	TYPE	W	HT.	THK.	THR.	REMARKS
①	EXTERIOR METAL DOOR (SWING)	36"	6'-8"	1-3/4"	METAL	NEW DOOR IMPACT RESISTANT
②	INTERIOR DOOR (SWING)	32"	6'-8"	1-1/2"	WOOD	EXISTING TO BE REPLACE
③	EXTERIOR METAL AND GLASS DOOR SWING(FRONT ENTRANCE)	72"	6'-8"	1-3/4"	METAL	NEW DOOR IMPACT RESISTANT
④	EXTERIOR METAL AND GLASS SITE PANELS (FRONT ENTRANCE)	36"	6'-8"	1-3/4"	METAL	NEW DOOR IMPACT RESISTANT
⑤	EXTERIOR METAL AND GLASS TOP SITE PANELS (FRONT ENTRANCE)	36"	36"	1-3/4"	METAL	NEW DOOR IMPACT RESISTANT
⑥	EXTERIOR METAL AND GLASS TOP CENTER PANELS (FRONT ENTRANCE)	76"	36"	1-3/4"	METAL	NEW DOOR IMPACT RESISTANT
⑦	EXTERIOR METAL DOOR (SWING)	32"	6'-8"	1-3/4"	METAL	NEW DOOR IMPACT RESISTANT (FOR PLAY GROUND)

NOTE:
 EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY (21-2.44 NFPA 101)

WINDOW SCHEDULE						
No.	TYPE	W	HT.	FRAME	GLASS	REMARKS
A	FIXED GLASS	74"	63"	WHITE	CLEAR	NEW FIXED GLASS IMPACT RESISTANT COLOR OF FRAME BY OWNER

NOTE:
 WINDOW # EXTERIOR DOORS TO BE INSTALLED UNDER SEPARATE PERMIT PERMIT / SHOP DRAWINGS.
 U FACTOR = 1.30 SINGLE TINTED (DEFAULT)
 SH GC = SINGLE TINTED (DEFAULT)



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

Owners :

EDUCATION FACILITY BUILDING
JADES HOLDING LLC
 830 S. STATE ROAD 7
 MARGATE, FLORIDA. 33068

Revision

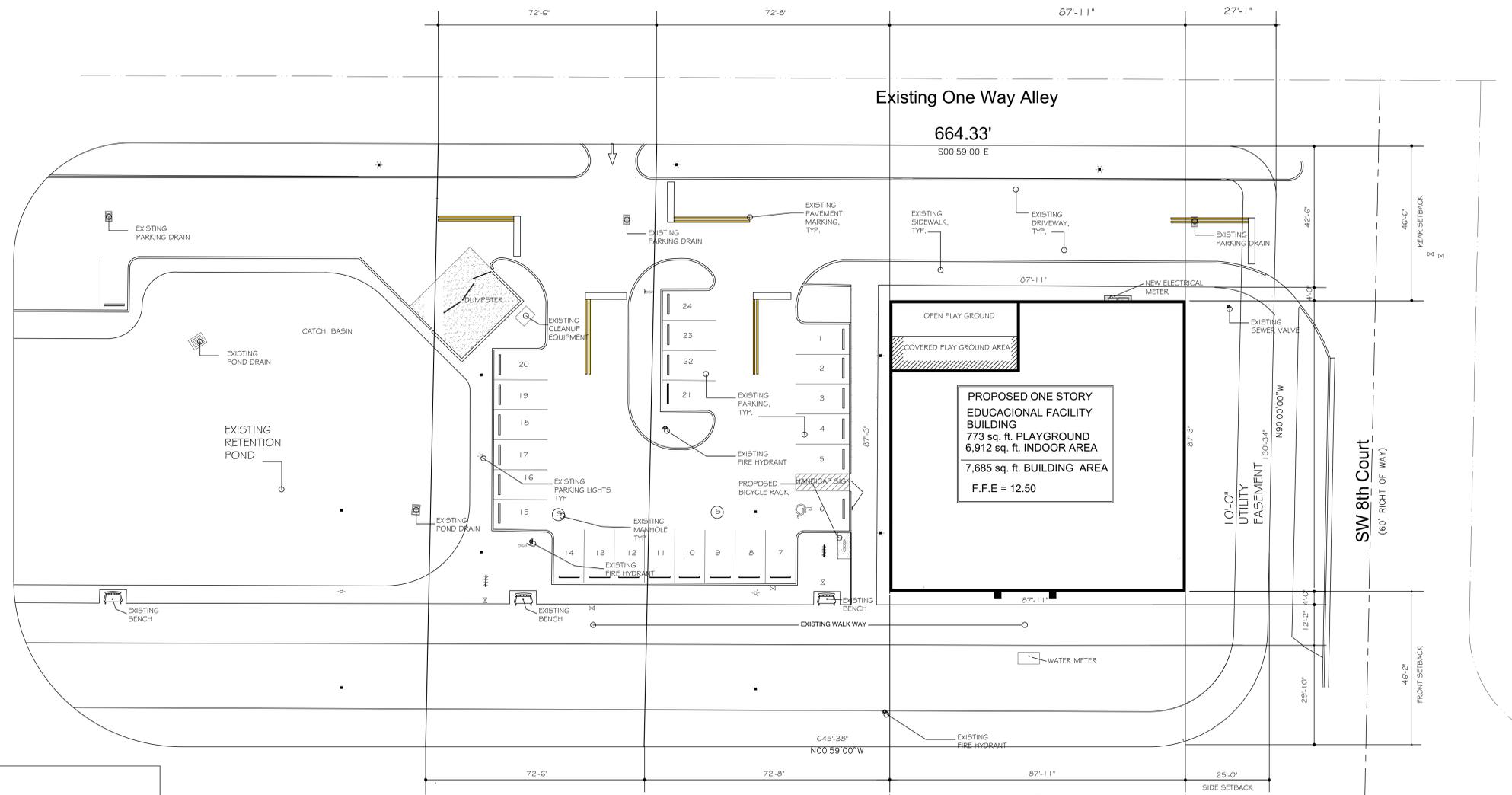
Drawn By: B. PEREDA

Checked:

Date: 3/20/2025

Job Number:

Sheet: **A-1**



ZONING INFORMATION

LEGAL DESCRIPTION;

LOT COVERGEASERINO PARK SEC 3 81-46 B 5 TOGETHER WITH 5 88.23 OF N 1025.42.

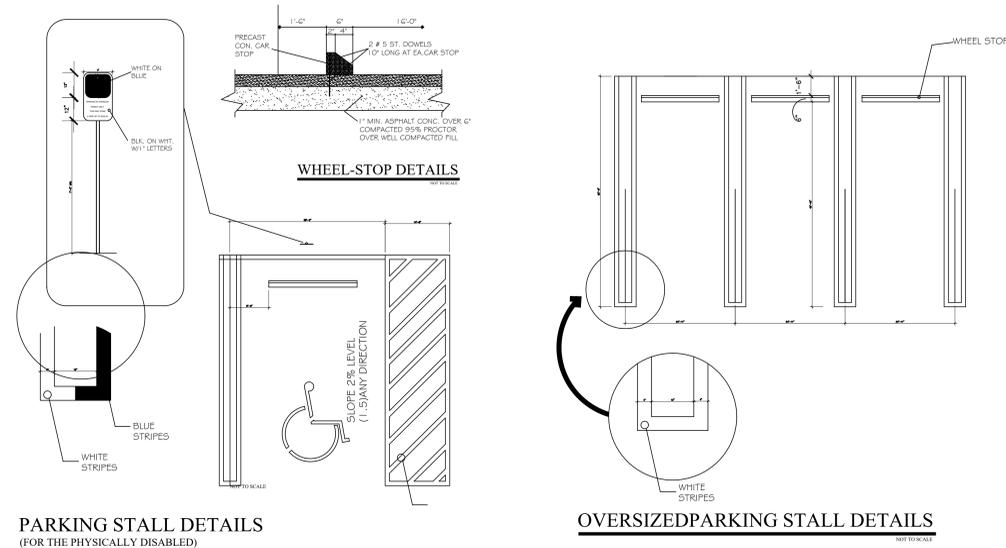
PROPERTY ID: 4942061 80935 LOT COVERAGE AREA: 31,779 SQ FT 0.73 ACRES
 JURISDICTION: FROWARD COUNTY
 ZONING: TCO-C / TRANSIT ORIENTED CORRIDOR - CORRIDOR
 FLOOD ZONE: ZONE X
 BASE FLOOD ELEVATION:--

CATEGORIES	REQUIRED / ALLOWED	EXISTING	PROVIDED
LOT OCCUPATION			
LOT COVERAGE			7,685 SQ FT
VEHICULAR USE AREA		8,673 SQ FT	8,673 SQ FT
LANDSCAPE			
OPEN SPACE	0 SQ FT (0.00 % MIN.)	18,968 SQ FT 59.69 %	11,011 SQ FT 34.65 %
IMPERVIOUS AREA		12,811 SQ FT 40.31 %	20,768 SQ FT 65.35 %
SETBACKS			
FRONT	N/A		46'-2"
INTERIOR SID	N/A		63'-2"
SIDE STREET	N/A		25'-0"
REAR	N/A		46'-6"
HEIGHT			
EDUCATIONAL FACILITY	55'-0" / 4 STORY MAX.		18'-11" / 1 STORY
AREAS (UNDER A/C)			
EDUCATION FACILITY			6,912 SQ FT

PARKING DATA:	REQUIRED / ALLOWED	EXISTING	PROVIDED
EDUCATIONAL FACILITY 6,185 S.F. @ 3 SPACE 1,000 S.F. = 3 SPACE	18 PARKING	18 PARKING	18 PARKING
OFFICE 1,500 S.F. @ 3 SPACE 11,500 S.F. = 3 SPACE	5 PARKING	5 PARKING	5 PARKING
TOTAL PARKING	23 PARKING	23 PARKING	23 PARKING
DIVIDE BY SHARING FACTOR OF 1.2 = 20 SPACES	19 PARKING	4 PARKING	4 PARKING
ENCLOSED SELF-STORAGE: 757 STORAGE BAY 1 SPACE / 200 BAYS 3.70	4 PARKING		
TOTAL PARKING	23 PARKING	27 PARKING	27 PARKING
HANDICAP PARKING	2 PARKING	2 PARKING	2 PARKING
TOTAL PARKING	30 PARKING		
LOADING	3 SPACES (11 X 24 MIN.)	3 LOADING	3 LOADING
BICYCLE PARKING	4 SPACES (1 / 2,500 S.F. RETAIL 6,185 S.F.) OFFICE (1,500 S.F.)	4 BICYCLE PARKING	4 BICYCLE PARKING

SOUTH STATE ROAD No. 7 (U.S. HIGHWAY No. 441)

SITE PLAN
SCALE: 1/16" = 1'-0"



Owners :

EDUCATION FACILITY BUILDING
 JADES HOLDING LLC
 830 S. STATE ROAD 7
 MARGATE, FLORIDA. 33068

Revision

Drawn By: B. PEREDA

Checked:

Date: 3/20/2025

Job Number:

Sheet:

SP-1

APPENDIX B
Trip Generation

Scenario - 1

Scenario Name: Overall - Periods

User Group:
No. of Years to Project 0
Traffic :

Dev. phase: 1

Analyst Note:

Warning: The time periods among the land uses do not appear to match.

VEHICLE TRIPS BEFORE REDUCTION

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry	Exit	Total
					Rate/Equation	Split%	Split%	
565 - Day Care Center	General	Students	132	Weekday	Average	270	270	540
Data Source: Trip Generation Manual, 11th Ed	Urban/Suburban				4.09	50%	50%	
565(1) - Day Care Center	General	Students	132	Weekday, Peak Hour of Adjacent Street Traffic,	Best Fit (LIN)	51	45	96
Data Source: Trip Generation Manual, 11th Ed	Urban/Suburban				$T = 0.66(X) + 8.42$	53%	47%	
565(2) - Day Care Center	General	Students	132	Weekday, Peak Hour of Adjacent Street Traffic,	Best Fit (LOG)	44	50	94
Data Source: Trip Generation Manual, 11th Ed	Urban/Suburban				$\ln(T) = 0.87\ln(X) + 0.29$	47%	53%	

VEHICLE TO PERSON TRIP CONVERSION

BASELINE SITE VEHICLE CHARACTERISTICS:

Land Use	Baseline Site Vehicle Mode Share		Baseline Site Vehicle Occupancy		Baseline Site Vehicle Directional Split	
	Entry (%)	Exit (%)	Entry	Exit	Entry (%)	Exit (%)
565 - Day Care Center	100	100	1	1	50	50
565(1) - Day Care Center	100	100	1	1	53	47
565(2) - Day Care Center	100	100	1	1	47	53

ESTIMATED BASELINE SITE PERSON TRIPS:

Land Use	Baseline Site Vehicle Mode Share		Baseline Site Vehicle Occupancy		Baseline Site Vehicle Directional Split	
	Entry (%)	Exit (%)	Entry	Exit	Entry (%)	Exit (%)
565 - Day Care Center	270	270	0	0	270	270
	540		0		540	
565(1) - Day Care Center	51	45	0	0	51	45
	96		0		96	
565(2) - Day Care Center	44	50	0	0	44	50
	94		0		94	

APPENDIX C
Parking Calculation

A =	7
M =	19

Numerator 0.09370616

$$P = \frac{\left(\frac{A^M}{M!}\right)}{1 + A + \frac{A^2}{2} + \dots + \frac{A^M}{M!}}$$

Denominator	Exponet (M)	Value (A)	Total (A ^M)	Exponet	FACT (M!)	(A ^M /M!)	Denominator P	P, %	Final
	0	1		1	0	1	1	1	100
	1	7		7	1	7	7	8	0.875 87.5
	2	7		49	2	24.5	32.5	0.753846154	75.38462
	3	7		343	3	57.16667	89.6666667	0.637546468	63.75465
	4	7		2401	4	100.0417	189.708333	0.527344608	52.73446
	5	7		16807	5	140.0583	329.766667	0.424719499	42.47195
	6	7		117649	6	163.4014	493.168056	0.331330035	33.133
	7	7		823543	7	163.4014	656.569444	0.248871449	24.88714
	8	7		5764801	8	142.9762	799.545666	0.178821827	17.88218
	9	7		40353607	9	111.2037	910.749383	0.122101343	12.21013
	10	7		282475249	10	77.84261	988.591989	0.078740883	7.874088
	11	7		1977326743	11	49.5362	1038.12819	0.047716847	4.771685
	12	7		13841287201	12	28.89612	1067.02431	0.027081031	2.708103
	13	7		96889010407	13	15.55945	1082.58376	0.014372513	1.437251
	14	7		6.78223E+11	14	7.779724	1090.36348	0.007134982	0.713498
	15	7		4.74756E+12	15	3.630538	1093.99402	0.003318609	0.331861
	16	7		3.32329E+13	16	1.58836	1095.58238	0.001449786	0.144979
	17	7		2.32631E+14	17	0.654031	1096.23641	0.000596615	0.059661
	18	7		1.62841E+15	18	0.254345	1096.49076	0.000231963	0.023196
	19	7		1.13989E+16	19	0.093706	1096.58447	8.54528E-05	0.008545
	20	7		7.97923E+16	20	0.032797	1096.61726	2.99076E-05	0.002991
						1096.617			
								P = 8.54502E-05	0.009%

A =	5
M =	19

Numerator 0.000156796

$$P = \frac{\left(\frac{A^M}{M!}\right)}{1 + A + \frac{A^2}{2} + \dots + \frac{A^M}{M!}}$$

Denominator	Exponet (M)	Value (A)	Total (A ^M)	Exponet	FACT (M!)	(A ^M /M!)	Denominator P	P, %	Final
	0	1		1	0	1	1	1	100
	1	5		5	1	5	5	6	0.833333333 83.33333
	2	5		25	2	12.5	18.5	6	0.675675676 67.56757
	3	5		125	3	20.83333	39.3333333	6	0.529661017 52.9661
	4	5		625	4	26.04167	65.375	6	0.398342894 39.83429
	5	5		3125	5	26.04167	91.4166667	6	0.284867821 28.48678
	6	5		15625	6	21.70139	113.118056	6	0.191847259 19.18473
	7	5		78125	7	15.50099	128.619048	6	0.120518635 12.05186
	8	5		390625	8	9.68812	138.307168	6	0.070047852 7.004785
	9	5		1953125	9	5.382289	143.689457	6	0.037457786 3.745779
	10	5		9765625	10	2.691144	146.380601	6	0.01838457 1.838457
	11	5		48828125	11	1.223247	147.603849	6	0.008287368 0.828737
	12	5		244140625	12	0.509686	148.113535	6	0.003441188 0.344119
	13	5		1220703125	13	0.196033	148.309568	6	0.001321784 0.132178
	14	5		6103515625	14	0.070012	148.37958	6	0.000471843 0.047184
	15	5		30517578125	15	0.023337	148.402917	6	0.000157256 0.015726
	16	5		1.52588E+11	16	0.007293	148.41021	6	4.91402E-05 0.004914
	17	5		7.62939E+11	17	0.002145	148.412355	6	1.44528E-05 0.001445
	18	5		3.8147E+12	18	0.000596	148.412951	6	4.01465E-06 0.000401
	19	5		1.90735E+13	19	0.000157	148.413108	6	1.05648E-06 0.000106
	20	5		9.53674E+13	20	3.92E-05	148.413147	6	2.64121E-07 2.64E-05
						148.4131			P = 1.05648E-06 0.000%

APPENDIX D
FDOT TRAFFIC MONITORING SITE DATA

COUNTY: 86
 STATION: 0426
 DESCRIPTION: SR 7 - S OF SOUTHGATE BLVD,CABINET AT AZTEC BLVD
 START DATE: 05/01/2024
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL	
0000	69	68	56	40	233	112	87	75	67	341	574
0100	46	53	28	25	152	64	45	45	50	204	356
0200	24	39	38	25	126	40	38	37	31	146	272
0300	25	17	28	28	98	24	34	38	34	130	228
0400	37	34	48	58	177	36	43	28	41	148	325
0500	55	65	76	76	272	36	79	69	106	290	562
0600	82	122	148	255	607	139	187	223	305	854	1461
0700	328	448	457	464	1697	295	383	393	389	1460	3157
0800	487	458	460	433	1838	440	450	420	406	1716	3554
0900	426	432	332	325	1515	382	331	320	319	1352	2867
1000	358	325	357	368	1408	289	310	317	290	1206	2614
1100	368	357	254	278	1257	338	266	330	351	1285	2542
1200	249	279	288	285	1101	307	339	333	306	1285	2386
1300	276	386	355	362	1379	319	318	307	333	1277	2656
1400	358	385	397	398	1538	392	390	371	424	1577	3115
1500	388	427	414	425	1654	404	376	399	423	1602	3256
1600	411	424	422	435	1692	454	387	458	478	1777	3469
1700	456	456	465	422	1799	424	443	402	448	1717	3516
1800	423	366	355	327	1471	472	451	471	461	1855	3326
1900	358	357	324	347	1386	409	388	395	382	1574	2960
2000	258	275	285	286	1104	331	364	334	330	1359	2463
2100	272	242	258	225	997	331	272	265	250	1118	2115
2200	226	146	155	125	652	252	227	205	169	853	1505
2300	167	164	165	128	624	159	172	127	141	599	1223
24-HOUR TOTALS:	24777					25725					50502

	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	745	1869	800	1716	745	3568
P.M.	1645	1812	1800	1855	1630	3572
DAILY	745	1869	1800	1855	1630	3572

COUNTY: 86
 STATION: 0426
 DESCRIPTION: SR 7 - S OF SOUTHGATE BLVD,CABINET AT AZTEC BLVD
 START DATE: 05/02/2024
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL	
0000	88	89	78	85	340	102	94	92	54	342	682
0100	87	74	67	58	286	64	48	49	48	209	495
0200	55	45	44	41	185	39	24	41	31	135	320
0300	34	35	32	23	124	32	32	32	42	138	262
0400	36	22	26	52	136	34	36	37	52	159	295
0500	52	68	85	118	323	49	56	81	97	283	606
0600	198	289	258	357	1102	145	177	220	307	849	1951
0700	374	488	448	459	1769	270	385	345	358	1358	3127
0800	459	478	445	475	1857	398	450	367	392	1607	3464
0900	485	350	379	332	1546	354	361	312	326	1353	2899
1000	284	266	292	289	1131	289	288	281	374	1232	2363
1100	273	251	306	298	1128	357	331	309	305	1302	2430
1200	278	300	281	316	1175	335	350	374	296	1355	2530
1300	252	326	332	368	1278	347	311	348	352	1358	2636
1400	308	342	355	326	1331	350	436	365	377	1528	2859
1500	369	357	421	389	1536	378	405	438	394	1615	3151
1600	356	373	361	432	1522	400	389	449	449	1687	3209
1700	407	442	433	435	1717	403	414	424	417	1658	3375
1800	394	414	355	373	1536	456	418	404	437	1715	3251
1900	338	336	328	288	1290	371	361	371	318	1421	2711
2000	252	268	287	324	1131	337	354	342	345	1378	2509
2100	239	217	201	204	861	306	315	292	252	1165	2026
2200	188	157	176	141	662	236	272	199	180	887	1549
2300	116	116	107	85	424	161	183	153	128	625	1049
24-HOUR TOTALS:	24390					25359					49749

	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	815	1883	800	1607	800	3464
P.M.	1700	1717	1630	1715	1715	3415
DAILY	815	1883	1630	1715	800	3464



2023 MULTIMODAL QUALITY/ LEVEL OF SERVICE HANDBOOK

State of Florida
Department of Transportation
Systems Implementation Office
605 Suwannee St. MS 19
Tallahassee, FL 32399

www.fdot.gov/planning
January 2023

C2T, C4, C5, & C6

Motor Vehicle Arterial Generalized Service Volume Tables



(C2T-Rural Town)

Peak Hour Directional

	B	C	D	E
1 Lane	*	720	940	**
2 Lane	*	1,140	1,640	**
3 Lane	*	2,120	2,510	**

Peak Hour Two-Way

	B	C	D	E
2 Lane	*	1,310	1,710	**
4 Lane	*	2,070	2,980	**
6 Lane	*	3,850	4,560	**

AADT

	B	C	D	E
2 Lane	*	13,800	18,000	**
4 Lane	*	21,800	31,400	**
6 Lane	*	40,500	48,000	**



(C4-Urban General)

	B	C	D	E
1 Lane	*	*	870	1,190
2 Lane	*	1,210	1,790	2,020
3 Lane	*	2,210	2,810	2,990
4 Lane	*	2,590	3,310	3,510

	B	C	D	E
2 Lane	*	*	1,580	2,160
4 Lane	*	2,200	3,250	3,670
6 Lane	*	4,020	5,110	5,440
8 Lane	*	4,710	6,020	6,380

	B	C	D	E
2 Lane	*	*	17,600	24,000
4 Lane	*	24,400	36,100	40,800
6 Lane	*	44,700	56,800	60,400
8 Lane	*	52,300	66,900	70,900

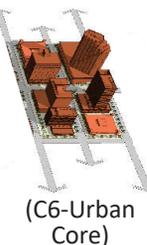


(C5-Urban Center)

	B	C	D	E
1 Lane	*	*	690	1,080
2 Lane	*	1,290	1,900	2,130
3 Lane	*	1,410	2,670	3,110
4 Lane	*	2,910	3,560	3,640

	B	C	D	E
2 Lane	*	*	1,250	1,960
4 Lane	*	2,350	3,450	3,870
6 Lane	*	2,560	4,850	5,650
8 Lane	*	5,290	6,470	6,620

	B	C	D	E
2 Lane	*	*	13,900	21,800
4 Lane	*	26,100	38,300	43,000
6 Lane	*	28,400	53,900	62,800
8 Lane	*	58,800	71,900	73,600



(C6-Urban Core)

	B	C	D	E
1 Lane	*	***	790	1,030
2 Lane	*	***	1,490	1,920
3 Lane	*	***	2,730	2,940
4 Lane	*	***	3,250	3,490

	B	C	D	E
2 Lane	*	***	1,440	1,870
4 Lane	*	***	2,710	3,490
6 Lane	*	***	4,960	5,350
8 Lane	*	***	5,910	6,350

	B	C	D	E
2 Lane	*	***	16,000	20,800
4 Lane	*	***	30,100	38,800
6 Lane	*	***	55,100	59,400
8 Lane	*	***	65,700	70,600

Adjustment Factors

The peak hour directional service volumes should be adjusted by multiplying by 1.2 for one-way facilities
 The AADT service volumes should be adjusted by multiplying 0.6 for one way facilities
 2 Lane Divided Roadway with an Exclusive Left Turn Lane(s): Multiply by 1.05
 2 lane Undivided Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.80

Exclusive right turn lane(s): Multiply by 1.05
 Multilane Undivided Roadway with an Exclusive Left Turn Lane(s): Multiply by 0.95
 Multilane Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.75
 Non-State Signalized Roadway: Multiply by 0.90

This table does not constitute a standard and should be used only for general planning applications. The table should not be used for corridor or intersection design, where more refined techniques exist.

* Cannot be achieved using table input value defaults.

** Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached.

Prince A. Donnahoe IV, P.A.

2425 N. University Drive
Coral Springs, FL, 33065
TELEPHONE 954-438-4040
FAX 954-438-4438

Date: February 21, 2025

Jade's Holdings, LLC
1800 Cathedral Drive
Margate, FL, 33063

FILE NO: **24-127(B)**
a/k/a: **830 S. State Road 7, Margate, FL 33068**

Dear Jade's Holdings, LLC,

Home ownership is an exciting opportunity, and I want to thank you for allowing my company to provide your title insurance and closing services. We focus on giving you the peace of mind you deserve as you move through the process of buying your home. We spend time on the details, which gives you less to worry about. For most of us, the purchase of our home will be the single largest investment we make. The closing services you receive will enable you to get important questions answered and give you comfort that, at the end of the process, you will know that the house is yours. Your home is where you'll spend time with your family and friends, and build a lifetime of memories. So, to add to your peace of mind, we offer an Owner's Title Insurance Policy that stands behind our work - all for your protection and benefit. Feel free to call my office if you have any questions about your transaction. Also, please keep my company in mind for future home purchases or refinances. Most importantly, please enjoy your new home!

In reference to the above mentioned transaction, enclosed please find the following:

----- ORIGINAL OWNER'S POLICY **Old Republic National Title Insurance Company OWNERS**
POLICY NUMBER **OF6-9165187**

----- ORIGINAL RECORDED WARRANTY DEED

PLEASE KEEP THESE DOCUMENTS IN A SAFE PLACE AS THEY WILL BE OF GREAT ASSISTANCE WHEN YOU MIGHT SELL OR REFINANCE YOUR PROPERTY IN THE FUTURE.

If you will be residing at this property, please take your recorded Warranty Deed to the Property Appraisers Office in order to apply for Homestead Exemption. Failure to secure this exemption could result in loss of a large tax savings on your property.

Should you have and questions or need anything further, please do not hesitate to contact our office.

Respectfully,

Bryan Docobo

Bryan Docobo, Esq.

Enclosures

OWNER'S POLICY OF TITLE INSURANCE
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

Any notice of claim and any other notice or statement in writing required to be given to the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, a Florida corporation (the "Company") insures, as of Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

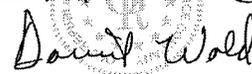
1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
 - (a) A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use, or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;
 - (c) the subdivision of land; or
 - (d) environmental protectionif a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.

(Covered Risks continued)

In Witness Whereof, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, has caused this policy to be signed and sealed as of Date of Policy shown in Schedule A, the policy to become valid when countersigned by an authorized signatory of the Company.



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By  President
Attest  Secretary

S E R I A L
OF6-9165187

(Covered Risks continued)

6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated in Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or
 - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) the term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,

- (2) if the grantee wholly owns the named Insured,
 - (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
 - (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes.
- (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
 - (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
 - (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
 - (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
 - (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.
 - (j) "Title": The estate or interest described in Schedule A.
 - (k) "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

- (a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.
- (b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.
- (c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

- (a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

- (b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) **To Pay or Tender Payment of the Amount of Insurance.**

To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in this subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) **To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.**

(i) to pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or

(ii) to pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

(i) the Amount of Insurance; or

(ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

(b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,

(i) the Amount of Insurance shall be increased by 10%, and

(ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.

(c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

(a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.

(c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

(a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant

in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies. If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

- (b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Unless prohibited by applicable law, arbitration pursuant to the Title Insurance Arbitration Rules of the American Arbitration Association may be demanded if agreed to by both the Company and the Insured at the time of the controversy or claim. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, and service of the Company in connection with its issuance or the breach of a policy provision or other obligation. Arbitration pursuant to this policy and under the Rules in effect on the date the demand for arbitration is made or, at the option of the Insured, the Rules in effect at Date of Policy shall be binding upon the parties. The award may include attorneys' fees only if the laws of the state in which the Land is located permit a court to award attorneys' fees to a prevailing party. Judgment upon the award rendered by the Arbitrator (s) may be entered in any court having jurisdiction thereof.

The law of the situs of the land shall apply to an arbitration under the Title Insurance Arbitration Rules.

A copy of the Rules may be obtained from the Company upon request.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

- (a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.
- (b) Any claim of loss or damage that arises out of the status of the Title or by any action asserting such claim whether or not based on negligence shall be restricted to this policy.
- (c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.
- (d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

- (a) Choice of Law: The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located.

Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

- (b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at 400 Second Avenue South, Minneapolis, Minnesota 55401-2499, Phone: (612) 371-1111.

**Old Republic National
Title Insurance Company**

OWNER'S
TITLE INSURANCE
POLICY



**For information about coverage or
assistance in resolving complaints,
call (612) 371-1111.**

Offices at
400 Second Avenue South
Minneapolis, Minnesota 55401

Old Republic National Title Insurance Company

OWNER'S POLICY Schedule A

Policy No.:
OF6-9165187

Date of Policy:
February 18, 2025 @ 11:48 AM

Agent's File Reference:
24-127(B)

Amount of Insurance: \$935,000.00

Premium: \$4,750.00

Address Reference: 830 S. State Road 7, Margate, FL 33068

1. Name of Insured: Jade's Holdings, LLC, a Florida limited liability company
2. The estate or interest in the Land that is insured by this policy is: Fee Simple as shown by instrument recorded in the Official Records as Instrument # 120056195 of the Public Records of Broward County, Florida.
3. Title is vested in: Jade's Holdings, LLC, a Florida limited liability company
4. The Land referred to in this policy is described as follows:

All of Tract B, less the North 865.18 feet of Tract B, SERINO PARK SECTION 3, according to the map or plat thereof as recorded in Plat Book 81, Page 46, Public Records of Broward County, Florida.

Old Republic National Title Insurance Company

1408 Westshore Blvd, Suite 900, Tampa, Florida 33607, (612) 371-1111

Agent No.: 26623

Issuing Agent:

Prince A. Donnahoe IV, P.A.
2425 N. University Drive
Suite 2421
Coral Springs, FL 33065



Agent's Signature
Bryan Docobo
Attorney at Law

Old Republic National Title Insurance Company

OWNER'S POLICY Schedule B

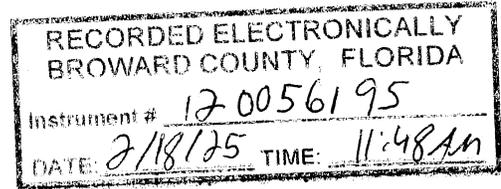
Policy No.:
OF6-9165187

Agent's File Reference:
24-127(B)

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

1. General or special taxes and assessments required to be paid in the year 2025 and subsequent years.
2. Rights or claims of parties in possession not recorded in the Public Records.
3. Any encroachment, encumbrance, violation, variation or adverse circumstance that would be disclosed by an inspection or an accurate and complete land survey of the Land and inspection of the Land.
4. Easements or claims of easements not recorded in the Public Records.
5. Any lien, or right to a lien, for services, labor or material furnished, imposed by law and not recorded in the Public Records.
6. Any adverse ownership claim by the State of Florida by right of sovereignty to any portion of the Land(s) insured hereunder, including submerged, filled and artificially exposed lands, and lands accreted to such lands.
7. Note: Liability under this commitment/policy as to all City/County assessments is hereby limited to only that which the City/County has filed in the Public Records of the County in which the property is located and which contains the property description, name of owner, and lien amount.
8. Restrictions, conditions, reservations, easements, covenants, limitations, dedications, and agreements that may be contained of record against the subject property, including but not limited to all matters contained on the Plat of Serino Park Section 3, as recorded in Plat Book 81, Page 46, Public Records of Broward County, Florida.
9. Ordinances recorded in O.R. Book 44650, Pages 1429 and 1467, Public Records of Broward County, Florida.
10. Declaration of Covenant for Public Cross-Access and Utilities Easement and Reciprocal Easement with Covenants and Restrictions recorded in Instrument Number 113579587, Public Records of Broward County, Florida.
11. Perpetual Easement recorded in Instrument Number 116054507, Public Records of Broward County, Florida.
12. Resolution No. 21-043 recorded in Instrument Number 117384560, Public Records of Broward County, Florida.
13. Declaration of Easements and Restrictions recorded in Instrument Number 117637099, Public Records of Broward County, Florida.
14. Any taxes or other sums due or that may become due resulting from the Value Adjustment Board (VAB) action(s) disclosed on the Tax Collector's website.
15. The survey prepared by Accurate Land Surveyors, Inc., with a field date of 06/08/2022, reveals; Asphalt and curb in (B2-14) water system utility easement throughout property.
16. Mortgage in the sum of \$657,500.00 from Jade's Holdings, LLC, a Florida limited liability company to Bank Five Nine dated 1/24/2025 and recorded 2/18/2025 in the Clerk Number as Instrument # 120056197 of the Public Records of Broward County, Florida.

Prepared by:
Erick Trelles, Esq.
Trelles Law PLLC
18720 SW 89 Road
Miami, FL 33157
(305) 281-6074
File No. 00095



Return to:
Bryan F. Docobo, Esq.
Bryan F. Docobo, P.A.
2425 N. University Drive #2421
Coral Springs, FL 33065
(954) 438-4040
File No. 24-127(B)

Parcel Identification No. 49-42-06-18-0935

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this **24th day of January, 2025** between **M & A Brothers Realty No. 29, Inc., a Florida Corporation** whose post office address is **1150 E. Atlantic Blvd., Suite A, Pompano Beach, FL 33060** of the County of **Broward**, State of **Florida**, grantor*, and **Jade's Holdings, LLC, a Florida Limited Liability Company** whose post office address is **1800 Cathedral Drive, Margate, FL 33063** of the County of **Broward**, State of **Florida**, grantee*,

Witnesseth, that said grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Broward County, Florida**, to-wit:

All of Tract B, less the North 865.18 feet of Tract B, SERINO PARK SECTION 3, according to the map or plat thereof as recorded in Plat Book 81, Page 46, Public Records of Broward County, Florida.

Parcel Number: 49-42-06-18-0935

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

[signatures on following page]

Signed, sealed and delivered in our presence:

M & A Brothers Realty No. 29, Inc., a Florida Corporation

Ansar Q
Witness

Printed Name: Ansar Quraan
P.O. Address: 1150 E. Atlantic Blvd. Ste A
Pompano Beach, FL 33060

By: [Signature]
Mahmoud Shehadeh, President

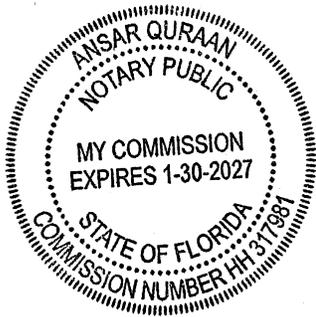
Al.
Witness

Printed Name: Agostina Vacca
P.O. Address: 1150 E. Atlantic Blvd.
STE A, Pompano Beach, FL 33060

State of Florida
County of Broward

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 24th day of January, 2025 by Mahmoud Shehadeh, President of M & A Brothers Realty No. 29, Inc. who is personally known or has produced a driver's license as identification.

[Seal]



Ansar Q
Notary Public
Print Name: Ansar Quraan
My Commission Expires: 1-30-27

Prepared by:

Erick Trelles, Esq.
Trelles Law PLLC
18720 SW 89 Road
Miami, FL 33157
(305) 281-6074
File No. 00095

Return to:

Bryan F. Docobo, Esq.
Bryan F. Docobo, P.A.
2425 N. University Drive #2421
Coral Springs, FL 33065
(954) 438-4040
File No. 24-127(B)

Parcel Identification No. 49-42-06-18-0935

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 24th day of January, 2025 between M & A Brothers Realty No. 29, Inc., a Florida Corporation whose post office address is 1150 E. Atlantic Blvd., Suite A, Pompano Beach, FL 33060 of the County of Broward, State of Florida, grantor*, and Jade's Holdings, LLC, a Florida Limited Liability Company whose post office address is 1800 Cathedral Drive, Margate, FL 33063 of the County of Broward, State of Florida, grantee*,

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida, to-wit:

All of Tract B, less the North 865.18 feet of Tract B, SERINO PARK SECTION 3, according to the map or plat thereof as recorded in Plat Book 81, Page 46, Public Records of Broward County, Florida.

Parcel Number: 49-42-06-18-0935

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

[signatures on following page]

Signed, sealed and delivered in our presence:

M & A Brothers Realty No. 29, Inc., a Florida Corporation

Ansar Q
Witness
Printed Name: Ansar Quraan
P.O. Address: 1150 E. Atlantic Blvd. Ste A
Pompano Beach, FL 33060

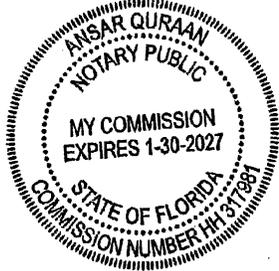
By: [Signature]
Mahmoud Shehadeh, President

Al.
Witness
Printed Name: Argestina Vaca
P.O. Address: 1150 E. Atlantic Blvd.
STE A, Pompano Beach, FL 33060

State of Florida
County of Broward

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 24th day of January, 2025 by Mahmoud Shehadeh, President of M & A Brothers Realty No. 29, Inc. who is personally known or has produced a driver's license as identification.

[Seal]



Ansar Q
Notary Public
Print Name: Ansar Quraan
My Commission Expires: 1-30-27



Property Search Search Results Parcel Result

Copy Link New Search

< Prev Parcel

Tax Year 2025 ▼

Next Parcel >

Property Summary

Property ID: 494206180935

Property Owner(s): JADE'S HOLDINGS LLC

Mailing Address: 1800 CATHEDRAL DR MARGATE, FL 33063
[click here to update mailing address](#)

Physical Address: 830 S STATE ROAD 7 MARGATE, 33068

Neighborhood:

Property Use: 28-01 Parking lot

Millage Code: 1212

Adj. Bldg. S.F.: 0 Card/Permits

Bldg Under Air S.F.:

Effective Year: 2021



« Previous

Next »

Deputy Appraiser: Commercial Department

Property Appraiser Number: 954-357-6835

Property Appraiser Email: commercialtrim@bcpa.net

Year Built: 2020

Units/Beds/Baths: 0 / /

Abbr. Legal Des.: SERINO PARK SEC 3 81-46 B TRACT B LESS N 865.18

If you see a factual error on this page, please click here to notify us.

 **Important:**

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

The 2025 values currently shown are considered "working values" and are subject to change. These numbers will change frequently online as we make various adjustments until they are finalized.

Property Assessment

Year	Land	Building / Improvement	Just/Market Value	Assessed / SOH Value	Tax
2025	\$798,800	\$45,800	\$844,600	\$550,730	
2024	\$454,870	\$45,800	\$500,670	\$500,670	\$10,882.66
2023	\$454,870	\$45,800	\$500,670	\$500,670	\$11,027.06

Exemptions And Taxing Authority Information

	County	School Board	Municipal	Independent
Just Value	\$844,600	\$844,600	\$844,600	\$844,600
Portability	0	0	0	0
Assessed / SOH	\$550,730	\$844,600	\$550,730	\$550,730
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0

Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$550,730	\$844,600	\$550,730	\$550,730

Sales History For This Parcel

Date	Type	Qualified/Disqualified	Price	Book/Page or CIN
01/24/2025	Warranty Deed	Qualified Sale	\$935,000	120056195
07/06/2022	Multi Special Warranty Deed	Excluded Sale	\$465,000	118262611
04/17/2017	Multi Special Warranty Deed	Excluded Sale	\$1,000,000	114332739
09/15/2016	Quit Claim Deed	Non-Sale Title Change	\$100	113944316
05/10/2012	Multi Certificate of Title	Disqualified Sale	\$1,600	48787 / 1853

Recent Sales In This Subdivision i

Folio Number	Date	Type	Qualified/Disqualified	Price	Book/Page Or CIN	Property Address
494206180935	01/24/2025	Warranty Deed	Qualified Sale	\$935,000	120056195	830 S STATE ROAD 7 MARGATE, FL 33068
494206180460	09/10/2024	Warranty Deed	Qualified Sale	\$513,000	119801487	5530 SW 8 ST MARGATE, FL 33068
494206180240	08/15/2024	Warranty Deed	Qualified Sale	\$440,000	119783610	5530 SW 7 PL MARGATE, FL 33068
494206180560	08/08/2024	Special Warranty Deed	Qualified Sale	\$415,000	119737132	5575 SW 8 CT MARGATE, FL 33068
494206180560	05/21/2024	Multi Special Warranty Deed	Disqualified Sale	\$3,588,500	119609100	5575 SW 8 CT MARGATE, FL 33068

Land Calculation

[More Sales](#)

Type	Unit Price	Units	Zoning
Square Foot	\$18.00	44,378 SqFt	TOC-C - TRANSIT-ORIENTED CORRIDOR-CORRIDOR

Special Assessments

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
			Water Management (4D)					

School ⓘ

School Grade

Liberty
Elementary C
School

Margate
Middle C
School

Coconut
Creek High B
School

Elected Officials

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	20	Sheila Cherfilus-McCormick
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
95	Christine Hunschofsky	30	Tina Scott Polsky	Nora Rupert

X

Having technical issues?

Yes

No

Broward County
Property Appraiser
115 South Andrews
Avenue
Room 111
Fort Lauderdale,
Florida 33301

About BCPASearch
About Marty Property
Kiar Search
Contact Us Tangible
Tax Roll Search
Information

Resources
FAQ
Download
Forms
Related
Links

Online Tools
Maps &
Aerials
Exemption
Status

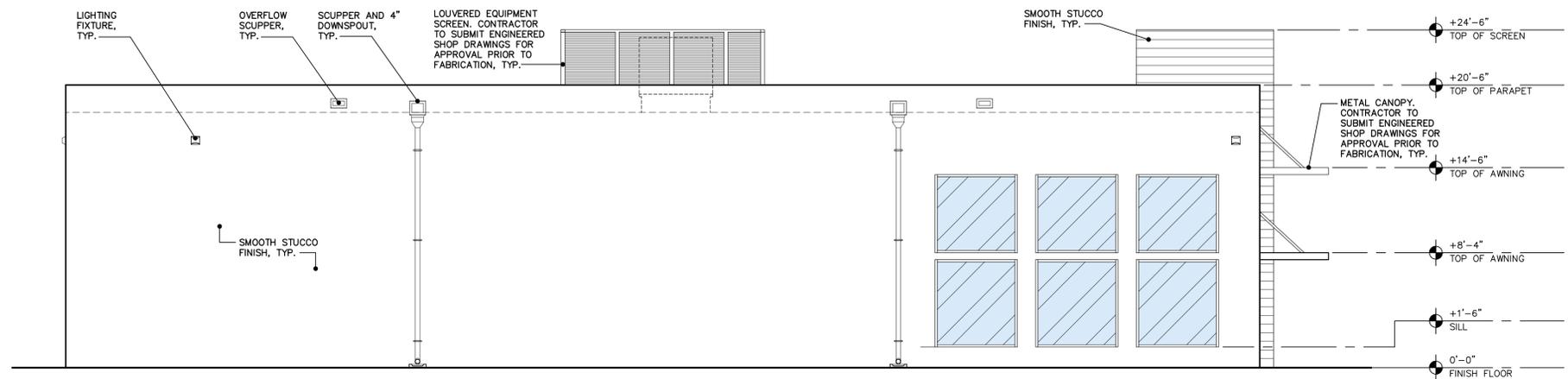
Exemptions & Classificatio
All
Exemptions
Agricultural
Classificatio

- 954-357-6830
- martykiar@bcpa.net
- Business
- Careers
- Ask Marty
- Sales
- Search
- Subdivision Search
- Time Share Search
- Commercial Search
- Land Search
- Market Reports
- Video Gallery
- Newsletters
- Portability Estimator
- Owner Alert
- Data Request
- Tax Estimator
- Appeals & Petition
- Report Exemption Fraud

 **Privacy Policy**

Having trouble viewing our website? Please contact our accessibility hotline for assistance at accessibility@bcpa.net or 954-357-6830.

Source: Broward County Property Appraiser's Office - Contact our office at 954.357.6830. Hours: We are open weekdays from 8 am until 5 pm. Legal Disclaimer: Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone. Information provided on this website is for tax roll purposes only and may not be appropriate for other uses. Values are not final until certified pursuant to Florida law.



NORTH ELEVATION

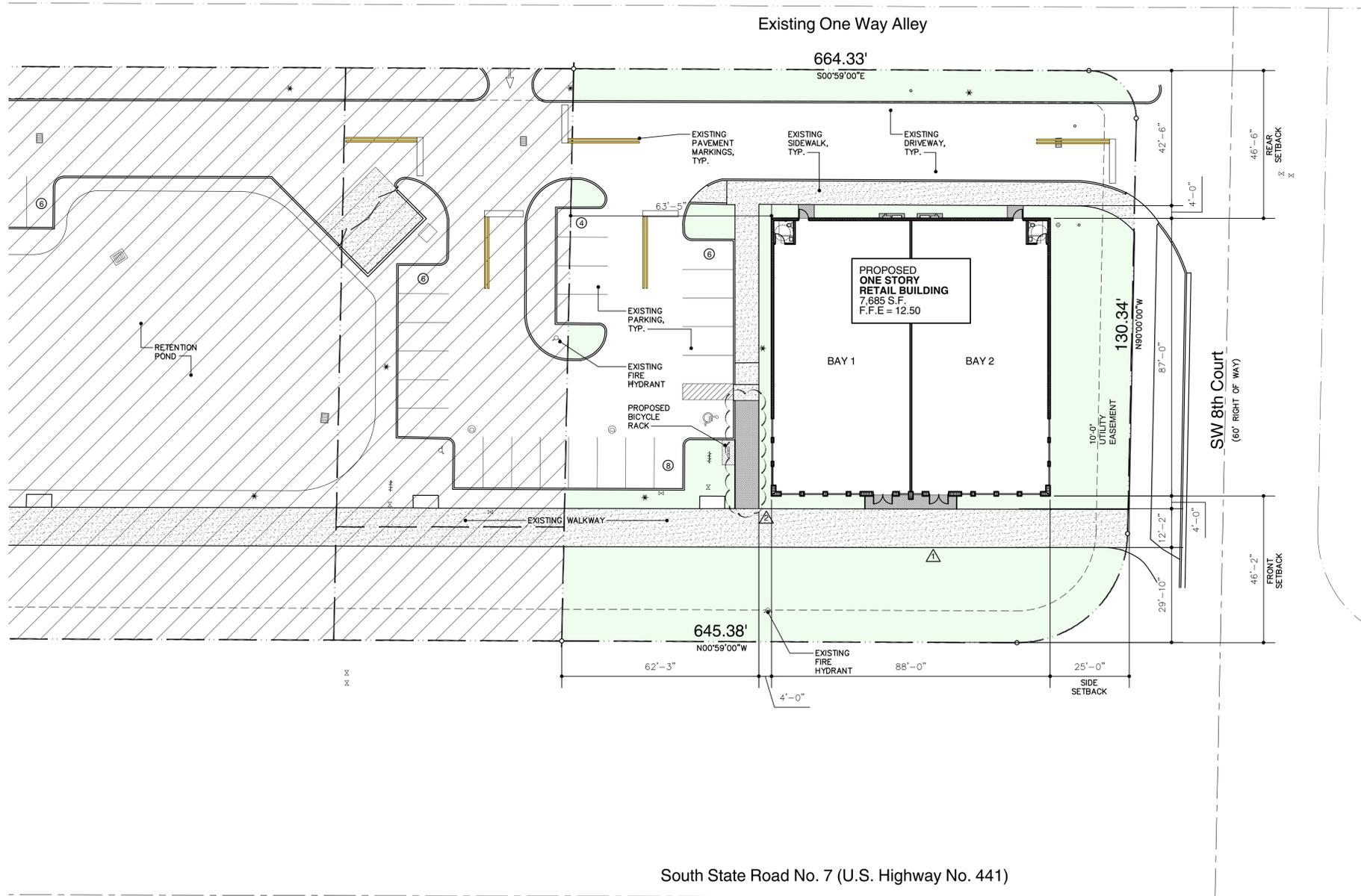
SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"





ZONING INFORMATION

LEGAL DESCRIPTION:

SERINO PARK SEC 3 81-46 B TR B S 89.91 TOGETHER WITH S 88.23 OF N 1025.42.

PROPERTY ID: 494206180935 LOT AREA: 31,779 sf 0.73 acres

JURISDICTION: BROWARD COUNTY
ZONING: TOC-C / TRANSIT ORIENTED CORRIDOR - CORRIDOR
FLOOD ZONE: ZONE X
BASE FLOOD ELEVATION: --

CATEGORIES	REQUIRED / ALLOWED	EXISTING	PROVIDED
LOT OCCUPATION			
LOT COVERAGE	-	-	7,685 sf
VEHICULAR USE AREA	-	8,673 sf	8,673 sf
LANDSCAPE			
OPEN SPACE	0 sf (0.00% min.)	18,968 sf 59.69%	11,011 sf 34.65%
IMPERVIOUS AREA	-	12,811 sf 40.31%	20,768 sf 65.35%
SETBACKS			
FRONT	n/a	-	46'-2"
INTERIOR SIDE	n/a	-	63'-5"
SIDE STREET	n/a	-	25'-0"
REAR	n/a	-	46'-6"
HEIGHT			
RETAIL BUILDING (BAY1 & BAY 2)	55'-0" / 4 STORY MAX.	-	20'-6"
AREAS (UNDER A/C)			
RETAIL BAY 1	-	-	3,675 sf
RETAIL BAY 2	-	-	3,675 sf
TOTAL	-	-	7,350 sf
PARKING			
RETAIL	3 per 1,000 22.05	30 stalls	30 stalls
TOTAL	24 stalls	30 stalls	30 stalls
HANDICAP	2 stalls	2 stalls	2 stalls

PROPOSED SITE PLAN
SCALE: 1" = 20'-0"



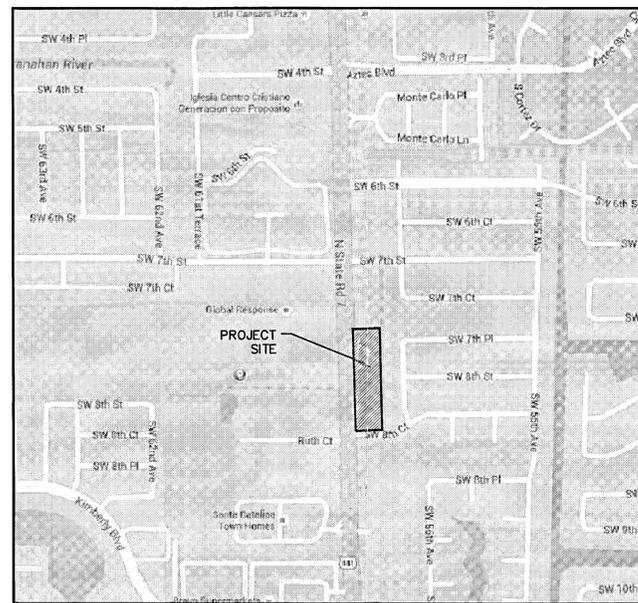
NOTE: DEVELOPMENT OF "PHASE II RETAIL OUTPARCEL BUILDING" PORTION OF "NUVO MARGATE SELF STORAGE" DRC APPROVED SITE PLANS FROM MARCH 7, 2017

CONCEPTUAL ENGINEERING PLANS FOR: NUVO MARGATE SELF STORAGE COMMERCIAL / SELF STORAGE

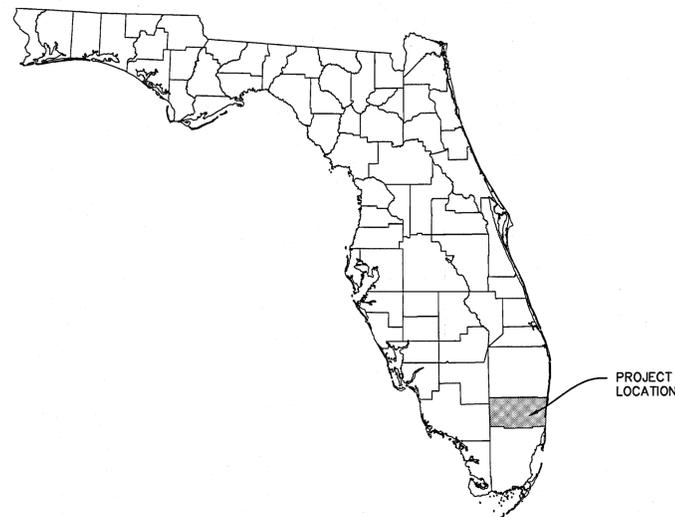
STATE ROAD 7 & SW 8th COURT
MARGATE, FLORIDA
MMA PROJECT #16-010

GENERAL NOTES:

- COORDINATION OF DRAWINGS AND DISCIPLINES.** IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR COMPLETENESS AND ACCURACY. FURTHER CONTRACTOR IS COORDINATE ALL TRADES AND DISCIPLINES PROPERLY. ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- FDOT RW.** ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FDOT DESIGN STANDARDS & LATEST SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- BUILDINGS & UTILITIES.** CONTRACTOR IS ADVISED THAT THE BUILDINGS AND ASSOCIATED SYSTEMS ARE STILL UNDER REVIEW BY VARIOUS JURISDICTIONAL AGENCIES. AS SUCH, THERE MAY BE MODIFICATIONS TO SERVICE LINES (MATERIALS, SIZES, LOCATIONS, DEPTHS, ETC.) AS THE DOCUMENTS ARE PERMITTED.
- SAFETY.** IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE RESPECTIVE UTILITY PROVIDER ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND LINES. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD LINES PRIOR TO WORKING WITHIN THE VICINITY OF THE LINES.
- FAMILIARITY WITH SITE CONDITIONS.** THE CONTRACTOR SHALL VISIT THE SITE AND ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. MAKE HIS OWN SUBSURFACE INVESTIGATION TO SATISFY HIMSELF AS TO THE SITE AND SUBSURFACE CONDITIONS, BUT SUCH SUBSURFACE INVESTIGATIONS SHALL BE PERFORMED ONLY UNDER TIME SCHEDULES AND ARRANGEMENTS APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE AND ENGINEER. THE EXISTING GRADES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY AND NO REPRESENTATION IS MADE AS TO THEIR ACCURACY OR CONSISTENCY. THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES TO THE EXTENT NECESSARY TO INSURE COMPLETION OF THE JOB TO THE PROPOSED GRADES INDICATED ON THE DRAWINGS.
- WORKMANSHIP.** ALL WORK SHALL BE PERFORMED IN A WORKMANSHIP-LIKE MANNER AND SHALL CONFORM WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS AND/OR CODES, INCLUDING OSHA.
- ELEVATIONS.** ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- SURVEY & BENCHMARK.** REFER TO SURVEY PREPARED BY PUBLIC LAND SURVEYORS FOR ADDITIONAL INFORMATION.
- GEOTECHNICAL INFORMATION.** REFER TO GEOTECHNICAL REPORTS AND BORING LOGS FOR ADDITIONAL INFORMATION INCLUDING SITE PREPARATION REQUIREMENTS.
- FIELD LOCATIONS.** THE CONTRACTOR SHALL CONTACT "SUNSHINE STATE ONE CALL OF FLORIDA, INC. (1-800-432-4770)" AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO ALL AFFECTED UTILITY OWNERS FOR REMOVAL, RELOCATION AND ALTERATION OF THEIR EXISTING FACILITIES.
- PROTECTION OF UTILITIES.** THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF ALL EXISTING AND NEWLY INSTALLED ABOVE GROUND, UNDERGROUND, AND ON THE SURFACE STRUCTURES AND UTILITIES FROM DAMAGE OR SERVICE DISRUPTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- EXISTING UTILITIES.** PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING UTILITIES AND SOILS CONDITIONS AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF ANY DISCREPANCIES WITH THE PLANS.
- EXISTING UTILITIES.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH IT FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. THE CONTRACTOR IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- FIELD REVIEWS.** THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO ANY REQUIRED FIELD REVIEWS OR INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY, LABOR AND MATERIALS FOR INSPECTION AND/OR TEST. ALL WORK SHALL BE OPEN AND SUBJECT TO REVIEW AND/OR INSPECTION BY AUTHORIZED PERSONNEL OF THE CITY, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER, AND REGULATORY AGENCIES. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN THE OWNER'S SHALL BE REPORTED TO THE ENGINEER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY THE ENGINEER OR OWNER.
- DIFFERING SITE CONDITIONS.** THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS PRIOR TO CONSTRUCTION IN THE AREA OF CONFLICT. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH ARE REPRESENTED ON THE PLANS, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND THE OWNER IN WRITING.
- DEWATERING.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ANY DEWATERING PERMITS AND/OR APPROVALS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED FACILITIES AND SYSTEMS.
- PERMITS.** THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND/OR LICENSES TO COMMENCE CONSTRUCTION.
- USE OF EXISTING MATERIALS.** NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
- EXISTING LANDSCAPE.** CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN ON THE PLAN OR DESIGNATED IN THE FIELD.
- TESTING.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTS TO BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY APPROVED BY THE ENGINEER. THE CONTRACTOR UNDERSTANDS THAT ANY AND ALL TESTS, INSPECTIONS, PROCEDURES INCLUDING ALL LABOR, MATERIALS, TIME AND EFFORT IN ORDER TO HAVE ALL WORK DESIGNATED AS FINAL BY THE RESPECTIVE JURISDICTIONAL AUTHORITIES AND THAT SUCH TESTS, INSPECTIONS AND PROCEDURES ARE INCLUDED IN THE BID.
- FINAL UTILITY ADJUSTMENTS.** ALL UTILITIES SHALL BE ADJUSTED TO NEW FINISH GRADES AND PROPERLY SET TO PAVEMENT GROSS SLOPE AS REQUIRED.



PROJECT LOCATION MAP
N.T.S.



PROJECT LOCATION

DRAWING INDEX

DWG. #	TITLE
01	COVER SHEET
02	PAVING, GRADING, & DRAINAGE PLAN
03-04	PAVING, GRADING, & DRAINAGE DETAILS
05	WATER & WASTEWATER PLAN
EX	FIRE ACCESS EXHIBIT

GOVERNING SPECIFICATIONS

REFER TO PROJECT SPECIFICATION SHEET FOR DETAILED PROJECT AND MATERIAL REQUIREMENTS. ITEMS NOT EXPLICITLY ADDRESSED BY SPECIFICATION SHEETS SHALL BE CONSTRUCTED PER FDOT SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION (v2016) UNLESS OTHERWISE DIRECTED BY THE ENGINEER OF RECORD.

**FINAL SITE PLAN
APPROVED**

CITY PLAN APPROVAL		
DEPARTMENT	BY	DATE
POLICE	[Signature]	3/6/17
FIRE	[Signature]	3/16/17
BUILDING	[Signature]	3/7/17
ENGINEERING	[Signature]	2/28/17
PLANNING	[Signature]	2/28/17
UTILITIES	[Signature]	12/7/17

APPLICANT SHALL OBTAIN ALL FEDERAL, STATE, COUNTY, CITY, AND SPECIAL DISTRICT PERMITS DEEMED NECESSARY. CITY PLAN APPROVAL DOES NOT PRECLUDE ANY EXISTING CODE OR OTHER REGULATORY REQUIREMENTS.

[Signature] 3-7-17
D.R.G. CHAIRMAN



Know what's below.
Call before you dig.

ALL REPRESENTATIONS MADE AT THE DRC MEETING WHETHER SHOWN OR NOT SHOWN IN THESE PLANS SHALL BE ADHERED TO PRIOR TO CERTIFICATE OF OCCUPANCY

PROJECT TEAM

CIVIL ENGINEER:
McLEOD, MCCARTHY & ASSOCIATES
TODD N. McLEOD, P.E.
1655 PALM BEACH LAKES BLVD.
WEST PALM BEACH, FL 33401
P: 561.689.9500 | F: 561.689.8080
todd@mcleodmccarthy.com

PLANNER / OWNER'S AGENT
MICHAEL J. SANCHEZ, AICP
MANAGED LAND ENTITLEMENTS
3710 BUCKEYE STREET, SUITE 100
PALM BEACH GARDENS, FLORIDA 33410
P 561.568.8045
michael@mylandentitlements.com

OWNER:
NUVO DEVELOPMENT, LLC
288 NORTH PARK AVENUE
WINTER PARK, FLORIDA 32789

ARCHITECT:
FARMER ARCHITECTURE
941 LAKE BALDWIN LN
ORLANDO, FLORIDA 32814



McLeod • McCarthy
& Associates, P.A.
Civil Engineers

The Forum II
1655 Palm Beach Lakes Blvd. Ste. 712
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



FIELD:
DRAWN: P. Sarfield
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS	REV PER DRC COMMENTS
2	1/22/16		REV PER DRC COMMENTS
1	10/19/16		REV PER DRC COMMENTS

COVER SHEET
NUVO MARGATE SELF STORAGE
COMMERCIAL / SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

SHEET
01
OF 5



McLeod • McCarthy & Associates, P.A.
Civil Engineers

The Forum III
1656 Palm Beach Lakes Blvd, Ste. 172
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



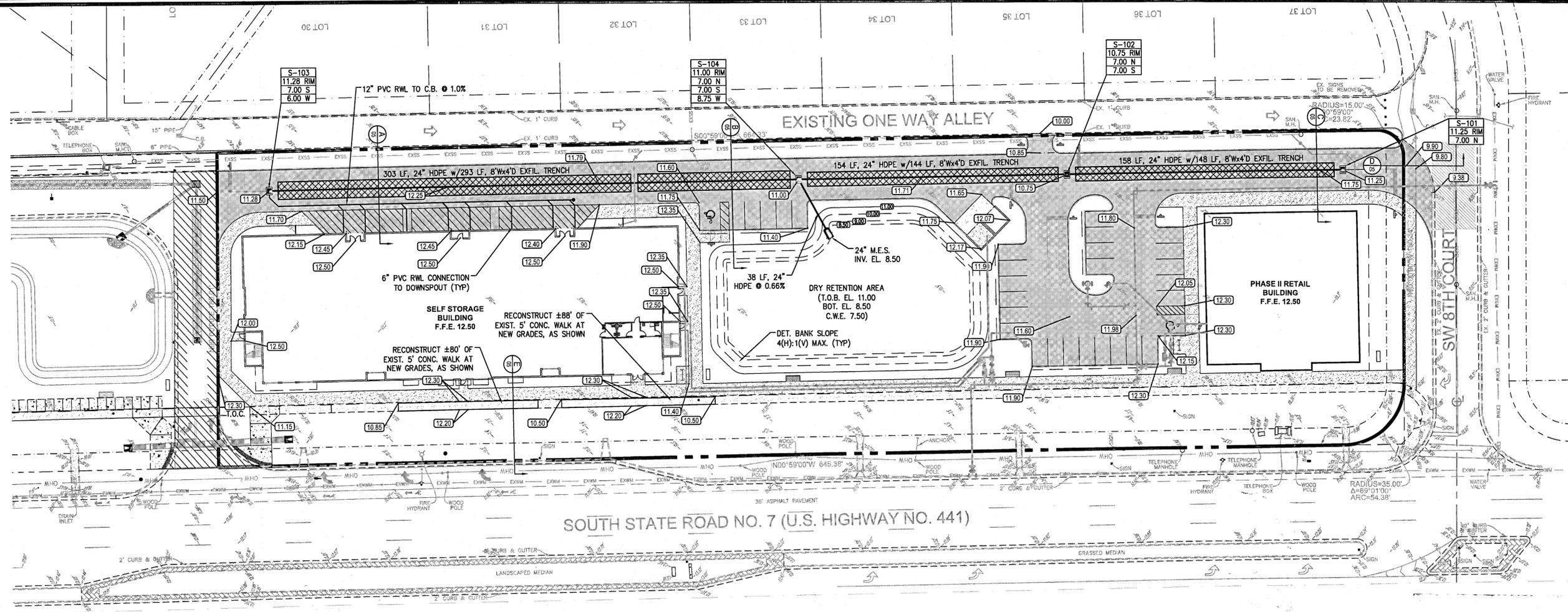
FIELD: P. Saffold
DRAWN: P. Saffold
DESIGNED: TNM
APPROVED: TNM
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS
2	12/21/16	REV PER DRC COMMENTS
1	10/9/16	REV PER DRC COMMENTS

PAVING, GRADING, & DRAINAGE PLAN
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

SHEET
02
OF 5

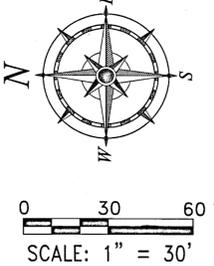


FINAL SITE PLAN
APPROVED

STRUCT. NUMBER	STRUCT. TYPE	GRATE TYPE
S-101	C	U.S.F. 4139-6168
S-102	C	U.S.F. 4139-6429
S-103	C	U.S.F. 4139-6429
S-104	5'ø	U.S.F. 4139-6429

- NOTES:**
- ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
 - CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
 - WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
 - MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
 - ALL BUFFER, DETENTION, SWALE, AND UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.
 - REFER TO SITE PLAN PREPARED BY MANAGED LAND ENTITLEMENTS / LITTERICK LANDSCAPE ARCHITECTURE FOR ADDITIONAL SITE REQUIREMENTS.
 - THERE SHALL BE NO LANDSCAPING OTHER THAN SOD WITHIN THE TWO-FOOT PARKING SPACE OVERHANG.
 - ALL RAINWATER LEADERS (RWL) SHALL BE SCHEDULE-40 PVC WITH GLUED JOINTS.

- ACCESSIBILITY NOTES:**
- ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 - ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 - CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 304. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.



LEGEND

PROP. SIGN	
SURFACE FLOW ARROW	
PROP. PAVEMENT	
PROP. CONC. PAVERS	
PAVEMENT RESTORATION	
RECONSTRUCT CONCRETE TO ACHIEVE PROP. GRADES	
PROPOSED ELEVATION	
EXIST. ELEVATION	



McLeod & McCarthy & Associates, P.A.
Civil Engineers
The Forum III
1655 Palm Beach Lakes Blvd, Ste. 1712
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



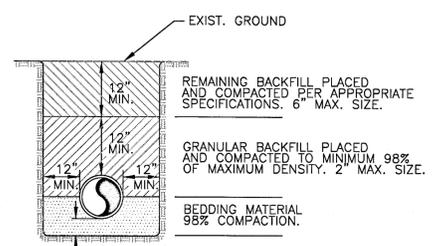
FIELD: DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

REVISIONS
NO. DATE

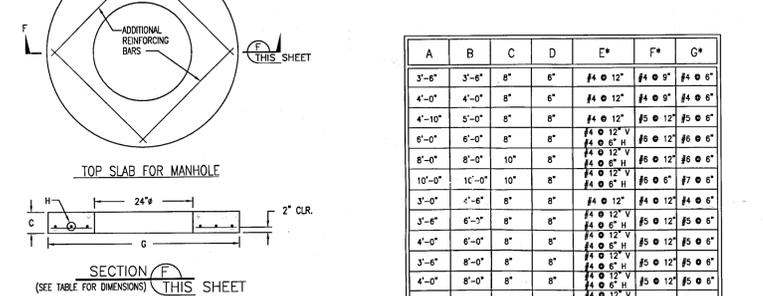
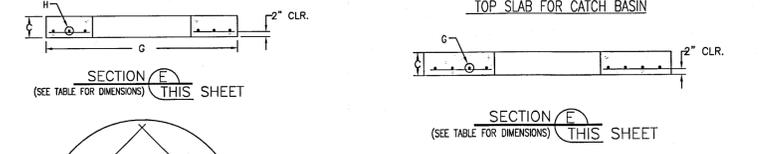
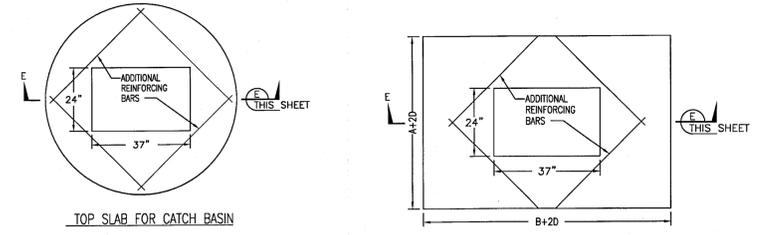
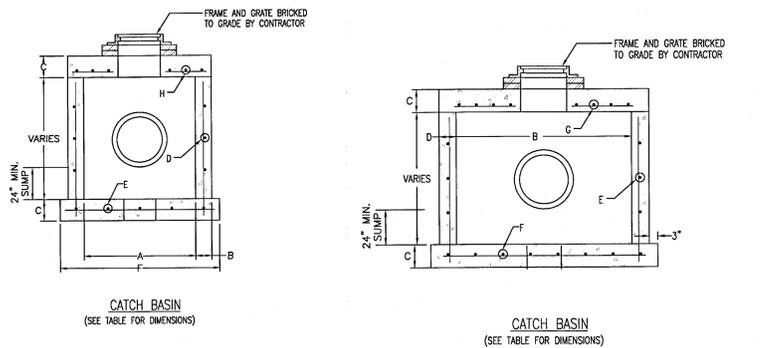
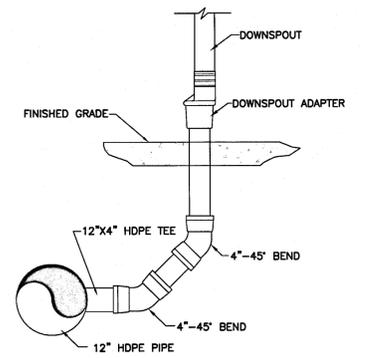
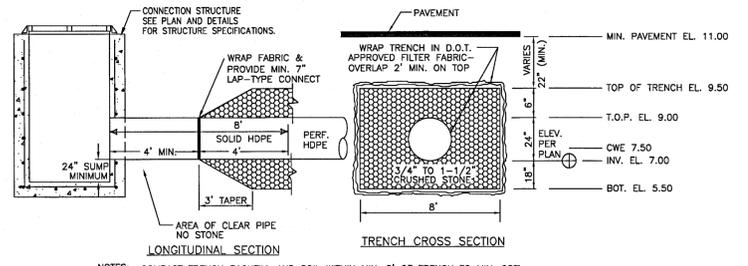
PAVING, GRADING, & DRAINAGE DETAILS
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

SHEET
03
OF 5



- NOTES:
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING, UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCK SHALL BE REMOVED.
 - THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
 - THE PIPE SHALL BE FREED IN A DRY TRENCH.
 - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIALS SUCH AS LARGER ROCK, MUCK AND DEBRIS.
 - SEE GENERAL NOTES FOR PIPE BACKFILL BENEATH PROPOSED PAVEMENT.



A	B	C	D	E*	F*	G*
3'-6"	3'-6"	8"	8"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-0"	4'-0"	8"	8"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-10"	5'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
6'-0"	6'-0"	8"	8"	#4 @ 6" H	#5 @ 12"	#6 @ 6"
8'-0"	8'-0"	10"	8"	#4 @ 6" H	#5 @ 12"	#6 @ 6"
10'-0"	10'-0"	10"	8"	#4 @ 6" H	#5 @ 6" H	#7 @ 6"
3'-0"	4'-6"	8"	8"	#4 @ 12"	#4 @ 12"	#4 @ 6"
3'-6"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
4'-0"	6'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
3'-6"	8'-0"	8"	8"	#4 @ 6" H	#5 @ 12"	#5 @ 6"
4'-0"	8'-0"	8"	8"	#4 @ 6" H	#5 @ 12"	#5 @ 6"
5'-0"	7'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
6'-0"	8'-0"	8"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"
6'-0"	12'-0"	8"	8"	#4 @ 12"	#6 @ 12"	#6 @ 6"

INLET NOTES

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.
INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS
MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

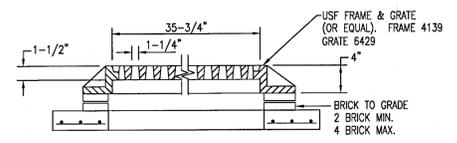
RECTANGULAR CATCH BASIN (ON-SITE)

A	B	C	D	E*	F*	G*	H*
3'-6"	4'	8"	ASTM C-478	#4 @ 12"	4'-8"	4'-2"	#4 @ 6"
3'-6"	8"	8"	ASTM C-478	#4 @ 12"	5'-0"	4'-8"	#4 @ 6"
4'	8"	8"	ASTM C-478	#4 @ 12"	6'-0"	5'-0"	#4 @ 6"
4'	8"	8"	ASTM C-478	#4 @ 12"	6'-4"	5'-4"	#4 @ 6"
5'-0"	8"	8"	ASTM C-478	#5 @ 12"	7'-4"	6'-4"	#5 @ 6"
6'-0"	8"	8"	ASTM C-478	#5 @ 6"	8'-0"	7'-0"	#5 @ 6"
6'-0"	8"	8"	ASTM C-478	#5 @ 6"	8'-4"	7'-4"	#5 @ 6"
7'-0"	8"	8"	ASTM C-478	#5 @ 6"	9'-4"	8'-4"	#5 @ 6"
8'-0"	10"	10"	ASTM C-478	#5 @ 6"	10'-8"	9'-8"	#5 @ 6"
10'-0"	12"	12"	ASTM C-478	#5 @ 6"	12'-0"	12'-0"	#6 @ 6"

INLET NOTES

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.
INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS
MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

CIRCULAR CATCH BASIN (ON-SITE)



DIMENSIONS AND QUANTITIES

D	X	A	B	C	E	F	G	H	5/8" CONCRETE SLAB (CY) #				SODDING (SY)								
									Single	Double	Triple	Quad.	Single	Double	Triple	Quad.					
15'	2'-0"	1.92	2.16	4.10	2.06	2	1.32	2.9	4.83	7.21	8.70	12.97	1.15	0.38	0.58	0.77	0.95	21	24	27	30
18'	2'-10"	1.97	2.22	4.21	2.56	6	1.41	3.2	4.92	7.27	10.58	13.42	1.21	0.44	0.65	0.87	1.09	22	25	28	31
24'	3'-0"	2.06	2.31	5.61	3.56	7	1.72	3.2	5.50	8.62	12.33	15.75	1.29	0.54	0.83	1.12	1.42	24	28	32	35
30'	4'-0"	2.15	2.40	6.99	4.58	8	2.00	3.2	6.08	10.33	14.58	18.87	1.38	0.65	1.00	1.30	1.61	26	31	36	40
36'	5'-0"	2.25	2.50	8.33	5.56	9	2.24	3.2	6.87	11.75	16.83	21.97	1.53	0.61	1.00	1.35	1.65	28	34	39	43
42'	6'-0"	2.34	2.59	9.65	6.59	10	2.48	3.2	7.25	13.25	19.25	24.25	1.58	0.67	1.10	1.45	1.75	30	37	43	50
48'	6'-0"	2.43	2.68	10.98	7.58	11	2.63	3.2	7.83	14.58	21.33	28.08	1.42	1.13	1.20	2.03	3.04	32	39	47	54
54'	7'-0"	2.52	2.77	11.85	8.56	12	2.83	3.2	8.22	16.08	23.75	31.42	1.46	1.31	1.48	3.58	4.72	34	42	51	59
60'	8'-0"	2.62	10.58	13.18	9.56	14	3.00	4.4	9.06	17.50	26.00	34.50	1.50	1.51	2.08	4.08	5.68	36	45	55	64
66'	9'-2"	2.71	11.68	14.58	10.58	15	3.18	4.4	9.58	18.75	27.02	37.02	1.54	1.68	3.25	4.84	6.43	38	48	58	68
72'	10'-0"	2.80	12.60	15.60	11.58	16	3.36	4.4	10.16	20.18	30.16	40.16	1.58	1.89	3.74	5.39	7.45	40	51	62	73
78'	10'-0"	2.89	13.68	16.59	12.58	17	3.54	4.4	10.72	21.75	32.75	43.75	1.62	2.07	4.15	5.84	8.14	42	54	66	78
84'	10'-0"	2.98	14.76	17.58	13.58	18	3.72	4.4	11.28	23.25	34.75	45.75	1.66	2.22	4.45	6.24	8.74	44	57	70	83
90'	10'-0"	3.07	15.84	18.58	14.58	19	3.90	4.4	11.84	24.75	36.75	47.75	1.70	2.37	4.78	6.68	9.38	46	60	74	88
96'	10'-0"	3.16	16.92	19.58	15.58	20	4.08	4.4	12.40	26.25	38.75	49.75	1.74	2.52	5.21	7.24	10.14	48	63	78	93
102'	10'-0"	3.25	18.00	20.58	16.58	21	4.26	4.4	12.96	27.75	40.75	51.75	1.78	2.67	5.64	7.84	11.14	50	66	82	98
108'	10'-0"	3.34	19.08	21.58	17.58	22	4.44	4.4	13.52	29.25	42.75	54.75	1.82	2.82	6.07	8.34	12.14	52	69	86	103
114'	10'-0"	3.43	20.16	22.58	18.58	23	4.62	4.4	14.08	30.75	44.75	57.75	1.86	2.97	6.50	8.84	13.14	54	72	90	108
120'	10'-0"	3.52	21.24	23.58	19.58	24	4.80	4.4	14.64	32.25	46.75	60.75	1.90	3.12	6.93	9.34	14.14	56	75	94	113
126'	10'-0"	3.61	22.32	24.58	20.58	25	4.98	4.4	15.20	33.75	48.75	63.75	1.94	3.27	7.36	10.14	15.14	58	78	98	118

See General Note No. 5.
See Sheet 5 For 3' Slab Quantities

Values shown for estimating pipe quantities and area for information only.

Dimensions permitted to allow use of 8' standard pipe lengths.
Dimensions permitted to allow use of 12' standard pipe lengths.
Concrete slab shall be deepened to form bridge across crown of pipe. See section below.

TOP-VIEW SINGLE PIPE

TOP-VIEW MULTIPLE PIPE

SECTION

SINGLE AND MULTIPLE ROUND CONCRETE PIPE

NOTE: See sheet 6 for details and notes.

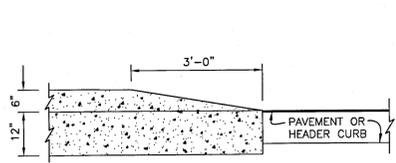
LAST REVISION 07/01/02

DESCRIPTION: FY 2016-17 DESIGN STANDARDS

INDEX No. 272

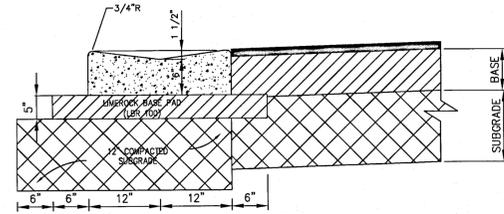
SHEET No. 1 of 6

FINAL SITE PLAN
APPROVED

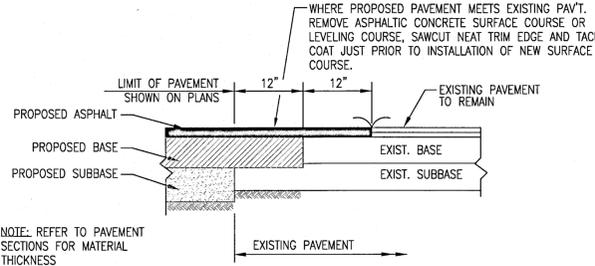


NOTE: WHEN CURB TRANSITIONS ARE ADJACENT TO SIDEWALK THE TRANSITION MUST BE 12:1

TRANSITION CURB TAPER DETAIL
N.T.S.

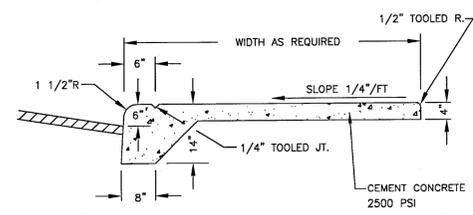


VALLEY GUTTER REFER TO FDOT INDEX 300 FOR NOTES AND DETAILS
SCALE: NONE



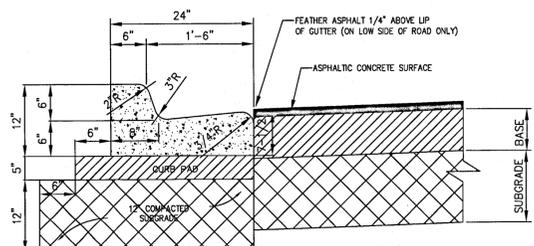
NOTE: REFER TO PAVEMENT SECTIONS FOR MATERIAL THICKNESS

PAVEMENT MATCHING DETAIL
N.T.S.



NOTES:
1. THE REVEAL SHOWN MAY VARY. REFER TO PLANS FOR LOCATIONS.
2. MONOLITHIC WALK & CURB REQUIRED AT ALL LOCATIONS WHERE PROPOSED SIDEWALK ABUTS ASPHALT PAVEMENT.

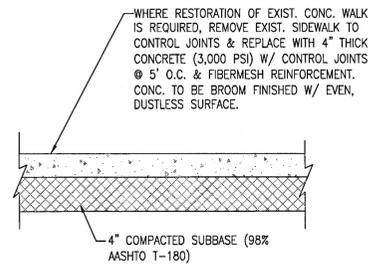
MONOLITHIC CURB AND SIDEWALK SECTION
N.T.S.



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" INSTEAD OF 7 1/2".

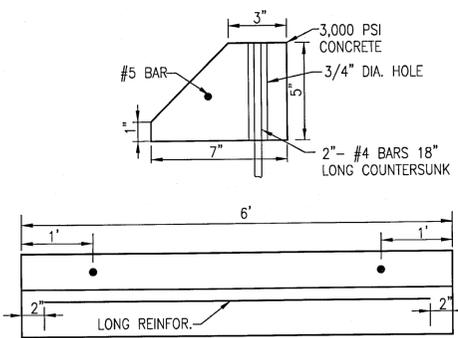
TYPE "F" CURB & GUTTER

SCALE: NONE

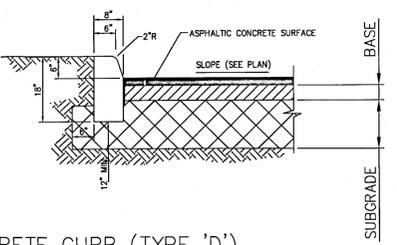


WHERE RESTORATION OF EXIST. CONC. WALK IS REQUIRED, REMOVE EXIST. SIDEWALK TO CONTROL JOINTS & REPLACE WITH 4" THICK CONCRETE (3,000 PSI) W/ CONTROL JOINTS @ 5' O.C. & FIBERMESH REINFORCEMENT. CONC. TO BE BROOM FINISHED W/ EVEN, DUSTLESS SURFACE.

CONCRETE SIDEWALK RESTORATION DETAIL
N.T.S.

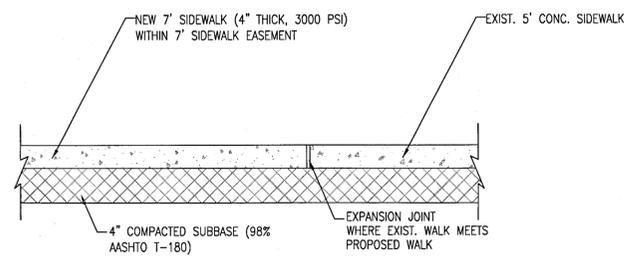


CONCRETE WHEEL STOP DETAIL
N.T.S.



CONCRETE CURB (TYPE 'D')

SCALE: NONE



CONCRETE SIDEWALK TIE-IN DETAIL
N.T.S.

PAVEMENT SECTION REQUIREMENTS			
TYPE	WEARING SURFACE	BASE	SUB-GRADE
CONCRETE PAVEMENT (ON-SITE)	6" THICK (3,000 PSI) WITH JOINTING PER ACI 330. JOINTING PLAN TO BE SUBMITTED PRIOR TO POURING CONCRETE	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180 (LBR 30)
STRUCTURAL NO.	6" x 0.5	+ 0	+ 12" x 0.06 = 3.72
ASPHALT PAVEMENT (ON-SITE)	1.5" THICK S-III A.C.S.C. (2-LIFTS)	8" THICK LIMEROCK BASE (LBR 100) COMPACTED TO 98% AASHTO T-180 DENSITY & PLACED IN 4" MAX. LIFTS.	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180
STRUCTURAL NO.	1.5" x 0.44	+ 8" x 0.18	+ 12" x 0 = 2.10



McLeod • McCarthy & Associates, P.A.
Civil Engineers
The Forum III
1655 Palm Beach Lakes Blvd, Ste. 712
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



FIELD: DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

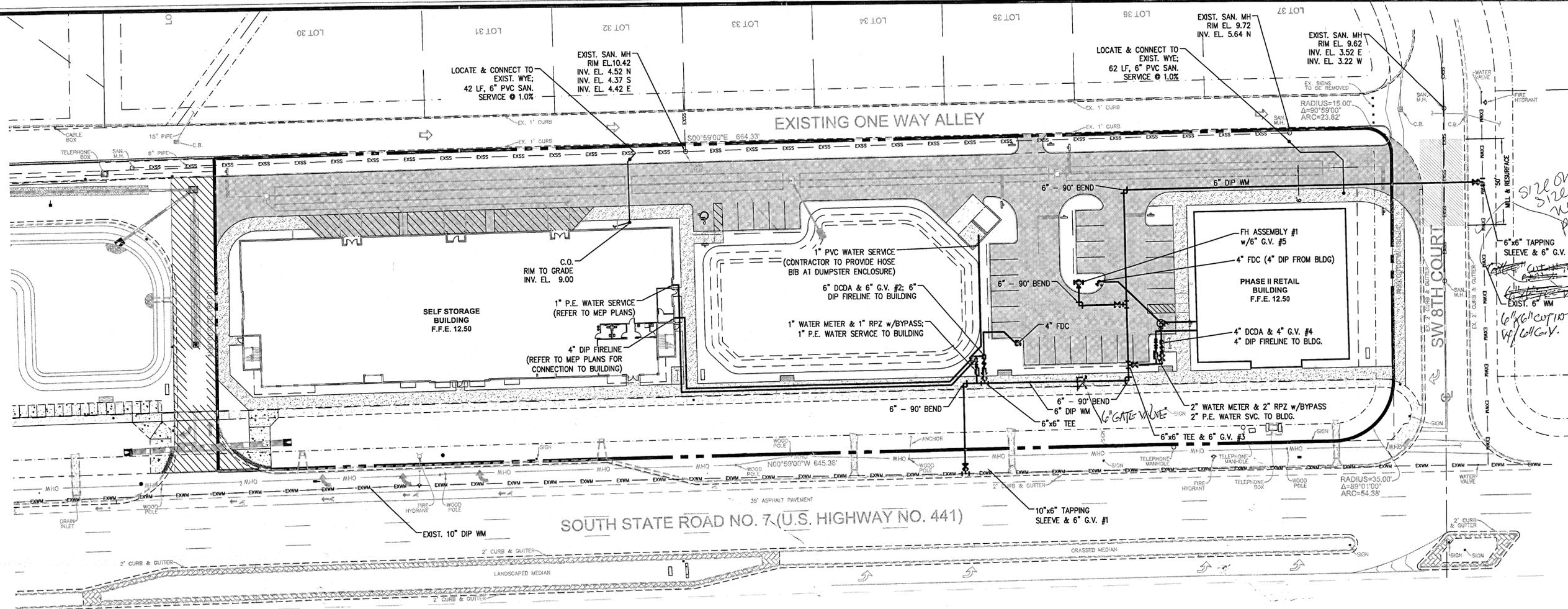
NO.	DATE	REVISIONS	REV PER DRC COMMENTS
1	10/19/16		

PAVING, GRADING, & DRAINAGE DETAILS
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

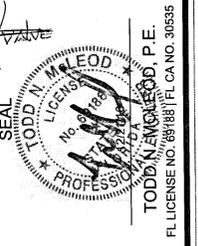
SHEET
04
OF 5

FINAL SITE PLAN
APPROVED



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 1712
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



FIELD: DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM

PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS
2	10/19/16	REV PER DRC COMMENTS
1	10/19/16	REV PER DRC COMMENTS

WATER & WASTEWATER PLAN
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

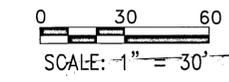
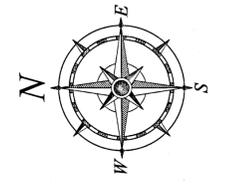
SHEET
05
OF 5

- NOTES:**
- PRIOR TO CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY (ELEVATION & LOCATION) ALL EXISTING UTILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUATION OF WORK.
 - ALL SANITARY SEWER SHALL BE P.V.C. SDR 26 (UNLESS OTHERWISE NOTED).
 - ALL WATER MAINS & FORCE MAINS SHALL BE P.V.C. (C-900) UNLESS OTHERWISE NOTED.
 - FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 7' AND A MAXIMUM OF 12' FROM EDGE OF PAVEMENT.
 - VALVES SHALL NOT BE PLACED IN CURBS.
 - ALL WATER AND SANITARY SERVICES SHALL BE CONSTRUCTED A MINIMUM OF 5' FROM DRAINAGE STRUCTURES.
 - MAGNETIC TAPE IS REQUIRED FOR ALL WATER & FORCE MAINS AND SHALL BE 6" WIDE, IMPRINTED WITH 2" HIGH LETTERING READING "CAUTION - WATER MAIN BURIED BELOW" OR "CAUTION - FORCE MAIN BURIED BELOW", AS REQUIRED.
 - RECORD DRAWINGS MUST HAVE DATA FOR TAP AND METER LOCATIONS FOR ALL NON-PERPENDICULAR WATER MAIN SERVICES.
 - PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW BROWARD COUNTY WATER & WASTEWATER SERVICES MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS, LATEST EDITION.
 - ALL WATERMAINS TO CROSS OVER SANITARY SEWER SERVICES. WHERE 18" MINIMUM CLEARANCE CANNOT BE MAINTAINED, 20 LINEAR FEET OF DUCTILE IRON WATERMAIN SHALL BE CENTERED ON THE CROSSING AND THE SEWER SERVICE SHALL BE C-900, SDR-18. IN NO CASE SHALL THERE BE LESS THAN 6" CLEARANCE.
 - CONTRACTOR TO PROVIDE ELEC. SERVICE TO DCDA TAMPER SWITCHES.

- RECORD DRAWING NOTES:**
- RECORD DRAWINGS SHALL BE PREPARED IN THE STATE PLANE COORDINATE SYSTEM.
 - ALL UTILITY FEATURES SHALL BE SHOWN IN THEIR AS-BUILT LOCATION. STATE PLANE COORDINATES SHALL BE DISPLAYED ON RECORD DRAWINGS FOR ALL FEATURES SPECIFIED IN THE BROWARD COUNTY STANDARDS.

- GENERAL WATER NOTES:**
- ALL WATER MAIN DUCTILE IRON PIPE (DIP) AND PIPE FITTINGS SHALL BE PAINTED WITH A 4" WIDE CONTINUOUS BLUE LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND IS LOCATED ALONG THE TOP OF THE PIPE.
 - ALL WATER MAINS SHALL BE MARKED WITH ONE CONTINUOUS STRIP OF 6" WIDE MAGNETIC BLUE CODED TAPE IMPRINTED WITH TWO (2) INCH HIGH LETTERING READING "CAUTION - POTABLE WATER LINE BURIED BELOW" AND LOCATED APPROXIMATELY TWELVE (12) INCHES ABOVE THE CROWN OF THE PIPE. THE WORDING SHALL OCCUR EVERY THREE (3) FEET.
 - ALL WATER SERVICE BRASS ARE REQUIRED TO BE LEAD FREE.

- GENERAL SEWER NOTES:**
- ON-SITE SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED PAST BROWARD COUNTY POINT-OF-SERVICE.



FINAL SITE PLAN
APPROVED

LEGEND

	EASEMENT LINE
	EXISTING WATER MAIN, GATE VALVE (G.V.), TEE, F.H. AND PLUG
	EXISTING SANITARY SEWER MAIN, MANHOLE AND DIRECTION OF FLOW.
	PROPOSED WATER MAIN, GATE VALVE (G.V.), BEND AND TEE WITH FIRE HYDRANT ASSEMBLY.
	PROPOSED SANITARY SEWER MAIN, SINGLE & DOUBLE SEWER SERVICE CLEAN OUT (C.O.), MANHOLE AND
	CONCRETE
	PAVEMENT RESTORATION
	ASPHALT PAVEMENT
	UTILITY CONFLICT
	UTILITY EASEMENT

October 15, 2022

Rod A. Feiner, Esq.
Coker & Feiner
1404 South Andrews Avenue
Fort Lauderdale, FL 33316



**Re: Brothers No. 29 Retail Building – Margate, Florida
Trip Generation Statement**

Dear Rod:

The Brothers No. 29 development is a proposed retail building to be located in the northeast quadrant of the intersection at S. State Road 7 and SW 8th Court in Margate, Broward County, Florida. The total floor area of the proposed building is 7,350 square feet. A preliminary site plan and a preliminary floor plan are presented in Attachment A to this memorandum. The purpose of this memorandum is to document the trip generation characteristics of the proposed development.

Trip Generation Analysis

A trip generation analysis for the proposed use has been conducted utilizing the trip generation information published by the Institute of Transportation Engineers (ITE) in their *Trip Generation Manual (11th Edition)*. According to the subject documentation, the most appropriate land use category for this development is Land Use #822 – Strip Retail Plaza (<40k). The trip generation rates used to determine the vehicle trips associated with this analysis are presented below.

Strip Retail Plaza – ITE Land Use #822

- Daily: $T = 54.45 (X)$
where $T = \text{number of trips}$ and $X = 1,000 \text{ square feet of gross leasable area}$
- AM Peak Hour: $T = 2.36 (X)$ (60% in / 40% out)
- PM Peak Hour: $T = 6.59 (X)$ (50% in / 50% out)
- Pass-by Rate: 40% (for similar ITE Land Use #821)

Table 1 below summarizes the trip generation characteristics associated with the proposed Brothers No. 29 retail building to be located in Margate and relevant excerpts from the referenced ITE manual are presented in Attachment B.

Table 1 Brothers No. 29 Retail Building Trip Generation Analysis Margate, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
Proposed								
Strip Retail Plaza (<40k)	7,350 SF	400	10	7	17	24	24	48
- Pass-by (40%)		(160)	(4)	(3)	(7)	(10)	(9)	(19)
Total		240	6	4	10	14	15	29

Compiled by: KBP Consulting, Inc. (October 2022).

Source: ITE Trip Generation Manual (11th Edition).

KBP CONSULTING, INC.



As indicated in Table 1 on the previous page, the proposed retail development is anticipated to generate 400 daily vehicle trips, 17 AM peak hour vehicle trips (10 inbound and 7 outbound), and 48 PM peak hour vehicle trips (24 inbound and 24 outbound). When considering the pass-by characteristics of this retail development, this project is estimated to generate 240 net new daily vehicle trips, 10 net new AM peak hour vehicle trips, and 29 net new PM peak hour vehicle trips.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

KBP CONSULTING, INC.

A handwritten signature in blue ink, appearing to read 'Karl B. Peterson', with a large, stylized flourish at the end.

Karl B. Peterson, P.E.
Florida Registration Number 49897
KBP Consulting, Inc.
8400 N. University Drive, Suite 309
Tamarac, Florida 33321
Registry 29939



CITY OF
MARGATE
Together We Make It Great

Approved
**Development Review
Committee**

Permit #: 22-00400056

Date: 05/01/23

Attachment A

Preliminary Site Plan & Floor Plan

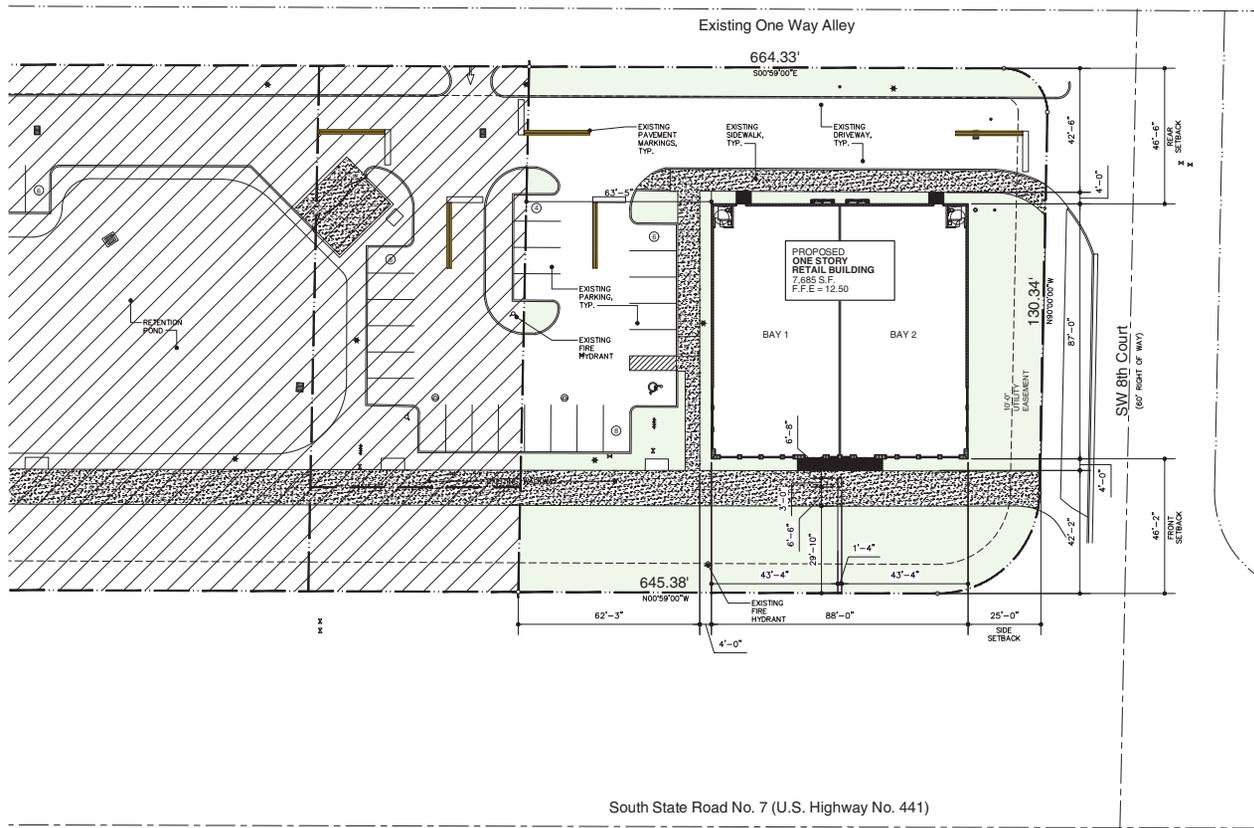


Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

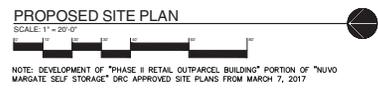


Project No. 22-00400056
 Permit No. 22-00400056
 Date: 05/01/23
 O&A ARCHITECTURE
 10000 W. 11th St., Suite 100, Margate, FL 33163
 (954) 922-1111



ZONING INFORMATION

LEGAL DESCRIPTION:			
SERINO PARK SEC 3 81-46 B TR B S 89.91 TOGETHER WITH S 88.23 OF N 1025.42.			
PROPERTY ID: 494206180935		LOT AREA: 31,779 sf	0.73 acres
JURISDICTION: BROWARD COUNTY			
ZONING: TOC-C/ TRANSIT ORIENTED CORRIDOR - CORRIDOR			
FLOOD ZONE: ZONE X			
BASE FLOOD ELEVATION: --			
CATEGORIES	REQUIRED / ALLOWED	EXISTING	PROVIDED
LOT OCCUPATION			
LOT COVERAGE	-	-	7,685 sf
VEHICULAR USE AREA	-	6,673 sf	6,673 sf
LANDSCAPE			
OPEN SPACE	0 sf (0.00% min)	18,966 sf 59.69%	11,097 sf 34.92%
IMPERVIOUS AREA	-	12,811 sf 40.31%	20,682 sf 65.06%
SETBACKS			
FRONT	n/a	-	46'-2"
INTERIOR SIDE	n/a	-	50'-5"
SIDE STREET	n/a	-	20'-0"
REAR	n/a	-	46'-6"
HEIGHT			
RETAIL BUILDING (BAY 1 & BAY 2)	55'-0" / 4 STORY MAX.	-	20'-6"
AREAS (UNDER A/C)			
RETAIL BAY 1	-	-	3,675 sf
RETAIL BAY 2	-	-	3,675 sf
TOTAL	-	-	7,350 sf
PARKING			
RETAIL	3 per 1,000	22.05	30 stalls
TOTAL	-	24 stalls	30 stalls
HANDICAP	2 stalls	2 stalls	2 stalls



Proposed Retail Building
Brothers No. 29
 Owner: M & A Brothers Realty NO 29 INC
 580 S State Road 7, Margate, FL 33068

SP101



CITY OF
MARGATE
Together We Make It Great

Approved

**Development Review
Committee**

Permit #: 22-00400056

Date: 05/01/23

Attachment B

**Relevant Excerpts from the ITE
*Trip Generation Manual (11th Edition)***

Land Use: 822

Strip Retail Plaza (<40k)



Description

A strip retail plaza is an integrated group of commercial establishments that is planned, developed, owned, and managed as a unit. Each study site in this land use has less than 40,000 square feet of gross leasable area (GLA). Because a strip retail plaza is open-air, the GLA is the same as the gross floor area of the building.

The 40,000 square feet GFA threshold between strip retail plaza and shopping plaza (Land Use 821) was selected based on an examination of the overall shopping center/plaza database. No shopping plaza with a supermarket as its anchor is smaller than 40,000 square feet GLA.

Shopping center (>150k) (Land use 820), shopping plaza (40-150k) (Land Use 821), and factory outlet center (Land Use 823) are related uses.

Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alberta (CAN), California, Delaware, Florida, New Jersey, Ontario (CAN), South Dakota, Vermont, Washington, and Wisconsin.

Source Numbers

304, 358, 423, 428, 437, 507, 715, 728, 936, 960, 961, 974, 1009



CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056

Date: 05/01/23

Strip Retail Plaza (<40k) (822)

Vehicle Trip Ends vs: 1000 Sq. Ft. GLA
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 4

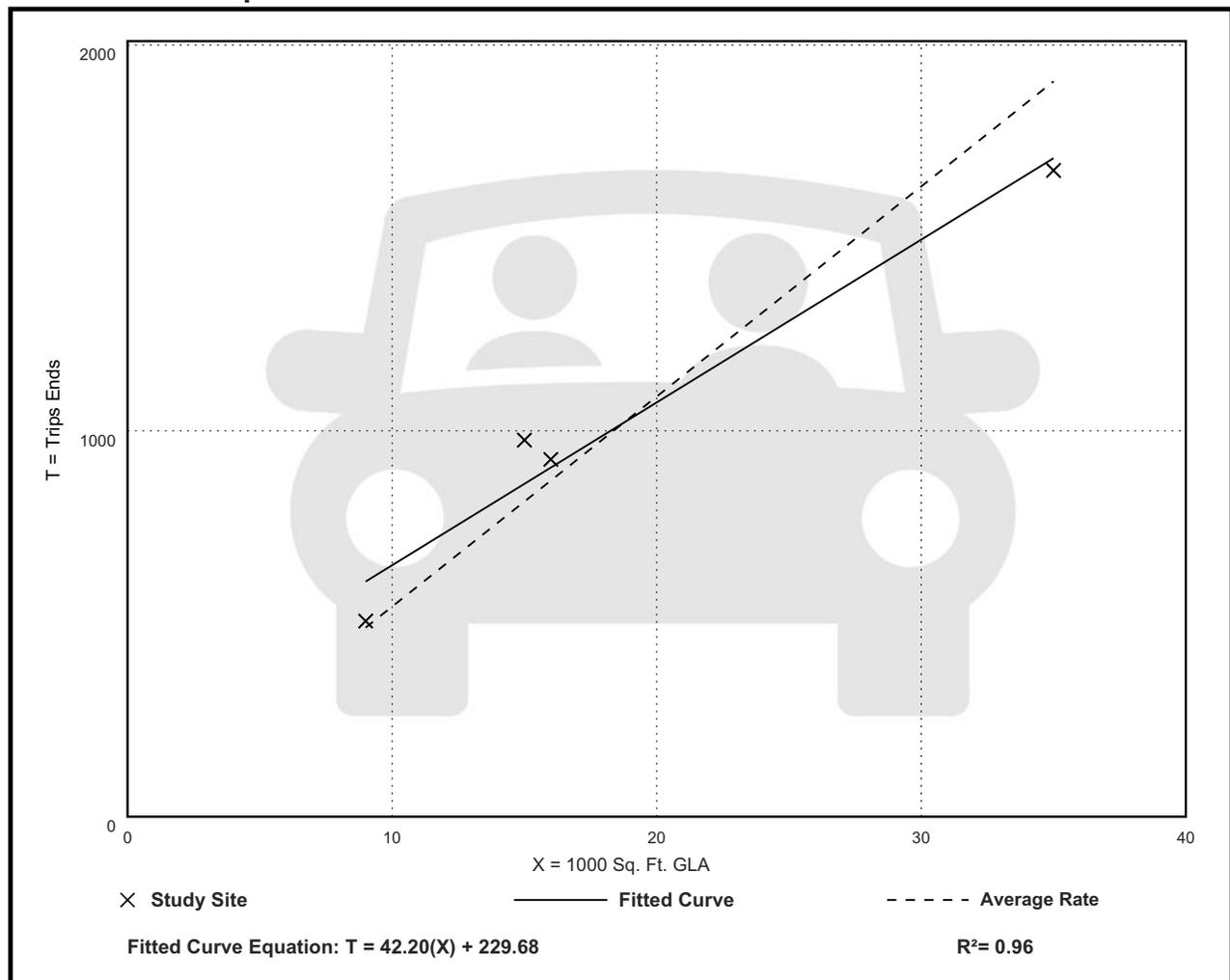
Avg. 1000 Sq. Ft. GLA: 19

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
54.45	47.86 - 65.07	7.81

Data Plot and Equation





CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

Strip Retail Plaza (<40k) (822)

Vehicle Trip Ends vs: 1000 Sq. Ft. GLA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 5

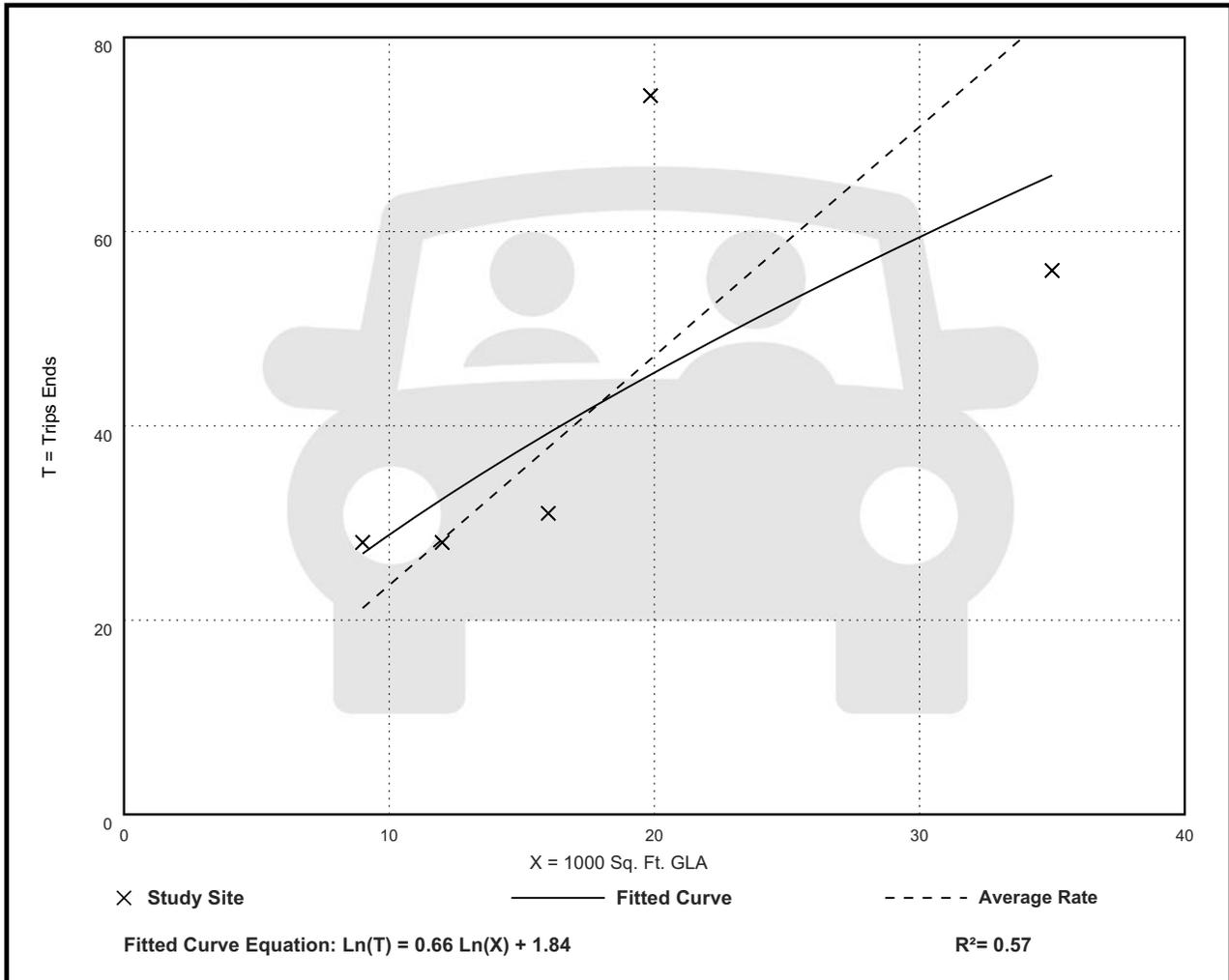
Avg. 1000 Sq. Ft. GLA: 18

Directional Distribution: 60% entering, 40% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
2.36	1.60 - 3.73	0.94

Data Plot and Equation





CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

Strip Retail Plaza (<40k) (822)

Vehicle Trip Ends vs: 1000 Sq. Ft. GLA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 25

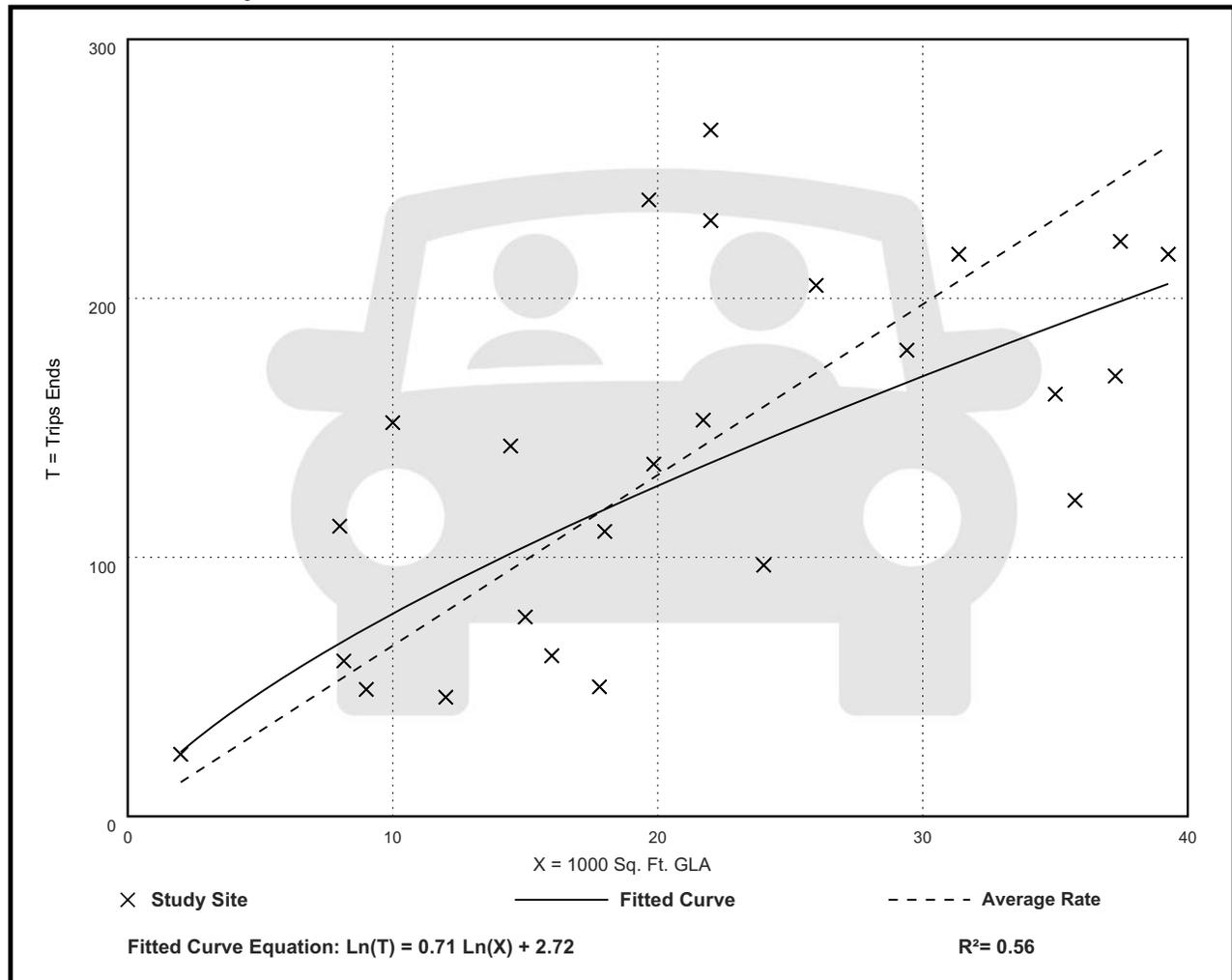
Avg. 1000 Sq. Ft. GLA: 21

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
6.59	2.81 - 15.20	2.94

Data Plot and Equation





CITY OF
MARGATE

Together We Do It Best

Approved

Development Review
Committee

Permit #: 22-0040-056

Date: 05/01/23

Vehicle Pass-By Rates by Land Use

Source: ITE Trip Generation Manual , 11th Edition

Land Use Code	821								
Land Use	Shopping Plaza (40 - 150k)								
Setting	General Urban/Suburban								
Time Period	Weekday PM Peak Period								
# Data Sites	15								
Average Pass-By Rate	40%								
	Pass-By Characteristics for Individual Sites								
						Non-Pass-By Trips			Adj Street Peak
GLA (000)	State or Province	Survey Year	# Interviews	Pass-By Trip (%)	Primary (%)	Diverted (%)	Total (%)	Hour Volume	Source
45	Florida	1992	844	56	24	20	44	—	30
50	Florida	1992	555	41	41	18	59	—	30
52	Florida	1995	665	42	33	25	58	—	30
53	Florida	1993	162	59	—	—	41	—	30
57.23	Kentucky	1993	247	31	53	16	69	2659	34
60	Florida	1995	1583	40	38	22	60	—	30
69.4	Kentucky	1993	109	25	42	33	75	1559	34
77	Florida	1992	365	46	—	—	54	—	30
78	Florida	1991	702	55	23	22	45	—	30
82	Florida	1992	336	34	—	—	66	—	30
92.857	Kentucky	1993	133	22	50	28	78	3555	34
100.888	Kentucky	1993	281	28	50	22	72	2111	34
121.54	Kentucky	1993	210	53	30	17	47	2636	34
144	New Jersey	1990	176	32	44	24	68	—	24
146.8	Kentucky	1993	—	36	39	25	64	—	34

December 1, 2022

Mr. Gianni Casanova
OA Architecture
1235 Coral Way, Suite 101
Miami, Florida 33145

**Re: Brothers No. 29 Retail Building – Margate, Florida
Master Parking Plan & Analysis**

Dear Gianni:

As requested, KBP Consulting, Inc. has prepared a master parking plan and analysis associated with the proposed Brothers No. 29 retail building to be located in the northeast quadrant of the intersection at S. State Road 7 and SW 8th Court in Margate, Broward County, Florida. More specifically, the subject site is located at 830 S. State Road 7 and the Broward County Parcel ID number is 4942 06 18 0935. A project location map is presented in Attachment A to this memorandum.

The subject site is a portion of an overall master site plan that includes the existing Extra Space Storage building located immediately to the north at 750 S. State Road 7. This self-storage facility consists of a five-story building with a total floor area of 102,000 square feet.¹ The proposed development consists of a single-story retail building with a floor area of 7,350 square feet.

Vehicular access to the existing self-storage building and the site of the proposed retail building is provided along the alleyway located along the eastern boundary of the site. The existing parking supply consists of 30 parking spaces, all of which were constructed at the time of the self-storage building construction. A site survey is presented in Attachment B. An overall site plan, site plan for the proposed retail building, a floor plan, and renderings are presented in Attachment C. The purpose of this memorandum is to document the adequacy of the existing parking supply to meet the parking demands of both the existing self-storage building and the proposed retail building.

Parking Analysis

The City of Margate has requested that a master parking plan for the overall site be prepared. This analysis addresses the parking requirements for the existing use (i.e. self-storage building) and the proposed use (i.e. retail building) in accordance with the time-of-day / day-of-week parking rates published by the Institute of Transportation Engineers (ITE) in their *Parking Generation Manual (5th Edition)*.

¹ The floor area for the existing self-storage building has been obtained from the Broward County Property Appraiser's database for Parcel ID # 4942 06 18 0934.





ITE Parking Analysis – A parking analysis has been conducted in accordance with the procedures and data included in the current edition of the Institute of Transportation Engineers (ITE) *Parking Generation Manual (5th Edition)*. This publication contains parking data, rates, and equations for various land uses based upon research and analysis conducted by transportation professionals throughout the country. The applicable ITE land uses for this analysis include the following:

- 151 – Mini-Warehouse (Extra Space Storage)
- 820 – Shopping Center (Proposed Single-Story Retail Building)

Utilizing the referenced parking generation data presented in the ITE *Parking Generation Manual (5th Edition)*, a detailed parking analysis was performed to identify the peak parking demand by day of the week (i.e. Monday through Thursday, Friday, Saturday, and Sunday). Specifically, the average parking generation rates were applied for both land uses and for each time period.

The results of these analyses, along with the applicable ITE data, are presented in Attachment D to this memorandum. The parking analysis indicates that the peak parking demand on Monday through Thursday is projected to be 26 occupied parking spaces and the peak parking demand on Sunday is projected to be 24 occupied parking spaces. With 30 existing parking spaces, the parking supply is projected to be adequate on Mondays through Thursdays and on Sundays. On Fridays and Saturdays, however, the parking demand is projected to be 31 and 32 occupied parking spaces, respectively. As a result, there is an apparent shortfall of parking on these days of the week.

Concerning the apparent shortfall of parking within this development, we have reviewed the potentially mitigating factors identified within Section 33.2. – (F) (3) (e) of the City of Margate’s Code of Ordinances and offer the following evidence:

- **Physical Constraints.** The width of the site is approximately 185 feet; however, the effective width of the site is approximately 94 feet. This is a result of a landscaped buffer along S. State Road 7, a 12-foot-wide sidewalk and a two-way alleyway on the east side of the property that provides access to the site in lieu of driveway connections to S. State Road 7. A large retention area is also provided between the existing parking lot and the self-storage building. These factors have significantly limited the amount of area that can be constructed for parking.
- **Shared Parking.** Until the actual tenants of the retail building are identified, it is not possible to predict with reasonable certainty the amount of shared parking that could occur on this site; however, it is possible that some level of shared parking will occur once the site is fully developed and occupied.



- **Access to Transit.** Within Broward County, the State Road 7 / US 441 corridor is one of the best served corridors with respect to transit. This corridor is served by both Route 19 and the 441 Breeze. Route 19 provides service seven (7) days per week between Palm Beach County and the Lauderhill Mall. Headways are approximately 30 minutes in the northbound and southbound directions.

The 441 Breeze provides weekday express service between Coral Springs and the Golden Glades Park & Ride Lot in Miami-Dade County. Headways for this route are also approximately 30 minutes. Northbound and southbound bus stops are conveniently located within approximately 250 feet of this site. Due to the frequent service and convenient bus stop locations, it appears reasonable to assume that some patrons and/or employees of the site will take advantage of this service.

- **Parking Generation Rates.** While we are utilizing the latest available parking data published by ITE, it is evident that the parking rates for the self-storage component of this development may be overstated. Earlier “mini-warehouse” uses had a tendency to generate more trips due to their single-story configuration and frequent occupancy by businesses. The newer “self-storage” buildings are typically multi-story (such as the 5-story Extra Space Storage building on this site) and have typically exhibited a lower number of trips. With fewer trips being generated by the newer self-storage facilities, it is likely that the parking demands are lower as well.

In addition, the proposed retail building has been analyzed in accordance with parking rates for ITE Land Use #820 – Shopping Center. The average size of a shopping center within this database is between 174,000 and 313,000 square feet – significantly exceeding the size of the proposed building. Unfortunately, there is no land use (such as small retail building or small retail center) within the ITE database that would more accurately reflect this site. As a result, it is apparent that the most closely related data for this use is likely overestimating the future parking demands associated with the proposed retail building.

Based upon the foregoing criteria, it appears reasonable to assume that the predicted shortfall of one (1) parking space on Fridays and two (2) parking spaces on Saturdays will not occur. As such the existing parking supply appears to be adequate to satisfy the parking demands of the existing and proposed land uses.

ADA Parking – An inventory and analysis of ADA parking spaces provided within the subject site has been performed. With 30 existing parking spaces, two (2) accessible parking spaces are required. A review of the subject site indicates that two (2) accessible parking spaces are provided. As such, the number of accessible parking spaces is compliant.

KBP CONSULTING, INC.



Summary

The proposed Brothers No. 29 retail building will be located in the northeast quadrant of the intersection at S. State Road 7 and SW 8th Court in Margate, Broward County, Florida. There is an existing Extra Space Storage building located immediately north of this site. Based upon the master parking plan analysis for this site inclusive of the existing self-storage building and the proposed retail building, it is apparent that the existing parking supply of 30 parking spaces will be sufficient to satisfy the anticipated parking demand.

If you have any questions or require additional information, please do not hesitate to contact me.

KBP CONSULTING, INC.

Karl B. Peterson, P.E.
Senior Transportation Engineer



CITY OF
MARGATE
Together We Make It Great

Approved

**Development Review
Committee**

Permit #: 22-00400056

Date: 05/01/23

Attachment A

Brothers No. 29 Retail Building – Margate, Florida

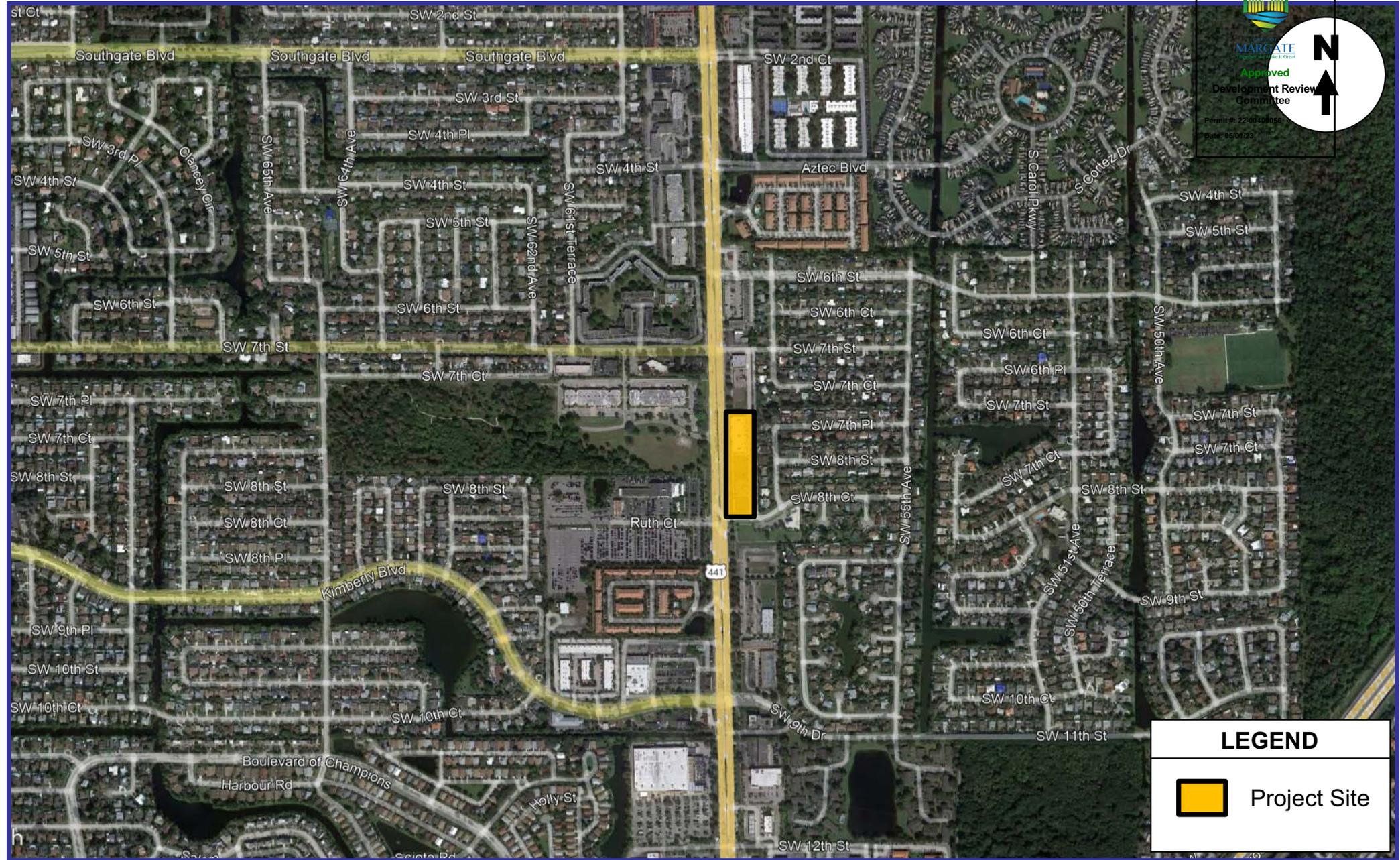
Project Location Map



CITY OF MARGATE
FLORIDA

Approved
Development Review
Committee

Permit #: 22-0040056
Date: 05/01/23



LEGEND

 Project Site

KBP
CONSULTING, INC.

Project Location Map

Attachment A
Brothers No. 29
Margate, Florida



CITY OF
MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056

Date: 05/01/23

Attachment B

Brothers No. 29 Retail Building – Margate, Florida

Site Survey



CITY OF
MARGATE
Together We Make It Great

Approved

**Development Review
Committee**

Permit #: 22-00400056

Date: 05/01/23

Attachment C

Brothers No. 29 Retail Building – Margate, Florida

Overall Site Plan, Proposed Site Plan, Floor Plan and Renderings



Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

081 ARCHITECTURE
ARCHITECTS
10000 N.W. 11th St., Suite 100, Miami, FL 33150
Tel: 305.555.1111



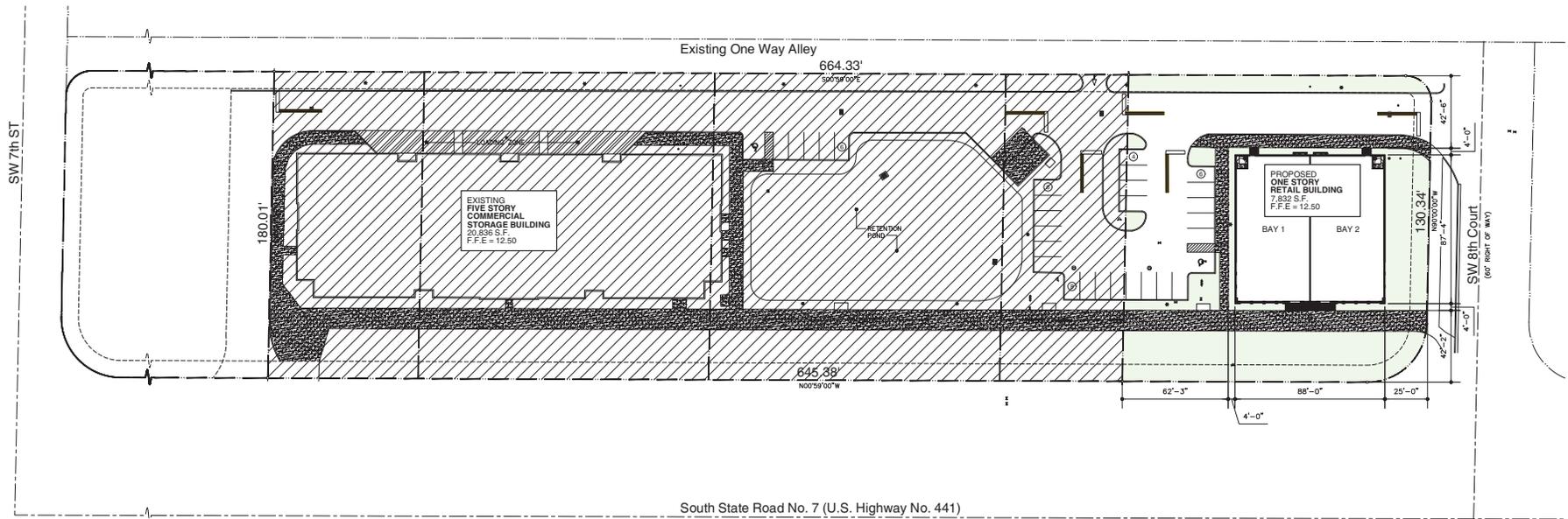
Project No. 22-00400056
Phase: Development Review
Date: 05/01/23

08.12.2023 DRC Submittal
JOS: JMS/23 10:14:30 AM

Consulting Engineer

Proposed Retail Building
Brothers No. 29
Owner: M & A Brothers Realty NO 29 INC
530 S State Road 7, Margate, FL 33068

SP100



PROPOSED OVERALL SITE PLAN
SCALE: 1" = 30'-0"
NOTE: DEVELOPMENT OF "PHASE II RETAIL OUTPARCEL BUILDING" PORTION OF "NUVO MARGATE SELF STORAGE" DRC APPROVED SITE PLANS FROM MARCH 7, 2017

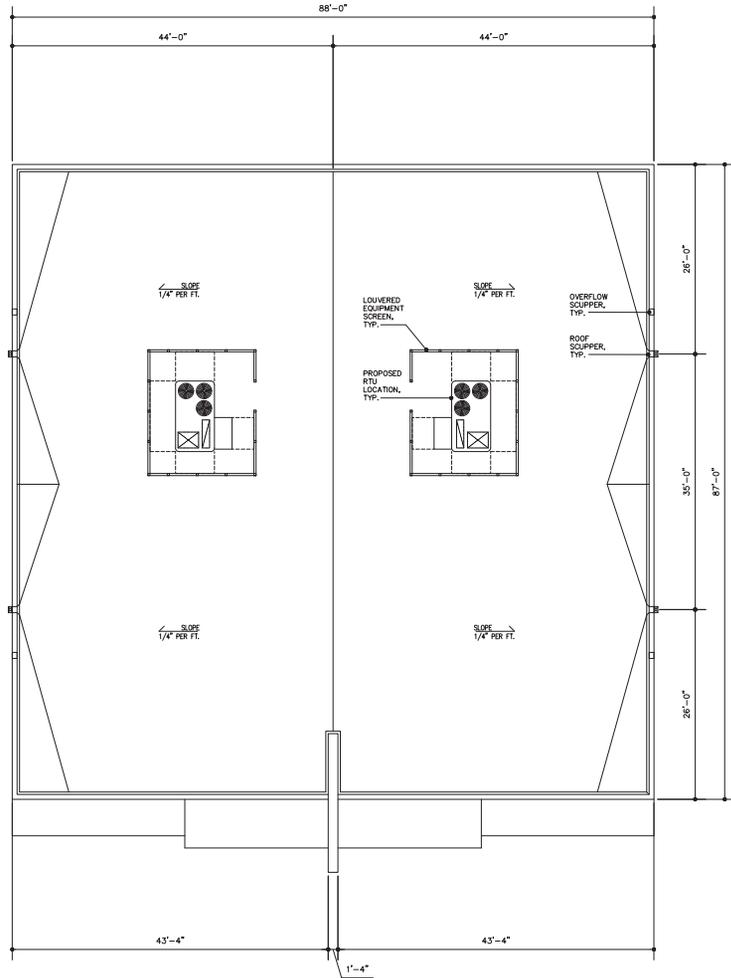


CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

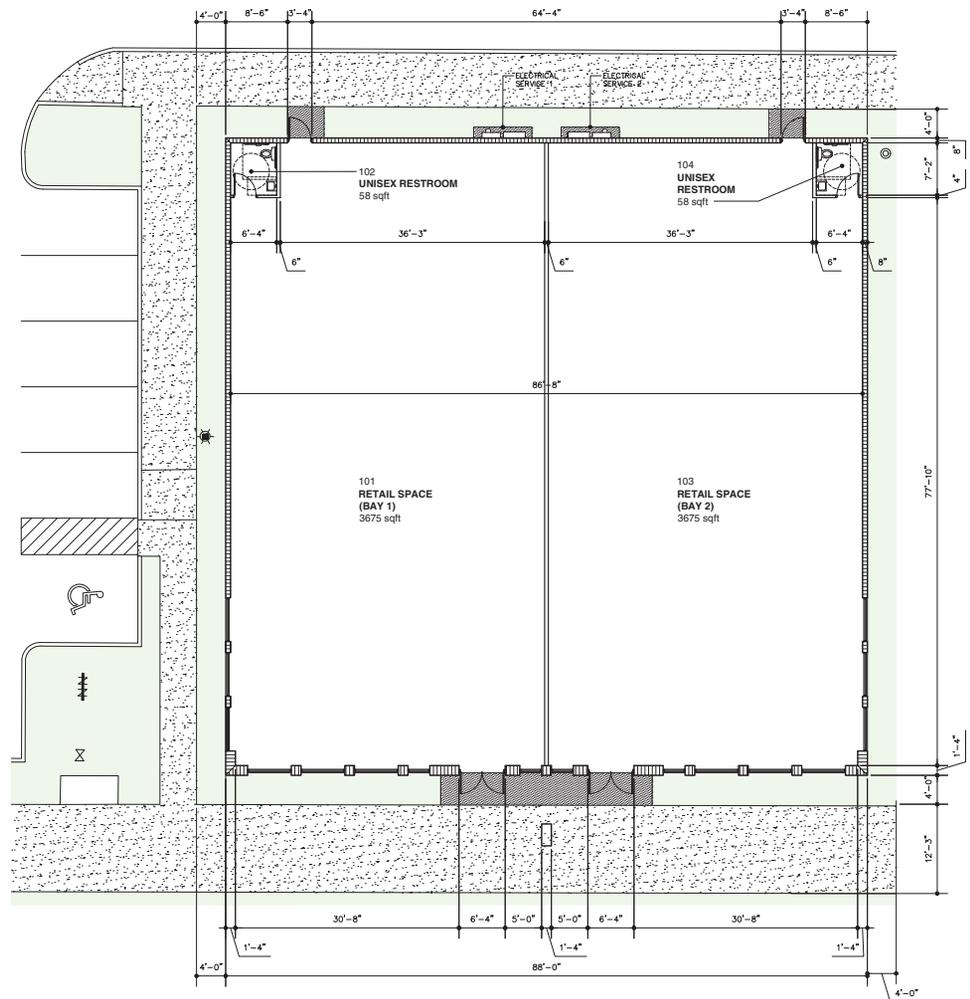
Permit #: 22-00400056
Date: 05/01/23

OB ARCHITECTURE
ARCHITECTS
10000 N.W. 11th St., Suite 111, Miami, FL 33150
305.556.8888



PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"



Project No. 22-00400056
Permit Application No. 22-00400056
MOR 2022-00400056-0000
DATE: 05/01/23

OB ARCHITECTURE
10000 N.W. 11th St., Suite 111, Miami, FL 33150
305.556.8888

Consulting Engineer

Proposed Retail Building
Brothers No. 29
Owner: M & A Brothers Realty NO 29 INC
850 S State Road 7, Margate, FL 33068



CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

OB ARCHITECTURE
ARCHITECTS
10000 NW 11th Street, Suite 101, Miami, FL 33150 (305) 556-1111



Project No. 22-00400056
Final Approval on 1/11/23
MOI FOR EXHIBIT 202205
DATE: 05/01/23

05.12.23, 05.12.23, DDC, Submittal
JMS, KJG/2023 10:41:30 AM 2023

Consulting Engineer

Proposed Retail Building
Brothers No. 29
Owner: M & A Brothers Realty NO 29 LLC
580 S State Road 7, Margate, FL 33068

A801



3D RENDERING 1
SCALE: N.T.S.



3D RENDERING 2
SCALE: N.T.S.



3D RENDERING 3
SCALE: N.T.S.



3D RENDERING 4
SCALE: N.T.S.



CITY OF
MARGATE
Together We Make It Great

Approved

**Development Review
Committee**

Permit #: 22-00400056

Date: 05/01/23

Attachment D

Brothers No. 29 Retail Building – Margate, Florida

Parking Analysis & ITE Parking Generation Data



**Table D-1
Brothers No. 29 Retail Building - Margate
Parking Analysis - Proposed Conditions**

Land Use	ITE Code	Tenant(s)	Building Area	Peak Parking Demand per ITE			
				Mon - Thurs	Friday	Saturday	Sunday
Mini-Warehouse ¹	151	Extra Space Storage	102,000 SF	11	11	10	10
Shopping Center	820	Planned Retail Building	7,350 SF	15	20	22	14
		TOTAL:	109,350 SF	26	31	32	24
		Parking Supply:	30 Spaces				
		Projected Parking Surplus / Shortfall:		4	-1	-2	6

Analysis conducted in accordance with data published in the Institute of Transportation Engineers (ITE) Parking Generation Manual (5th Edition).

¹ Due to a lack of Sunday parking data for this land use, parking demand calculations for Saturdays have been applied to the Sunday time period.



CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056

Date: 05/01/23

Land Use: 151 Mini-Warehouse

Description

A mini-warehouse is a building in which a number of storage units or vaults are rented for the storage of goods. They are typically referred to as "self-storage" facilities. Each unit is physically separated from other units, and access is usually provided through an overhead door or other common access point.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday (nine study sites) and a Saturday (one study site) in a general urban/suburban setting.

Hour Beginning	Percent of Peak Parking Demand	
	Weekday	Saturday
12:00–4:00 a.m.	0	–
5:00 a.m.	0	–
6:00 a.m.	0	–
7:00 a.m.	0	–
8:00 a.m.	14	–
9:00 a.m.	71	–
10:00 a.m.	50	–
11:00 a.m.	79	–
12:00 p.m.	57	–
1:00 p.m.	64	91
2:00 p.m.	64	27
3:00 p.m.	79	55
4:00 p.m.	71	100
5:00 p.m.	100	91
6:00 p.m.	14	27
7:00 p.m.	0	0
8:00 p.m.	0	–
9:00 p.m.	0	–
10:00 p.m.	0	–
11:00 p.m.	0	–



CITY OF
MARGATE
Together We Make It Great

Approved

**Development Review
Committee**

Permit #: 22-00400056

Date: 05/01/23

Additional Data

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in British Columbia (CAN), California, Massachusetts, Minnesota, and Texas.

Source Numbers

37, 314, 415, 556, 562



CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056

Date: 05/01/23

Mini-Warehouse (151)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 4:00 - 6:00 p.m.

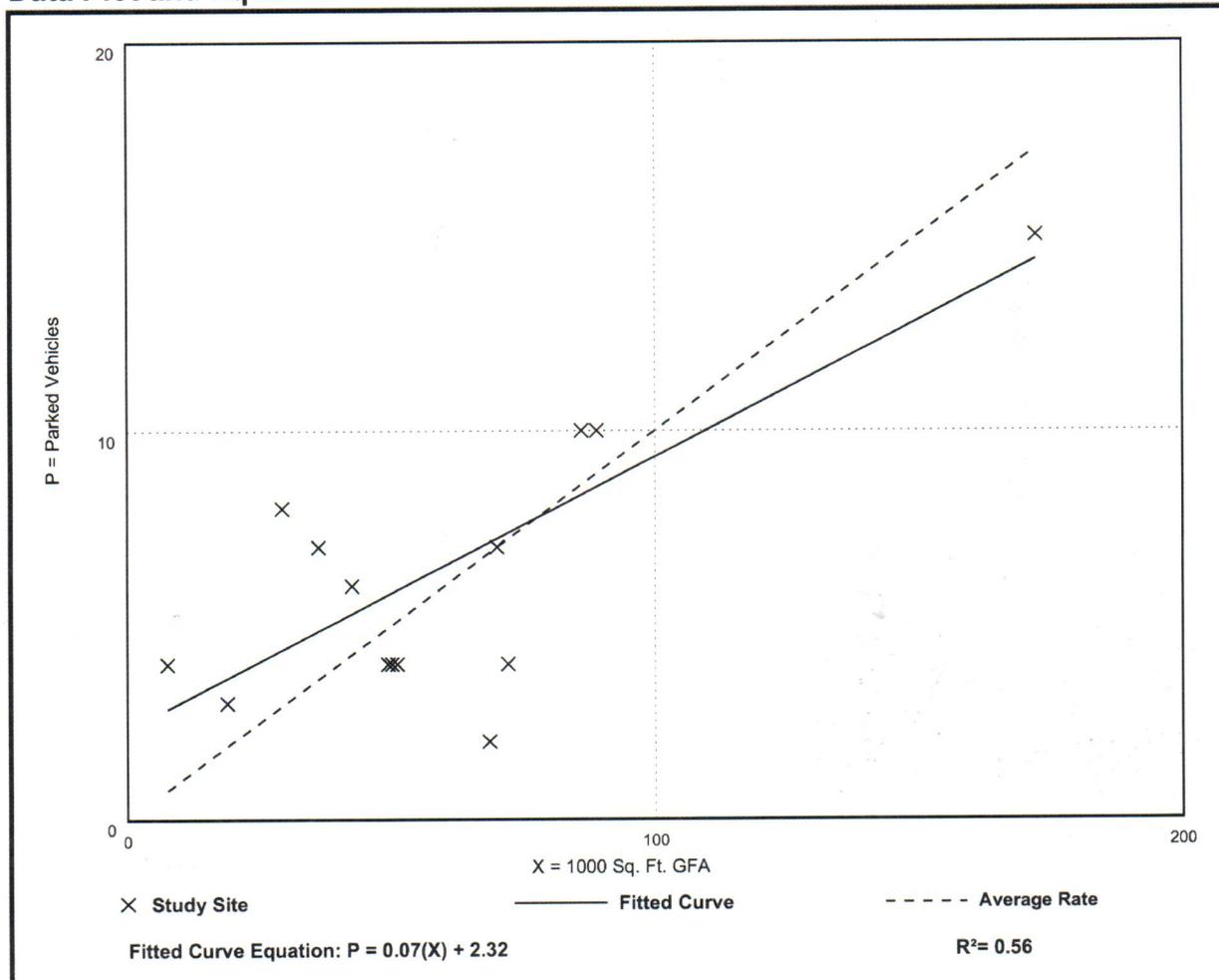
Number of Studies: 14

Avg. 1000 Sq. Ft. GFA: 60

Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	.95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.10	0.03 - 0.53	0.08 / 0.25	***	0.07 (70%)

Data Plot and Equation





CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

Mini-Warehouse (151)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA

On a: Saturday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 1:00 - 5:00 p.m.

Number of Studies: 3

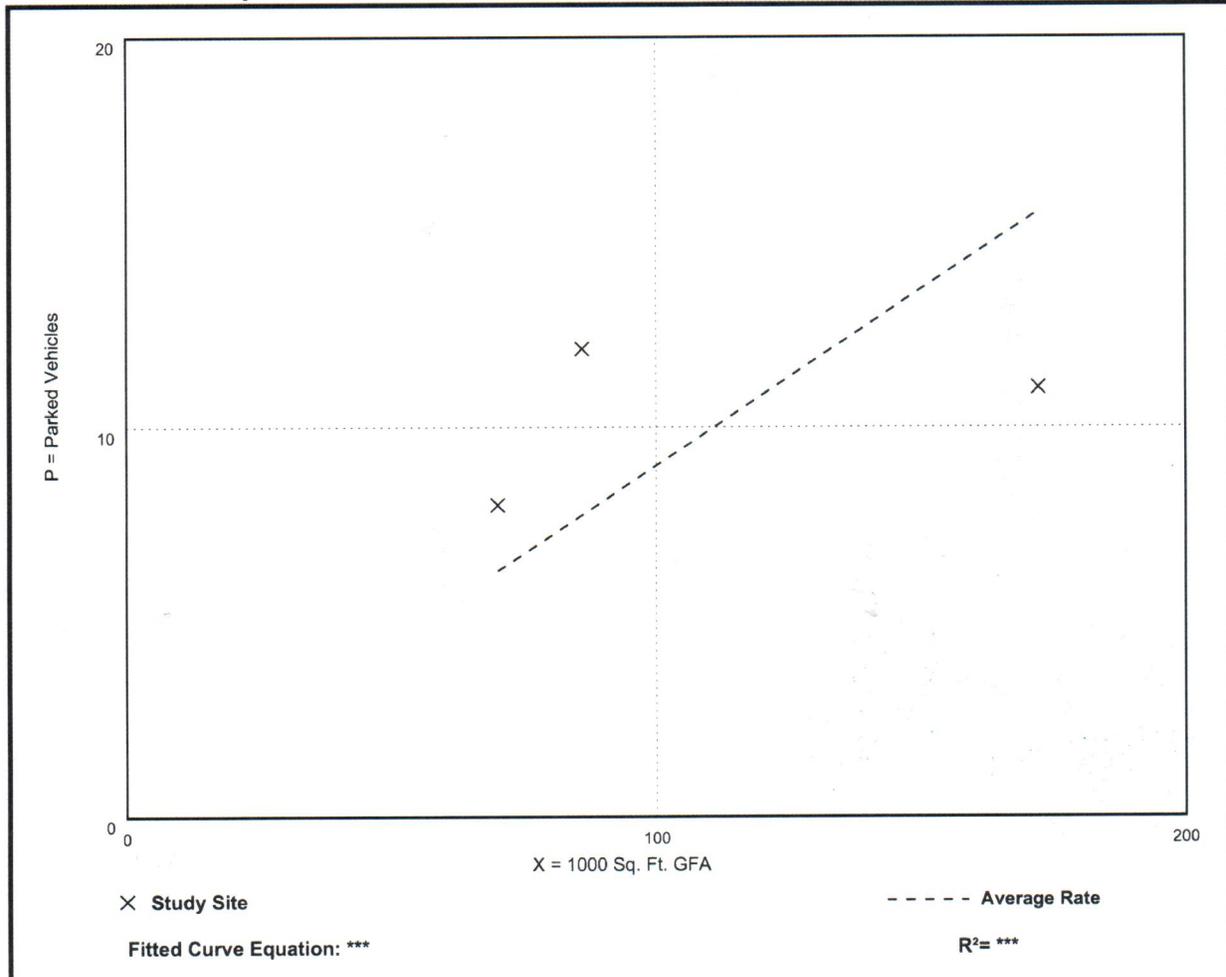
Avg. 1000 Sq. Ft. GFA: 109

Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.09	0.06 - 0.14	0.08 / 0.14	***	0.04 (44%)

Data Plot and Equation

Caution – Small Sample Size





CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056

Date: 05/01/23

Land Use: 820 Shopping Center

Description

A shopping center is an integrated group of commercial establishments that is planned, developed, owned, and managed as a unit. A shopping center's composition is related to its market area in terms of size, location, and type of store. A shopping center also provides on-site parking facilities sufficient to serve its own parking demands.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand **during the month of December** on a weekday (seven study sites), a Friday (eight study sites), and a Saturday (19 study sites).

Hour Beginning	Percent of Peak Parking Demand during December		
	Weekday	Friday	Saturday
12:00–4:00 a.m.	–	–	–
5:00 a.m.	–	–	–
6:00 a.m.	–	–	–
7:00 a.m.	–	–	–
8:00 a.m.	–	–	–
9:00 a.m.	–	–	–
10:00 a.m.	–	74	–
11:00 a.m.	–	87	85
12:00 p.m.	77	97	97
1:00 p.m.	100	100	98
2:00 p.m.	98	92	100
3:00 p.m.	90	85	97
4:00 p.m.	76	84	88
5:00 p.m.	82	78	77
6:00 p.m.	89	75	64
7:00 p.m.	90	63	–
8:00 p.m.	84	–	–
9:00 p.m.	–	–	–
10:00 p.m.	–	–	–
11:00 p.m.	–	–	–



CITY OF
MARGATE
Together We Make It Great

Approved

Development Review
Committee

Permit #: 22-00400056

Date: 05/01/23

The following table presents a time-of-day distribution of parking demand **during a non-December month** on a weekday (18 study sites), a Friday (seven study sites), and a Saturday (13 study sites).

Hour Beginning	Percent of Non-December Peak Parking Demand		
	Weekday	Friday	Saturday
12:00–4:00 a.m.	–	–	–
5:00 a.m.	–	–	–
6:00 a.m.	–	–	–
7:00 a.m.	–	–	–
8:00 a.m.	15	32	27
9:00 a.m.	32	50	46
10:00 a.m.	54	67	67
11:00 a.m.	71	80	85
12:00 p.m.	99	100	95
1:00 p.m.	100	98	100
2:00 p.m.	90	90	98
3:00 p.m.	83	78	92
4:00 p.m.	81	81	86
5:00 p.m.	84	86	79
6:00 p.m.	86	84	71
7:00 p.m.	80	79	69
8:00 p.m.	63	70	60
9:00 p.m.	42	–	51
10:00 p.m.	15	–	38
11:00 p.m.	–	–	–

Additional Data

The parking demand database includes data from strip, neighborhood, community, town center, and regional shopping centers. Some of the centers contain non-merchandising facilities, such as office buildings, movie theaters, restaurants, post offices, banks, health clubs, and recreational facilities.

Many shopping centers, in addition to the integrated unit of shops in one building or enclosed around a mall, include outparcels (peripheral buildings or pads located on the perimeter of the center adjacent to the streets and major access points). These buildings are typically drive-in banks, retail stores, restaurants, or small offices. Although the data herein do not indicate which of the centers studied included peripheral buildings, it can be assumed that some of the data show their effect.



The parking demand data plots and analysis are based on the total gross leasable area (GLA) of the center. In cases of smaller centers without an enclosed mall or peripheral buildings, the GLA could be the same as the gross floor area (GFA) of the center.

The average parking supply ratios for the study sites with parking supply information are the following:

- 5.1 spaces per 1,000 square feet GFA (137 sites) in a general urban/suburban setting
- 4.7 spaces per 1,000 square feet GFA (five sites) in a dense multi-use urban setting

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alabama, Alberta (CAN), Arizona, California, Colorado, Delaware, District of Columbia, Florida, Georgia, Illinois, Indiana, Iowa, Kansas, Kentucky, Louisiana, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, Montana, North Carolina, New Jersey, New York, North Dakota, Ohio, Oklahoma, Oregon, Pennsylvania, South Carolina, South Dakota, Tennessee, Texas, Virginia, and Washington.

Future data submissions should attempt to provide information on the composition of each study site (types and number of stores, restaurants, or other tenants within the shopping center).

Source Numbers

3, 18, 21, 32, 39, 47, 87, 88, 89, 103, 142, 145, 152, 153, 154, 174, 175, 176, 179, 202, 203, 204, 205, 209, 215, 219, 224, 241, 265, 274, 313, 314, 315, 431, 432, 433, 436, 438, 441, 511, 525, 527, 531, 533, 542, 556, 558, 565



CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

Shopping Center - Non-December (820)

Peak Period Parking Demand vs: 1000 Sq. Ft. GLA

On a: Weekday (Monday - Thursday)

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 12:00 - 6:00 p.m.

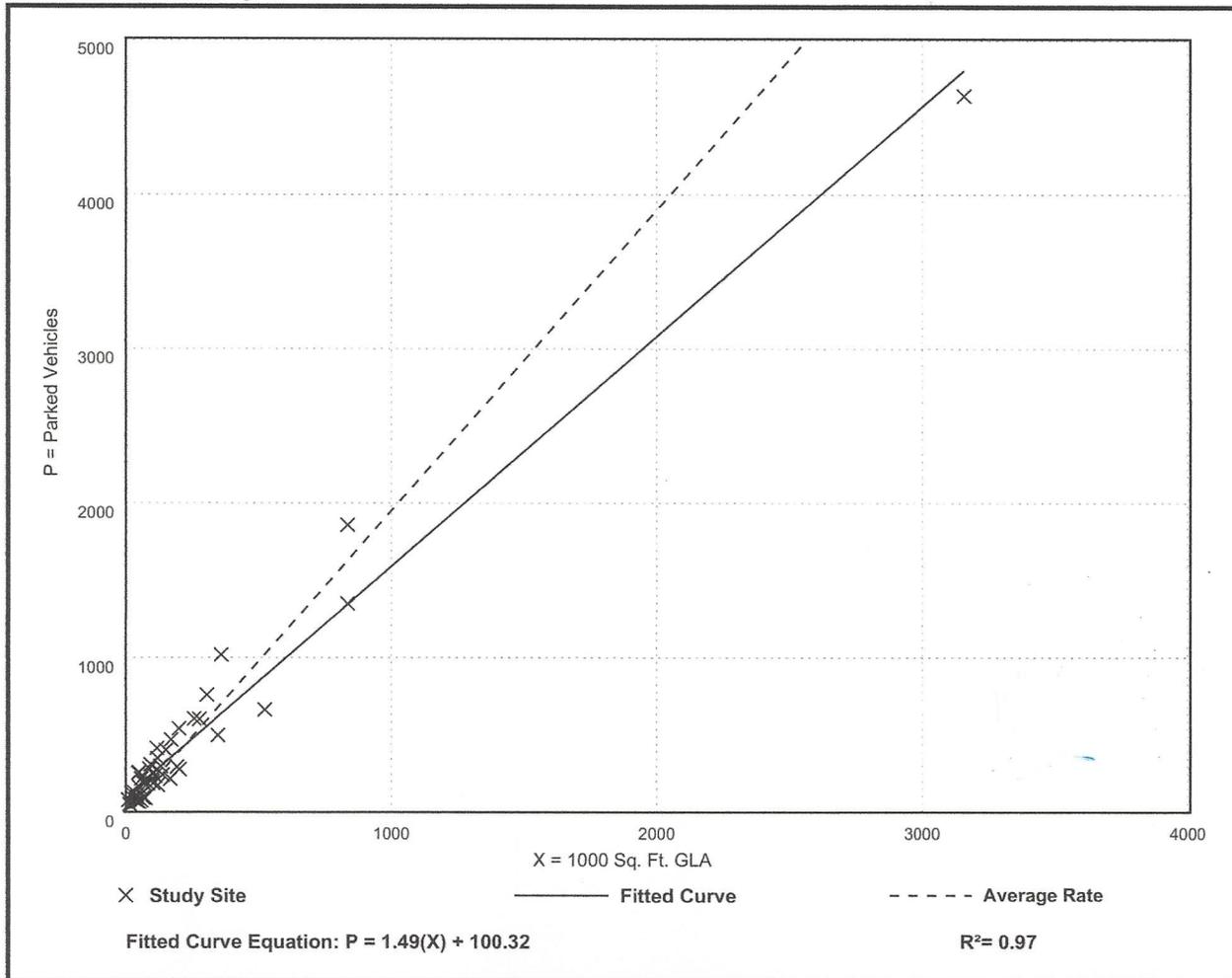
Number of Studies: 46

Avg. 1000 Sq. Ft. GLA: 218

Peak Period Parking Demand per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.95	1.27 - 7.98	1.99 / 3.68	1.73 - 2.17	0.75 (38%)

Data Plot and Equation





CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

Shopping Center - Non-December (820)

Peak Period Parking Demand vs: 1000 Sq. Ft. GLA

On a: Friday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 12:00 - 6:00 p.m.

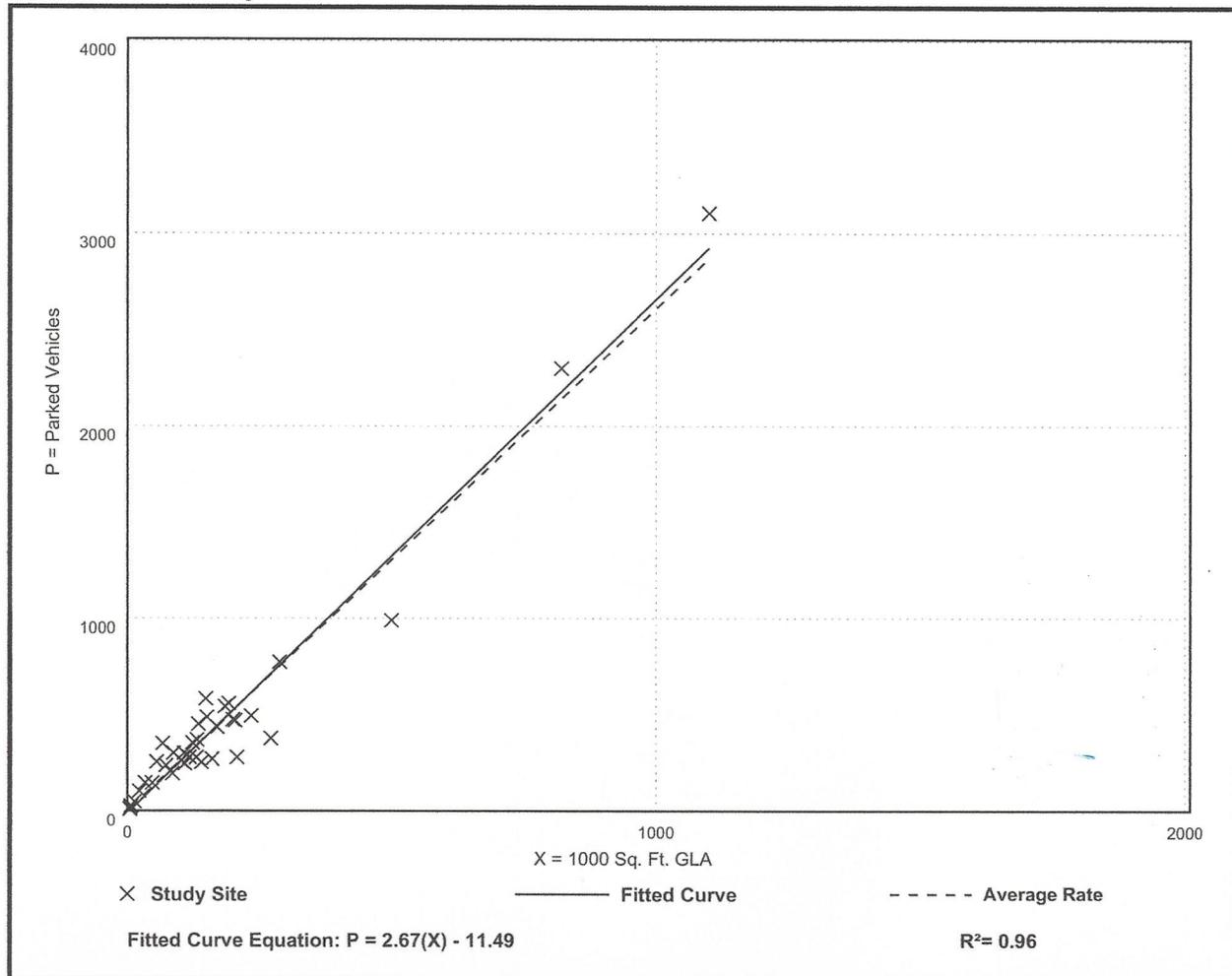
Number of Studies: 37

Avg. 1000 Sq. Ft. GLA: 174

Peak Period Parking Demand per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.61	1.34 - 5.25	2.37 / 3.78	2.39 - 2.83	0.67 (26%)

Data Plot and Equation





CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

Shopping Center - Non-December (820)

Peak Period Parking Demand vs: 1000 Sq. Ft. GLA

On a: Saturday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 11:00 a.m. - 5:00 p.m.

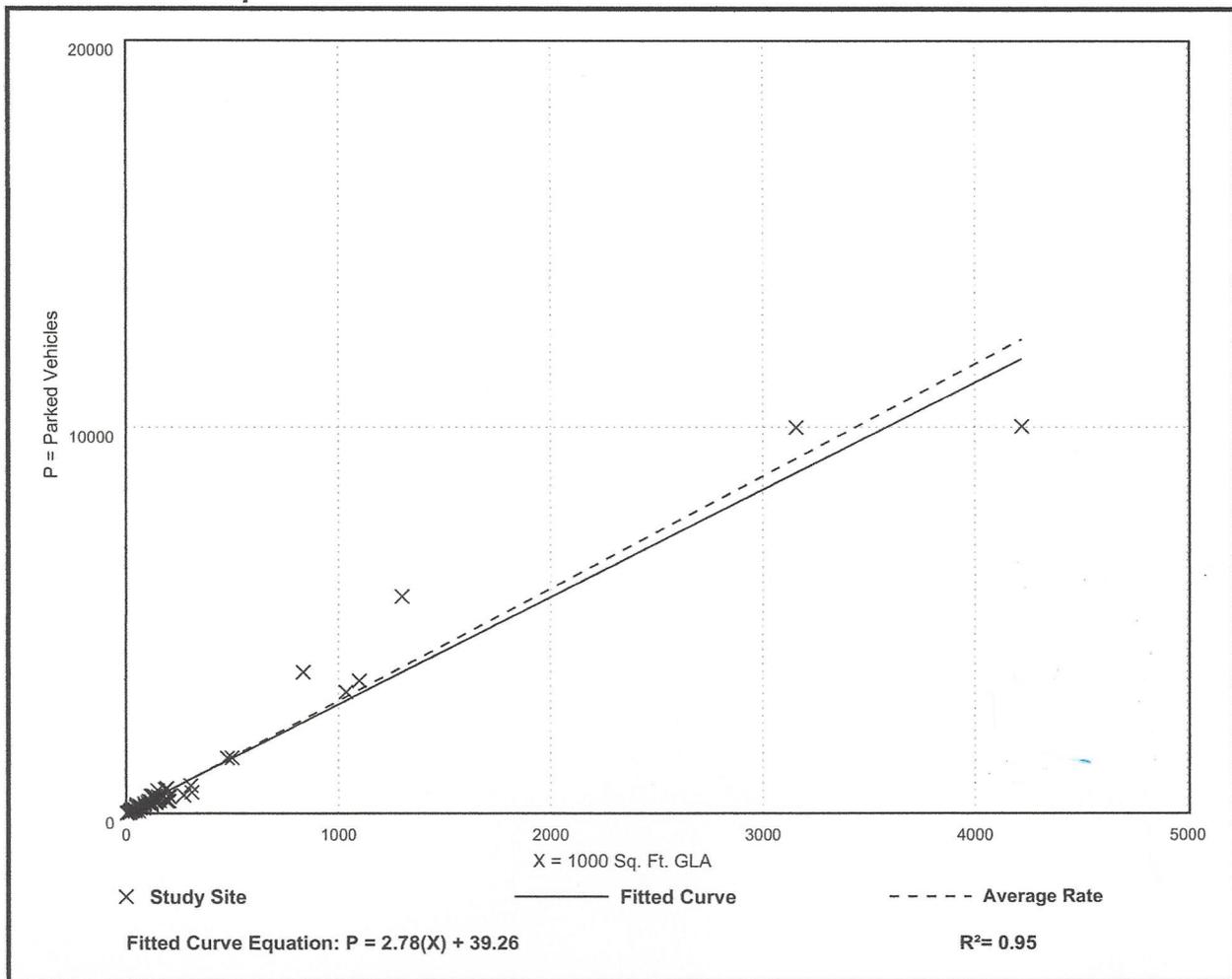
Number of Studies: 58

Avg. 1000 Sq. Ft. GLA: 313

Peak Period Parking Demand per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.91	1.15 - 4.72	2.27 / 3.74	2.72 - 3.10	0.74 (25%)

Data Plot and Equation





CITY OF MARGATE
Together We Make It Great

Approved
Development Review
Committee

Permit #: 22-00400056
Date: 05/01/23

Shopping Center - Non-December (820)

Peak Period Parking Demand vs: 1000 Sq. Ft. GLA

On a: Sunday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 12:00 - 3:00 p.m.

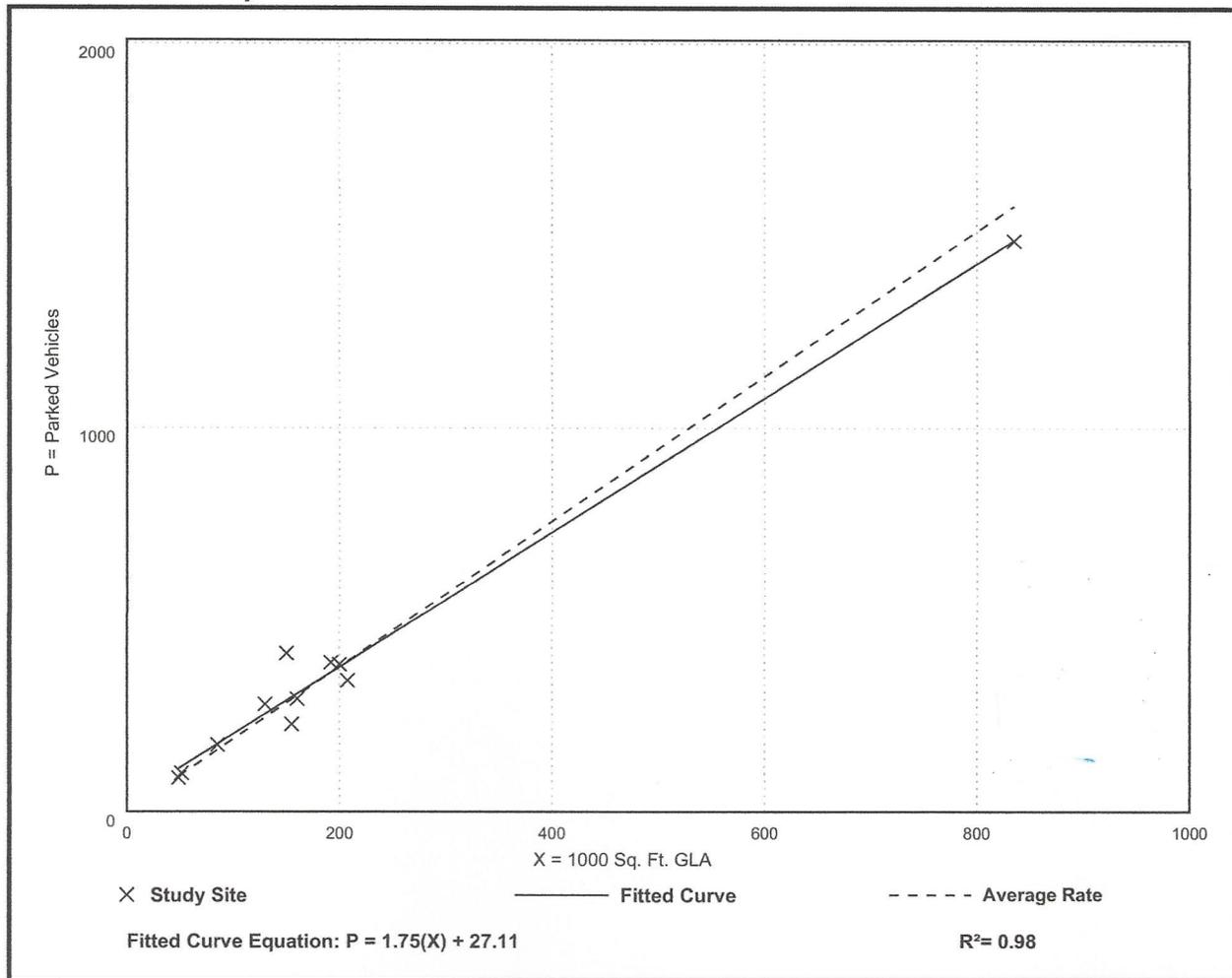
Number of Studies: 11

Avg. 1000 Sq. Ft. GLA: 201

Peak Period Parking Demand per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.89	1.47 - 2.75	1.81 / 2.27	***	0.30 (16%)

Data Plot and Equation



July 12, 2025

City of Margate – Department of Environmental & Engineering Services
Engineering Division / 5790 Margate Blvd. Margate, FL 33063

RE: Solid Waste Collection Narrative– Proposed Childcare/Educational Facility
Property Location: 830 S State Rd 7, Margate, FL 33068

In accordance with Ordinance 2021-9 and Chapter 19 of the City of Margate Code of Ordinances, Republic Services is the exclusive franchise hauler for all commercial garbage, recycling, and bulk waste services. The proposed childcare/educational facility will fully comply with these requirements by contracting exclusively with Republic Services.

The facility is designed to accommodate up to 132 children and 10–12 staff members, generating an estimated 4 to 6 cubic yards/ 1 dumpster of solid waste per week. **“Pursuant to the Declaration of Easements and Restrictions”** (Instrument #117637099, dated October 5, 2021/ attached), the Out Parcel shares a code-compliant dumpster enclosure with the adjacent Self-Storage Parcel. This easement grants the Out Parcel reciprocal rights to the enclosure and dumpster and requires it to pay 50% of all garbage removal and maintenance costs, as outlined in the agreement.

Currently, the site uses a 6-cubic-yard dumpster with twice-weekly service by Republic Services, providing 12 cubic yards of weekly capacity. In coordination with Republic Services, the property owner has confirmed that the existing enclosure is suitable for an upgrade to an 8-cubic-yard container, and the service provider has approved and scheduled this change. The future 8-yard dumpster will provide a total of 16 cubic yards per week, with 8 yards allocated to the Out Parcel, which sufficiently exceeds the projected 4 to 6 yard weekly demand.

Recycling and bulk waste collection will also be provided by Republic Services in compliance with City regulations. All containers will remain within the designated enclosure, and any adjustments to service levels will be coordinated as needed to ensure continued compliance with the City Code and recorded easement agreement.

Sincerely,

Radames Iribar FL P.E. 63925



June 27, 2025

Paula A. Fonseca, P.E.
Engineer I
City of Margate Department of Environmental and Engineering Services
901 NW 66th Avenue, Ste A
Margate, FL 33063

Re: 830 SR 7 EDUCATION FACILITY EXISTING DRAINAGE SYTEM SUMMARY

Dear Ms. Fonseca,

Please let this letter serve as a summary of the Surface Water Management License (SWML) status for the site with folio No. 494206180935. This site is the subject property for the 830 SR 7 Education Facility project.

Currently, the entire drainage system permitted under the original SWML has been built, certified and its operation status. Below please find a summary of the SWML permitting history:

1. A Surface Water Management License (SWML) was issued for the site under number SWM2017-047-0. This license included the construction of a drainage system consisting of exfiltration trenches and a dry retention area to handle the storm water of a project including a self-storage building (0.45 ac./19,600 s.f.) and a Phase 2 retail building (0.17 ac/7,400 s.f.). Refer to Exhibit "A" for a copy of original license issued.
2. The entire drainage system for the, approved under SWML 2017-047-0, was built and partial certification was issued for the entire drainage systema and the north building (self-storage) by the Broward County Environmental Permitting Division in 2020. Refer to Exhibit "B" for a copy certification letter (Partial CO release).
3. The drainage system was set into operation status in 2023. Refer to the attached Notice of Operation. An operation renewal for this license is not required until September 14, 2027. Refer to Exhibit "C" for a copy of the Notice of Operation.
4. A SWML modification was approved in January 2024. The minor modification included an increase in the building square footage from the originally approved 7,400 s.f. (0.17 ac.) to 7,842 s.f.. Exhibit "D" for a copy of the Letter of Modification.

The 830 SR 7 Education Facility Project would be seeking to get approval for a Phase 2 building with a maximum square footage of 7,842 s.f. This building area does not exceed

Ballbé & Associates, Inc.

Broward • 3564 N. Ocean Boulevard, Fort Lauderdale, Florida 33308 • p-954-491-7811

the area approved for the Phase 2 building under the SWML modification approved in January 2024. Additionally, all the site features are existing, including the drainage system, and there are no proposed changes to the site layout, the existing drainage system, the existing parking lot, the existing sidewalks, or the existing landscape. Given that the originally approved drainage system is existing and operational, that this system will not be altered, and that the proposed building square footage is within the parameters approved under the 2024 SWML modification; a SWML modification is not required the site.

If you have any questions or require any additional information, please do not hesitate to call our office.

Sincerely,

BALLBÉ & ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read 'G. Hernandez', with a stylized flourish at the end.

Gabriel A. Hernandez, P.E.

EXHIBIT "A"



Environmental Protection and Growth Management Department
ENVIRONMENTAL ENGINEERING AND PERMITTING DIVISION
Water and Environmental Licensing Section
1 North University Drive, Mailbox 201, Plantation, Florida 33324
Phone * 954-519-1483 Fax * 954-519-1412

September 14, 2017

IP Nuvo Margate, LLC
Attention: Tonya Mellen, Director of Development
288 North Park Ave
Winter Park, FL 32789

RE: Nuvo Margate Self Storage
City of Margate, S/T/R (06-49-42)

This is to notify you of the Environmental Protection and Growth Management Department's (EPGMD) action concerning your application received 12/27/2016. The application has been reviewed for compliance with the following requirements:

Broward County Surface Water Management Review - GRANTED

EPGMD has reviewed the project for compliance with the Surface Water Management requirements of Chapter 27, Article V Sec. 27-191 through 27-202 of the Broward County Code.

Based on the information submitted, Surface Water Management License No. SWM2017-047-0 was issued on 09/14/2017. The above named licensee is hereby authorized to perform the work or operate the facility shown on the approved drawing(s), plans, documents and specifications, as submitted by licensee, and made a part hereof.

Please be advised that no Certificate of Occupancy can be issued on this project until released, in writing, by all EPGMD divisions as required. Such release will be pending approval of any engineering certifications required by specific condition No. 15.

The above referenced approvals will remain in effect subject to the following:

1. the attached Broward County General Conditions;
2. the attached Broward County Specific Conditions;
3. the attached 8 exhibits.



Surface Water Management Program

“What to Expect When We Are Inspecting Surface Water Management Systems”

A guideline for **engineers, contractors, and licensees** of surface water management systems when applying for the release of Certificate(s) of Occupancy.

The intent of this document is to establish some guidelines to achieve compliance with the Code while maximizing customer service needs to licensees and their agents and the local building departments by facilitating the Certificate(s) of Occupancy (CO) release procedure for building projects. It is also the intent of this document to encourage licensees and their agents and the local building departments to not put our inspection staff on the “critical path”. ***We recognize that the local building departments must adhere to the requirements of the Florida Building Code and the requirements of Article I of the Broward County Natural Resource Protection Code.***

The Environmental Engineering and Permitting Division (EPPD) - Surface Water Management Licensing program has the responsibility of reviewing designs, licensing, and inspecting surface water management systems within portions of Broward County under the provisions of the Broward County Natural Resource Protection Code, Chapter 27, Section 27-191 through Section 27-201. This includes enforcement for the purpose of protecting our natural resources. This document contains specific information about the EPPD’s surface water management inspection procedures, review of record/as-built drawings, and time required to complete the procedure successfully. Please be advised this document may be included with the approved license and may be modified on an as-needed basis.

The following certification package must be submitted at least two (2) weeks prior to the anticipated date of occupancy; exceptions may be made on a case by case basis.

Note: Item 1 is not applicable to plans stamped as General Licenses (GL##-###). Items 2 & 3 may apply to GL if plans are stamped for construction certification.

1. Final Record/As-built Drawings (hard copy and electronic) of the site, lake/canal slopes, control structure(s) or overflow structure(s) (where applicable), and Finished Floor Elevation(s); etc.
2. Signed and sealed letter from a Florida-Registered Professional Engineer certifying all components of the surface water management system were constructed in substantial conformance with the approved plans; and
3. When requesting a partial certification include a \$100 partial certification fee (fees are subject to change). The certifying engineer must indicate that a substantial amount of the water management system has been constructed to serve the partial phase to satisfy the water quality and water quantity requirements of the Code and exactly which lots/buildings are requested for release.

Staff will perform an inspection on a first-come first-served basis of the above items. A successful submittal of the required items will prevent unwanted delays in the inspection and CO release processes.

What we look for During the Record/As-Built Drawing Review and During the Inspection

1. The engineer's letter must contain the appropriate certification language. The suggested wording is located in the Code and in the specific conditions of the license. The letter must be signed and sealed. It is imperative that the engineer of record describe any minor modifications to the system that were made during the construction of the project. However, substantial modifications must have received prior approval by the Surface Water Licensing Program.
2. The as-built/record drawing must document the Finished Floor Elevation(s) showing substantial conformance with approved plans.
3. In addition to rim, manhole, and pipe invert elevations, the plans should contain a sufficient amount of survey information to show that the site grades and perimeter grades were constructed in substantial conformance with the approved plans.
4. If part of the approved system, lake and canal slope as-built plans should contain a substantial number of cross sections (a minimum of 1 section per 50 linear feet is preferred) to show compliance with the Department's slope criteria. The staff reserves the right to require additional slope cross sections as necessary as well as slope regrading. Surface area calculations at the control elevation should be submitted for lakes.
5. Control structure or overflow structure information must show all (as-built) dimensions and elevations.
6. All catch basin and manhole structures must have appropriate mudwork to prevent seepage that could lead to structure/asphalt failures and subsequent turbidity violations.
7. All catch basins, manholes, and pipes must be relatively free of sediment and debris and must be accessible to staff. Arrangements should be made with staff for inspecting basins that are covered with fabric materials for sediment control purposes. Fabric must be removed by the licensee or other appropriate personnel prior to the inspection.
8. Lake, canal, swale, dry detention/retention area slopes must be stabilized through appropriate measures, i.e, no evidence of erosion or sedimentation should be encountered during the inspection. Arrangements should be made with staff with regards to timeliness of sodding or seeding slopes and bottoms of dry detention/retention areas.
9. All baffle mechanisms must be made water tight at all contact surfaces of basin walls by a durable gasket device.

Successful compliance with the above items will insure a timely release of the Certificate(s) of Occupancy from division staff.

Upon completion of the field inspection, arrangements with inspection staff will be made to correct all observed field deficiencies. With your cooperation, the Operation Letter will be released upon correction of all field deficiencies.

Environmental Engineering and Permitting Division

Surface Water Management Program
1 North University Drive, Mailbox 201 • Plantation, Florida 33324
Phone 954-519-1483 FAX 954-519-1412

Broward County General Conditions

1. The terms, conditions, requirements, limitations and restrictions set forth herein are accepted by the licensee and must be completed by the licensee and are enforceable by the Environmental Protection and Growth Management Department (EPGMD) pursuant to Chapter 27 of the Broward County Code of Ordinances. The EPGMD will review this license periodically and may revoke or suspend the license, and initiate administrative and/or judicial action for any violation of the conditions by the licensee, its agents, employees, servants or representatives.
2. This license is valid only for the specific uses set forth in the license application and any deviation from the approved uses may constitute grounds for revocation, suspension, and/or enforcement action by the EPGMD.
3. In the event the licensee is temporarily unable to comply with any of the conditions of the license or with this chapter, the licensee shall notify the EPGMD within eight (8) hours or as stated in the specific section of this chapter. Within three (3) working days of the event, the licensee shall submit a written report to the EPGMD that describes the incident, its cause, the measures being taken to correct the problem and prevent its reoccurrence, the owner's intention regarding the repair, replacement and reconstruction of destroyed facilities and a schedule of events leading toward operation with the license condition.
4. The issuance of this license does not convey any vested rights or exclusive privileges, nor does it authorize any injury to public or private property or any invasion of personal rights, or any violations of federal, state or local laws or regulations.
5. This license must be available for inspection on licensee's premises during the entire life of the license.
6. By accepting this license, the licensee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this licensed facility or activity, that are submitted to the EPGMD, may be used by the EPGMD as evidence in any enforcement proceeding arising under Chapter 27 of the Broward County Code of Ordinances, except where such use is prohibited by Section 403.111, Florida Statutes.
7. The licensee agrees to comply with Chapter 27 of the Broward County Code of Ordinances, and shall comply with all provisions of the most current version of this chapter, as amended.
8. Any new owner or operator of a licensed facility shall apply by letter for a transfer of license within thirty (30) days after sale or legal transfer. The transferor shall remain liable for performance in accordance with the license until the transferee applies for and is granted a transfer of license. The transferee shall be liable for any violation of Chapter 27 of the Broward County Code of Ordinances that results from the transferee's activities. The transferee shall comply with the transferor's original license conditions when the transferee has failed to obtain its own license.
9. The licensee, by acceptance of this license, specifically agrees to allow access and shall allow access to the licensed source, activity or facility at times by EPGMD personnel for the purposes of inspection and testing to determine compliance with this license and Chapter 27 of the Broward County Code of Ordinances.
10. This license does not constitute a waiver or approval of any other license, approval, or regulatory requirement by this or any other governmental agency that may be required.
11. Enforcement of the terms and provisions of this license shall be at the reasonable discretion of EPGMD, and any forbearance on behalf of EPGMD to exercise its rights hereunder in the event of any breach by the licensee, shall not be deemed or construed to be a waiver of EPGMD's rights hereunder.

Broward County Specific Conditions

1. The licensee shall allow authorized personnel of the Environmental Protection and Growth Management Department (EPGMD), municipality or local water control district to conduct such inspections at reasonable hours, as are necessary to determine compliance with the requirements of the license and the approved plans and specifications.
2. The responsible entity shall agree to maintain the operating efficiency of the water management works. Except in cases where the responsible entity is a governmental agency, the agreement shall further require that if the water management works is not adequately maintained, the County may undertake the required work and bill all associated costs to the responsible entity. If the payment for such obligations is not satisfied within 30 days, said obligation shall become a lien against the property associated with the water management works. Where ownership of the water management works is separate from property ownership, the EPGMD shall require these agreements to be recorded.
3. The licensee shall execute the work authorized in a manner so as to minimize any adverse impact of the works on fish, wildlife, natural environmental values, and water quality. The licensee shall institute necessary measures during the construction period, including fill compaction of any fill material placed around newly installed structures, to reduce erosion, turbidity, nutrient loading and sedimentation in the receiving waters. Any erosion, shoaling or deleterious discharges due to permitted actions will be corrected promptly at no expense to the County.
4. The licensee shall comply with all applicable local land use and subdivision regulations and other local requirements. In addition, the licensee shall obtain all necessary Federal, State, local and special district authorizations prior to the start of any construction alteration of works authorized by this license.
5. Off-site discharges during construction and development shall be made only through the facilities authorized by this license. Water discharged from the project shall be through structures having a mechanism for regulating upstream water stages. Stages may be subject to operating schedules satisfactory to the appropriate regulatory agency.
6. The licensee shall hold and save the County harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance or use of any facility authorized by the license.
7. The license does not convey property rights nor any rights or privileges other than those specified therein.
8. No construction authorized by the license shall commence until a responsible entity acceptable to the EPGMD has been established and has agreed to operate and maintain the efficiency of the system. The entity must be provided with sufficient ownership so that it has control over all water management facilities authorized therein. Upon receipt of written evidence of the satisfaction of this condition, the EPGMD will issue authorization to commence the construction.
9. No beautification, or erection of any structure that will prohibit or limit access of maintenance equipment or vehicles in the right-of-way or easements will be allowed.
10. Any license which grants any entity the permission to place a structure on property which is owned by Broward County or upon which Broward County has an easement shall be construed to create a revocable license for that structure to remain on the property. Broward County may require removal of such a structure at no cost to the County.
11. The area under license will be maintained in a safe and operating condition at all times. Equipment will be promptly removed from the right-of-way or easement and the right-of-way or easement will be restored to its original or better condition within a reasonable time on termination of the authorized use.
12. The EPGMD will be notified, as required in the license or as indicated on the approved plans, to coordinate and schedule inspections.
13. The operation or construction will be in accordance with the approved details and plans submitted with the application. Any modification must be submitted to the EPGMD in writing and receive prior approval.
14. Monitoring may be required for sites with high pollutant generating potential, such as industrial sites, Class I and II solid waste disposal sites, and projects discharging to areas identified in the Broward County Water Resource Management Code, Article V, Section 27-200 (b) (1) o. Such monitoring will be under the cognizance of the EPGMD.

15. Upon completion of the construction of a surface water management system or phase thereof licensed by the EPGMD, it is a requirement of the issuance of the license, and hence transfer of operation and maintenance responsibility, that a Florida Registered Professional Engineer certify that the surface water management system was indeed constructed as licensed. Certified record drawings shall accompany the certification. Suggested wording for this is as follows:

I HEREBY CERTIFY TO THE CONSTRUCTION COMPLETION OF ALL THE COMPONENTS OF THE SURFACE WATER MANAGEMENT FACILITIES FOR THE ABOVE REFERENCES PROJECT AND THAT THEY HAVE BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE BROWARD COUNTY EPGMD, AND HEREBY AFFIX MY SEAL THIS _____ DAY OF _____, 20____.

(SEAL)

16. Water management areas shall be legally reserved to the operation entity and for that purpose by dedication on the plat, deed restrictions, easements, etc., so that subsequent owners or others may not remove such areas from their intended use. Management areas, including maintenance easements, shall be connected to a public road or other location from which operation and maintenance access is legally and physically available.

17. The licensee shall notify the EPGMD in writing within twenty-four (24) hours of the start, finish, suspension, and/or abandonment of any construction or alteration of works authorized by this license.

18. A prorated share of surface water management retention/detention areas, sufficient to provide the required flood protection and water quality treatment, must be provided prior to occupancy of any building or residence.

19. The operation license shall be valid for a specific period of time not to exceed five (5) years from the date the license is transferred to the operation phase. The operation license shall be renewed in accordance with the Broward County Water Resource Management Code, Article V, Section 27 - 198 (d) (2).

20. The EPGMD reserves the right to require additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.

21. This permit does not constitute the approval required by the Broward County Hazardous Material Code, Article XII, Section 27-353(i), to conduct dewatering operations at or within one-quarter mile radius of a contaminated site. Please contact the Environmental Assessment and Remediation Section at (954) 519-1478 for further information.

22. The licensee shall keep a log of the operation and maintenance schedule for all components of the surface water management system.

23. The surface water management system must be inspected by the EPGMD to verify compliance with Specific Condition No. 15 of the license. In accordance with the Broward County Natural Resource Protection Code, Article I, Sec. 27-66 (f), the County agency or municipal agency charged with issuing a certificate of occupancy (CO) shall not issue a CO until notified of the Broward County EPGMD approval. Partial certifications will be handled in accordance with Specific Condition No. 18.

24. The licensee is advised that he/she is required to submit a Storm Water Notice of Intent (NOI) application at least 48 hours prior to the commencement of construction to the Florida Department of Environmental Protection, NPDES Stormwater Notices Center, MS #3585 at 2600 Blair Stone Road - Tallahassee, Florida 32399-2400.

25. Electronic self-certification through the website www.fldepportal.com/go/apply-build/ is required no later than 30 days after the start of construction, in accordance with the 10/2 General Permit requirements of 403.814(12) F.S.

LOCATION MAP



EXHIBIT - 1



STAFF REPORT

Project Name: Nuvo Margate Self Storage
License Number: SWM2017-047-0
Application Number: L2016-318
Application Type: BC Surface Water Management License
Location: Broward County **Section-Township-Range:** 06-49-42
Permittee's Name: IP Nuvo Margate, LLC

Project Area: 2.32 acres **Drainage Area:** 2.8 acres
Project Land Use: Commercial
Drainage Basin: C-14
Receiving Body: On-site Retention

Purpose:

The construction and operation of a surface water management system to serve a proposed 2.32 acre commercial development.

Project Evaluation:

Project Site Description:

The site is presently undeveloped and is located at the NE intersection of State Road 7 and SW 8th Court in the City of Margate.

Proposed Project Design:

The proposed construction will include 0.62 acres of building, 0.68 acres of pavement areas and the proposed drainage system. A system of inlets and culverts will direct the storm runoff to 714 LF of exfiltration trench (8' W x 4' H) for water quality treatment and storm runoff attenuation. Prior to discharge into a proposed dry retention area (0.32 Acres) for additional water quality treatment and storm runoff attenuation.

The applicant's consultant has demonstrated through plans and calculations that the proposed project meets the requirements of the Code.

Control Elevation:

Control Elevation = 7.50 ft, NAVD WSWT Elevation = 7.50 ft, NAVD
Method of Determination = BC Avg. Wet Season Water Table Map

Project Background:

The total project is 2.80 acres of which 0.48 Acres is dedicated to provide drainage to State Road 7 (Easement Plat Book 81, page 46, B.C.R.).

Discharge Rate:

<u>Frequency</u>	<u>Rainfall</u>	<u>Basin Name</u>	<u>Allowable Disch.</u>	<u>Method of Determination</u>	<u>Peak Disch.</u>	<u>Peak Stage</u>
25YR-3DAY	14 in.	Nuvo Margate Self Sto	0 cfs	Pre-vs-Post	0 cfs	11.44' NAVD

Finished Floors:

The finished floor elevations have been designed to be above the computed 100-yr, 3-day zero discharge stage and the Broward County 100-yr, 3-day flood map elevation

<u>Frequency</u>	<u>Rainfall</u>	<u>Basin Name</u>	<u>Peak Stage</u>	<u>Prop. Min. Fin. Floors</u>	<u>BC 100-yr Map Elev.</u>
100YR-3DAY	18 inches	Nuvo Margate Self Storage	11.91' NAVD	12.5' NAVD	10' NAVD

Water Quality Design:

Water quality treatment will be provided in the exfiltration trench system and the retention area for 2.5 inches times the percent impervious over the entire site.

<u>Basin Name</u>	<u>Treatment Type</u>	<u>Treatment Method</u>	<u>Volume Required</u>	<u>Volume Provided</u>
Nuvo Margate Self Storage	Treatment	Exfiltration Trench	0.2 ac-ft	0.59 ac-ft
Nuvo Margate Self Storage	Treatment	Dry Retention	0.2 ac-ft	0.67 ac-ft
			Total: 1.26 ac-ft	

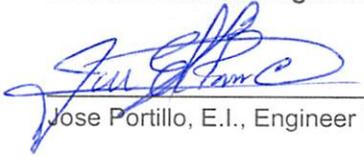
Special Concerns:

Operating Entity: IP Nuvo Margate, LLC
Attention: Tonya Mellen, Director of Development
288 North Park Ave
Winter Park, FL 32789

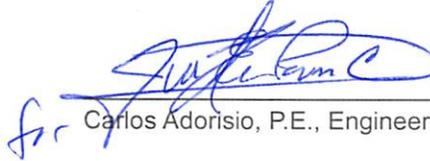
Waste Water System/Supplier: Margate

SWM2017-047-0, STAFF REVIEW:

Surface Water Management Program:



Jose Portillo, E.I., Engineer Intern

 Jose Portillo
for Carlos Adoriso, P.E., Engineering Unit Supervisor

CIVIL ENGINEERING PLANS FOR: NUVO MARGATE SELF STORAGE COMMERCIAL / SELF STORAGE

STATE ROAD 7 & SW 8th COURT
MARGATE, FLORIDA
MMA PROJECT #16-010

GENERAL NOTES:

- COORDINATION OF DRAWINGS AND DISCIPLINES.** IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR COMPLETENESS AND ACCURACY. FURTHER CONTRACTOR IS COORDINATE ALL TRADES AND DISCIPLINES PROPERLY. ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- FDOT RW.** ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS & LATEST SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- BUILDINGS & UTILITIES.** CONTRACTOR IS ADVISED THAT THE BUILDINGS AND ASSOCIATED SYSTEMS ARE STILL UNDER REVIEW BY VARIOUS JURISDICTIONAL AGENCIES. AS SUCH, THERE MAY BE MODIFICATIONS TO SERVICE LINES (MATERIALS, SIZES, LOCATIONS, DEPTHS, ETC.) AS THE DOCUMENTS ARE PERMITTED.
- SAFETY.** IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE RESPECTIVE UTILITY PROVIDER ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND LINES. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD LINES PRIOR TO WORKING WITHIN THE VICINITY OF THE LINES.
- FAMILIARITY WITH SITE CONDITIONS.** THE CONTRACTOR SHALL VISIT THE SITE AND ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. MAKE HIS OWN SUBSURFACE INVESTIGATION TO SATISFY HIMSELF AS TO THE SITE AND SUBSURFACE CONDITIONS. BUT SUCH SUBSURFACE INVESTIGATIONS SHALL BE PERFORMED ONLY UNDER TIME SCHEDULES AND ARRANGEMENTS APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE AND ENGINEER. THE EXISTING GRADES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY AND NO REPRESENTATION IS MADE AS TO THEIR ACCURACY OR CONSISTENCY. THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES TO THE EXTENT NECESSARY TO INSURE COMPLETION OF THE JOB TO THE PROPOSED GRADES INDICATED ON THE DRAWINGS.
- WORKMANSHIP.** ALL WORK SHALL BE PERFORMED IN A WORKMANSHIP-LIKE MANNER AND SHALL CONFORM WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS AND/OR CODES, INCLUDING OSHA.
- ELEVATIONS.** ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- SURVEY & BENCHMARK.** REFER TO SURVEY PREPARED BY PUBLIC LAND SURVEYORS FOR ADDITIONAL INFORMATION.
- GEOTECHNICAL INFORMATION.** REFER TO GEOTECHNICAL REPORTS AND BORING LOGS FOR ADDITIONAL INFORMATION INCLUDING SITE PREPARATION REQUIREMENTS.
- FIELD LOCATIONS.** THE CONTRACTOR SHALL CONTACT "SUNSHINE STATE ONE CALL OF FLORIDA, INC. (1-800-432-4770)" AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO ALL AFFECTED UTILITY OWNERS FOR REMOVAL, RELOCATION AND ALTERATION OF THEIR EXISTING FACILITIES.
- PROTECTION OF UTILITIES.** THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF ALL EXISTING AND NEWLY INSTALLED ABOVE GROUND, UNDERGROUND, AND ON THE SURFACE STRUCTURES AND UTILITIES FROM DAMAGE OR SERVICE DISRUPTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- EXISTING UTILITIES.** PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING UTILITIES AND SOILS CONDITIONS AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF ANY DISCREPANCIES WITH THE PLANS.
- EXISTING UTILITIES.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH IT FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. THE CONTRACTOR IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- FIELD REVIEWS.** THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO ANY REQUIRED FIELD REVIEWS OR INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY, LABOR AND MATERIALS FOR INSPECTION AND/OR TEST. ALL WORK SHALL BE OPEN AND SUBJECT TO REVIEW AND/OR INSPECTION BY AUTHORIZED PERSONNEL OF THE CITY, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER, AND REGULATORY AGENCIES. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN THE OWNER'S SHALL BE REPORTED TO THE ENGINEER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY THE ENGINEER OR OWNER.
- DIFFERING SITE CONDITIONS.** THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS PRIOR TO CONSTRUCTION IN THE AREA OF CONFLICT. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH ARE REPRESENTED ON THE PLANS, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND THE OWNER IN WRITING.
- DEWATERING.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ANY DEWATERING PERMITS AND/OR APPROVALS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED FACILITIES AND SYSTEMS.
- PERMITS.** THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND/OR LICENSES TO COMMENCE CONSTRUCTION.
- USE OF EXISTING MATERIALS.** NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
- EXISTING LANDSCAPE.** CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN ON THE PLAN OR DESIGNATED IN THE FIELD.
- TESTING.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTS TO BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY APPROVED BY THE ENGINEER. THE CONTRACTOR UNDERSTANDS THAT ANY AND ALL TESTS, INSPECTIONS, PROCEDURES INCLUDING ALL LABOR, MATERIALS, TIME AND EFFORT IN ORDER TO HAVE ALL WORK DESIGNATED AS FINAL BY THE RESPECTIVE JURISDICTIONAL AUTHORITIES AND THAT SUCH TESTS, INSPECTIONS AND PROCEDURES ARE INCLUDED IN THE BID.
- FINAL UTILITY ADJUSTMENTS.** ALL UTILITIES SHALL BE ADJUSTED TO NEW FINISH GRADES AND PROPERLY SET TO PAVEMENT CROSS SLOPE AS REQUIRED.

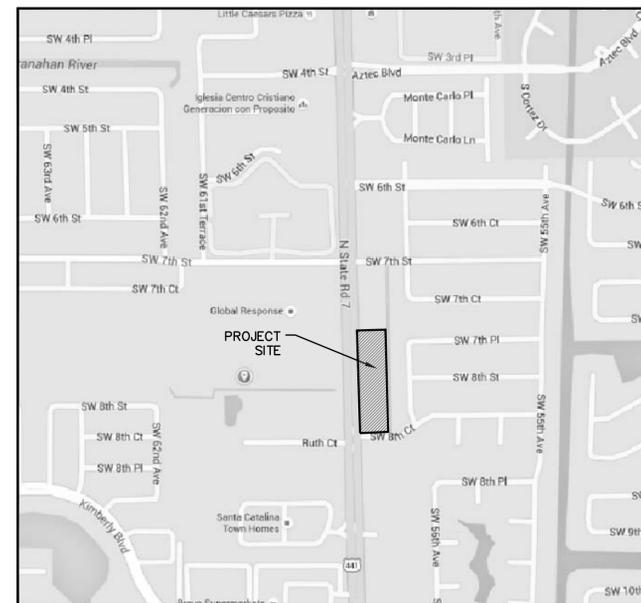
PROJECT TEAM

CIVIL ENGINEER:
McLEOD, MCCARTHY & ASSOCIATES
TODD N. McLEOD, P.E.
1655 PALM BEACH LAKES BLVD.
WEST PALM BEACH, FL 33401
P: 561.689.9500 | F: 561.689.8080
todd@mcleodmccarthy.com

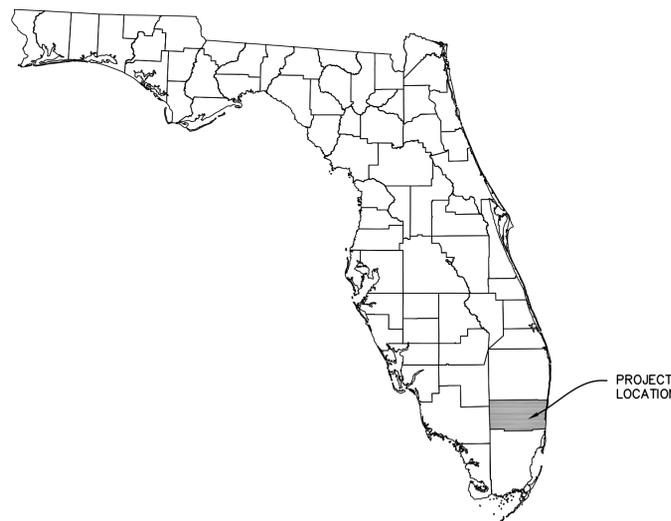
OWNER:
NUVO DEVELOPMENT, LLC
288 NORTH PARK AVENUE
WINTER PARK, FLORIDA 32789

PLANNER / OWNER'S AGENT
MICHAEL J. SANCHEZ, AICP
MANAGED LAND ENTITLEMENTS
3710 BUCKEYE STREET, SUITE 100
PALM BEACH GARDENS, FLORIDA 33414
P 561.568.8045
michael@mylandentitlements.com

ARCHITECT:
FARMER ARCHITECTURE
941 LAKE BALDWIN LN
ORLANDO, FLORIDA 32814



PROJECT LOCATION MAP
N.T.S.



DRAWING INDEX

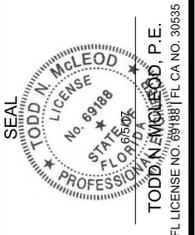
DWG. #	TITLE
01	COVER SHEET
02	PAVING, GRADING, & DRAINAGE PLAN
03-04	PAVING, GRADING, & DRAINAGE DETAILS
05	TYPICAL SECTIONS
06	GEOMETRIC SIGNING & MARKING PLAN
07-08	GENERAL NOTES & SPECIFICATIONS
09	WATER & WASTEWATER PLAN
10-11	WATER & SANITARY SEWER DETAILS
12	EROSION CONTROL PLAN

GOVERNING SPECIFICATIONS
REFER TO PROJECT SPECIFICATION SHEET FOR DETAILED PROJECT AND MATERIAL REQUIREMENTS. ITEMS NOT EXPLICITLY ADDRESSED BY SPECIFICATION SHEETS SHALL BE CONSTRUCTED PER FDOT SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION (v2017-18) UNLESS OTHERWISE DIRECTED BY THE ENGINEER OF RECORD.



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 712
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



FIELD:
DRAWN: P. Seifold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS
4	6/5/17	REV PER BC COMMENTS
3	4/10/17	REV PER BC/FDOT COMMENTS
2	3/17/17	REV PER BC/FDOT COMMENTS
1	12/27/16	REV PER BC/FDOT COMMENTS

COVER SHEET
NUVO MARGATE SELF STORAGE
COMMERCIAL / SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

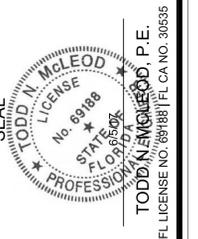
SHEET
01
OF 12





**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 172
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.9080
www.mcleodmccarthy.com



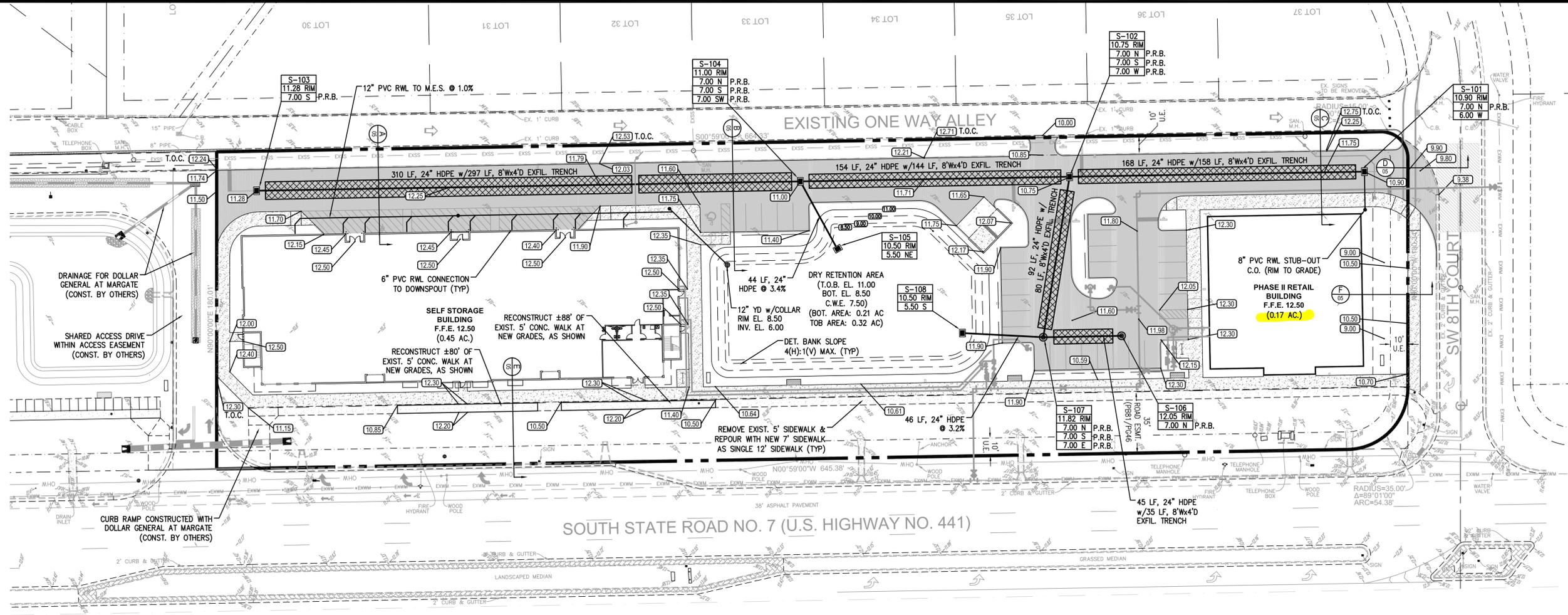
FIELD: P. Saffold
DRAWN: T.M.
DESIGNED: T.M.
APPROVED: T.M.
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS
4	6/5/17	REV PER BC COMMENTS
3	4/10/17	REV PER BC/FDOT COMMENTS
2	3/17/17	REV PER BC/FDOT COMMENTS
1	12/27/16	REV PER BC/FDOT COMMENTS

PAVING, GRADING, & DRAINAGE PLAN
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

SHEET
02
OF 12

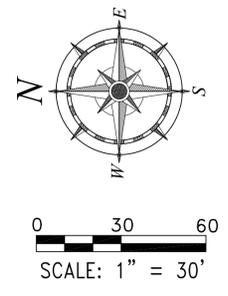


STRUCT. NUMBER	STRUCT. TYPE	GRATE TYPE
S-101	C	U.S.F. 4139-6168
S-102	5' Ø	U.S.F. 4139-6429
S-103	C	U.S.F. 4139-6429
S-104	5' Ø	U.S.F. 4139-6429
S-105	C	U.S.F. 6606 SG
S-106	C	U.S.F. 230-AB-M
S-107	4' Ø	U.S.F. 230-AB-M
S-108	C	U.S.F. 6606 SG

NOTE: ALL ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

- ACCESSIBILITY NOTES:**
1. ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 2. ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 3. CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 304. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.

- NOTES:**
1. ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
 2. CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
 3. WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
 4. MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
 5. ALL BUFFER, DETENTION, SWALE, AND UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED. SOD IN RETENTION AREA SHALL NOT BE MUCK-GROWN.
 6. REFER TO SITE PLAN PREPARED BY MANAGED LAND ENTITLEMENTS / LITTERICK LANDSCAPE ARCHITECTURE FOR ADDITIONAL SITE REQUIREMENTS.
 7. THERE SHALL BE NO LANDSCAPING OTHER THAN SOD WITHIN THE TWO-FOOT PARKING SPACE OVERHANG.
 8. ALL RAINWATER LEADERS (RWL) SHALL BE SCHEDULE-40 PVC WITH GLUED JOINTS.
 9. ALL WALKS SHALL BE CONSTRUCTED WITH SLOPES IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, ACCESSIBILITY (I.E. 2% MAXIMUM CROSS SLOPE & 5% MAXIMUM LONGITUDINAL SLOPE; CURB RAMP SLOPES SHALL NOT EXCEED 1V:12H).
 10. ALL CULVERT INVERTS LEADING TO EXFILTRATION TRENCH SHALL HAVE POLLUTION RETARDANT Baffles (PRB) INSTALLED PER ENCLOSED DETAIL.



LEGEND

PROP. SIGN	
SURFACE FLOW ARROW	
PROP. PAVEMENT	
PROP. MILL & RESURFACE	
PROP. CONCRETE	
PROPOSED ELEVATION	
EXIST. ELEVATION	
T.O.C.	
P.R.B.	



McLeod & McCarthy & Associates, P.A. Civil Engineers

The Forum III 1655 Palm Beach Lakes Blvd, Ste. 172 West Palm Beach, FL 33401 P: 561.689.9500 F: 561.689.8080 www.mcleodmccarthy.com



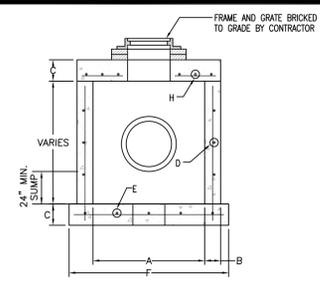
FIELD: DRAWN: P. Saffold DESIGNED: TMM APPROVED: TMM PROJECT #: 16-010 DRAWING #:

Table with 4 columns: NO., DATE, REVISIONS, COMMENTS. Includes revision 1 for 'REV PER BOCITY COMMENTS'.

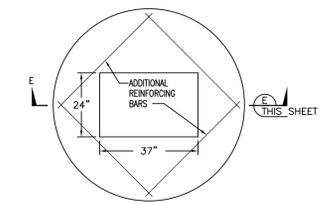
PAVING, GRADING, & DRAINAGE DETAILS NUVO MARGATE SELF STORAGE COMMERCIAL/ SELF STORAGE MARGATE, FLORIDA

SCALE: AS SHOWN DATE: 11/16/16

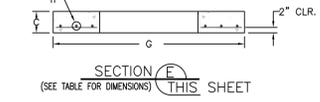
SHEET 03 OF 12



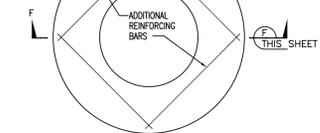
CATCH BASIN (SEE TABLE FOR DIMENSIONS)



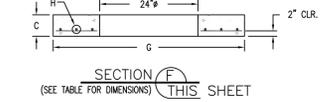
TOP SLAB FOR CATCH BASIN



SECTION E (SEE TABLE FOR DIMENSIONS) THIS SHEET

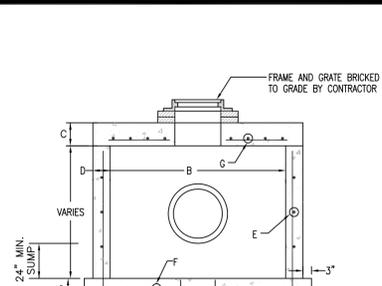


TOP SLAB FOR MANHOLE

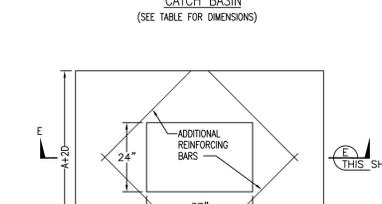


SECTION F (SEE TABLE FOR DIMENSIONS) THIS SHEET

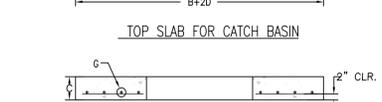
Table with 10 columns (A-J) and 10 rows of dimensions for catch basins and manholes.



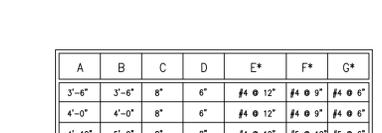
CATCH BASIN (SEE TABLE FOR DIMENSIONS)



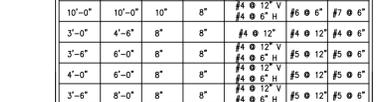
TOP SLAB FOR CATCH BASIN



SECTION E (SEE TABLE FOR DIMENSIONS) THIS SHEET

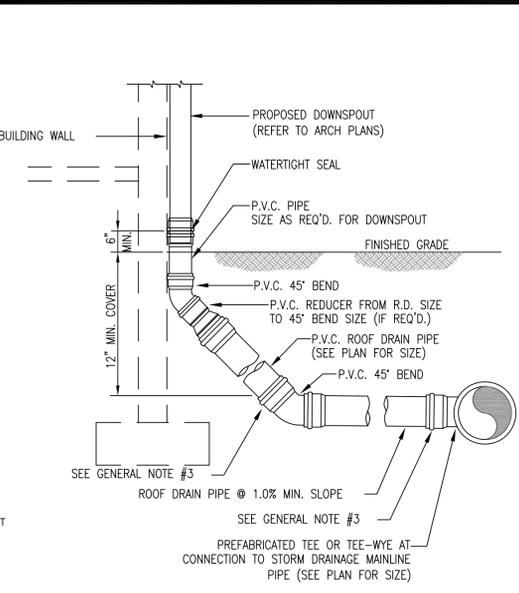


TOP SLAB FOR MANHOLE



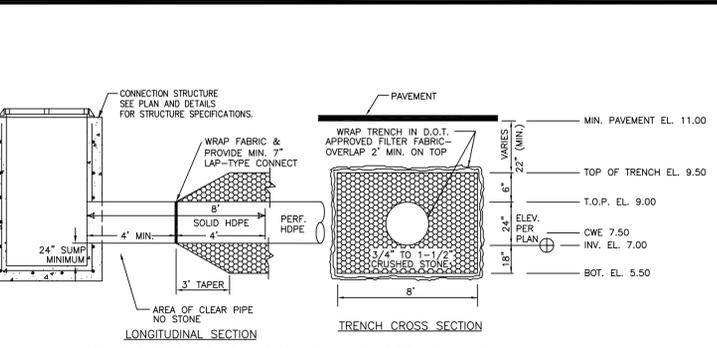
SECTION F (SEE TABLE FOR DIMENSIONS) THIS SHEET

Table with 10 columns (A-J) and 10 rows of dimensions for catch basins and manholes.

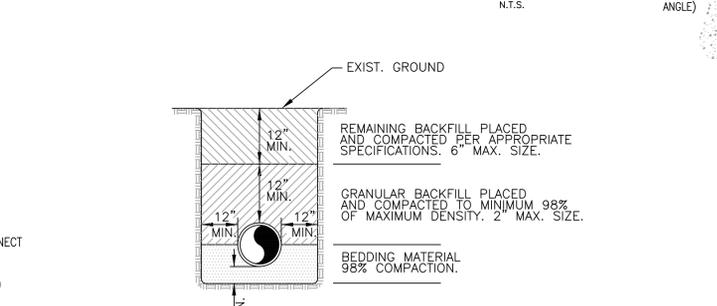


DOWNSPOUT TIE-IN DETAIL N.T.S.

- GENERAL NOTES: 1. PROVIDE TEMPORARY P.V.C. PLUG IN BELL END OF DOWNSPOUT SERVICE STUB-UP. 2. ADDITIONAL BENDS MAY BE REQUIRED TO CLEAR BUILDING FOUNDATIONS OR TO CONNECT TO MAIN TRUNK LINE STORM DRAINAGE PIPES. 3. USE A FABRICATED P.V.C. TRANSITION ADAPTER TO TRANSITION FROM P.V.C. PIPE TO H.D.P.E. PIPE OR FITTINGS. 4. ALL PIPE AND FITTING JOINTS SHALL BE WATERTIGHT. 5. ALL ROOF DRAIN / RWL PIPING SHALL BE SCH-40 PVC.



ON-SITE EXFILTRATION TRENCH DETAIL N.T.S.



POLLUTION RETARDANT BAFFLE (PRB) DETAIL N.T.S.

- NOTES: 1. BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED 3/8" TO 7/8" SIZING UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCK SHALL BE REMOVED. 2. THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES. 3. THE PIPE SHALL BE PLACED IN A DRY TRENCH. 4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIALS SUCH AS LARGER ROCK, MUCK AND DEBRIS. 5. SEE GENERAL NOTES FOR PIPE BACKFILL BENEATH PROPOSED PAVEMENT.

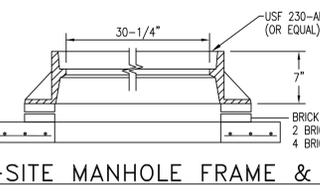
TRENCH DETAIL N.T.S.

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4". FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND. INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS. MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

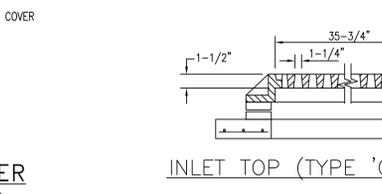
RECTANGULAR CATCH BASIN (ON-SITE)

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4". FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND. INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS. MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

CIRCULAR CATCH BASIN (ON-SITE)

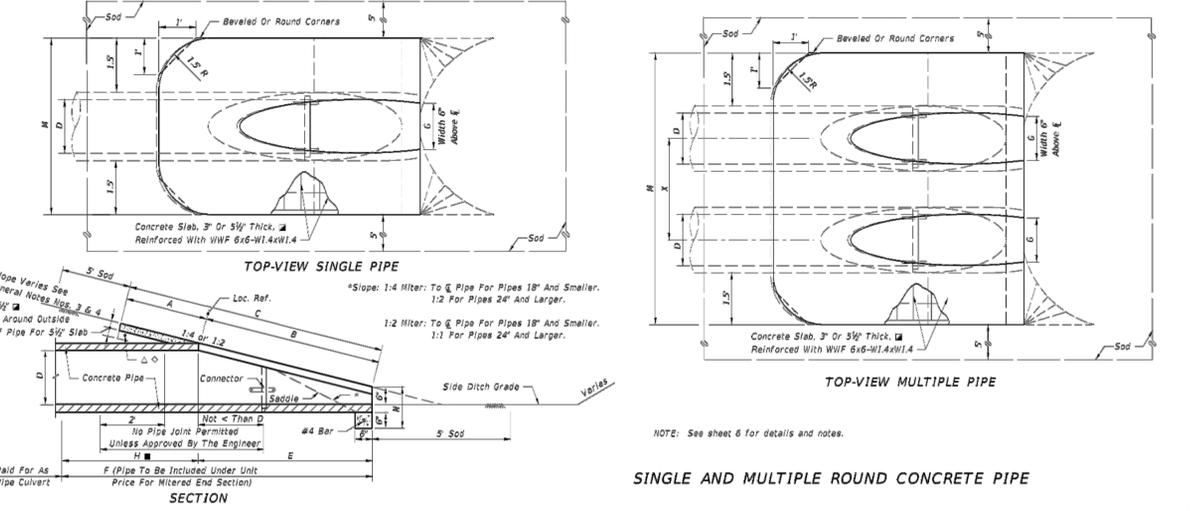


ON-SITE MANHOLE FRAME & COVER NTS



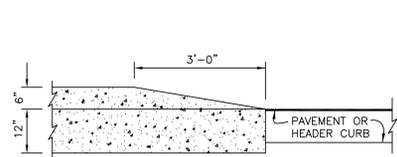
INLET TOP (TYPE 'C-D' INLET)

Table titled 'DIMENSIONS AND QUANTITIES' with columns for pipe size, length, and concrete volume. Includes notes on estimating pipe quantities.



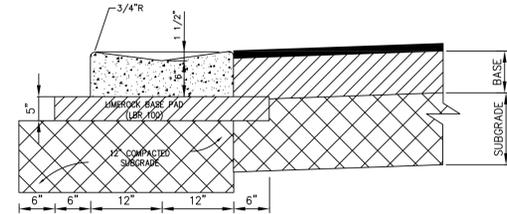
SINGLE AND MULTIPLE ROUND CONCRETE PIPE CROSS DRAIN MITERED END SECTION

Table with 4 columns: LAST REVISION, DESCRIPTION, FY 2016-17 DESIGN STANDARDS, INDEX NO. 272, SHEET NO. 1 of 6.

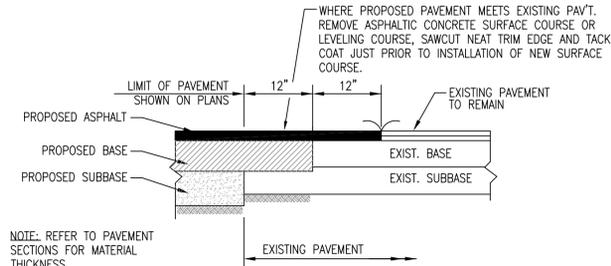


NOTE:
WHEN CURB TRANSITIONS ARE ADJACENT TO SIDEWALK THE
TRANSITION MUST BE 12:1

TRANSITION CURB TAPER DETAIL
N.T.S.

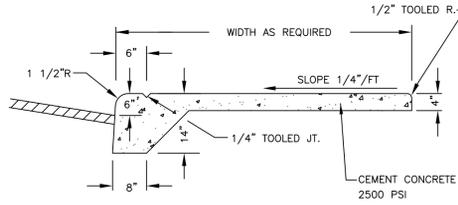


VALLEY GUTTER REFER TO FDOT INDEX 300 FOR NOTES AND DETAILS
SCALE: NONE



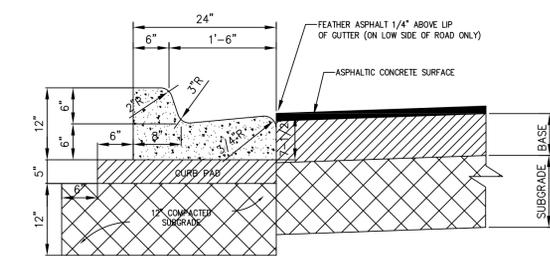
NOTE: REFER TO PAVEMENT
SECTIONS FOR MATERIAL
THICKNESS

PAVEMENT MATCHING DETAIL
N.T.S.



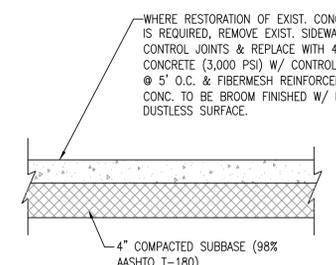
NOTES:
1. THE REVEAL SHOWN MAY VARY. REFER TO PLANS FOR LOCATIONS.
2. MONOLITHIC WALK & CURB REQUIRED AT ALL LOCATIONS WHERE
PROPOSED SIDEWALK ABUTS ASPHALT PAVEMENT.

**MONOLITHIC CURB
AND SIDEWALK SECTION**
N.T.S.

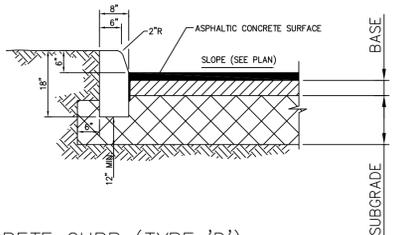


NOTE:
WHEN USED ON HIGH SIDE OF ROADWAYS THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT
PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" INSTEAD OF 7 1/2".

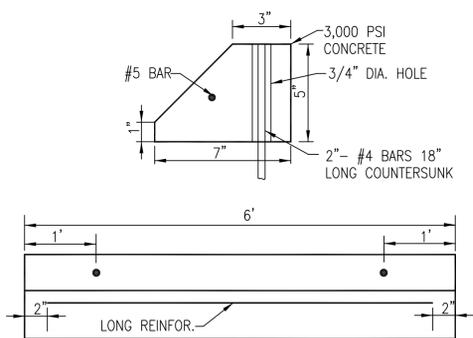
TYPE "F" CURB & GUTTER
SCALE: NONE



**CONCRETE SIDEWALK
RESTORATION DETAIL**
N.T.S.



CONCRETE CURB (TYPE 'D')
SCALE: NONE



CONCRETE WHEEL STOP DETAIL
N.T.S.

PAVEMENT SECTION REQUIREMENTS			
TYPE	WEARING SURFACE	BASE	SUB-GRADE
CONCRETE PAVEMENT (ON-SITE)	6" THICK (3,000 PSI) WITH JOINTING PER ACI 330. JOINTING PLAN TO BE SUBMITTED PRIOR TO POURING CONCRETE	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180 (LBR 30)
STRUCTURAL NO.	6" x 0.5	+ 0	+ 12" x 0.06 = 3.72
ASPHALT PAVEMENT (ON-SITE)	1.5" THICK S-III A.C.S.C. (2-LIFTS)	8" THICK LIMESTONE BASE (LBR 100) COMPACTED TO 98% AASHTO T-180 DENSITY & PLACED IN 4" MAX. LIFTS.	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180
STRUCTURAL NO.	1.5" x 0.44	+ 8" x 0.18	+ 12" x 0 = 2.10



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers
The Forum III
1655 Palm Beach Lakes Blvd, Ste. 712
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



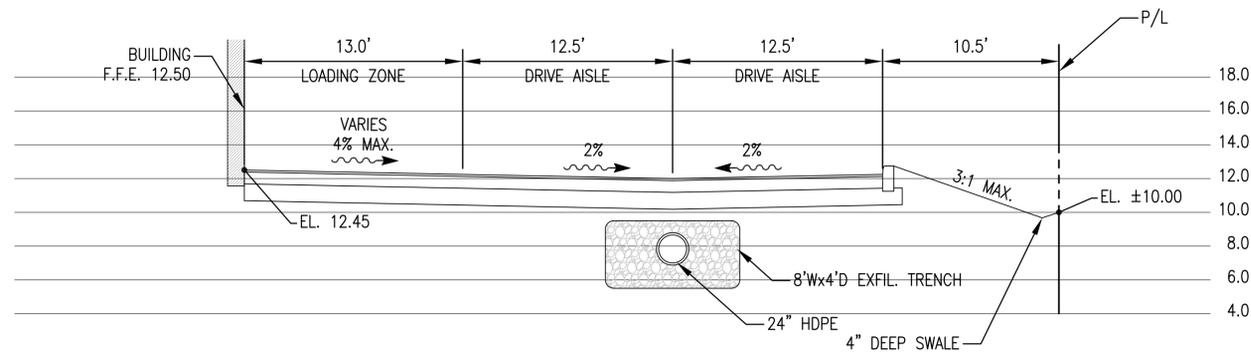
FIELD: P. Seifold
DRAWN: P. Seifold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS	REVIEWER/BOCITY COMMENTS
1	12/27/16		

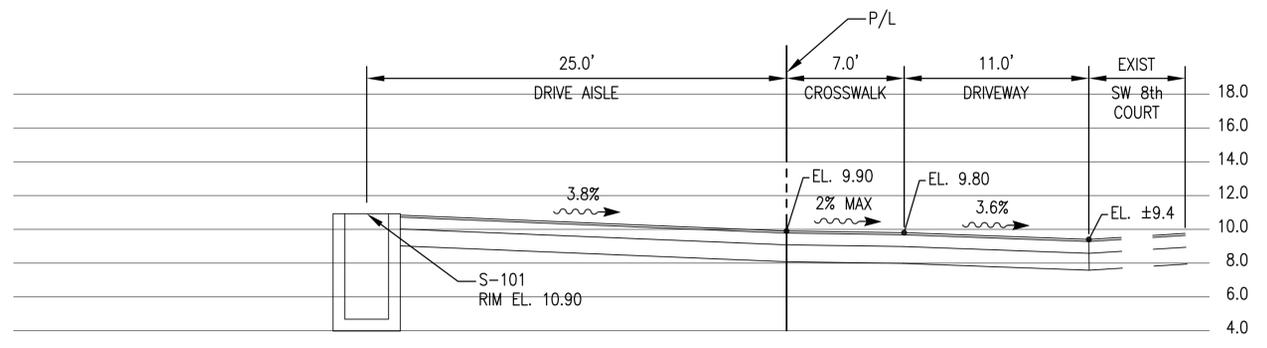
PAVING, GRADING, & DRAINAGE DETAILS
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

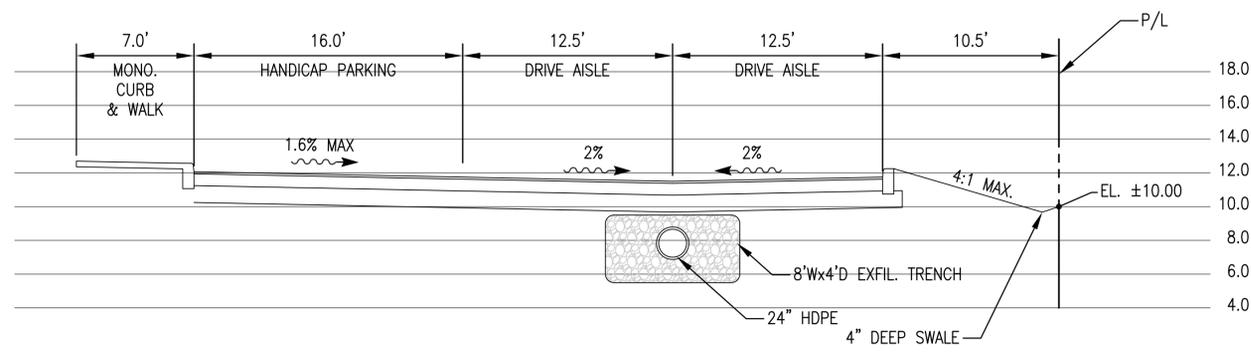
SHEET
04
OF 12



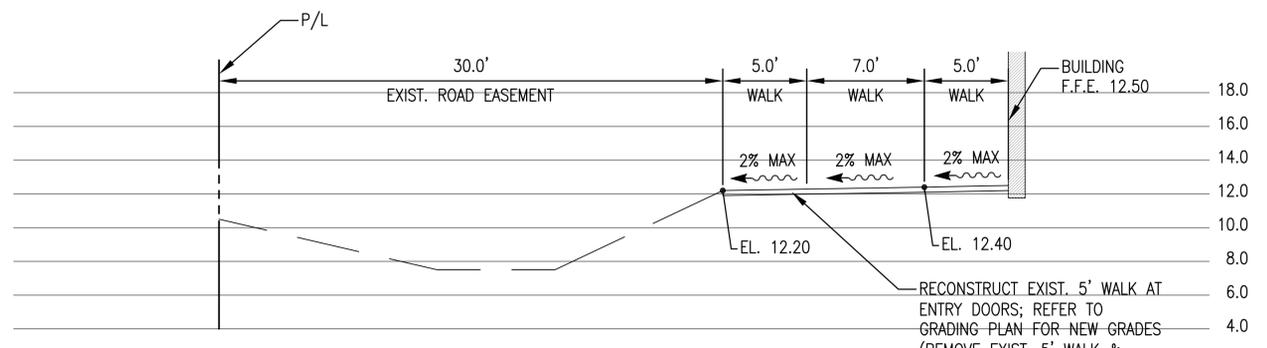
SECTION A-A
NTS



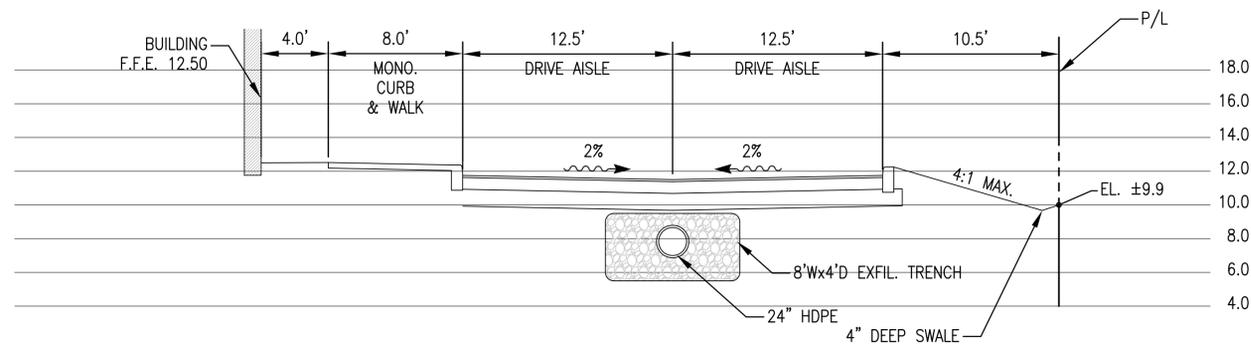
SECTION D-D
NTS



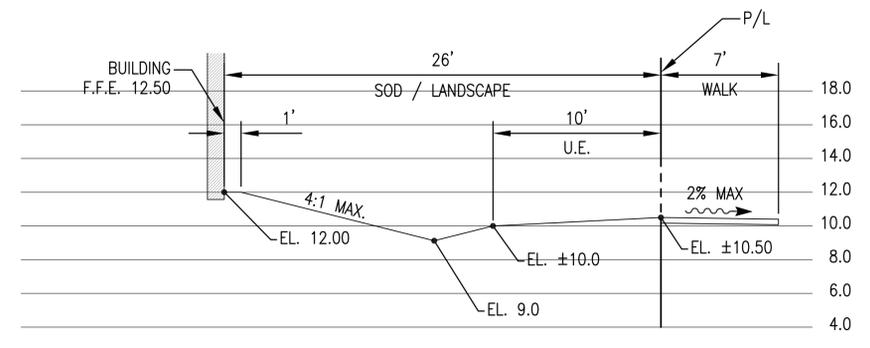
SECTION B-B
NTS



SECTION E-E
NTS



SECTION C-C
NTS



SECTION F-F
NTS



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers
The Forum III
1655 Palm Beach Lakes Blvd, Ste. 172
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



FIELD: P. Seifold
DRAWN: P. Seifold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS
3	4/10/17	REV PER BCF/ROT COMMENTS
2	3/17/17	REV PER BCF/ROT COMMENTS
1	12/27/16	REV PER BCF/ROT COMMENTS

TYPICAL SECTIONS
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

SHEET
05
OF 12

**STAFF REPORT DISTRIBUTION LIST
ADDRESSES**

Owner:

IP Nuvo Margate, LLC
Attention: Tonya Mellen, Director of Development
288 North Park Ave
Winter Park, FL 32789

Applicant:

IP Nuvo Margate, LLC
Attention: Tonya Mellen, Director of Development
288 North Park Ave
Winter Park, FL 32789

**Engineering
Consultant:**

McLeod McCarthy and Associates, P.A.
Attention: Todd McLeod, P.E.
1655 Palm Beach Lakes Blvd.
Suite 712
West Palm Beach, FL 33401

Other:

City of Margate Building Official
Army Corps of Engineers



EXHIBIT "B"

Environmental Protection and Growth Management Department
ENVIRONMENTAL ENGINEERING AND PERMITTING DIVISION
1 North University Drive, Mailbox 201, Plantation, Florida 33324
Phone • 954-519-1483 • Fax • 954-519-1412

May 11, 2020

Building Department
City of Margate
901 NW 66 Ave.
Margate, FL 33063

Lot Numbers Released: North Building

Re: RELEASE OF CERTIFICATE OF OCCUPANCY
Project: Nuvo Margate Self Storage
Location: 750 S STATE ROAD 7, Margate
License: SWM2017-047-0

Dear Madam/Sir:

The licensee has certified that the surface water management facilities for the above referenced project have been constructed in substantial accordance with the design approved by this Division's Surface Water Management Section. This letter shall serve as this section's sign-off/release on the Certificate of Occupancy.

Please be advised that this release is for Surface Water Management ONLY and does not release any other required certification (e.g., wastewater collection) within this Division or any other division within the Environmental Protection and Growth Management Department or any other county/state/federal agency.

Issued by: Giovanni Conde
Surface Water Management Licensing Section

cc: City Building Department
McLeod McCarthy and Associates, P.A.

EXHIBIT "C"



Resilient Environment Department
ENVIRONMENTAL PERMITTING DIVISION
1 North University Drive, Mailbox 201, Plantation, Florida 33324
Phone * 954-519-1483 * Fax * 954-519-1412

August 1, 2023

IP Nuvo Margate, LLC
Attention: Tonya Mellen, Director of Development
288 North Park Ave
Winter Park, FL 32789

NOTICE OF OPERATION

**RE: Nuvo Margate Self Storage
SWM2017-047-0**

Dear Sir/Madam:

On SEPTEMBER 14, 2017 Surface Water Management License No. SWM2017-047-0 was issued for the above project. Certification that the system is functioning in accordance with the License has been received by this office. An inspection may be conducted during the operation phase to verify continued compliance with the license.

By this notice, your license is now in the operation phase for a period of time not to exceed five (5) years. Please pay close attention to your license expiration date of SEPTEMBER 14, 2027.

Operation licenses are required for the life of the project. Application for renewal must be received at least 60 days prior to the expiration date. The renewal package shall consist of a letter signed and sealed by a Florida Registered Professional Engineer certifying that the components of the surface water management system are functioning as originally licensed by Broward County. The letter shall be accompanied by the applicable fee and a log of the operation and maintenance schedules for all components of the surface water management system.

Please keep a record of this notice and a record of the log as described above with your original license.

Should there be a future change in ownership of the system, the new owner must apply by letter for a transfer of license within 30 days after the sale or legal transfer. The transferor shall remain liable for the performance of the system until the transferee applies for and is granted a transfer of license. We appreciate your cooperation in protecting our natural resources.

Issued by: Giovanni Conde
Water and Environmental Licensing Section

cc: McLeod McCarthy and Associates, P.A.

EXHIBIT "B"



Resilient Environment Department

ENVIRONMENTAL PERMITTING DIVISION

Surface Water Management Licensing

1 North University Drive, Mailbox 201, Plantation, Florida 33324 • 954-519-1483 • FAX 954-519-1412

January 24, 2024

Fecttech Consult LLC
Attention: Gustavo Alonzo, P.E.,
4661 NW 94th Ct
Doral, FL 33178

Subject: Surface Water Management License Modification
Project: Nuvo Margate Self Storage
License No: **SWM2017-047-0**
Issued date: 09/14/2017
Location: Margate 06/49/42

Dear Licensee:

The Broward County Surface Water Management Licensing Section has reviewed the plans and documents received December 18, 2023 as a minor modification to the above referenced license. The request to complete the construction of the building on the south side of the property for phase II included in the approved plans and calculations on the approved license SWM2017-047-0 on 09/14/2017 is hereby granted. The water quality and quantity requirements are still complied with, therefore the revisions are found to be in compliance with the Broward County Natural Resource Protection Code, Sec. 27-198(d)(2)d and a modification is hereby granted. Please be advised that all previously stipulated conditions of the license remain in effect unless otherwise revised. In addition, all applicable federal, state, or local special district authorizations must be obtained prior to the commencement of construction or alteration of works authorized by this modification.

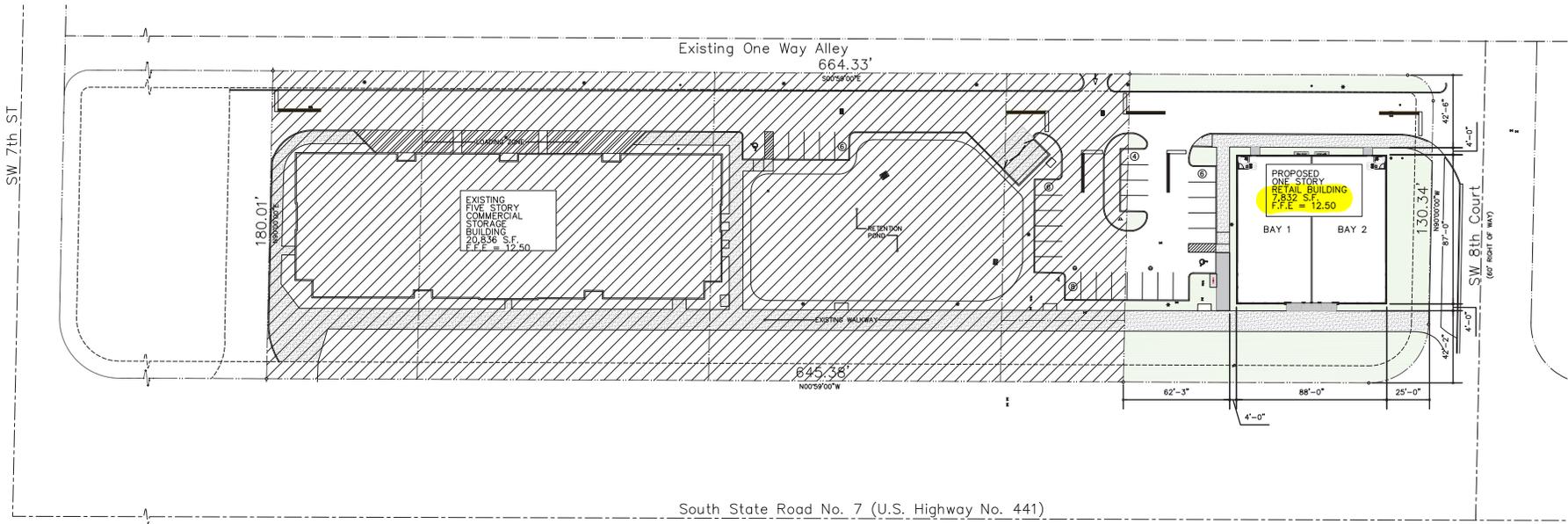
Please be advised that if a Certification of Occupancy is required, a certification letter from a Florida Registered Professional Engineer and as-built plans shall be submitted to our office for review.

Should you have any questions, please contact this office at (954) 519-1232.

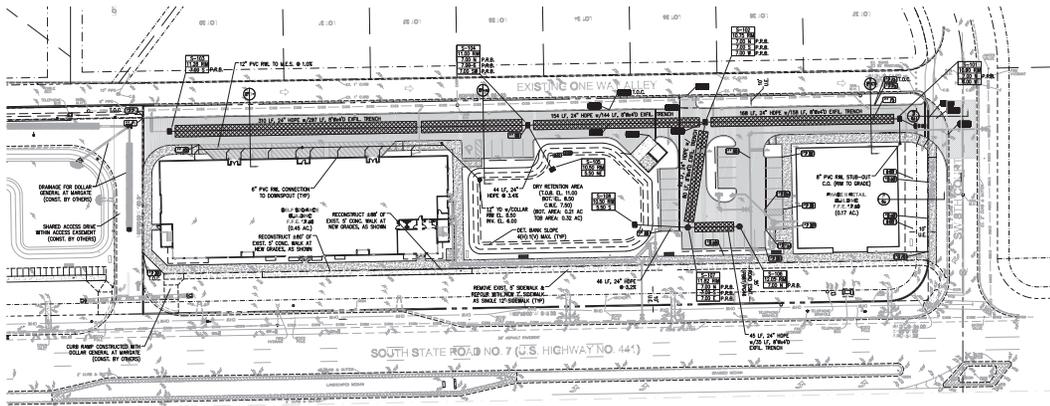
Issued By:

Gerardo Rojas – Staff Engineer
Surface Water Management Licensing Program

cc: Building Official, City of Margate



PROPOSED OVERALL SITE PLAN
 SCALE: 1" = 30'-0"
 NOTE: DEVELOPMENT OF "PHASE B RETAIL OUTPARCEL BUILDING" PORTION OF "NUVO MARGATE SELF STORAGE" ORC APPROVED SITE PLANS FROM MARCH 7, 2017



EXISTING DRAINAGE SITE PLAN
 SCALE: 1" = 50'-0"
 NOTE: NO PROPOSED MODIFICATIONS TO EXISTING DRAINAGE SITE PLAN APPROVED UNDER BROWARD COUNTY SURFACE WATER MANAGEMENT LICENSE SWM2017-047-0

BROWARD COUNTY
 Modification to
 Surface Water Management License No.
 SWM2017-047-0
 Date 01/24/2024





Resilient Environment Department

ENVIRONMENTAL PERMITTING DIVISION

Surface Water Management Licensing

1 North University Drive, Mailbox 201, Plantation, Florida 33324 • 954-519-1483 • FAX 954-519-1412

January 24, 2024

Fecttech Consult LLC
Attention: Gustavo Alonzo, P.E.,
4661 NW 94th Ct
Doral, FL 33178

Subject: Surface Water Management License Modification
Project: Nuvo Margate Self Storage
License No: **SWM2017-047-0**
Issued date: 09/14/2017
Location: Margate 06/49/42

Dear Licensee:

The Broward County Surface Water Management Licensing Section has reviewed the plans and documents received December 18, 2023 as a minor modification to the above referenced license. The request to complete the construction of the building on the south side of the property for phase II included in the approved plans and calculations on the approved license SWM2017-047-0 on 09/14/2017 is hereby granted. The water quality and quantity requirements are still complied with, therefore the revisions are found to be in compliance with the Broward County Natural Resource Protection Code, Sec. 27-198(d)(2)d and a modification is hereby granted. Please be advised that all previously stipulated conditions of the license remain in effect unless otherwise revised. In addition, all applicable federal, state, or local special district authorizations must be obtained prior to the commencement of construction or alteration of works authorized by this modification.

Please be advised that if a Certification of Occupancy is required, a certification letter from a Florida Registered Professional Engineer and as-built plans shall be submitted to our office for review.

Should you have any questions, please contact this office at (954) 519-1232.

Issued By:

Gerardo Rojas – Staff Engineer
Surface Water Management Licensing Program

cc: Building Official, City of Margate



Environmental Protection and Growth Management Department
ENVIRONMENTAL ENGINEERING AND PERMITTING DIVISION
Water and Environmental Licensing Section
1 North University Drive, Mailbox 201, Plantation, Florida 33324
Phone * 954-519-1483 Fax * 954-519-1412

September 14, 2017

IP Nuvo Margate, LLC
Attention: Tonya Mellen, Director of Development
288 North Park Ave
Winter Park, FL 32789

RE: Nuvo Margate Self Storage
City of Margate, S/T/R (06-49-42)

This is to notify you of the Environmental Protection and Growth Management Department's (EPGMD) action concerning your application received 12/27/2016. The application has been reviewed for compliance with the following requirements:

Broward County Surface Water Management Review - GRANTED

EPGMD has reviewed the project for compliance with the Surface Water Management requirements of Chapter 27, Article V Sec. 27-191 through 27-202 of the Broward County Code.

Based on the information submitted, Surface Water Management License No. SWM2017-047-0 was issued on 09/14/2017. The above named licensee is hereby authorized to perform the work or operate the facility shown on the approved drawing(s), plans, documents and specifications, as submitted by licensee, and made a part hereof.

Please be advised that no Certificate of Occupancy can be issued on this project until released, in writing, by all EPGMD divisions as required. Such release will be pending approval of any engineering certifications required by specific condition No. 15.

The above referenced approvals will remain in effect subject to the following:

1. the attached Broward County General Conditions;
2. the attached Broward County Specific Conditions;
3. the attached 8 exhibits.



Surface Water Management Program

“What to Expect When We Are Inspecting Surface Water Management Systems”

A guideline for **engineers, contractors, and licensees** of surface water management systems when applying for the release of Certificate(s) of Occupancy.

The intent of this document is to establish some guidelines to achieve compliance with the Code while maximizing customer service needs to licensees and their agents and the local building departments by facilitating the Certificate(s) of Occupancy (CO) release procedure for building projects. It is also the intent of this document to encourage licensees and their agents and the local building departments to not put our inspection staff on the “critical path”. ***We recognize that the local building departments must adhere to the requirements of the Florida Building Code and the requirements of Article I of the Broward County Natural Resource Protection Code.***

The Environmental Engineering and Permitting Division (EPPD) - Surface Water Management Licensing program has the responsibility of reviewing designs, licensing, and inspecting surface water management systems within portions of Broward County under the provisions of the Broward County Natural Resource Protection Code, Chapter 27, Section 27-191 through Section 27-201. This includes enforcement for the purpose of protecting our natural resources. This document contains specific information about the EPPD’s surface water management inspection procedures, review of record/as-built drawings, and time required to complete the procedure successfully. Please be advised this document may be included with the approved license and may be modified on an as-needed basis.

The following certification package must be submitted at least two (2) weeks prior to the anticipated date of occupancy; exceptions may be made on a case by case basis.

Note: Item 1 is not applicable to plans stamped as General Licenses (GL##-###). Items 2 & 3 may apply to GL if plans are stamped for construction certification.

1. Final Record/As-built Drawings (hard copy and electronic) of the site, lake/canal slopes, control structure(s) or overflow structure(s) (where applicable), and Finished Floor Elevation(s); etc.
2. Signed and sealed letter from a Florida-Registered Professional Engineer certifying all components of the surface water management system were constructed in substantial conformance with the approved plans; and
3. When requesting a partial certification include a \$100 partial certification fee (fees are subject to change). The certifying engineer must indicate that a substantial amount of the water management system has been constructed to serve the partial phase to satisfy the water quality and water quantity requirements of the Code and exactly which lots/buildings are requested for release.

Staff will perform an inspection on a first-come first-served basis of the above items. A successful submittal of the required items will prevent unwanted delays in the inspection and CO release processes.

What we look for During the Record/As-Built Drawing Review and During the Inspection

1. The engineer's letter must contain the appropriate certification language. The suggested wording is located in the Code and in the specific conditions of the license. The letter must be signed and sealed. It is imperative that the engineer of record describe any minor modifications to the system that were made during the construction of the project. However, substantial modifications must have received prior approval by the Surface Water Licensing Program.
2. The as-built/record drawing must document the Finished Floor Elevation(s) showing substantial conformance with approved plans.
3. In addition to rim, manhole, and pipe invert elevations, the plans should contain a sufficient amount of survey information to show that the site grades and perimeter grades were constructed in substantial conformance with the approved plans.
4. If part of the approved system, lake and canal slope as-built plans should contain a substantial number of cross sections (a minimum of 1 section per 50 linear feet is preferred) to show compliance with the Department's slope criteria. The staff reserves the right to require additional slope cross sections as necessary as well as slope regrading. Surface area calculations at the control elevation should be submitted for lakes.
5. Control structure or overflow structure information must show all (as-built) dimensions and elevations.
6. All catch basin and manhole structures must have appropriate mudwork to prevent seepage that could lead to structure/asphalt failures and subsequent turbidity violations.
7. All catch basins, manholes, and pipes must be relatively free of sediment and debris and must be accessible to staff. Arrangements should be made with staff for inspecting basins that are covered with fabric materials for sediment control purposes. Fabric must be removed by the licensee or other appropriate personnel prior to the inspection.
8. Lake, canal, swale, dry detention/retention area slopes must be stabilized through appropriate measures, i.e, no evidence of erosion or sedimentation should be encountered during the inspection. Arrangements should be made with staff with regards to timeliness of sodding or seeding slopes and bottoms of dry detention/retention areas.
9. All baffle mechanisms must be made water tight at all contact surfaces of basin walls by a durable gasket device.

Successful compliance with the above items will insure a timely release of the Certificate(s) of Occupancy from division staff.

Upon completion of the field inspection, arrangements with inspection staff will be made to correct all observed field deficiencies. With your cooperation, the Operation Letter will be released upon correction of all field deficiencies.

Environmental Engineering and Permitting Division

Surface Water Management Program
1 North University Drive, Mailbox 201 • Plantation, Florida 33324
Phone 954-519-1483 FAX 954-519-1412

Broward County General Conditions

1. The terms, conditions, requirements, limitations and restrictions set forth herein are accepted by the licensee and must be completed by the licensee and are enforceable by the Environmental Protection and Growth Management Department (EPGMD) pursuant to Chapter 27 of the Broward County Code of Ordinances. The EPGMD will review this license periodically and may revoke or suspend the license, and initiate administrative and/or judicial action for any violation of the conditions by the licensee, its agents, employees, servants or representatives.
2. This license is valid only for the specific uses set forth in the license application and any deviation from the approved uses may constitute grounds for revocation, suspension, and/or enforcement action by the EPGMD.
3. In the event the licensee is temporarily unable to comply with any of the conditions of the license or with this chapter, the licensee shall notify the EPGMD within eight (8) hours or as stated in the specific section of this chapter. Within three (3) working days of the event, the licensee shall submit a written report to the EPGMD that describes the incident, its cause, the measures being taken to correct the problem and prevent its reoccurrence, the owner's intention regarding the repair, replacement and reconstruction of destroyed facilities and a schedule of events leading toward operation with the license condition.
4. The issuance of this license does not convey any vested rights or exclusive privileges, nor does it authorize any injury to public or private property or any invasion of personal rights, or any violations of federal, state or local laws or regulations.
5. This license must be available for inspection on licensee's premises during the entire life of the license.
6. By accepting this license, the licensee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this licensed facility or activity, that are submitted to the EPGMD, may be used by the EPGMD as evidence in any enforcement proceeding arising under Chapter 27 of the Broward County Code of Ordinances, except where such use is prohibited by Section 403.111, Florida Statutes.
7. The licensee agrees to comply with Chapter 27 of the Broward County Code of Ordinances, and shall comply with all provisions of the most current version of this chapter, as amended.
8. Any new owner or operator of a licensed facility shall apply by letter for a transfer of license within thirty (30) days after sale or legal transfer. The transferor shall remain liable for performance in accordance with the license until the transferee applies for and is granted a transfer of license. The transferee shall be liable for any violation of Chapter 27 of the Broward County Code of Ordinances that results from the transferee's activities. The transferee shall comply with the transferor's original license conditions when the transferee has failed to obtain its own license.
9. The licensee, by acceptance of this license, specifically agrees to allow access and shall allow access to the licensed source, activity or facility at times by EPGMD personnel for the purposes of inspection and testing to determine compliance with this license and Chapter 27 of the Broward County Code of Ordinances.
10. This license does not constitute a waiver or approval of any other license, approval, or regulatory requirement by this or any other governmental agency that may be required.
11. Enforcement of the terms and provisions of this license shall be at the reasonable discretion of EPGMD, and any forbearance on behalf of EPGMD to exercise its rights hereunder in the event of any breach by the licensee, shall not be deemed or construed to be a waiver of EPGMD's rights hereunder.

Broward County Specific Conditions

1. The licensee shall allow authorized personnel of the Environmental Protection and Growth Management Department (EPGMD), municipality or local water control district to conduct such inspections at reasonable hours, as are necessary to determine compliance with the requirements of the license and the approved plans and specifications.
2. The responsible entity shall agree to maintain the operating efficiency of the water management works. Except in cases where the responsible entity is a governmental agency, the agreement shall further require that if the water management works is not adequately maintained, the County may undertake the required work and bill all associated costs to the responsible entity. If the payment for such obligations is not satisfied within 30 days, said obligation shall become a lien against the property associated with the water management works. Where ownership of the water management works is separate from property ownership, the EPGMD shall require these agreements to be recorded.
3. The licensee shall execute the work authorized in a manner so as to minimize any adverse impact of the works on fish, wildlife, natural environmental values, and water quality. The licensee shall institute necessary measures during the construction period, including fill compaction of any fill material placed around newly installed structures, to reduce erosion, turbidity, nutrient loading and sedimentation in the receiving waters. Any erosion, shoaling or deleterious discharges due to permitted actions will be corrected promptly at no expense to the County.
4. The licensee shall comply with all applicable local land use and subdivision regulations and other local requirements. In addition, the licensee shall obtain all necessary Federal, State, local and special district authorizations prior to the start of any construction alteration of works authorized by this license.
5. Off-site discharges during construction and development shall be made only through the facilities authorized by this license. Water discharged from the project shall be through structures having a mechanism for regulating upstream water stages. Stages may be subject to operating schedules satisfactory to the appropriate regulatory agency.
6. The licensee shall hold and save the County harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance or use of any facility authorized by the license.
7. The license does not convey property rights nor any rights or privileges other than those specified therein.
8. No construction authorized by the license shall commence until a responsible entity acceptable to the EPGMD has been established and has agreed to operate and maintain the efficiency of the system. The entity must be provided with sufficient ownership so that it has control over all water management facilities authorized therein. Upon receipt of written evidence of the satisfaction of this condition, the EPGMD will issue authorization to commence the construction.
9. No beautification, or erection of any structure that will prohibit or limit access of maintenance equipment or vehicles in the right-of-way or easements will be allowed.
10. Any license which grants any entity the permission to place a structure on property which is owned by Broward County or upon which Broward County has an easement shall be construed to create a revocable license for that structure to remain on the property. Broward County may require removal of such a structure at no cost to the County.
11. The area under license will be maintained in a safe and operating condition at all times. Equipment will be promptly removed from the right-of-way or easement and the right-of-way or easement will be restored to its original or better condition within a reasonable time on termination of the authorized use.
12. The EPGMD will be notified, as required in the license or as indicated on the approved plans, to coordinate and schedule inspections.
13. The operation or construction will be in accordance with the approved details and plans submitted with the application. Any modification must be submitted to the EPGMD in writing and receive prior approval.
14. Monitoring may be required for sites with high pollutant generating potential, such as industrial sites, Class I and II solid waste disposal sites, and projects discharging to areas identified in the Broward County Water Resource Management Code, Article V, Section 27-200 (b) (1) o. Such monitoring will be under the cognizance of the EPGMD.

15. Upon completion of the construction of a surface water management system or phase thereof licensed by the EPGMD, it is a requirement of the issuance of the license, and hence transfer of operation and maintenance responsibility, that a Florida Registered Professional Engineer certify that the surface water management system was indeed constructed as licensed. Certified record drawings shall accompany the certification. Suggested wording for this is as follows:

I HEREBY CERTIFY TO THE CONSTRUCTION COMPLETION OF ALL THE COMPONENTS OF THE SURFACE WATER MANAGEMENT FACILITIES FOR THE ABOVE REFERENCES PROJECT AND THAT THEY HAVE BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE BROWARD COUNTY EPGMD, AND HEREBY AFFIX MY SEAL THIS _____ DAY OF _____, 20____.

(SEAL)

16. Water management areas shall be legally reserved to the operation entity and for that purpose by dedication on the plat, deed restrictions, easements, etc., so that subsequent owners or others may not remove such areas from their intended use. Management areas, including maintenance easements, shall be connected to a public road or other location from which operation and maintenance access is legally and physically available.

17. The licensee shall notify the EPGMD in writing within twenty-four (24) hours of the start, finish, suspension, and/or abandonment of any construction or alteration of works authorized by this license.

18. A prorated share of surface water management retention/detention areas, sufficient to provide the required flood protection and water quality treatment, must be provided prior to occupancy of any building or residence.

19. The operation license shall be valid for a specific period of time not to exceed five (5) years from the date the license is transferred to the operation phase. The operation license shall be renewed in accordance with the Broward County Water Resource Management Code, Article V, Section 27 - 198 (d) (2).

20. The EPGMD reserves the right to require additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.

21. This permit does not constitute the approval required by the Broward County Hazardous Material Code, Article XII, Section 27-353(i), to conduct dewatering operations at or within one-quarter mile radius of a contaminated site. Please contact the Environmental Assessment and Remediation Section at (954) 519-1478 for further information.

22. The licensee shall keep a log of the operation and maintenance schedule for all components of the surface water management system.

23. The surface water management system must be inspected by the EPGMD to verify compliance with Specific Condition No. 15 of the license. In accordance with the Broward County Natural Resource Protection Code, Article I, Sec. 27-66 (f), the County agency or municipal agency charged with issuing a certificate of occupancy (CO) shall not issue a CO until notified of the Broward County EPGMD approval. Partial certifications will be handled in accordance with Specific Condition No. 18.

24. The licensee is advised that he/she is required to submit a Storm Water Notice of Intent (NOI) application at least 48 hours prior to the commencement of construction to the Florida Department of Environmental Protection, NPDES Stormwater Notices Center, MS #3585 at 2600 Blair Stone Road - Tallahassee, Florida 32399-2400.

25. Electronic self-certification through the website www.fldepportal.com/go/apply-build/ is required no later than 30 days after the start of construction, in accordance with the 10/2 General Permit requirements of 403.814(12) F.S.

LOCATION MAP



EXHIBIT - 1



STAFF REPORT

Project Name: Nuvo Margate Self Storage
License Number: SWM2017-047-0
Application Number: L2016-318
Application Type: BC Surface Water Management License
Location: Broward County **Section-Township-Range:** 06-49-42
Permittee's Name: IP Nuvo Margate, LLC

Project Area: 2.32 acres **Drainage Area:** 2.8 acres
Project Land Use: Commercial
Drainage Basin: C-14
Receiving Body: On-site Retention

Purpose:

The construction and operation of a surface water management system to serve a proposed 2.32 acre commercial development.

Project Evaluation:

Project Site Description:

The site is presently undeveloped and is located at the NE intersection of State Road 7 and SW 8th Court in the City of Margate.

Proposed Project Design:

The proposed construction will include 0.62 acres of building, 0.68 acres of pavement areas and the proposed drainage system. A system of inlets and culverts will direct the storm runoff to 714 LF of exfiltration trench (8' W x 4' H) for water quality treatment and storm runoff attenuation. Prior to discharge into a proposed dry retention area (0.32 Acres) for additional water quality treatment and storm runoff attenuation.

The applicant's consultant has demonstrated through plans and calculations that the proposed project meets the requirements of the Code.

Control Elevation:

Control Elevation = 7.50 ft, NAVD WSWT Elevation = 7.50 ft, NAVD
Method of Determination = BC Avg. Wet Season Water Table Map

Project Background:

The total project is 2.80 acres of which 0.48 Acres is dedicated to provide drainage to State Road 7 (Easement Plat Book 81, page 46, B.C.R.).

Discharge Rate:

<u>Frequency</u>	<u>Rainfall</u>	<u>Basin Name</u>	<u>Allowable Disch.</u>	<u>Method of Determination</u>	<u>Peak Disch.</u>	<u>Peak Stage</u>
25YR-3DAY	14 in.	Nuvo Margate Self Sto	0 cfs	Pre-vs-Post	0 cfs	11.44' NAVD

Finished Floors:

The finished floor elevations have been designed to be above the computed 100-yr, 3-day zero discharge stage and the Broward County 100-yr, 3-day flood map elevation

<u>Frequency</u>	<u>Rainfall</u>	<u>Basin Name</u>	<u>Peak Stage</u>	<u>Prop. Min. Fin. Floors</u>	<u>BC 100-yr Map Elev.</u>
100YR-3DAY	18 inches	Nuvo Margate Self Storage	11.91' NAVD	12.5' NAVD	10' NAVD

Water Quality Design:

Water quality treatment will be provided in the exfiltration trench system and the retention area for 2.5 inches times the percent impervious over the entire site.

<u>Basin Name</u>	<u>Treatment Type</u>	<u>Treatment Method</u>	<u>Volume Required</u>	<u>Volume Provided</u>
Nuvo Margate Self Storage	Treatment	Exfiltration Trench	0.2 ac-ft	0.59 ac-ft
Nuvo Margate Self Storage	Treatment	Dry Retention	0.2 ac-ft	0.67 ac-ft
			Total: 1.26 ac-ft	

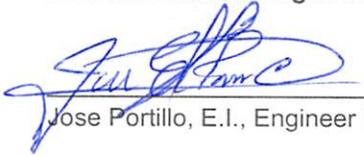
Special Concerns:

Operating Entity: IP Nuvo Margate, LLC
Attention: Tonya Mellen, Director of Development
288 North Park Ave
Winter Park, FL 32789

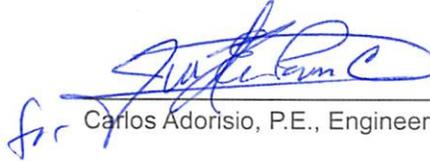
Waste Water System/Supplier: Margate

SWM2017-047-0, STAFF REVIEW:

Surface Water Management Program:



Jose Portillo, E.I., Engineer Intern

 Jose Portillo
for Carlos Adoriso, P.E., Engineering Unit Supervisor

CIVIL ENGINEERING PLANS FOR: NUVO MARGATE SELF STORAGE COMMERCIAL / SELF STORAGE

STATE ROAD 7 & SW 8th COURT
MARGATE, FLORIDA
MMA PROJECT #16-010

GENERAL NOTES:

- COORDINATION OF DRAWINGS AND DISCIPLINES.** IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR COMPLETENESS AND ACCURACY. FURTHER CONTRACTOR IS COORDINATE ALL TRADES AND DISCIPLINES PROPERLY. ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- FDOT RW.** ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS & LATEST SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- BUILDINGS & UTILITIES.** CONTRACTOR IS ADVISED THAT THE BUILDINGS AND ASSOCIATED SYSTEMS ARE STILL UNDER REVIEW BY VARIOUS JURISDICTIONAL AGENCIES. AS SUCH, THERE MAY BE MODIFICATIONS TO SERVICE LINES (MATERIALS, SIZES, LOCATIONS, DEPTHS, ETC.) AS THE DOCUMENTS ARE PERMITTED.
- SAFETY.** IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE RESPECTIVE UTILITY PROVIDER ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND LINES. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD LINES PRIOR TO WORKING WITHIN THE VICINITY OF THE LINES.
- FAMILIARITY WITH SITE CONDITIONS.** THE CONTRACTOR SHALL VISIT THE SITE AND ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. MAKE HIS OWN SUBSURFACE INVESTIGATION TO SATISFY HIMSELF AS TO THE SITE AND SUBSURFACE CONDITIONS. BUT SUCH SUBSURFACE INVESTIGATIONS SHALL BE PERFORMED ONLY UNDER TIME SCHEDULES AND ARRANGEMENTS APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE AND ENGINEER. THE EXISTING GRADES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY AND NO REPRESENTATION IS MADE AS TO THEIR ACCURACY OR CONSISTENCY. THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES TO THE EXTENT NECESSARY TO INSURE COMPLETION OF THE JOB TO THE PROPOSED GRADES INDICATED ON THE DRAWINGS.
- WORKMANSHIP.** ALL WORK SHALL BE PERFORMED IN A WORKMANSHIP-LIKE MANNER AND SHALL CONFORM WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS AND/OR CODES, INCLUDING OSHA.
- ELEVATIONS.** ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- SURVEY & BENCHMARK.** REFER TO SURVEY PREPARED BY PUBLIC LAND SURVEYORS FOR ADDITIONAL INFORMATION.
- GEOTECHNICAL INFORMATION.** REFER TO GEOTECHNICAL REPORTS AND BORING LOGS FOR ADDITIONAL INFORMATION INCLUDING SITE PREPARATION REQUIREMENTS.
- FIELD LOCATIONS.** THE CONTRACTOR SHALL CONTACT "SUNSHINE STATE ONE CALL OF FLORIDA, INC. (1-800-432-4770)" AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO ALL AFFECTED UTILITY OWNERS FOR REMOVAL, RELOCATION AND ALTERATION OF THEIR EXISTING FACILITIES.
- PROTECTION OF UTILITIES.** THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF ALL EXISTING AND NEWLY INSTALLED ABOVE GROUND, UNDERGROUND, AND ON THE SURFACE STRUCTURES AND UTILITIES FROM DAMAGE OR SERVICE DISRUPTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- EXISTING UTILITIES.** PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING UTILITIES AND SOILS CONDITIONS AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF ANY DISCREPANCIES WITH THE PLANS.
- EXISTING UTILITIES.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH IT FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. THE CONTRACTOR IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- FIELD REVIEWS.** THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO ANY REQUIRED FIELD REVIEWS OR INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY, LABOR AND MATERIALS FOR INSPECTION AND/OR TEST. ALL WORK SHALL BE OPEN AND SUBJECT TO REVIEW AND/OR INSPECTION BY AUTHORIZED PERSONNEL OF THE CITY, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER, AND REGULATORY AGENCIES. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN THE OWNER'S SHALL BE REPORTED TO THE ENGINEER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY THE ENGINEER OR OWNER.
- DIFFERING SITE CONDITIONS.** THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS PRIOR TO CONSTRUCTION IN THE AREA OF CONFLICT. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH ARE REPRESENTED ON THE PLANS, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND THE OWNER IN WRITING.
- DEWATERING.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ANY DEWATERING PERMITS AND/OR APPROVALS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED FACILITIES AND SYSTEMS.
- PERMITS.** THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND/OR LICENSES TO COMMENCE CONSTRUCTION.
- USE OF EXISTING MATERIALS.** NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
- EXISTING LANDSCAPE.** CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN ON THE PLAN OR DESIGNATED IN THE FIELD.
- TESTING.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTS TO BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY APPROVED BY THE ENGINEER. THE CONTRACTOR UNDERSTANDS THAT ANY AND ALL TESTS, INSPECTIONS, PROCEDURES INCLUDING ALL LABOR, MATERIALS, TIME AND EFFORT IN ORDER TO HAVE ALL WORK DESIGNATED AS FINAL BY THE RESPECTIVE JURISDICTIONAL AUTHORITIES AND THAT SUCH TESTS, INSPECTIONS AND PROCEDURES ARE INCLUDED IN THE BID.
- FINAL UTILITY ADJUSTMENTS.** ALL UTILITIES SHALL BE ADJUSTED TO NEW FINISH GRADES AND PROPERLY SET TO PAVEMENT CROSS SLOPE AS REQUIRED.

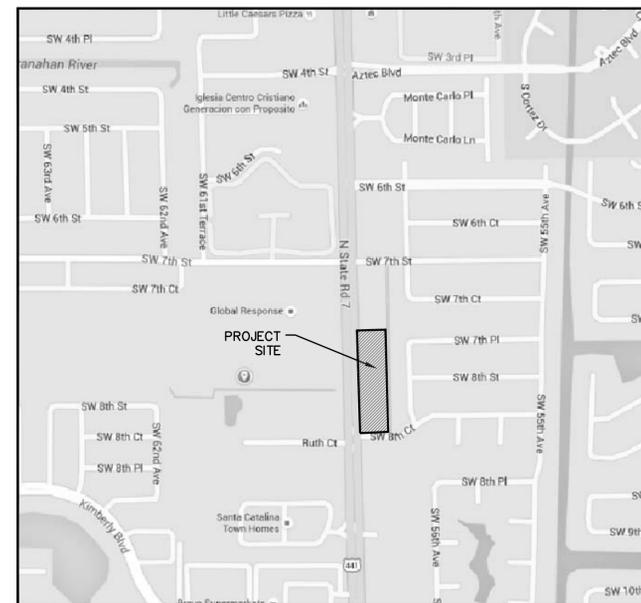
PROJECT TEAM

CIVIL ENGINEER:
McLEOD, MCCARTHY & ASSOCIATES
TODD N. McLEOD, P.E.
1655 PALM BEACH LAKES BLVD.
WEST PALM BEACH, FL 33401
P: 561.689.9500 | F: 561.689.8080
todd@mcleodmccarthy.com

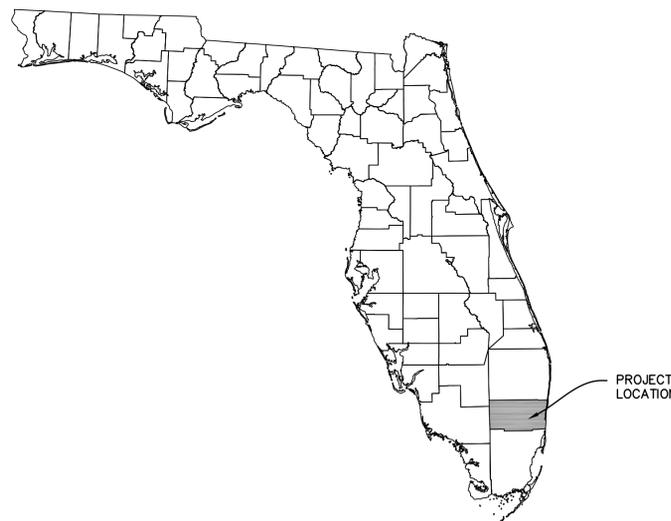
OWNER:
NUVO DEVELOPMENT, LLC
288 NORTH PARK AVENUE
WINTER PARK, FLORIDA 32789

PLANNER / OWNER'S AGENT
MICHAEL J. SANCHEZ, AICP
MANAGED LAND ENTITLEMENTS
3710 BUCKEYE STREET, SUITE 100
PALM BEACH GARDENS, FLORIDA 33414
P 561.568.8045
michael@mylandentitlements.com

ARCHITECT:
FARMER ARCHITECTURE
941 LAKE BALDWIN LN
ORLANDO, FLORIDA 32814



PROJECT LOCATION MAP
N.T.S.



DRAWING INDEX

DWG. #	TITLE
01	COVER SHEET
02	PAVING, GRADING, & DRAINAGE PLAN
03-04	PAVING, GRADING, & DRAINAGE DETAILS
05	TYPICAL SECTIONS
06	GEOMETRIC SIGNING & MARKING PLAN
07-08	GENERAL NOTES & SPECIFICATIONS
09	WATER & WASTEWATER PLAN
10-11	WATER & SANITARY SEWER DETAILS
12	EROSION CONTROL PLAN

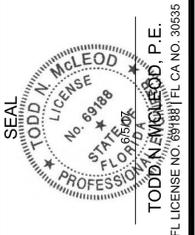
GOVERNING SPECIFICATIONS

REFER TO PROJECT SPECIFICATION SHEET FOR DETAILED PROJECT AND MATERIAL REQUIREMENTS. ITEMS NOT EXPLICITLY ADDRESSED BY SPECIFICATION SHEETS SHALL BE CONSTRUCTED PER FDOT SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION (v2017-18) UNLESS OTHERWISE DIRECTED BY THE ENGINEER OF RECORD.



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 712
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



FIELD:
DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS
4	6/5/17	REV PER BC COMMENTS
3	4/10/17	REV PER BC/FDOT COMMENTS
2	3/17/17	REV PER BC/FDOT COMMENTS
1	12/27/16	REV PER BC/FDOT COMMENTS

COVER SHEET
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

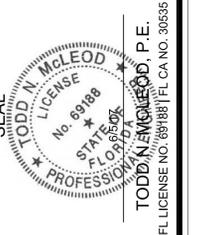
SHEET
01
OF 12





**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 172
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.9080
www.mcleodmccarthy.com



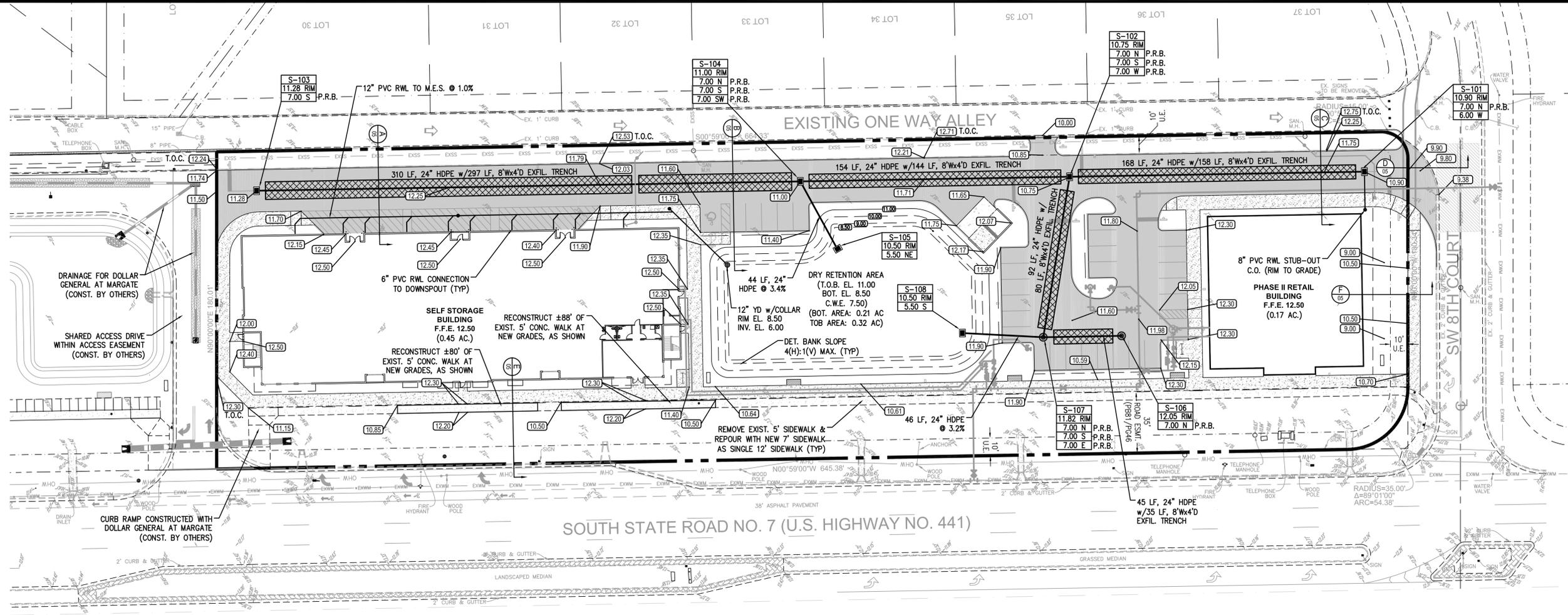
FIELD: P. Saffold
DRAWN: T.M.
DESIGNED: T.M.
APPROVED: T.M.
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS
4	6/5/17	REV PER BC COMMENTS
3	4/10/17	REV PER BC/FDOT COMMENTS
2	3/17/17	REV PER BC/FDOT COMMENTS
1	12/27/16	REV PER BC/FDOT COMMENTS

PAVING, GRADING, & DRAINAGE PLAN
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

SHEET
02
OF 12

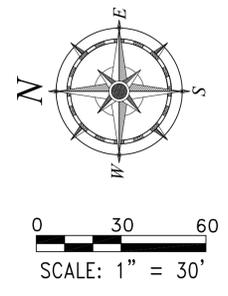


STRUCT. NUMBER	STRUCT. TYPE	GRATE TYPE
S-101	C	U.S.F. 4139-6168
S-102	5' Ø	U.S.F. 4139-6429
S-103	C	U.S.F. 4139-6429
S-104	5' Ø	U.S.F. 4139-6429
S-105	C	U.S.F. 6606 SG
S-106	C	U.S.F. 230-AB-M
S-107	4' Ø	U.S.F. 230-AB-M
S-108	C	U.S.F. 6606 SG

NOTE: ALL ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

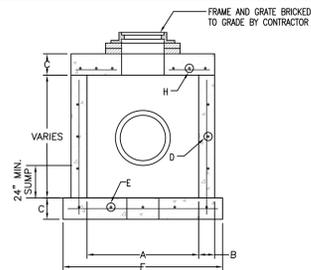
- ACCESSIBILITY NOTES:**
1. ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 2. ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 3. CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 304. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.

- NOTES:**
1. ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
 2. CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
 3. WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
 4. MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
 5. ALL BUFFER, DETENTION, SWALE, AND UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED. SOD IN RETENTION AREA SHALL NOT BE MUCK-GROWN.
 6. REFER TO SITE PLAN PREPARED BY MANAGED LAND ENTITLEMENTS / LITTERICK LANDSCAPE ARCHITECTURE FOR ADDITIONAL SITE REQUIREMENTS.
 7. THERE SHALL BE NO LANDSCAPING OTHER THAN SOD WITHIN THE TWO-FOOT PARKING SPACE OVERHANG.
 8. ALL RAINWATER LEADERS (RWL) SHALL BE SCHEDULE-40 PVC WITH GLUED JOINTS.
 9. ALL WALKS SHALL BE CONSTRUCTED WITH SLOPES IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, ACCESSIBILITY (I.E. 2% MAXIMUM CROSS SLOPE & 5% MAXIMUM LONGITUDINAL SLOPE; CURB RAMP SLOPES SHALL NOT EXCEED 1V:12H).
 10. ALL CULVERT INVERTS LEADING TO EXFILTRATION TRENCH SHALL HAVE POLLUTION RETARDANT Baffles (PRB) INSTALLED PER ENCLOSED DETAIL.

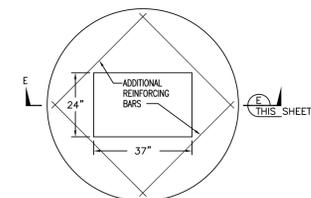


LEGEND

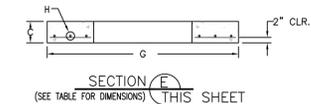
PROP. SIGN	
SURFACE FLOW ARROW	
PROP. PAVEMENT	
PROP. MILL & RESURFACE	
PROP. CONCRETE	
PROPOSED ELEVATION	
EXIST. ELEVATION	
T.O.C.	
P.R.B.	



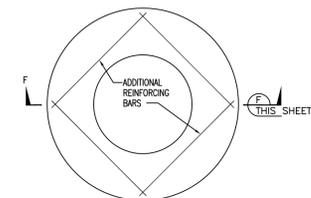
CATCH BASIN
(SEE TABLE FOR DIMENSIONS)



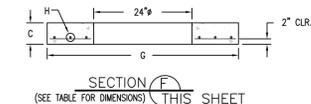
TOP SLAB FOR CATCH BASIN



SECTION E
(SEE TABLE FOR DIMENSIONS) THIS SHEET

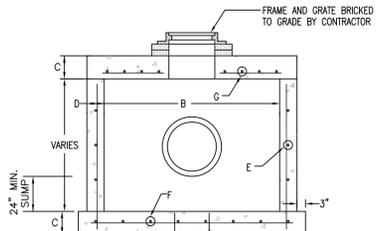


TOP SLAB FOR MANHOLE

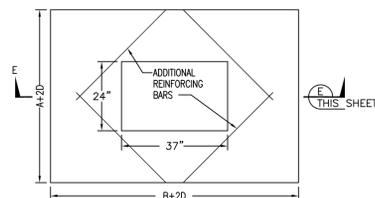


SECTION F
(SEE TABLE FOR DIMENSIONS) THIS SHEET

A	B	C	D	E*	F	G	H*
3'-6"	4'	8"	8"	#4 @ 12" C.C.E.W.	4'-0"	4'-0"	#4 @ 8"
3'-6"	6"	8"	8"	#4 @ 12" C.C.E.W.	5'-0"	4'-6"	#4 @ 8"
4'	8"	8"	8"	#4 @ 12" C.C.E.W.	6'-0"	5'-0"	#4 @ 8"
4'	8"	8"	8"	#4 @ 12" C.C.E.W.	6'-4"	5'-4"	#4 @ 8"
4'-0"	8"	8"	8"	#5 @ 12" C.C.E.W.	7'-4"	6'-4"	#5 @ 8"
6'-0"	8"	8"	8"	#5 @ 12" C.C.E.W.	8'-0"	7'-0"	#5 @ 8"
6'-0"	8"	8"	8"	#5 @ 12" C.C.E.W.	8'-4"	7'-4"	#5 @ 8"
5'-0"	8"	8"	8"	#5 @ 12" C.C.E.W.	9'-4"	8'-4"	#5 @ 8"
8'-0"	10"	10"	10"	#5 @ 12" C.C.E.W.	10'-8"	9'-8"	#5 @ 8"
10'-0"	12"	12"	12"	#5 @ 12" C.C.E.W.	12'-0"	12'-0"	#6 @ 8"



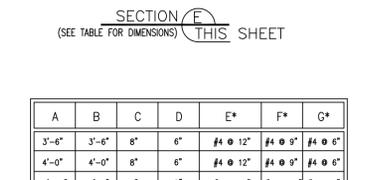
CATCH BASIN
(SEE TABLE FOR DIMENSIONS)



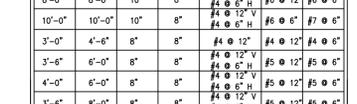
TOP SLAB FOR CATCH BASIN



SECTION E
(SEE TABLE FOR DIMENSIONS) THIS SHEET



TOP SLAB FOR MANHOLE



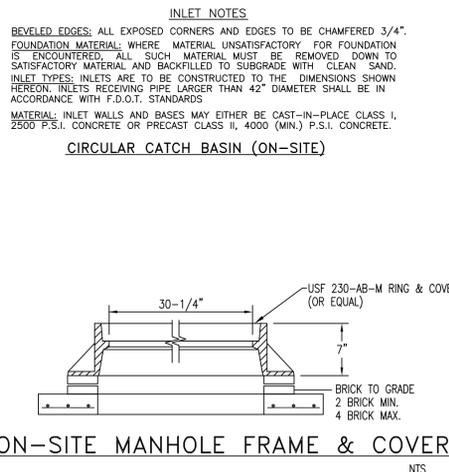
SECTION F
(SEE TABLE FOR DIMENSIONS) THIS SHEET

A	B	C	D	E*	F*	G*
3'-6"	3'-6"	8"	8"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-0"	4'-0"	8"	8"	#4 @ 12"	#4 @ 9"	#4 @ 6"
4'-10"	5'-0"	8"	8"	#4 @ 12"	#5 @ 12"	#5 @ 6"
6'-0"	6'-0"	8"	8"	#4 @ 12" V	#6 @ 12"	#6 @ 6"
6'-0"	6'-0"	8"	8"	#4 @ 6" H	#6 @ 12"	#6 @ 6"
8'-0"	8'-0"	10"	8"	#4 @ 12" V	#6 @ 12"	#6 @ 6"
8'-0"	8'-0"	10"	8"	#4 @ 6" H	#6 @ 12"	#6 @ 6"
10'-0"	10'-0"	10"	8"	#4 @ 12" V	#6 @ 6"	#7 @ 6"
3'-0"	4'-6"	8"	8"	#4 @ 12"	#4 @ 12"	#4 @ 6"
3'-6"	6'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
4'-0"	6'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
4'-0"	6'-0"	8"	8"	#4 @ 6" H	#5 @ 12"	#5 @ 6"
3'-6"	8'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
4'-0"	8'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
5'-0"	7'-0"	8"	8"	#4 @ 12" V	#5 @ 12"	#5 @ 6"
6'-0"	8'-0"	8"	8"	#4 @ 12" V	#6 @ 12"	#6 @ 6"
6'-0"	12'-0"	8"	8"	#4 @ 6" H	#6 @ 12"	#6 @ 6"

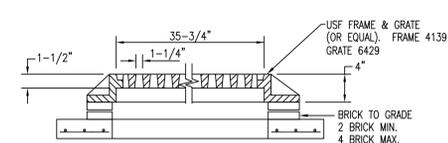
INLET NOTES

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4". FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND. INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. INLETS RECEIVING PIPE LARGER THAN 42" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS. MATERIAL: INLET WALLS AND BASES MAY EITHER BE CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 (MIN.) P.S.I. CONCRETE.

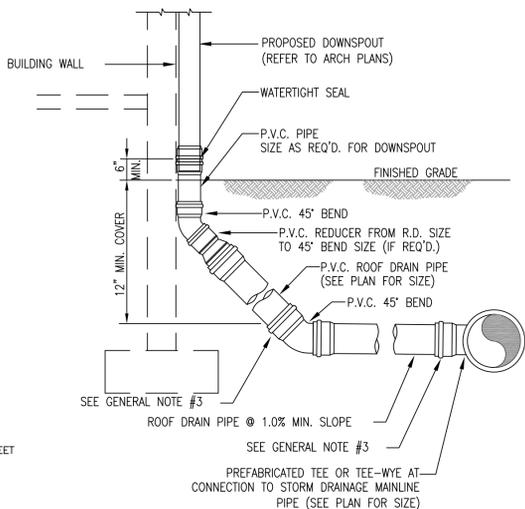
RECTANGULAR CATCH BASIN (ON-SITE)



ON-SITE MANHOLE FRAME & COVER



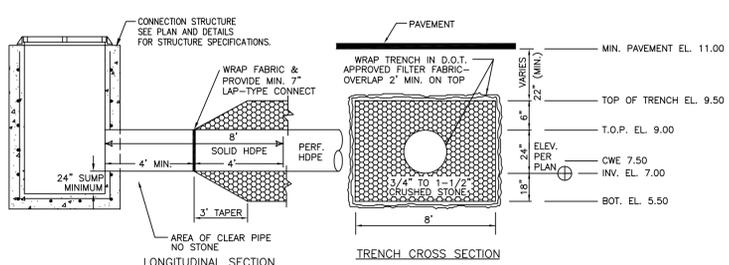
INLET TOP (TYPE 'C-D' INLET)



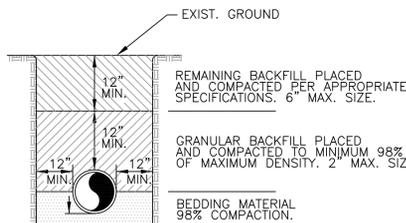
GENERAL NOTES:

- PROVIDE TEMPORARY P.V.C. PLUG IN BELL END OF DOWNSPOUT SERVICE STUB-UP.
- ADDITIONAL BENDS MAY BE REQUIRED TO CLEAR BUILDING FOUNDATIONS OR TO CONNECT TO MAIN TRUNK LINE STORM DRAINAGE PIPES.
- USE A FABRICATED P.V.C. TRANSITION ADAPTER TO TRANSITION FROM P.V.C. PIPE TO H.D.P.E. PIPE OR FITTINGS.
- ALL PIPE AND FITTING JOINTS SHALL BE WATERTIGHT.
- ALL ROOF DRAIN / RWL PIPING SHALL BE SCH-40 PVC.

DOWNSPOUT TIE-IN DETAIL
N.T.S.



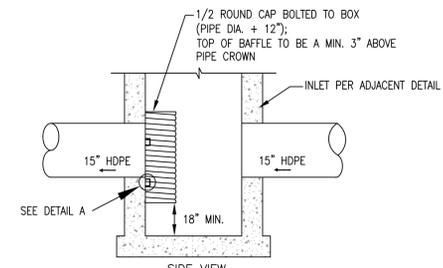
ON-SITE EXFILTRATION TRENCH DETAIL
N.T.S.



NOTES:

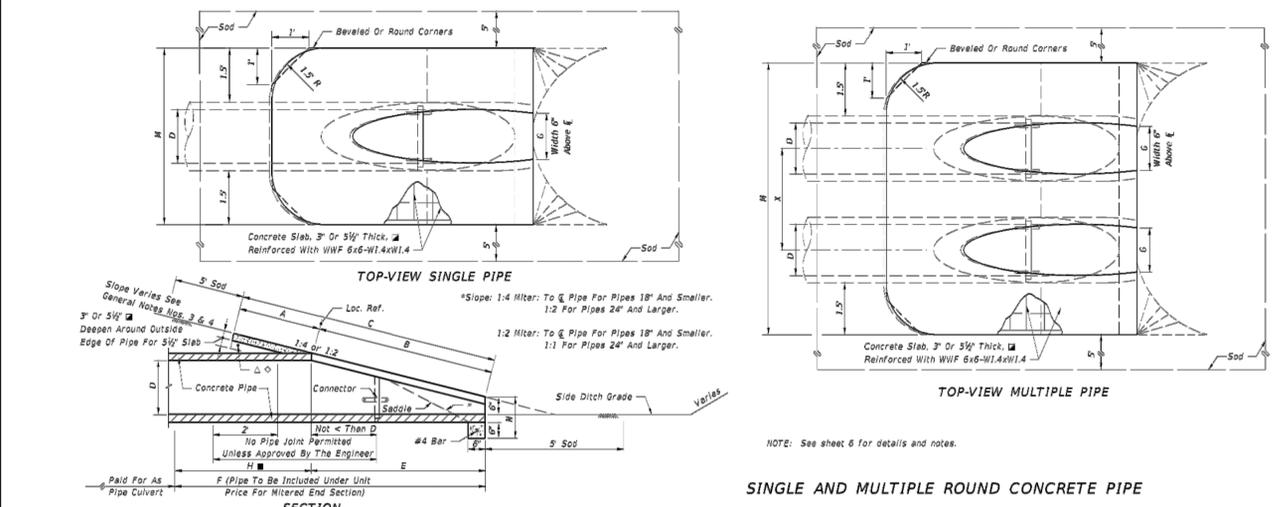
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED 3/8" TO 7/8" SIZING UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCK SHALL BE REMOVED.
- THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
- THE PIPE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSUITABLE MATERIALS SUCH AS LARGER ROCK, MUCK AND DEBRIS.
- SEE GENERAL NOTES FOR PIPE BACKFILL BENEATH PROPOSED PAVEMENT.

TRENCH DETAIL
N.T.S.



POLLUTION RETARDANT BAFFLE (PRB) DETAIL
N.T.S.

		DIMENSIONS AND QUANTITIES																			
D	X	M																			
		A	B	C	E	F	G	H	3/4" CONCRETE SLAB (CY)				SODDING (SF)								
		Single	Double	Triple	Quad.	Single	Double	Triple	Quad.	Single	Double	Triple	Quad.	Single	Double	Triple	Quad.				
15'	2'-7"	1.92	2.18	4.10	2.06	5	1.22	2.9	4.63	7.21	9.79	12.37	1.19	0.58	0.58	0.77	0.96	21	24	27	30
18'	2'-10"	1.97	2.76	4.71	2.56	6	1.41	3.6	4.92	7.79	10.58	13.42	1.21	0.64	0.65	0.87	1.09	22	25	28	31
20'	3'-5"	2.08	3.89	5.91	3.56	7	1.73	3.6	5.50	8.92	12.33	15.79	1.29	0.54	0.83	1.12	1.42	24	29	32	35
30'	4'-3"	2.13	4.99	7.10	4.80	8	2.00	3.4	6.08	10.33	14.58	18.63	1.29	0.66	1.09	1.50	1.91	26	31	35	40
36'	5'-1"	2.25	6.08	8.33	5.59	9	2.24	3.4	6.87	11.79	16.83	21.92	1.39	0.81	1.38	1.95	2.51	28	34	39	45
42'	6'-0"	2.34	7.21	9.53	6.56	10	2.49	3.4	7.29	13.23	19.23	25.23	1.38	0.97	1.70	2.45	3.19	30	37	43	50
48'	6'-6"	2.43	8.33	10.76	7.56	11	2.65	3.4	7.83	14.58	21.33	28.08	1.42	1.13	2.04	2.93	3.84	32	39	47	54
54'	7'-8"	2.52	9.44	11.96	8.56	12	2.83	3.4	8.42	16.08	23.79	31.42	1.46	1.31	2.44	3.58	4.72	34	42	51	59
60'	8'-6"	2.62	10.56	13.18	9.56	14	3.00	4.4	9.00	17.50	26.00	34.50	1.50	1.51	2.89	4.28	5.68	36	45	55	64
66'	9'-2"	2.71	11.68	14.39	10.56	15	3.18	4.4	9.58	18.75	27.52	37.08	1.54	1.68	3.25	4.84	6.43	38	48	58	68
72'	10'-0"	2.80	12.80	15.60	11.59	16	3.30	4.4	10.16	20.16	30.16	40.16	1.58	1.89	3.74	5.59	7.45	40	51	62	73
15'	2'-7"	2.27	4.09	6.36	4.03	8	1.22	4.0	4.63	7.21	9.79	12.37	1.19	0.57	0.87	1.13	1.44	23	26	29	32
18'	2'-10"	2.38	5.12	7.48	5.03	9	1.41	4.0	4.92	7.79	10.58	13.42	1.21	0.66	0.99	1.31	1.65	25	28	31	35
20'	3'-5"	2.55	7.18	9.71	7.03	11	1.73	4.0	5.50	8.92	12.33	15.79	1.29	0.85	1.30	1.75	2.20	26	32	36	40
30'	4'-3"	2.70	9.23	11.95	9.02	13	2.00	4.0	6.08	10.33	14.58	18.63	1.29	1.10	1.74	2.39	3.05	31	36	41	46
36'	5'-1"	2.87	11.31	14.18	11.03	15	2.24	4.0	6.87	11.79	16.83	21.92	1.39	1.32	2.21	2.98	3.86	34	40	46	52
42'	6'-0"	3.05	13.37	16.42	13.03	17	2.45	4.0	7.29	13.23	19.23	25.23	1.38	1.58	2.76	3.91	5.09	36	44	51	58
48'	6'-6"	3.22	15.43	18.65	15.03	19	2.65	4.0	7.83	14.58	21.33	28.08	1.42	1.85	3.30	4.73	6.17	41	48	56	63
54'	7'-8"	3.39	17.49	20.88	17.03	21	2.83	4.0	8.42	16.08	23.79	31.42	1.46	2.14	3.95	5.77	7.59	44	52	61	69
60'	8'-6"	3.56	19.55	23.11	19.03	23	3.00	4.0	9.00	17.50	26.00	34.50	1.50	2.45	4.66	6.87	9.07	47	56	66	75
66'	9'-2"	3.73	21.62	25.33	21.03	25	3.18	4.0	9.58	18.75	27.52	37.08	1.54	2.88	5.54	8.18	10.84	49	59	69	80
72'	10'-0"	3.91	23.68	27.59	23.03	27	3.30	4.0	10.16	20.16	30.16	40.16	1.58	3.54	6.61	9.87	13.13	52	63	74	85



SINGLE AND MULTIPLE ROUND CONCRETE PIPE

REVISION	DESCRIPTION	FDOT	FY 2016-17	INDEX NO.	SHEET NO.
07/01/02	LAST REVISION	DESIGN STANDARDS	272	1 of 6	



McLeod & McCarthy
& Associates, P.A.
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 172
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



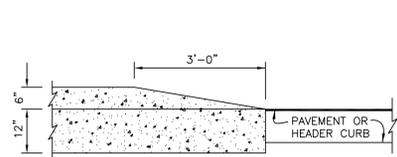
FIELD: DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS
3	4/10/17	REV PER BC/OT COMMENTS
2	3/17/17	REV PER BC/OT COMMENTS
1	12/27/16	REV PER BC/OT COMMENTS

PAVING, GRADING, & DRAINAGE DETAILS
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

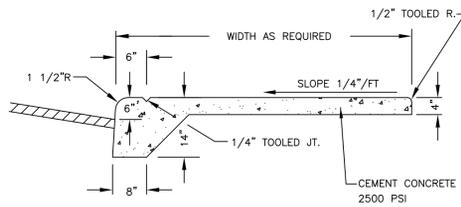
SCALE: AS SHOWN
DATE: 11/16/16

SHEET
03
OF 12



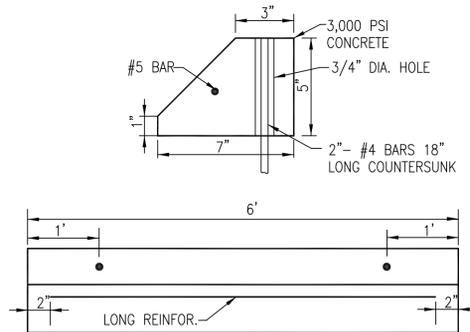
NOTE:
WHEN CURB TRANSITIONS ARE ADJACENT TO SIDEWALK THE
TRANSITION MUST BE 12:1

TRANSITION CURB TAPER DETAIL
N.T.S.

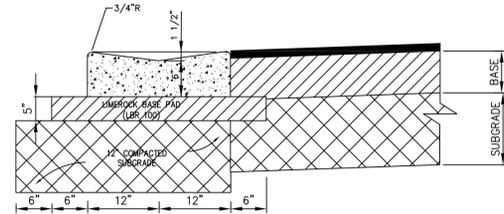


NOTES:
1. THE REVEAL SHOWN MAY VARY. REFER TO PLANS FOR LOCATIONS.
2. MONOLITHIC WALK & CURB REQUIRED AT ALL LOCATIONS WHERE
PROPOSED SIDEWALK ABUTS ASPHALT PAVEMENT.

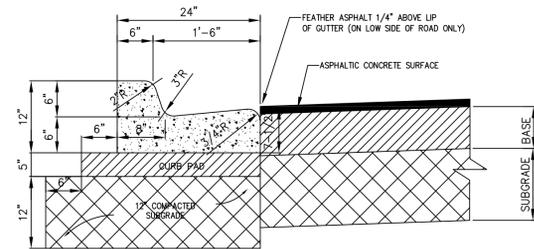
**MONOLITHIC CURB
AND SIDEWALK SECTION**
N.T.S.



CONCRETE WHEEL STOP DETAIL
N.T.S.

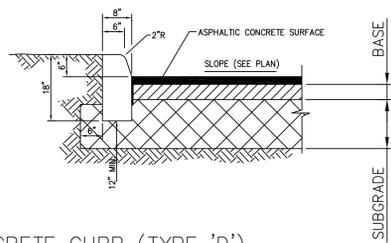


VALLEY GUTTER REFER TO FDOT INDEX 300 FOR NOTES AND DETAILS
SCALE: NONE

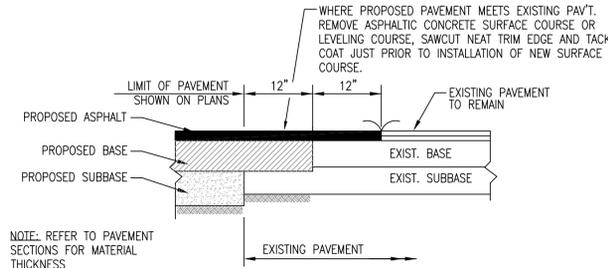


NOTE:
WHEN USED ON HIGH SIDE OF ROADWAYS THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT
PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" INSTEAD OF 7 1/2".

TYPE "F" CURB & GUTTER
SCALE: NONE

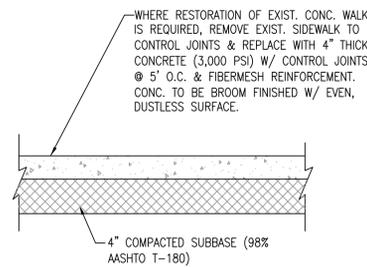


CONCRETE CURB (TYPE 'D')
SCALE: NONE



NOTE: REFER TO PAVEMENT
SECTIONS FOR MATERIAL
THICKNESS

PAVEMENT MATCHING DETAIL
N.T.S.



WHERE RESTORATION OF EXIST. CONC. WALK
IS REQUIRED, REMOVE EXIST. SIDEWALK TO
CONTROL JOINTS & REPLACE WITH 4" THICK
CONCRETE (3,000 PSI) W/ CONTROL JOINTS
@ 5' O.C. & FIBERMESH REINFORCEMENT.
CONC. TO BE BROOM FINISHED W/ EVEN,
DUSTLESS SURFACE.

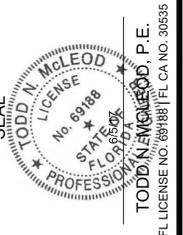
**CONCRETE SIDEWALK
RESTORATION DETAIL**
N.T.S.

PAVEMENT SECTION REQUIREMENTS			
TYPE	WEARING SURFACE	BASE	SUB-GRADE
CONCRETE PAVEMENT (ON-SITE)	6" THICK (3,000 PSI) WITH JOINTING PER ACI 330. JOINTING PLAN TO BE SUBMITTED PRIOR TO POURING CONCRETE	N/A	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180 (LBR 30)
STRUCTURAL NO.	6" x 0.5	+ 0	+ 12" x 0.06 = 3.72
ASPHALT PAVEMENT (ON-SITE)	1.5" THICK S-III A.C.S.C. (2-LIFTS)	8" THICK LIMESTONE BASE (LBR 100) COMPACTED TO 98% AASHTO T-180 DENSITY & PLACED IN 4" MAX. LIFTS.	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180
STRUCTURAL NO.	1.5" x 0.44	+ 8" x 0.18	+ 12" x 0 = 2.10



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers

The Forum III
1655 Palm Beach Lakes Blvd, Ste. 712
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



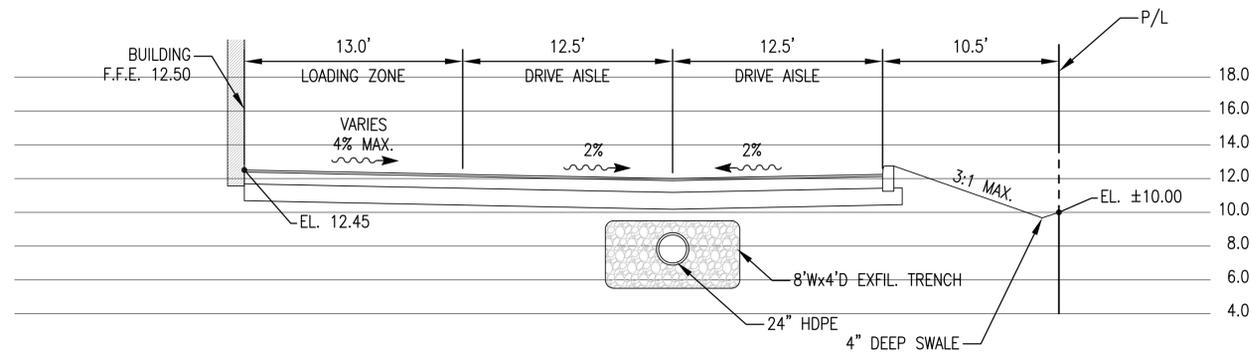
FIELD: P. Seifold
DRAWN: P. Seifold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS	REVIEWER/BOCITY COMMENTS
1	12/27/16		

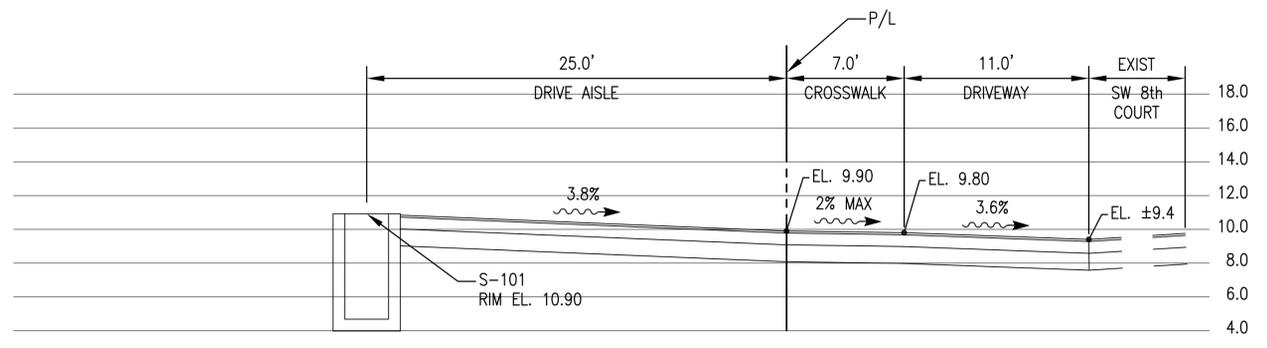
PAVING, GRADING, & DRAINAGE DETAILS
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

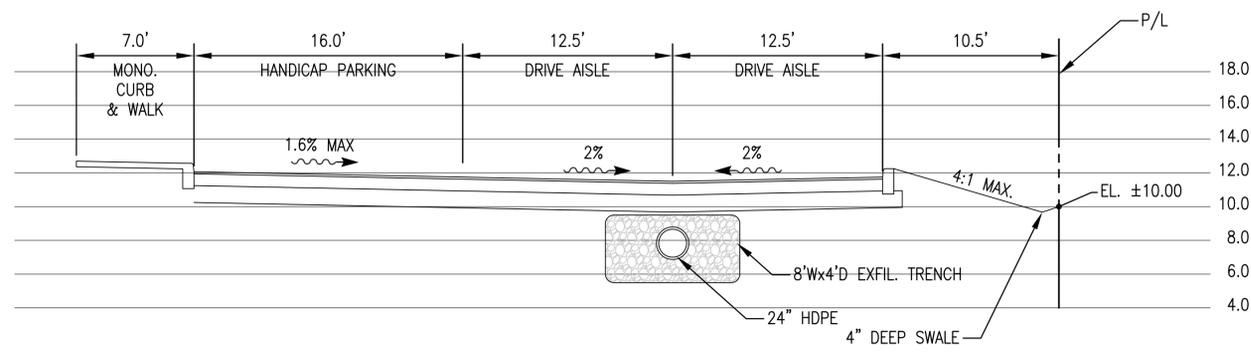
SHEET
04
OF 12



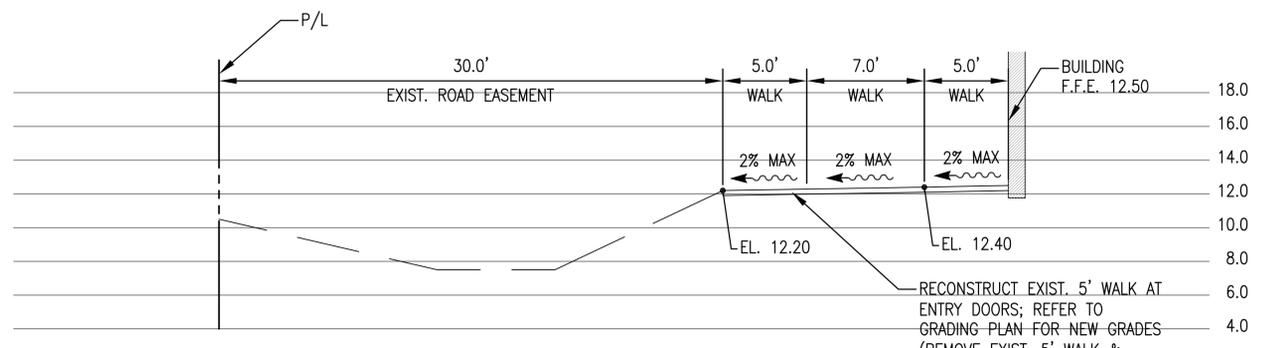
SECTION A-A
NTS



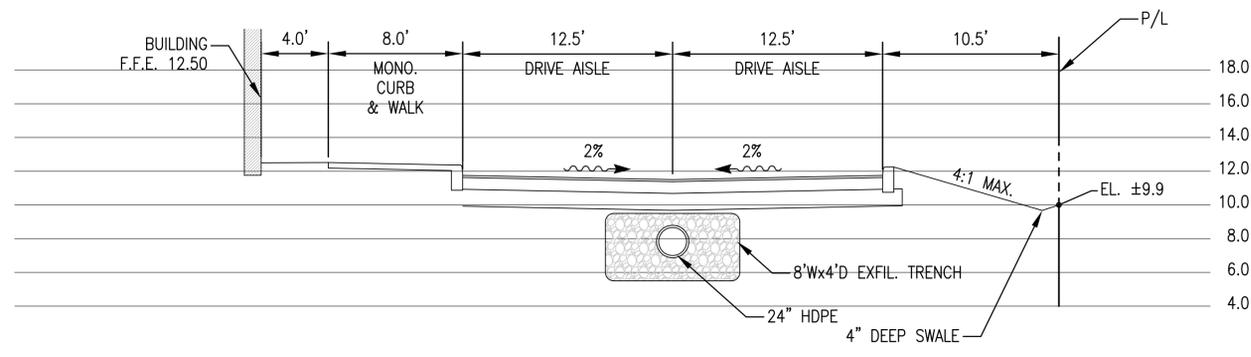
SECTION D-D
NTS



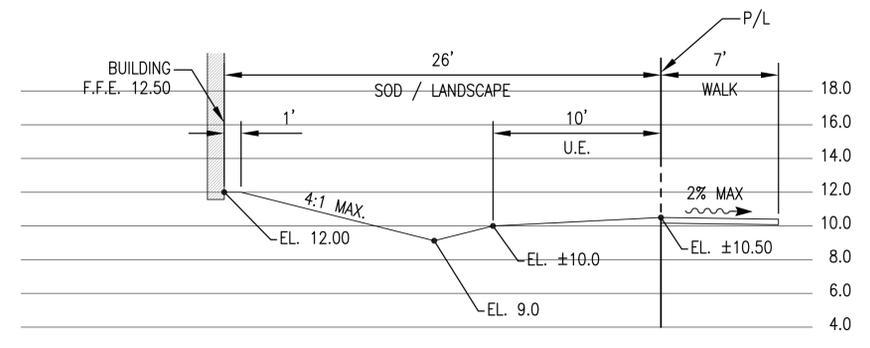
SECTION B-B
NTS



SECTION E-E
NTS



SECTION C-C
NTS



SECTION F-F
NTS



**McLeod • McCarthy
& Associates, P.A.**
Civil Engineers
The Forum III
1655 Palm Beach Lakes Blvd, Ste. 172
West Palm Beach, FL 33401
P: 561.689.9500
F: 561.689.8080
www.mcleodmccarthy.com



FIELD: P. Seifold
DRAWN: P. Seifold
DESIGNED: TMM
APPROVED: TMM
PROJECT #: 16-010
DRAWING #:

NO.	DATE	REVISIONS
3	4/10/17	REV PER BCF/ROT COMMENTS
2	3/17/17	REV PER BCF/ROT COMMENTS
1	12/27/16	REV PER BCF/ROT COMMENTS

TYPICAL SECTIONS
NUVO MARGATE SELF STORAGE
COMMERCIAL/ SELF STORAGE
MARGATE, FLORIDA

SCALE: AS SHOWN
DATE: 11/16/16

SHEET
05
OF 12

**STAFF REPORT DISTRIBUTION LIST
ADDRESSES**

Owner:

IP Nuvo Margate, LLC
Attention: Tonya Mellen, Director of Development
288 North Park Ave
Winter Park, FL 32789

Applicant:

IP Nuvo Margate, LLC
Attention: Tonya Mellen, Director of Development
288 North Park Ave
Winter Park, FL 32789

**Engineering
Consultant:**

McLeod McCarthy and Associates, P.A.
Attention: Todd McLeod, P.E.
1655 Palm Beach Lakes Blvd.
Suite 712
West Palm Beach, FL 33401

Other:

City of Margate Building Official
Army Corps of Engineers

MARGATE DAYCARE

830 South State Road 7 (US 441)
City of Margate, Broward County, Florida

Trip Generation Assessment Report

Prepared For:
Raymond Baladi
Project Manager



A&R Bal General & Pool Contractor
CRID
P: 786-542-3739
O: 754-271-8489

Prepared By:
Caltran Engineering Group

2025

DATE: October, 8 2025

PROJECT

LOCATION: 830 South State Road 7 (US 441) in the City of Margate

CLIENT: A&R Bal General & Pool Contractor

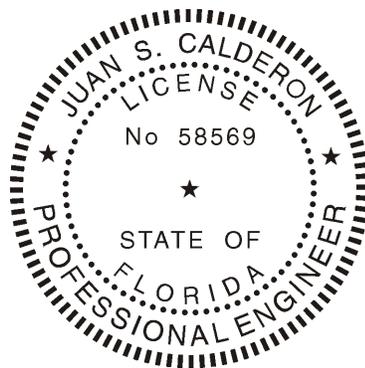
REPORT CALTRAN Engineering Group, Inc.

BY: 790 NW 107th Avenue, Suite 200
Miami, FL, 33172

Certificate of Authorization 29379

ENGINEER'S CERTIFICATION

I, JUAN S. CALDERON, CERTIFY THAT I CURRENTLY HOLD AN ACTIVE PROFESSIONAL ENGINEER'S LICENSE IN THE STATE OF FLORIDA AND I AM COMPETENT THROUGH EDUCATION AND EXPERIENCE TO PROVIDE ENGINEERING SERVICES IN THE CIVIL AND TRAFFIC ENGINEERING DISCIPLINES CONTAINED IN THIS REPORT. I FURTHER CERTIFY THAT THIS REPORT WAS PREPARED BY ME, OR UNDER MY RESPONSIBLE CHARGE, AS REQUIRED BY CHAPTER 61G15-18. F.A.C. AND THAT ALL STATEMENTS, CONCLUSIONS AND RECOMMENDATIONS MADE HEREIN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND ABILITY.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

CALTRAN ENGINEERING GROUP
790 NW 107 AVENUE, Suite 200
MIAMI, FL 33172
CERTIFICATE OF AUTHORIZATION 29379
JUAN S. CALDERON, P.E. NO. 58569

Caltran Engineering Group, Inc. has developed this traffic memorandum in support of a proposed daycare facility to be located at 830 South State Road 7 (US 441) in the City of Margate, Broward County, Florida. The proposed facility is expected to accommodate a total enrollment of 112 students, organized by age group to facilitate staggered drop-off and pick-up times in an effort to minimize traffic impacts on adjacent roadways.

In addition to the student population, the facility will employ approximately 12 administrative and instructional staff members. Staffing levels are anticipated to remain consistent throughout the day, with arrival occurring prior to student drop-off periods and departure after the final student pick-up, ensuring efficient on-site supervision and operations. A breakdown of student groups and associated schedule information is provided in the following table:

<i>Age Group</i>	<i>Number of Students</i>	<i>Drop-off Time</i>	<i>Pick-up Time</i>
Infants to 4 years	92	7:00 AM	4:30 PM – 6:00 PM
5-year-olds	20	8:00 AM	2:00 PM

The project site is situated within a dynamic mixed-use area that includes both residential and commercial establishments. Nearby land uses include the Executive President Hotel, the Magik Adults Daycare Center, among others, contributing to an active and diverse urban environment.

Exhibit A. illustrates a location map of the proposed daycare

Please refer to **APPENDIX A** for architectural site plan.

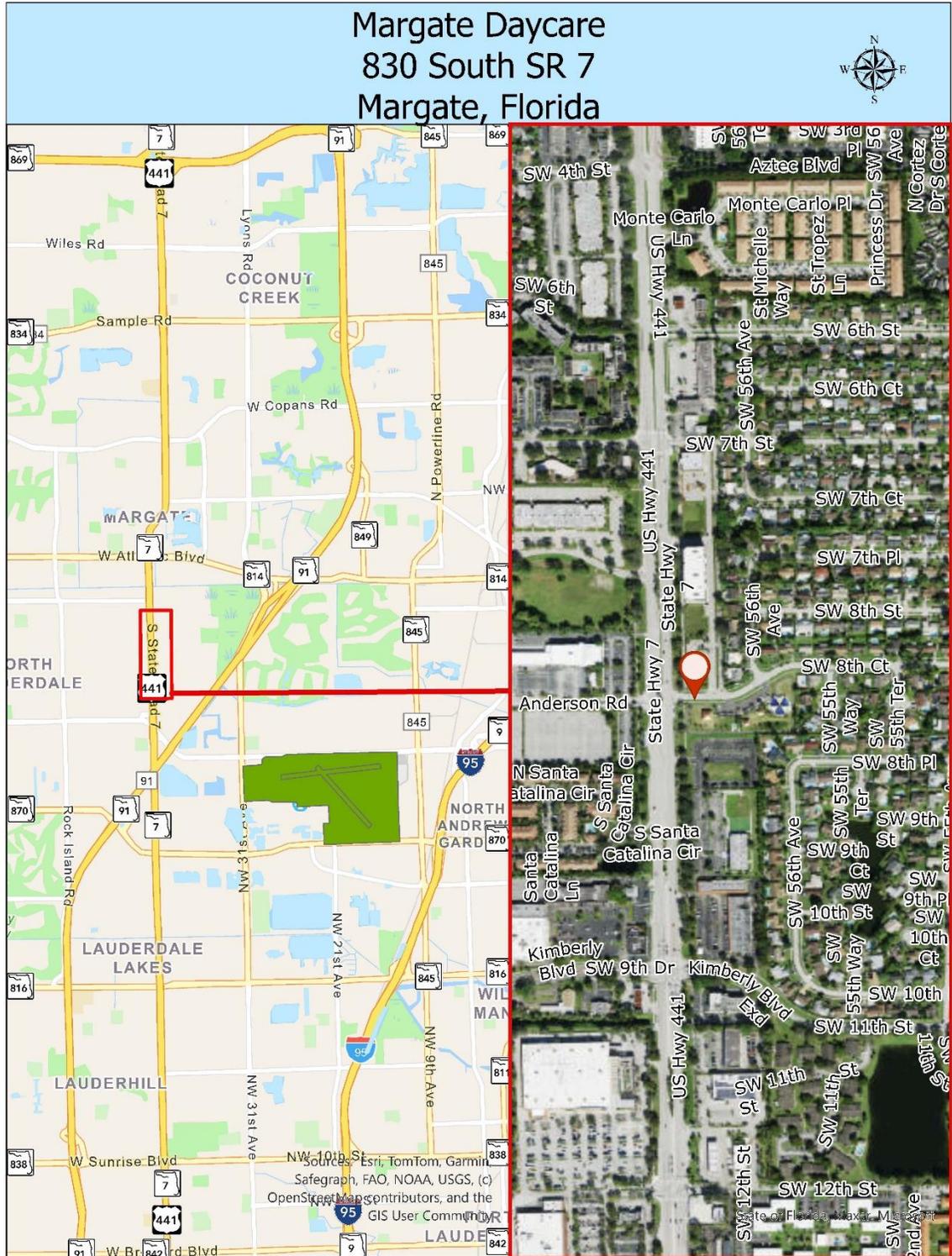


Exhibit 1. Location Map

1.0 Trip Generation Assessment

A trip generation analysis for the proposed development was performed using data from the Institute of Transportation Engineers (ITE) Trip Generation Manual, 12th Edition. Based on the characteristics of the project, the most appropriate ITE land use categories were identified as Land Use Code 565 – Daycare Center. The corresponding trip generation rates used to estimate vehicular activity associated with the project are summarized below:

Land Use 565 – Daycare Facility

- Daily: Average (4.09)
- AM Peak Hour: T = Average (0.78)
- PM Peak Hour: T = Average (0.79)

Table 1 below summarizes the resulting trip generation estimates associated with the proposed development.

Please refer to **APPENDIX B** for Trip Generation Sheets.

(Intentionally Blank Space)

Table 1. Trip Generation Rates

Weekday

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry	Exit	Total
					Rate/Equation	Split%	Split%	
565 – Daycare Center	General Urban/Suburban	Students	112	Weekday	Average	229	229	458
Data Source: Trip Generation Manual, 12th Ed					4.09	50%	50%	

AM Peak Hour

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry	Exit	Total
					Rate/Equation	Split%	Split%	
565 – Daycare Center	General Urban/Suburban	Students	112	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average	46	41	87
Data Source: Trip Generation Manual, 12th Ed					0.78	53%	47%	
565 – Daycare Center	General Urban/Suburban	Students	112	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average	42	47	89
Data Source: Trip Generation Manual, 12th Ed					0.79	47%	53%	

(Intentionally Blank Space)

2.0 Trip Distribution

To establish the anticipated trip distribution, existing traffic patterns were derived from portable monitoring site 860246, located south of Southgate Boulevard along South State Road 7. The peak-hour volumes are summarized below:

Table 2. Trip Distribution

PEAK VOLUME INFORMATION						
	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	745	1869	800	1716	745	3568
P.M.	1645	1812	1800	1855	1630	3572
DAILY	745	1869	1800	1855	1630	3572

PEAK VOLUME INFORMATION						
	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	815	1883	800	1607	800	3464
P.M.	1700	1717	1630	1715	1715	3415
DAILY	815	1883	1630	1715	800	3464

Based on traffic data collected at the monitoring station during the AM peak period, approximately 53% of inbound trips are projected to approach from the northbound direction along South State Road 7. The remaining 47% are expected to arrive from the southbound direction, turning left onto either SW 7th Street or SW 8th Court before using the service road to access the school’s driveway, as illustrated in the attached site plan.

During the PM peak period, the distribution is anticipated to be similar, with 51% of entering vehicles arriving from the northbound direction and 49% from the southbound approach.

Outbound traffic is expected to follow the same directional proportions as the inbound patterns.

Note: Analysis was performed under the assumption that all students arrive and leave at the same time as per City request.

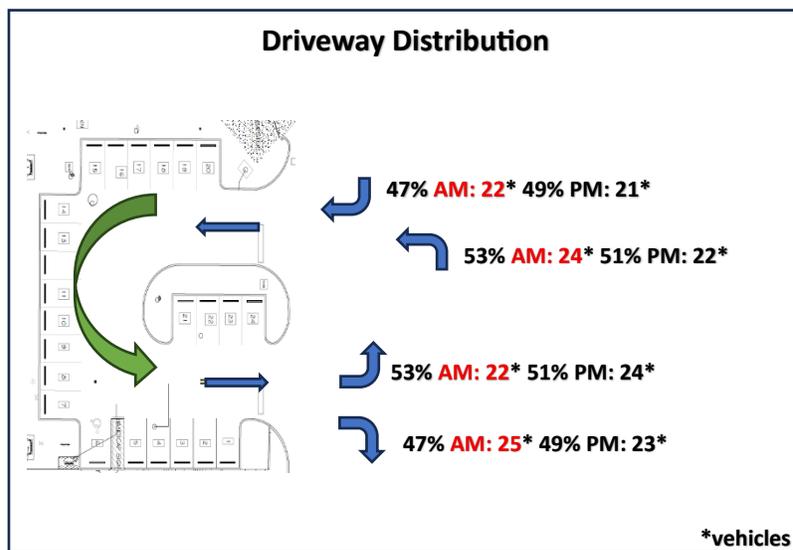
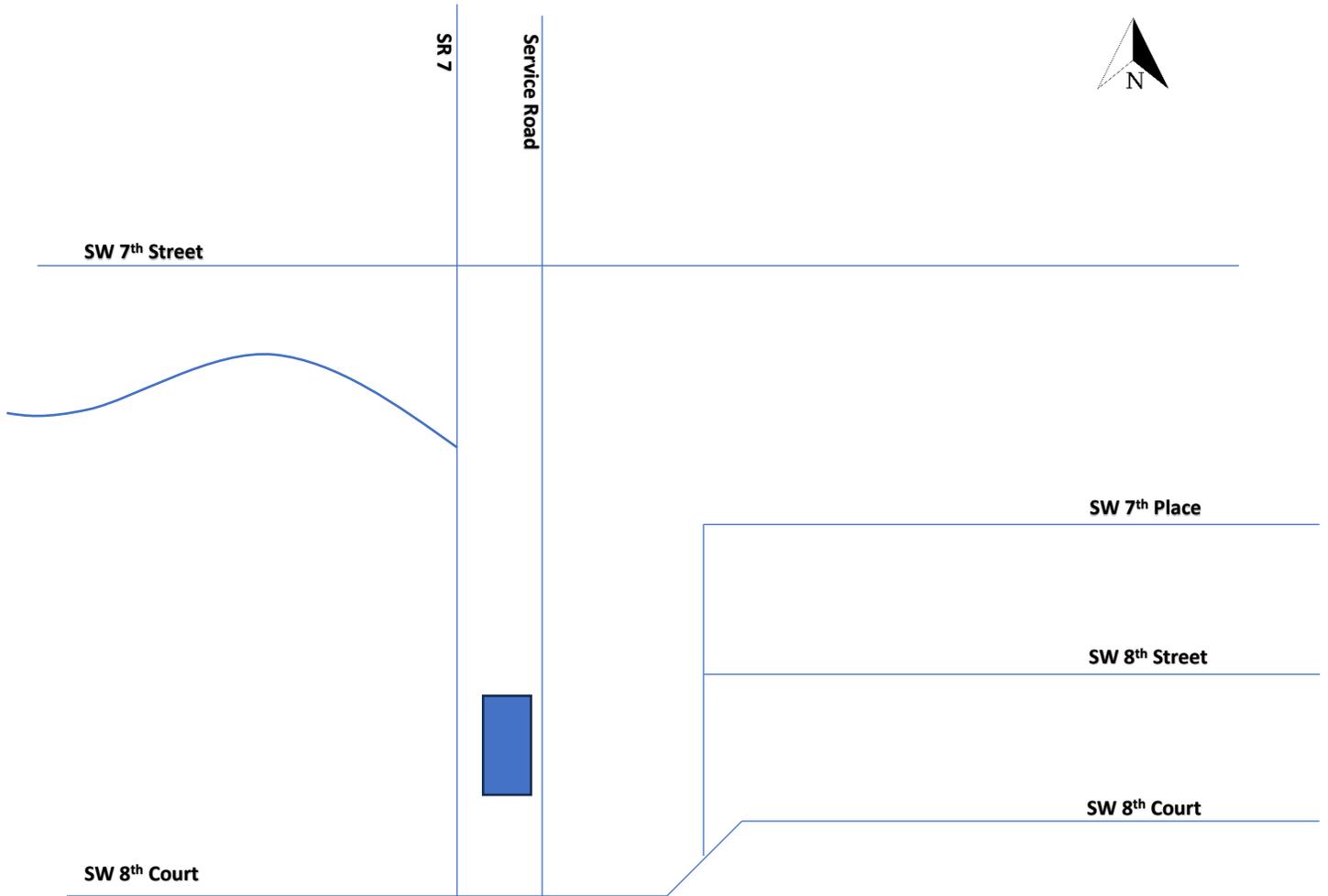


Exhibit 2. Trip Distribution.

3.0 Turn Lane Evaluation

Right Turn Criteria

Based on the FDOT Driveway Design Criteria, a right-turn deceleration lane with a minimum of 150 feet of storage and 100 feet of transition is required when a development generates:

- Between 80 and 125 or more right turns per hour at posted speeds of 45 mph or less, or
- Between 33 and 55 or more right turns per hour at posted speeds greater than 45 mph.

For the proposed development, the highest projected right-turn ingress volume is 22 vehicles during the PM peak hour, which is well below the 80-vehicle threshold. Therefore, an exclusive right-turn lane is not warranted at the main driveway.

Additionally, according to Broward County Design Criteria, Section 5-192, a right-turn lane with a minimum of 150 feet of storage and 50 feet of transition is required at any driveway where the posted speed limit equals or exceeds 35 mph, or when a development generates 100 or more inbound right-turn movements during the peak hour.

Since neither of these conditions is met, a right-turn lane is not required at this location under County criteria either.

Left Turn Criteria

In accordance with the AASHTO Green Book (7th Edition), a left-turn lane should be provided at an access point when peak-hour volumes meet or exceed the thresholds summarized in Table 3 below.

Table 3. Left Turn Volume Criteria

<i>Left-Turn Volume (veh/h)</i>	<i>Major Road Volume (veh/h/ln)</i>
25	200
30	150
35	150
40	150
45	150
50 or more	100

As illustrated in Exhibit 2, the proposed residential development is expected to generate approximately 24 left-turn trips during the PM peak hour, which is below the warrant threshold. Therefore, a left-turn lane is not anticipated to be required at the site access.

Additionally, based on Broward County Design Criteria, a left-turn lane with 200 feet of storage and 50 feet of transition is required at any driveway meeting the minimum spacing requirements when:

- The posted speed limit is 35 mph or greater, and
- The average daily traffic (ADT) of the driveway is 1,000 vehicles or more, or
- The average peak-hour inbound left-turn volume is 25 vehicles or more.

Since the proposed access does not meet these criteria, a left-turn lane is not warranted at this location.

(Intentionally Blank Space)

4.0 Concurrency analysis

A capacity/level of service evaluation was undertaken for South State Road 7. The results of this effort

are presented in **Table 4 and Table 5**. As indicated in the tables, South State Road 7 is currently operating at Level of Service “LOS C” and will continue to operate adequately with the proposed day care facility in place. During the AM peak hour, the segment is expected to continue to operate under Level of Service “LOS B”.

- **Context Classification:** C4 – Urban General
- **Through Lanes:** 6 lanes total (3 in each direction), 33' total width per direction, divided
- **Outside Shoulder / Curb:** 2' curb and gutter in both directions
- **Median:** 12' Concrete / SOD
- **Sidewalks:** 5' sidewalks on both sides
- **Posted Speed:** 45 MPH in both directions

Table 4 – AM Concurrency Analysis

FDOT AADT - LOS C (1)	FDOT Station 860426 (2)	(2) + AM Trip Gen (3)	LOS (4)
4,020 Veh	3,516 Veh	3,603 Veh	C

- (1) Multimodal Access Management Guidebook – Generalize Table
- (2) AM Average Peak Hour Volume
- (3) Total Forecasted AM Peak Hour Volume
- (4) SR 7 Forecasted LOS Score

Table 5 – PM Concurrency Analysis

FDOT AADT - LOS C (1)	FDOT Station 860426 (2)	(2) + PM Trip Gen (3)	LOS (4)
4,020 Veh	3,493 Veh	3,582 Veh	C

- (1) Multimodal Access Management Guidebook – Generalize Table
- (2) PM Average Peak Hour Volume
- (3) Total Forecasted PM Peak Hour Volume
- (4) SR 7 Forecasted LOS Score

Please Refer to **APPENDIX C** for the FDOT latest Multimodal Quality Level of Service Handbook LOS table, as well as synopsis reports for station 860426.

5.0 Parking Analysis

Per the Broward County Municipal Code, Article 12, and City of Margate Florida, a childcare facility is required to provide one parking space per 400 square feet of gross floor area. The proposed school includes a total building area of 7,685 square feet, which results in a requirement of 20 parking spaces.

The proposed site plan provides 24 parking spaces, exceeding the minimum requirement and including designated ADA-accessible spaces.

Additionally, the probability of rejection model analysis was performed to evaluate the probability of vehicle rejection during drop-off and pick-up periods, statistically confirming that the available reservoir areas are sufficient to accommodate peak traffic demand.

Analysis performed under 16 available parking units subtracting Staff and Administration parking

- Morning drop-off (46 vehicles/hour, 10 minutes per vehicle): The probability that a vehicle will not find an available parking space is 0.145%.
- Afternoon pick-up (42 vehicles/hour, 10 minutes per vehicle): The probability that a vehicle will not find an available parking space is 0.145%.

Please refer to **APPENDIX D** for Erlang C model Calculations.

Note: Although the probability of rejection is negligible, it is important to note that the school will implement a staggered schedule along with an educational campaign for parents to ensure awareness of the pick-up and drop-off procedures, thereby minimizing potential queuing along the mainline.

6.0 Summary

Caltran Engineering Group, Inc. has developed this traffic memorandum in support of a proposed daycare facility to be located at 830 South State Road 7 (US 441) in the City of Margate, Broward County, Florida. The proposed facility is expected to accommodate a total enrollment of 112 students, organized by age group to facilitate staggered drop-off and pick-up times in an effort to minimize traffic impacts on adjacent roadways.

Based on ITE Trip Generation rates for Land Use Codes 221 (Childcare Facility), the project is anticipated to generate approximately:

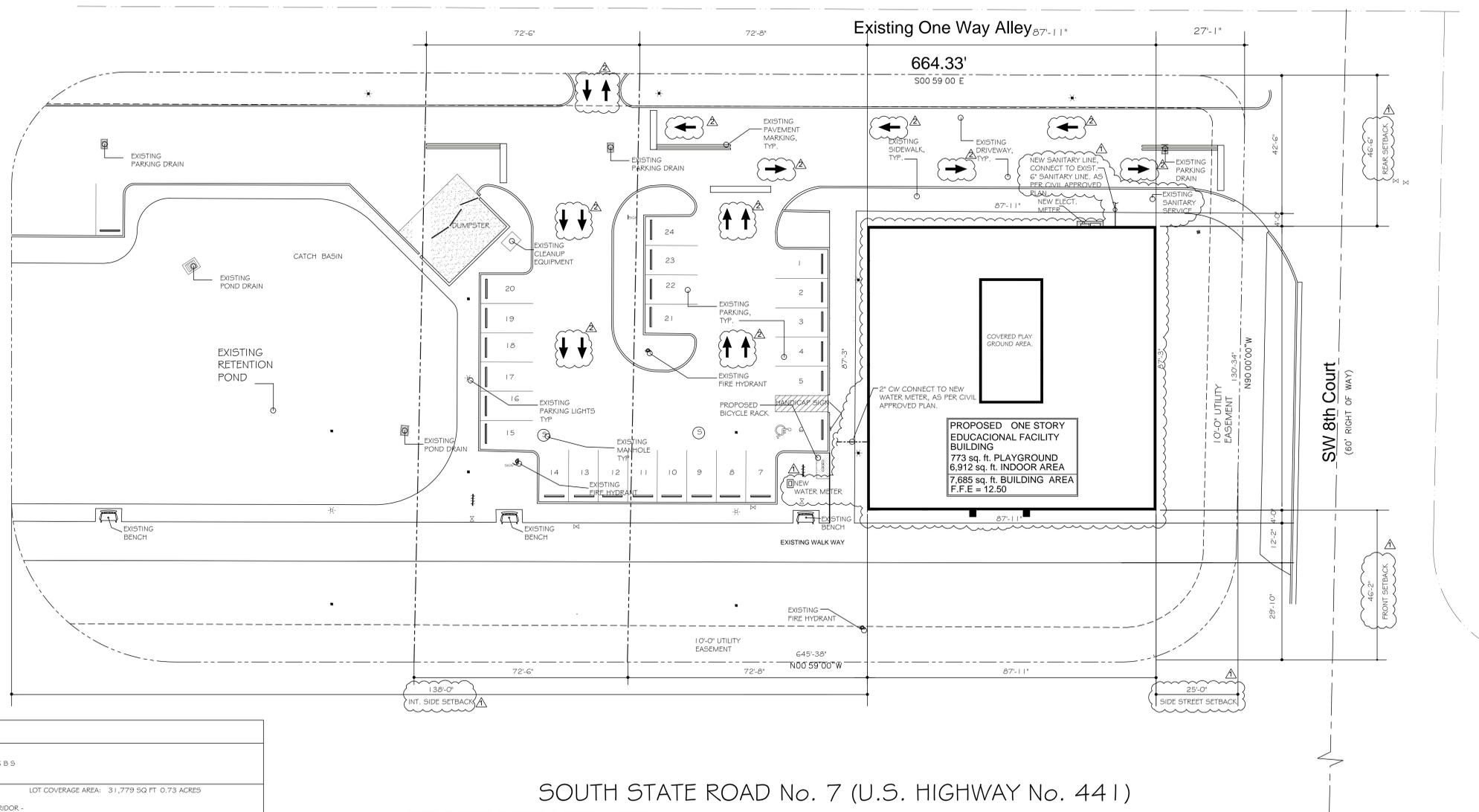
- 458 daily trips
- 87 trips during the AM peak hour
- 89 trips during the PM peak hour

According to FDOT traffic data, the adjacent segment of SR 7 is currently operating at Level of Service (LOS) C. With the addition of site-generated traffic, the roadway is expected to continue operating at an acceptable LOS C during both the AM and PM peak hours.

The proposed development **is not required** to implement exclusive right or left turn lanes to access the proposed development driveway

A detailed parking analysis is included in **APPENDIX D**, along with the site plan and architectural calculations. The analysis confirms that on-site parking supply is sufficient to accommodate demand without negatively impacting surrounding roadways.

**APPENDIX A
SITE PLAN**



SOUTH STATE ROAD No. 7 (U.S. HIGHWAY No. 441)

SITE PLAN
SCALE: 1/16" = 1'-0"

ZONING INFORMATION			
LEGAL DESCRIPTION: LOT COVERAGE/ERINO PARK SEC 3 B1-46 B 5 TOGETHER WITH S.66.23 OF N. 1025.42.			
PROPERTY ID: 494206180935 LOT COVERAGE AREA: 31,779 SQ FT 0.73 ACRES			
JURISDICTION: FRIDLAND COUNTY ZONING: TOC-C7 TRANSIT ORIENTED CORRIDOR - CORRIDOR FLOOD ZONE: ZONE X BASE FLOOD ELEVATION:---			
CATEGORIES	REQUIRED / ALLOWED	EXISTING	PROVIDED
LOT OCCUPATION			
LOT COVERAGE			7,685 SQ FT
VEHICULAR USE AREA		8,673 SQ FT	8,673 SQ FT
LANDSCAPE			
OPEN SPACE	0.50 FT (0.00% MIN.)	18,968 SQ FT 59.69%	11,011 SQ FT 34.65%
IMPERVIOUS AREA		12,811 SQ FT 40.31%	20,768 SQ FT 65.35%
SETBACKS			
FRONT	N/A		46'-2"
INTERIOR SIDE	N/A		138'-0"
SIDE STREET	N/A		25'-0"
REAR	N/A		46'-6"
HEIGHT			
EDUCATIONAL FACILITY	55'-0" / 4 STORY MAX.		18'-11" / 1 STORY
AREAS (UNDER A/C)			
EDUCATION FACILITY			6,912 SQ FT
PARKING DATA:			
REQUIRED / ALLOWED	EXISTING	PROVIDED	
EDUCATIONAL FACILITY 6,185 S.F. @ 3 SPACES / 1,000 S.F. = 3 SPACES	18 PARKING	18 PARKING	18 PARKING
OFFICE: 1,500 S.F. @ 3 SPACES / 1,500 S.F. = 3 SPACES	5 PARKING	5 PARKING	5 PARKING
TOTAL PARKING	23 PARKING	23 PARKING	23 PARKING
DIVIDE BY SHARING FACTOR OF 1.2 = 20 SPACES	19 PARKING	4 PARKING	4 PARKING
ENCLOSED SELF-STORAGE: 757 STORAGE BAY / 1 SPACE / 200 BAYS 3.70	4 PARKING		
TOTAL PARKING	23 PARKING	27 PARKING	27 PARKING
HANDICAP PARKING	2 PARKING	2 PARKING	2 PARKING
TOTAL PARKING	30 PARKING		
LOADING	3 SPACES (11' X 24' MIN.)	3 LOADING	3 LOADING
BICYCLE PARKING	4 SPACES (1' / 2,500 S.F. RETAIL 6,185 S.F.) OFFICE (1,500 S.F.)	4 BICYCLE PARKING	4 BICYCLE PARKING

REVISIONS:	
1	08-14-25 Bldg Deptm Comments.
2	10-07-25 Bldg Deptm Comments.
3	
4	
5	
6	
7	
8	
9	

ARTRIC INC.
C.A. #32686
RADAMES RIBAR, P.E.
622 SW 89 Place, Miami,
FL 33174
Phone: (305) 331-5090
Florida P.E. # 63925

This item has been digitally signed and sealed by Radames Ribar, on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SEAL:

Project: Education Facility Building.
Owner:
Address: 830 S. State Rd. 7
Margate, FL 33068

SHEET TITLE:

SITE PLAN

DATE: 07-11-25
DRAWN BY: E.L.
CAD FILE: 19-2025
PROJECT No. 19025
SHEET No.
SP-1

APPENDIX B
Trip Generation Sheets

Scenario - 1

Scenario Name: New Scenario

User Group:

Dev. phase: 1

No. of Years to Project 0
Traffic :

Analyst Note:

Warning: The time periods among the land uses do not appear to match.

VEHICLE TRIPS BEFORE REDUCTION

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry	Exit	Total
					Rate/Equation	Split%	Split%	
565 - Day Care Center	General	Students	112	Weekday	Average	229	229	458
Data Source: Trip Generation Manual, 11th Ed	Urban/Suburban				4.09	50%	50%	
565(1) - Day Care Center	General	Students	112	Weekday, Peak Hour of Adjacent Street Traffic,	Average	46	41	87
Data Source: Trip Generation Manual, 11th Ed	Urban/Suburban				0.78	53%	47%	
565(2) - Day Care Center	General	Students	112	Weekday, Peak Hour of Adjacent Street Traffic,	Average	42	47	89
Data Source: Trip Generation Manual, 11th Ed	Urban/Suburban				0.79	47%	53%	

VEHICLE TO PERSON TRIP CONVERSION

BASELINE SITE VEHICLE CHARACTERISTICS:

Land Use	Baseline Site Vehicle Mode Share		Baseline Site Vehicle Occupancy		Baseline Site Vehicle Directional Split	
	Entry (%)	Exit (%)	Entry	Exit	Entry (%)	Exit (%)
565 - Day Care Center	100	100	1	1	50	50
565(1) - Day Care Center	100	100	1	1	53	47
565(2) - Day Care Center	100	100	1	1	47	53

ESTIMATED BASELINE SITE PERSON TRIPS:

Land Use	Baseline Site Vehicle Mode Share		Baseline Site Vehicle Occupancy		Baseline Site Vehicle Directional Split	
	Entry (%)	Exit (%)	Entry	Exit	Entry (%)	Exit (%)
565 - Day Care Center	229	229	0	0	229	229
		458	0	0		458
565(1) - Day Care Center	46	41	0	0	46	41
		87		0		87
565(2) - Day Care Center	42	47	0	0	42	47
		89		0		89

VEHICLE TRIPS AFTER MULTI-MODAL ADJUSTMENT

MODE SHARE:

Land Use	Personal Passenger Vehicle		Truck		Other Modes	
	Entry (%)	Exit (%)	Entry	Exit	Entry (%)	Exit (%)
565 - Day Care Center	100%	100%	0%	0%	0%	0%
565(1) - Day Care Center	100%	100%	0%	0%	0%	0%
565(2) - Day Care Center	100%	100%	0%	0%	0%	0%

OCCUPANCY:

Land Use	Vehicle	
	Entry	Exit
565 - Day Care Center	1.00	1.00
565(1) - Day Care Center	1.00	1.00
565(2) - Day Care Center	1.00	1.00

ADJUSTED VEHICLE TRIPS:

Land Use	Entry				Exit			
	Person Trips	Vehicle Mode Share (%)	Vehicle Occupancy	Vehicle Trips	Person Trips	Vehicle Mode Share (%)	Vehicle Occupancy	Vehicle Trips
565 - Day Care Center	229	100%	1.00	229	229	100%	1.00	229
565(1) - Day Care Center	46	100%	1.00	46	41	100%	1.00	41
565(2) - Day Care Center	42	100%	1.00	42	47	100%	1.00	47

APPENDIX C
FDOT LOS Table and Station Reports

COUNTY: 86
 STATION: 0426
 DESCRIPTION: SR 7 - S OF SOUTHGATE BLVD,CABINET AT AZTEC BLVD
 START DATE: 05/01/2024
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL	
0000	69	68	56	40	233	112	87	75	67	341	574
0100	46	53	28	25	152	64	45	45	50	204	356
0200	24	39	38	25	126	40	38	37	31	146	272
0300	25	17	28	28	98	24	34	38	34	130	228
0400	37	34	48	58	177	36	43	28	41	148	325
0500	55	65	76	76	272	36	79	69	106	290	562
0600	82	122	148	255	607	139	187	223	305	854	1461
0700	328	448	457	464	1697	295	383	393	389	1460	3157
0800	487	458	460	433	1838	440	450	420	406	1716	3554
0900	426	432	332	325	1515	382	331	320	319	1352	2867
1000	358	325	357	368	1408	289	310	317	290	1206	2614
1100	368	357	254	278	1257	338	266	330	351	1285	2542
1200	249	279	288	285	1101	307	339	333	306	1285	2386
1300	276	386	355	362	1379	319	318	307	333	1277	2656
1400	358	385	397	398	1538	392	390	371	424	1577	3115
1500	388	427	414	425	1654	404	376	399	423	1602	3256
1600	411	424	422	435	1692	454	387	458	478	1777	3469
1700	456	456	465	422	1799	424	443	402	448	1717	3516
1800	423	366	355	327	1471	472	451	471	461	1855	3326
1900	358	357	324	347	1386	409	388	395	382	1574	2960
2000	258	275	285	286	1104	331	364	334	330	1359	2463
2100	272	242	258	225	997	331	272	265	250	1118	2115
2200	226	146	155	125	652	252	227	205	169	853	1505
2300	167	164	165	128	624	159	172	127	141	599	1223
24-HOUR TOTALS:	24777					25725					50502

	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	745	1869	800	1716	745	3568
P.M.	1645	1812	1800	1855	1630	3572
DAILY	745	1869	1800	1855	1630	3572

COUNTY: 86
 STATION: 0426
 DESCRIPTION: SR 7 - S OF SOUTHGATE BLVD,CABINET AT AZTEC BLVD
 START DATE: 05/02/2024
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL	
0000	88	89	78	85	340	102	94	92	54	342	682
0100	87	74	67	58	286	64	48	49	48	209	495
0200	55	45	44	41	185	39	24	41	31	135	320
0300	34	35	32	23	124	32	32	32	42	138	262
0400	36	22	26	52	136	34	36	37	52	159	295
0500	52	68	85	118	323	49	56	81	97	283	606
0600	198	289	258	357	1102	145	177	220	307	849	1951
0700	374	488	448	459	1769	270	385	345	358	1358	3127
0800	459	478	445	475	1857	398	450	367	392	1607	3464
0900	485	350	379	332	1546	354	361	312	326	1353	2899
1000	284	266	292	289	1131	289	288	281	374	1232	2363
1100	273	251	306	298	1128	357	331	309	305	1302	2430
1200	278	300	281	316	1175	335	350	374	296	1355	2530
1300	252	326	332	368	1278	347	311	348	352	1358	2636
1400	308	342	355	326	1331	350	436	365	377	1528	2859
1500	369	357	421	389	1536	378	405	438	394	1615	3151
1600	356	373	361	432	1522	400	389	449	449	1687	3209
1700	407	442	433	435	1717	403	414	424	417	1658	3375
1800	394	414	355	373	1536	456	418	404	437	1715	3251
1900	338	336	328	288	1290	371	361	371	318	1421	2711
2000	252	268	287	324	1131	337	354	342	345	1378	2509
2100	239	217	201	204	861	306	315	292	252	1165	2026
2200	188	157	176	141	662	236	272	199	180	887	1549
2300	116	116	107	85	424	161	183	153	128	625	1049
24-HOUR TOTALS:	24390					25359					49749

	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	815	1883	800	1607	800	3464
P.M.	1700	1717	1630	1715	1715	3415
DAILY	815	1883	1630	1715	800	3464



2023 MULTIMODAL QUALITY/ LEVEL OF SERVICE HANDBOOK

State of Florida
Department of Transportation
Systems Implementation Office
605 Suwannee St. MS 19
Tallahassee, FL 32399

www.fdot.gov/planning
January 2023

C2T, C4, C5, & C6

Motor Vehicle Arterial Generalized Service Volume Tables



(C2T-Rural Town)

Peak Hour Directional

	B	C	D	E
1 Lane	*	720	940	**
2 Lane	*	1,140	1,640	**
3 Lane	*	2,120	2,510	**

Peak Hour Two-Way

	B	C	D	E
2 Lane	*	1,310	1,710	**
4 Lane	*	2,070	2,980	**
6 Lane	*	3,850	4,560	**

AADT

	B	C	D	E
2 Lane	*	13,800	18,000	**
4 Lane	*	21,800	31,400	**
6 Lane	*	40,500	48,000	**



(C4-Urban General)

	B	C	D	E
1 Lane	*	*	870	1,190
2 Lane	*	1,210	1,790	2,020
3 Lane	*	2,210	2,810	2,990
4 Lane	*	2,590	3,310	3,510

	B	C	D	E
2 Lane	*	*	1,580	2,160
4 Lane	*	2,200	3,250	3,670
6 Lane	*	4,020	5,110	5,440
8 Lane	*	4,710	6,020	6,380

	B	C	D	E
2 Lane	*	*	17,600	24,000
4 Lane	*	24,400	36,100	40,800
6 Lane	*	44,700	56,800	60,400
8 Lane	*	52,300	66,900	70,900

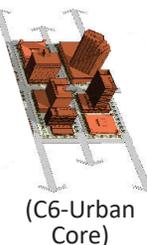


(C5-Urban Center)

	B	C	D	E
1 Lane	*	*	690	1,080
2 Lane	*	1,290	1,900	2,130
3 Lane	*	1,410	2,670	3,110
4 Lane	*	2,910	3,560	3,640

	B	C	D	E
2 Lane	*	*	1,250	1,960
4 Lane	*	2,350	3,450	3,870
6 Lane	*	2,560	4,850	5,650
8 Lane	*	5,290	6,470	6,620

	B	C	D	E
2 Lane	*	*	13,900	21,800
4 Lane	*	26,100	38,300	43,000
6 Lane	*	28,400	53,900	62,800
8 Lane	*	58,800	71,900	73,600



(C6-Urban Core)

	B	C	D	E
1 Lane	*	***	790	1,030
2 Lane	*	***	1,490	1,920
3 Lane	*	***	2,730	2,940
4 Lane	*	***	3,250	3,490

	B	C	D	E
2 Lane	*	***	1,440	1,870
4 Lane	*	***	2,710	3,490
6 Lane	*	***	4,960	5,350
8 Lane	*	***	5,910	6,350

	B	C	D	E
2 Lane	*	***	16,000	20,800
4 Lane	*	***	30,100	38,800
6 Lane	*	***	55,100	59,400
8 Lane	*	***	65,700	70,600

Adjustment Factors

The peak hour directional service volumes should be adjusted by multiplying by 1.2 for one-way facilities
 The AADT service volumes should be adjusted by multiplying 0.6 for one way facilities
 2 Lane Divided Roadway with an Exclusive Left Turn Lane(s): Multiply by 1.05
 2 lane Undivided Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.80

Exclusive right turn lane(s): Multiply by 1.05
 Multilane Undivided Roadway with an Exclusive Left Turn Lane(s): Multiply by 0.95
 Multilane Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.75
 Non-State Signalized Roadway: Multiply by 0.90

This table does not constitute a standard and should be used only for general planning applications. The table should not be used for corridor or intersection design, where more refined techniques exist.

* Cannot be achieved using table input value defaults.

** Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached.

APPENDIX D
Site Plan and Parking Calculations

A =	7
M =	16

Numerator 1.588360383

$$P = \frac{\left(\frac{A^M}{M!}\right)}{1 + A + \frac{A^2}{2} + \dots + \frac{A^M}{M!}}$$

Q= veh/Hr
A=Q*T
T=0.16
A= Veh

Denominator	Exponet (M)	Value (A)	Total (A ^M)	Exponet	FACT (M!)	(A ^M /M!)	Denominator P	P, %	Final
	0	1		1	0	1	1	1	100
	1	7		7	1	7	7	8	0.875 87.5
	2	7	49	2	2	24.5	32.5	0.753846154	75.38462
	3	7	343	3	6	57.16667	89.6666667	0.637546468	63.75465
	4	7	2401	4	24	100.0417	189.708333	0.527344608	52.73446
	5	7	16807	5	120	140.0583	329.766667	0.424719499	42.47195
	6	7	117649	6	720	163.4014	493.168056	0.331330035	33.133
	7	7	823543	7	5040	163.4014	656.569444	0.248871449	24.88714
	8	7	5764801	8	40320	142.9762	799.545666	0.178821827	17.88218
	9	7	40353607	9	362880	111.2037	910.749383	0.122101343	12.21013
	10	7	282475249	10	3628800	77.84261	988.591989	0.078740883	7.874088
	11	7	1977326743	11	39916800	49.5362	1038.12819	0.047716847	4.771685
	12	7	13841287201	12	479001600	28.89612	1067.02431	0.027081031	2.708103
	13	7	96889010407	13	6227020800	15.55945	1082.58376	0.014372513	1.437251
	14	7	6.78223E+11	14	87178291200	7.779724	1090.36348	0.007134982	0.713498
	15	7	4.74756E+12	15	1.30767E+12	3.630538	1093.99402	0.003318609	0.331861
	16	7	3.32329E+13	16	2.09228E+13	1.58836	1095.58238	0.001449786	0.144979
	17	7	2.32631E+14	17	3.55687E+14	0.654031	1096.23641	0.000596615	0.059661
	18	7	1.62841E+15	18	6.40237E+15	0.254345	1096.49076	0.000231963	0.023196
	19	7	1.13989E+16	19	1.21645E+17	0.093706	1096.58447	8.54528E-05	0.008545
	20	7	7.97923E+16	20	2.4329E+18	0.032797	1096.61726	2.99076E-05	0.002991
						1096.617			P = 0.001448418 0.145%