

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALL	CEILING
100 DINING ROOM	T200 24" X 24" TILE T402 INLAY	T111 TILE SIZE: REF. SCHEDULE T200 TILE SIZE: REF. SCHEDULE T125 FULL TILE	6252S, 2850S T111, T125 G-1 WALL COVERING	C4 2' X 7' ARMSTRONG, ULTIMA C3 GYP BOARD W/ PAINT 6252S
101 SERVING AREA	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS) S2 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	T111 HAND SINK WALL WP1 FRP PANEL	C3 GYP BOARD W/ SMOOTH WASHABLE PAINT
102 DRIVE-THRU STATION	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS) S2 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
103 KITCHEN	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS) S2 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP3 S.S. BEHIND COOK LINE WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
104 KITCHEN PREP.	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S1 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS) S2 6" H CONT. (KITCHEN EQUIPMENT ON 6" NSF APPROVED LEGS)	WP1 FRP PANEL	C2 2' X 4' SUSPENDED GRID WASHABLE VINYL COATED GYP BOARD PANELS
105 WALK-IN COOLER	S1 PLAIN S2 ABRASIVE IN HIGH TRAFFIC AREAS	S.S. / ALUMINUM WITH 3/8" RADIUS	EXT S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
105A WALK-IN FREEZER	GALVANIZED STAINLESS STEEL S1 SILKAL UNDER WIF SUBFLOOR	S.S. / ALUMINUM WITH 3/8" RADIUS	INT ALUMINUM GALVANIZED S.S. EXT S.S.	ALUMINUM GALVANIZED STAINLESS STEEL
106 MEN'S ROOM	T200 24" X 24" TILE	T108 FULL TILE SCHLUTER	T108 TILE	C3 GYP BOARD W/ 6252S SMOOTH WASHABLE PAINT
107 WOMEN'S ROOM	T200 24" X 24" TILE	T108 FULL TILE SCHLUTER	T108 TILE	C3 GYP BOARD W/ 6252S SMOOTH WASHABLE PAINT
108 VESTIBULE	T200 24" X 24" TILE	T125 FULL TILE	7069S T125	C3 GYP BOARD W/ 6252S SMOOTH WASHABLE PAINT
109 NOT USED	-	-	-	-
110 EXTERIOR STORAGE	SEALED CONCRETE, SMOOTH FINISH	-	WP1 FRP PANEL	C3 GYP BOARD W/ 6252S SMOOTH WASHABLE PAINT
111 ENTRY VESTIBULE	T200 24" X 24" TILE	T125 FULL TILE	2850S T125, W106	C3 GYP BOARD W/ 6252S SMOOTH WASHABLE PAINT

DOOR & HARDWARE SCHEDULE

CONTRACTOR TO PURCHASE DOOR HARDWARE & FRAME DIRECTLY FROM PANDA'S NATIONAL ACCOUNT SUPPLIER. SUPPLIER TO PROVIDE ALL STOREFRONT DOOR HARDWARE, P-LAM DOORS & FRAMES AND HM DOORS & FRAMES

NO.	DR MATERIAL	SIZE	FRAME	FACE/EDGE	THK.	CORE	LITE	RTG	PASSAGE	LOCKSET	ELECT. STRIKE W/ ENTRY KEYPAD	PRIVACY	S.F. PULL	S.F. PUSH	PANIC	BUTT	CONT. P/MD	FLOOR	WALL	REMOVABLE CENTER POST	THRESHOLD	LATCH GUARD	DET. ALARM	SENCERS	KICKPLATE	CLOSER	CHAIN RESTRAINT W/ SPRINGS (EA. DOOR)	REMARKS
D1	ALUMINUM STOREFRONT	(2) 3'-0" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KRAMEER CURTAIN 1020 SYSTEM. PULL ON EXTERIOR SIDE BY LOCKNET
D2	ALUMINUM STOREFRONT	3'-0" X 7'-0"	ALUM.	BLACK ALUM.	1 3/4"	HOLLOW	GLASS	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KRAMEER CURTAIN 1020 SYSTEM. PULL ON EXTERIOR SIDE BY LOCKNET
D3	S.C. WOOD	3'-0" X 7'-0"	H. MTL.	PLASTIC LAM. PRE-FINISHED	1 3/4"	SOLID	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KICKPLATE ON EA. SIDE OF DOOR	
D4	S.C. WOOD	3'-0" X 7'-0"	H. MTL.	PLASTIC LAM. PRE-FINISHED	1 3/4"	SOLID	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KICKPLATE ON INT. SIDE OF DOOR	
D5	HOLLOW METAL	3'-6" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KICKPLATE ON INT. SIDE OF DOOR	
D6	HOLLOW METAL	(2) 3'-0" X 7'-0"	H. MTL.	PAINTED	1 3/4"	INSUL.	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	KICKPLATE ON INT. SIDE OF DOOR	
D7	NOT USED	-	-	-	-	-	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	-	
D8	NOT USED	-	-	-	-	-	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	-	
D19	NOT USED	-	-	-	-	-	-	-	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	-	

CONTACT FOR QUOTING, ORDERING & LOGISTICS
APRIL WALDREN, PROJECT MANAGER
800-887-4307 EXT. 350 PHONE
AphIW@locknet.com, panda@locknet.com

ADDITIONAL CONTACTS:
THOMAS DOWNS, SALES MANAGER; ThomasD@locknet.com; 800-887-4307 x116
EDDIE ANDUEZA, DIR. ARCH. DOOR & HRDWR SOL.; eddiea@locknet.com; 859-432-2289

NOTE: CONTRACTOR HAS THE OPTION TO PURCHASE STOREFRONT HARDWARE FROM OTHER SOURCE. PROVIDED THE HARDWARE IS PER SPECS. NO SUBSTITUTIONS ALLOWED. STOREFRONT HARDWARE SPECS ARE PROVIDED IN THE PROJECT BID PACKAGE. COORDINATE WITH PANDA PROJECT MANAGER LISTED ON SHEET G-01

INSTALLED AND FURNISHED BY: G.C. UNLESS NOTED OTHERWISE

WALL SCHEDULE

NO.	DESCRIPTION
W1	3-5/8" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W2	3-5/8" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD ON ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W3	(2) 3-5/8" 20GA. METAL STUD WALLS W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W4	3-5/8" 20GA. METAL STUD LOW WALL W/ 5/8" TYPE "X" GYP. BD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.
W5	6" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W6	6" 20GA. METAL STUD WALL W/ 5/8" TYPE "X" GYP. BOARD ONE SIDE (SEE ARCHITECTURAL DETAILS & ELEVATIONS)
W7	3-5/8" 20GA. METAL STUD LOW WALL W/ 5/8" TYPE "X" GYP. BOARD BOTH SIDES. PROVIDE 3 1/2" KNEE-WALL BRACE/POST @ CORNERS AND @ 48" O.C.
W8	3-5/8" 20GA. METAL STUD LOW WALL W/ 5/8" TYPE "X" GYP. BOARD ONE SIDE. T.O.W. @ 30" A.F.F.
W9	2 1/2" 20GA. METAL STUD FURRING W/ 5/8" TYPE "X" GYP. BOARD ON ONE SIDE
W10	1 1/2" 20GA. METAL STUD FURRING W/ 5/8" TYPE "X" GYP. BOARD ON ONE SIDE

WALL PANEL SCHEDULE

NO.	MANUFACTURER	DESCRIPTION	MFG #	FINISH	REMARK
C7C	FAMILY BOOTH CANOPY	RICHFIELD, 209 W X 660 X 48.75H	-	-	SUPPLIED BY RICHFIELD/PANDA, INSTALLED BY GC
WP1	CRANE COMPOSITES INC.	F.R.P. THICKNESS: .075	LBCS.14	#636 (GRAY), SMISM	CONTACT: SALES@CRANECOMPOSITES.COM; 800-435-0080
WP2	KEC	S.S. PANEL (22 GA)	WP2	BRUSHED FINISH	FURNISHED BY PX, INSTALLED BY G.C.
WP3	KEC	S.S. PANEL (22 GA)	WP3	4" DIAMOND PATTERN FINISH	FURNISHED BY PX, INSTALLED BY G.C.

SPECIAL SURFACE SCHEDULE

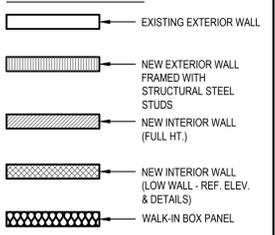
NO.	MANUFACTURER	DESCRIPTION	MFG #	STAIN/COLOR	FINISH	REMARK
OZ-8	DALTILE	ARTIFICIAL QUARTZ	OQ03	BROADWAY BLACK	POLISHED	SERVICE COUNTER & DRINK STATION PROVIDED BY PX, INSTALLED BY G.C.

PAINT SCHEDULE

NO.	MANUFACTURER	MFG #	COLOR	FINISH	REMARK
706530	SHERWIN-WILLIAMS	SW 7065	ARGOS	PRO INDUSTRIAL WATERBASED ACRYLIC URETHANE SEMI-GLOSS	REAR SERVICE DOOR, INTERIOR SIDE
6252S	SHERWIN-WILLIAMS	SW 6252	ICE CUBE	SUPERPAINT INTERIOR SATIN	RESTROOM & RESTROOM VESTIBULE CEILING, DINING ROOM SOFFIT
2850S	SHERWIN-WILLIAMS	SW 2850	CHELSEA GRAY	SUPERPAINT INTERIOR SATIN	DINING RM. WALLS, RESTROOM VESTIBULE WALLS
7069S	SHERWIN-WILLIAMS	SW 7069	IRON ORE	PRO INDUSTRIAL WATERBASED ACRYLIC URETHANE GLOSS	RESTROOM DOOR FRAMES
7069S	SHERWIN-WILLIAMS	SW 7069	IRON ORE	SUPERPAINT INTERIOR SATIN	FRONT & UNDERSIDE OF SERVICE LINE & BACK OF SERVICE LINE SOFFIT
7069S	SHERWIN-WILLIAMS	SW 7069	IRON ORE	PRO INDUSTRIAL WATERBASED ACRYLIC URETHANE SEMI-GLOSS	SERVICE DOORS, EXTERIOR SIDE

SUPPLIED BY GC USE SHERWIN WILLIAMS NATIONAL ACCOUNT #PARENT1096. CONTACT DENISE MATHENY 657.236.8418. denise.k.matheny@sherwin.com

WALL LEGEND



NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY PX-INSTALLED BY G.C.:

- PANEL DIVIDERS AT WP3
- INSIDE CORNER AT WP3 TO WP2
- FLASHING AT TOP OF BASE WP3
- WP2 PIECE AT LENGTH OF WALL

NOTE: THE FOLLOWING STAINLESS STEEL PROVIDED BY G.C-INSTALLED BY G.C.:

- INSTALL 18 GA STAINLESS STEEL CORNER GUARD & WALL CAP INSIDE KITCHEN

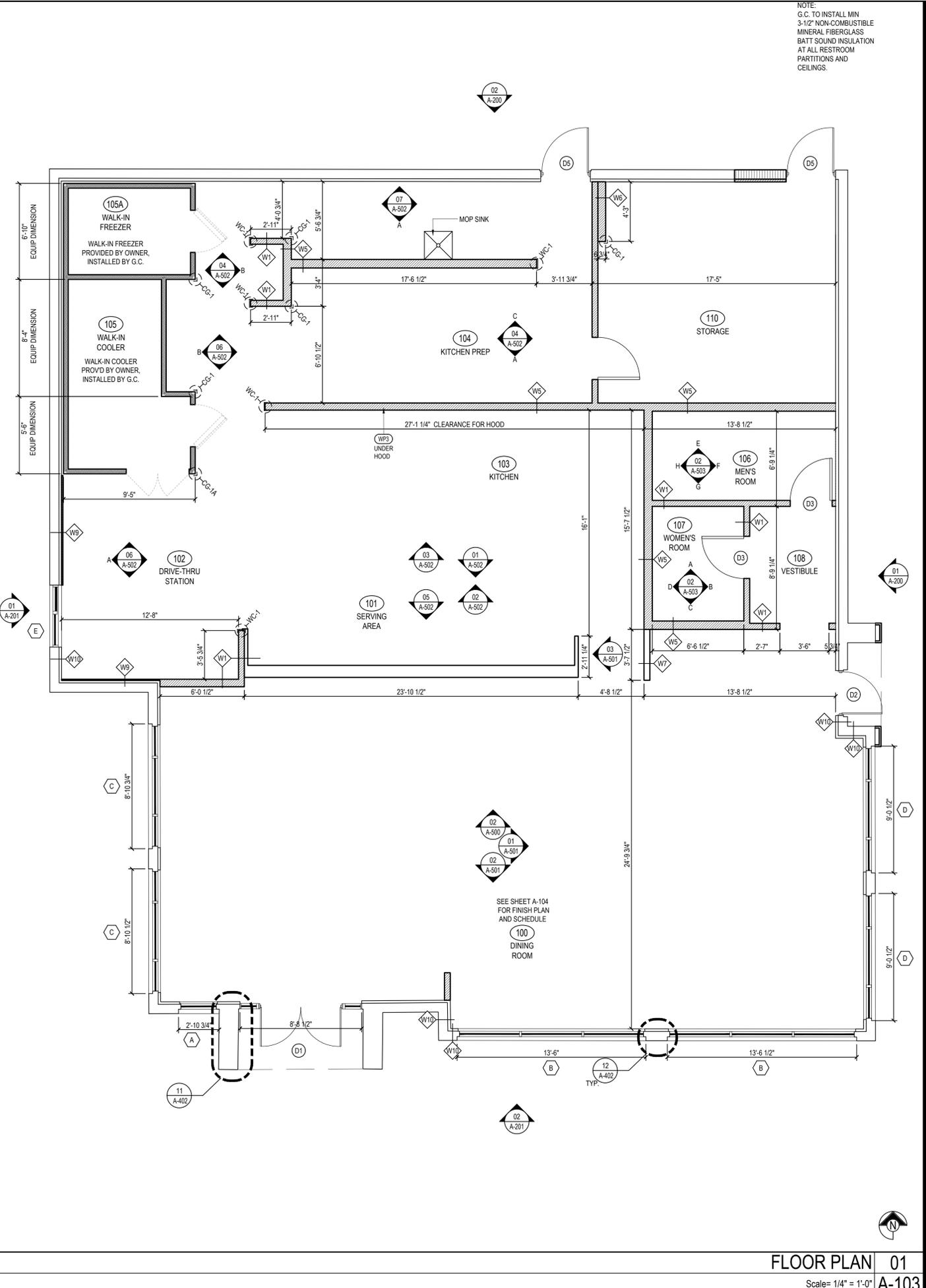


ALL OTHER STAINLESS STEEL BY G.C.

NOTE!!!!!!!!!!!!!!:
***ALL INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD**

NOTE:
CONTRACTOR TO NOTIFY 3rd PARTY VENDOR, PER THE VENDOR LIST, FOR WALL PRE-TREAT BEFORE CLOSING WALLS

TILE SCHEDULE (SEE SHEET A-104)



NOTE:
G.C. TO INSTALL MIN 3-1/2" NON-COMBUSTIBLE MINERAL FIBERGLASS BATT SOUND INSULATION AT ALL RESTROOM PARTITIONS AND CEILINGS.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California 91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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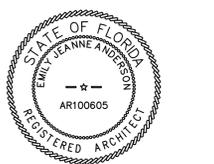
REVISIONS:

NO.	DESCRIPTION	DATE
1	PERMIT / BID SET	2025-08-29

ISSUE DATE:
1 PERMIT / BID SET 2025-08-29

PANDA PROJECT #: S8-26-D37783
ARCH PROJECT #: 2401053

Plans Prepared By
gph OPH, LLC
580 West Fulton St.
Sanford, FL 32711
Ph: 407.322.6841
License:
www.cphcorp.com Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
A Full Service A & E Firm Lndscp. Lic. No. LC0000298

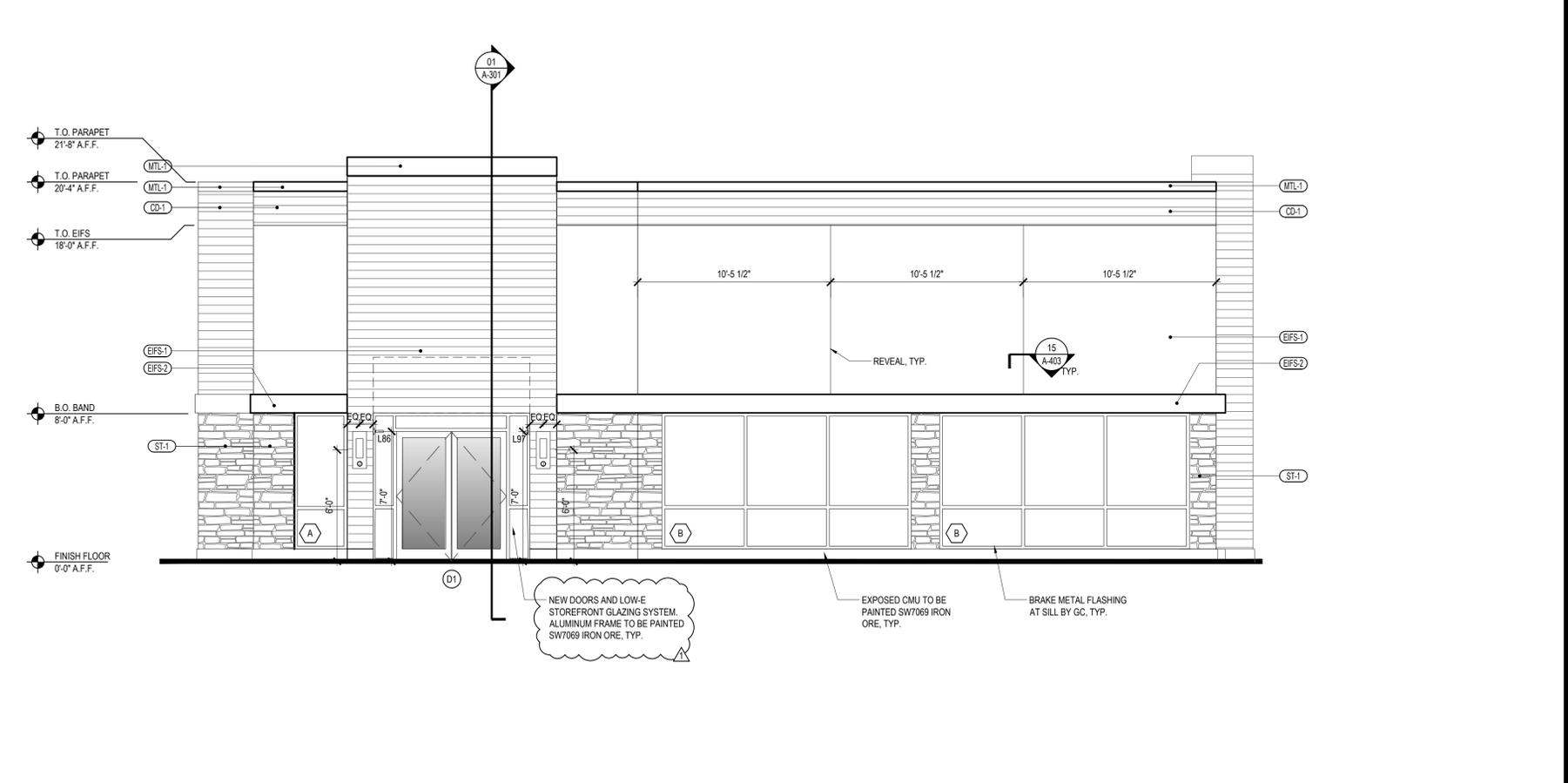
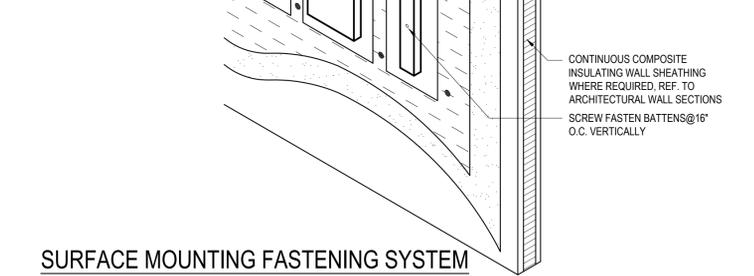
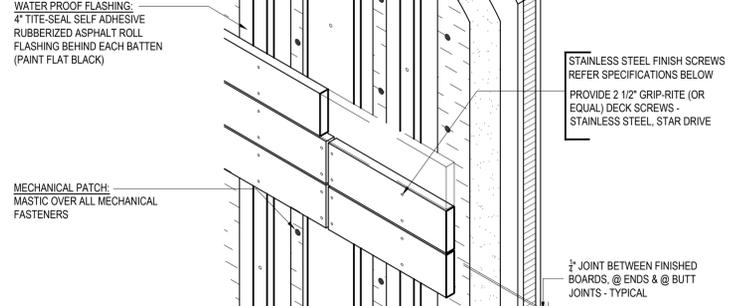
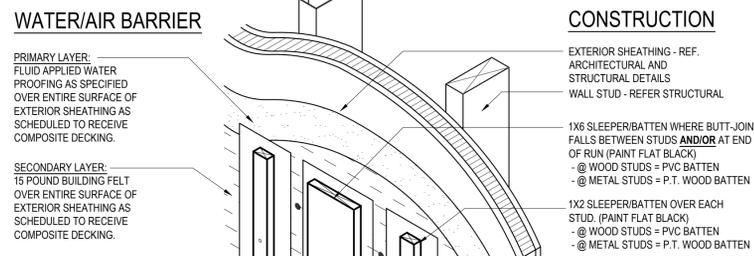
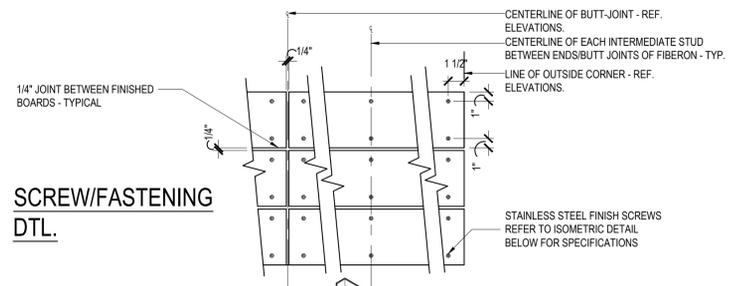


PANDA EXPRESS
PANDA INFILL
5681 W ATLANTIC BLVD.
MARGATE, FL 33063

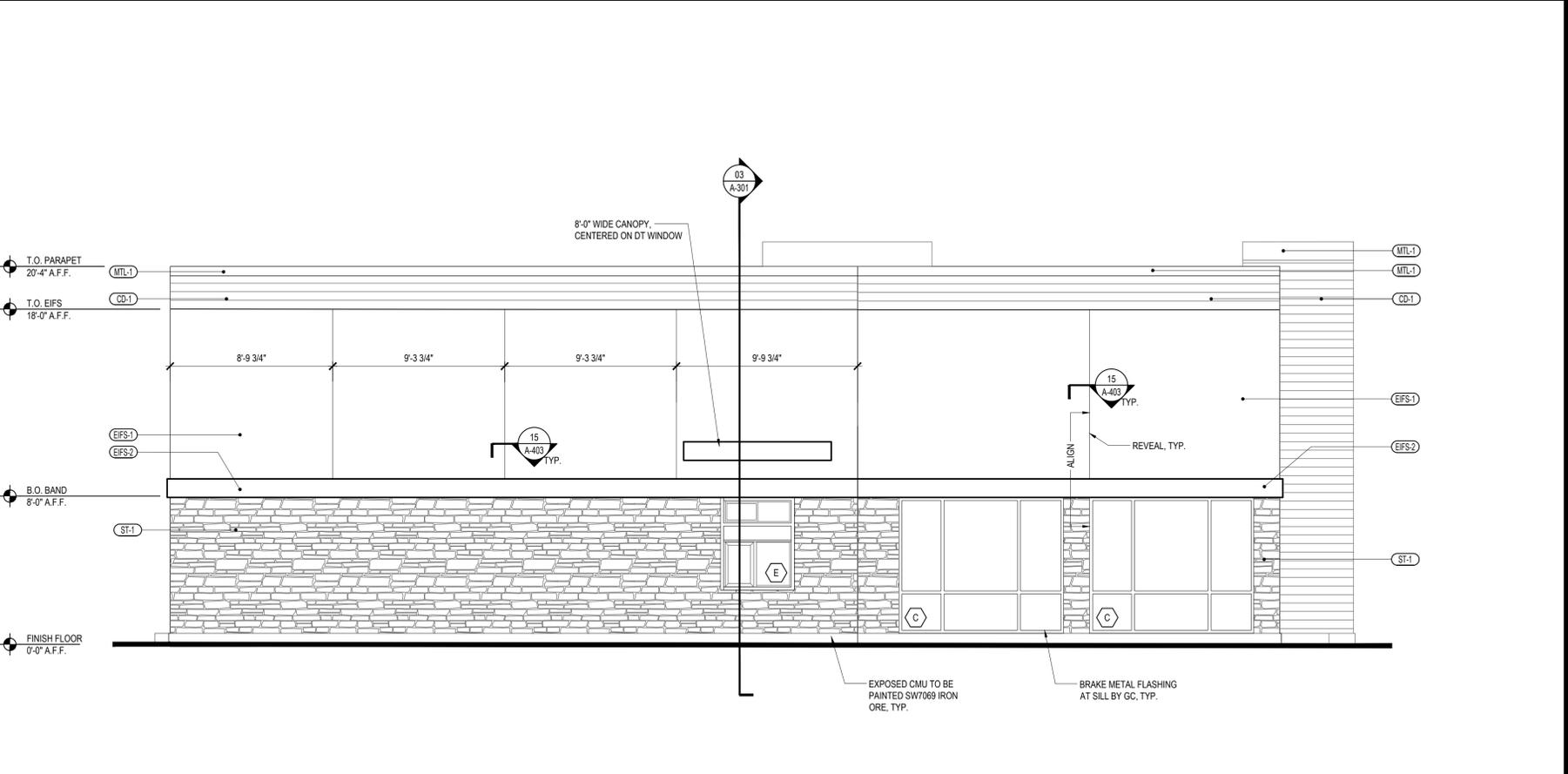
A-103

FLOOR PLAN
PANDA HOME NT

FLOOR PLAN 01
Scale= 1/4" = 1'-0"
A-103



ENTRY ELEVATION 02
Scale= 1/4" = 1'-0" A-201



*SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE
DRIVE-THRU ELEVATION 01
Scale= 1/4" = 1'-0" A-201



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REVISIONS:

1	DRG COMMENTS	2025-11-10

ISSUE DATE:

1	PERMIT / BID SET	2025-10-03
2	LL APPROVAL SET	2025-11-11

PANDA PROJECT #: S8-26-D37783
ARCH PROJECT #: 2401053

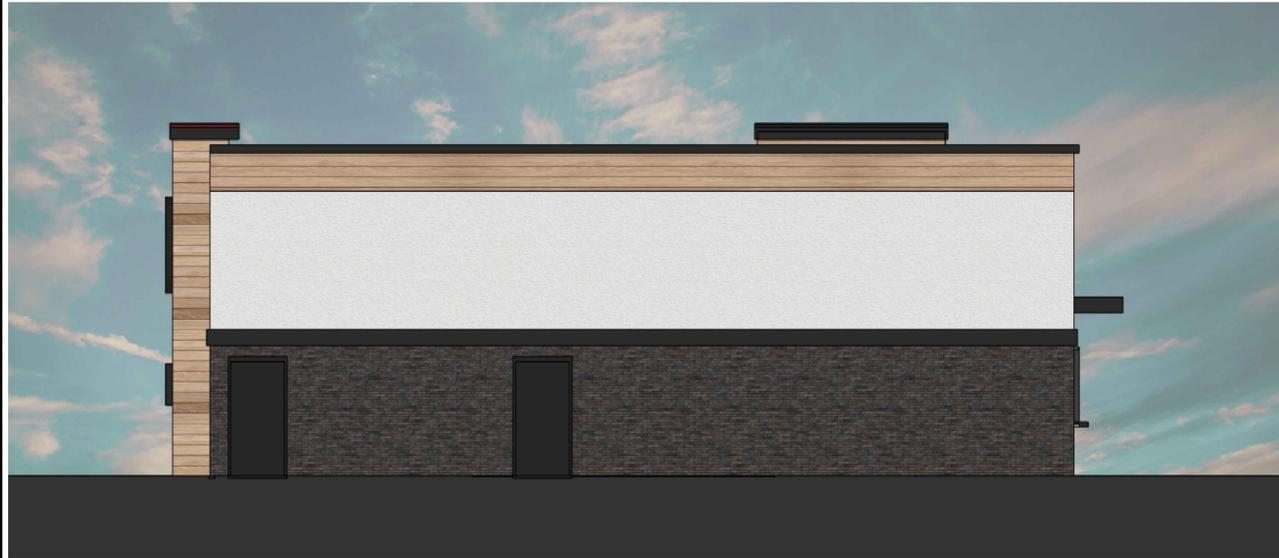
Plans Prepared By: **CPH, LLC**
500 West Fulton St.
Sanford, FL 32771
Ph: 407.322.6841
License: Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2609226
Landscape Lic. No. LC0000298

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A-201
EXTERIOR ELEVATIONS
PANDA HOME NT



REAR ELEVATION 03
N.T.S. A-202



FRONT ELEVATION 01
N.T.S. A-202



DRIVE-THRU ELEVATION 04
N.T.S. A-202



ENTRY ELEVATION 02
N.T.S. A-202



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REVISIONS:

ISSUE DATE:

1	PERMIT / BID SET	2025-08-29
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MARGATE, FL 33063

A-202

EXTERIOR ELEVATIONS

PANDA HOME NT

CIVIL PLANS:

DEV2024-301



STORE NUMBER: 5119
5681 W ATLANTIC BLVD
MARGATE, FL 33063

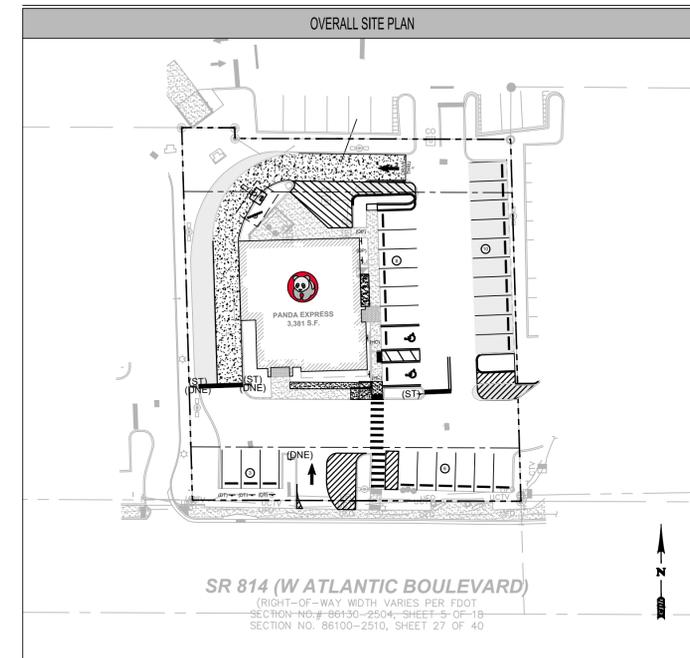
SECTION 36 - TOWNSHIP 48 SOUTH - RANGE 41 EAST

PREPARED BY:

PREPARED FOR:

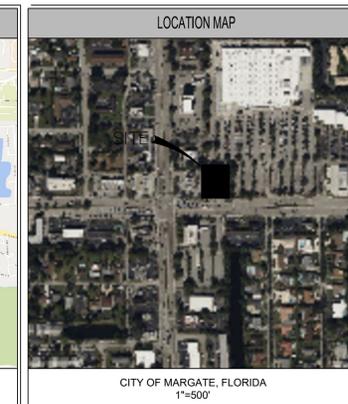
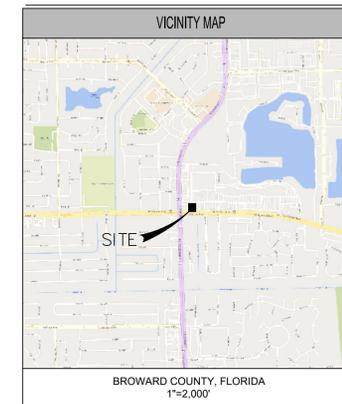


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SR 814 (W ATLANTIC BOULEVARD)

(RIGHT-OF-WAY WIDTH VARIES PER FOOT
SECTION NO. # 86130-2504-SHEET 5 OF 18
SECTION NO. 86100-2510, SHEET 27 OF 40



SITE INFORMATION

JURISDICTION:	CITY OF MARGATE
ZONING:	PLANNED AND MIXED USE DISTRICT CORRIDOR - C
FUTURE LAND USE:	ACTIVITY CENTER
OVERLAY DISTRICT:	N/A
ADDRESS:	5681 W ATLANTIC BLVD, MARGATE, FL 33063
PARCEL ID:	09-25-20-0000-0100-0000
STATEMENT OF INTENT:	
ADJACENT ZONING:	
NORTH:	CORRIDOR
EAST:	CORRIDOR
SOUTH:	ROW
WEST:	GATEWAY
REQUIRED BUILDING SETBACKS:	PROVIDED BUILDING SETBACKS:
(S) FRONT: 30'	(S) FRONT: 30.0'
(E) SIDE: 0'	(E) SIDE: 23.7'
(W) SIDE: 0'	(W) SIDE: 23.7'
(N) REAR: 27'	(N) REAR: 48.6'
REQUIRED LANDSCAPE STRIP SETBACKS:	PROVIDED LANDSCAPE STRIP SETBACKS:
(S) FRONT: 0'	(S) FRONT: 4.1'
(E) SIDE: 0'	(E) SIDE: 1.1'
(W) SIDE: 0'	(W) SIDE: 2.1'
(N) REAR: 0'	(N) REAR: 6.1'
MAX. BUILDING HEIGHT: 50'-0"	
EAST. BUILDING HEIGHT: 17'-0"	
REQUIRED PARKING:	
1 SPACE PER 3 SEATS OR 1 SPACE PER 100 SQ FT (WHICHEVER IS GREATER)	
63 SEATS / 3 SEATS = 20 SPACES	
3,381 SF / 100 SF = 34 SPACES	
PROPOSED PARKING:	
REGULAR: 25 (DMS) = 18' x 9'	
HANDICAP: 2 (DMS) = 18' x 12'	
TOTAL = 27	
DRIVE AISLE WIDTH: 22' MIN. (2 WAY)	
SITE AREA CALCULATIONS:	
SITE: 0.81 AC. (28,481 SF) (100%)	
PERVIOUS AREA: 0.11 AC. (4,596 SF) (17.4%)	
IMPERVIOUS AREA: 0.72 AC. (28,485 SF) (89.8%)	
BUILDING AREA COVERAGE: 0.08 AC. (3,381 SF) (12.8%)	
FLOOD HAZARD: FLOOD ZONE Xc	
FIRM MAP NO. 2207020352, DATED JULY 31, 2024.	
SITE LIGHTING:	
PHOTOMETRICS DESIGNED BY CPH. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTOMETRIC PLAN ON SHEET E-100, AND OWNER PRIOR TO CONSTRUCTION.	

NOTICE
THE SIZE OF THESE PLANS MAY HAVE BEEN SLIGHTLY ALTERED BY REPRODUCTION PROCESSES. THIS MUST BE CONSIDERED WHEN SCALING ANY REPRODUCED PLANS FOR THE PURPOSE OF COLLECTING DATA.

VERTICAL DATUM: NAVD 1988

PROJECT CONTACTS

CURRENT OWNER PREDESCO PROPERTY INVESTMENTS, LLC 7280 WEST PALMETTO PARKIN ROAD SUITE 105 BOCA RATON, FL 33433 ATTN: MICHAEL KENNY PHONE: (561) 797-6100 EMAIL: MIKE@PREDESCO.COM	DEVELOPER PANDA EXPRESS, INC. 1683 WALNUT GROVE AVE. ROSEMEAD, CA 91770 PHONE: (626) 799-9898 FAX: (626) 372-8288	CIVIL ENGINEER CPH CONSULTING, LLC JASON JAMES, P.E. 1992 SW 1ST ST. MIAMI, FL 33135 PHONE: (305) 274-4805	ARCHITECT CPH CONSULTING, LLC JOHN LENTI A I A 500 WEST FULTON STREET SANFORD, FL 32771 PHONE: (407) 322-6841	LAND SURVEYOR CPH CONSULTING, LLC PAUL KATREK 500 WEST FULTON STREET SANFORD, FL 32771 PHONE: (407) 322-6841
MEP CPH CONSULTING, LLC JEFFREY A. DEAL, P.E. 500 W. FULTON STREET SANFORD, FL 32771 PHONE: (407) 322-6841	SITE LIGHTING CPH CONSULTING, LLC GREG TAYLOR, P.E. 500 WEST FULTON STREET SANFORD, FL 32771 PHONE: (407) 322-6841	MUNICIPAL SEWER AGENCY CITY OF MARGATE UTILITY DIVISION 901 NW 66TH AVE MARGATE, FL 33063 ATTN: JACQUELINE EARL PHONE: (954) 884-3668	MUNICIPAL WATER AGENCY CITY OF MARGATE UTILITY DIVISION 901 NW 66TH AVE MARGATE, FL 33063 ATTN: JACQUELINE EARL PHONE: (954) 884-3668	ELECTRIC FPL - FLORIDA POWER & LIGHT 3000 SPRUCE CREEK RD PORT ORANGE, FL 32129 ATTN: GREGORY MALONE PHONE: (386) 322-3418
GAS TECO PEOPLES GAS 1363 JUPITER PARK DR JUPITER, FL 33458 ATTN: SHERRY HORTON PHONE: (772) 216-9622	TELEPHONE COMPANY AT&T 715 N FEDERAL HWY HOLLYWOOD, FL 33020 ATTN: EDUARDO BARCELO PHONE: (754) 295-7754	LANDSCAPE ARCHITECT CPH CONSULTING, LLC DANITA R. BRYANT, PLA 500 W. FULTON STREET SANFORD, FL 32771 PHONE: (407) 322-6841	SIGNAGE ATLAS SIGN INDUSTRIES 901 W. COMMERCIAL DR. CONCORD, NC 28025 ATTN: KAYLYN SANDMEYER PHONE: (561) 863-6659 EMAIL: KAYLYN.S@ATLASBTW.COM	FIRE CITY OF MARGATE BUILDING DEPARTMENT 901 NW 66TH AVENUE MARGATE, FL 33063 ATTN: DAVID SCHOLL, FIRE CODE OFFICIAL PHONE: (954) 970-3004 EMAIL: DSCHOLL@MARGATEFL.COM
GEOTECHNICAL REPORT TERRACON CONSULTANTS, INC. 1675 LEE ROAD WINTER PARK, FL 32789 ATTN: BRENDAN O'BRIEN PHONE: (407) 740-6110				

APPROVAL AGENCIES

WATER MANAGEMENT DISTRICT
SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SPWMD)
3301 GUN CLUB ROAD
WEST PALM BEACH, FL 33406
PHONE: (561) 686-8800

CITY OF MARGATE
DEVELOPMENT SERVICES DEPARTMENT
901 NW 66TH AVENUE
MARGATE, FL 33063
ATTN: CHRISTOPHER M. GRATZ, SENIOR PLANNER, AICP
PHONE: (954) 984-3685
EMAIL: CGRATZ@MARGATEFL.COM

CITY OF MARGATE ENGINEERING DEPARTMENT
ENVIRONMENTAL AND ENGINEERING SERVICES
901 NW 66TH AVENUE
MARGATE, FL 33063
ATTN: CURT KEYSER, DIRECTOR
PHONE: (954) 972-0828
EMAIL: CKEYSER@MARGATEFL.COM

LEGAL DESCRIPTION:

(PER COMMITMENT FOR TITLE INSURANCE BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 1213711, COMMITMENT DATE 07/09/2025, AT 8:00 A.M., REVISION NO. "REV B, ON MAY 8, 2025"

PARCEL 1:
A PORTION OF SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST, BEING A PORTION OF THE SHOPPING CENTER TRACT AS SHOWN ON THE PLAT OF MARGATE REALTY NO. 1, AS RECORDED IN PLAT BOOK 42, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE EAST 1/4 CORNER OF SAID SECTION 36, RUN NORTH 88° 44'58" WEST, ALONG THE SOUTH LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 36 FOR A DISTANCE OF 746.68 FEET; THENCE RUN NORTH 0° 36'05" WEST FOR A DISTANCE OF 53.03 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE CONTINUE NORTH 0° 36'05" WEST, ALONG THE LAST DESCRIBED COURSE FOR A DISTANCE OF 170.00 FEET; THENCE RUN NORTH 88° 44'58" WEST FOR A DISTANCE OF 130.00 FEET; THENCE RUN NORTH 0° 36'05" WEST FOR A DISTANCE OF 5.00 FEET; THENCE RUN NORTH 88° 44'58" WEST FOR A DISTANCE OF 25.00 FEET; THENCE RUN SOUTH 0° 36'05" EAST FOR A DISTANCE OF 175.00 FEET; THENCE RUN SOUTH 88° 44'58" EAST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF WEST ATLANTIC BOULEVARD FOR A DISTANCE OF 155.00 FEET TO THE POINT OF BEGINNING

PARCEL 2:
NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND PARKING AS CONTAINED IN THE CROSS PARKING AGREEMENT DATED JULY 20, 1977, FILED SEPTEMBER 30, 1977, IN OFFICIAL RECORDS BOOK 7226, PAGE 316, AS AFFECTED BY OFFICIAL RECORDS BOOK 31710, PAGE 1653, BROWARD COUNTY, FLORIDA RECORDS.

PANDA EXPRESS STANDARD NOTES

- THE GEOTECHNICAL INVESTIGATION PREPARED BY XXX DATED XXXX AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORTS RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORTS RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
- CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFF SITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

24 HOUR CONTACT:
PANDA PM

JOE CELENTO
(912) 272-4811



www.sunshine811.com



PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA
91770
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Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

DRAWN BY: H.F.

PANDA PROJECT #: D37783

CIVIL PROJECT #: 2401053



Jason L. James, State of Florida, Professional Engineer, License No. 76936. This item has been digitally signed and sealed by Jason L. James, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



JASON L. JAMES, P.E.
FL. P.E. No. 76936
08/26/2025

PANDA EXPRESS

PANDA HOME
5681 W ATLANTIC BLVD
MARGATE, FL 33063

COVER SHEET

C01.0

GENERAL PROVISIONS

1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.
2. CONTRACTOR, AS PART OF THE BASE BID, SHALL FIELD LOCATE ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA WITHIN THE 30 DAY PERIOD PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL REVIEW THE PLANS AND SHALL NOTE ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
3. CONTRACTORS, AS PART OF THE BASE BID, SHALL PROVIDE ALL COORDINATION WITH UTILITY PROVIDERS TO PROVIDE FOR THE MATERIALS AND WORK NEEDED TO PROVIDE SERVICE TO THE PROJECT.
4. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR ALL DEMOLITION OF ABOVE GROUND AND UNDERGROUND IMPROVEMENTS IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS NOTED ON THE PLANS. UNLESS APPROVED IN WRITING FROM THE OWNER, ALL MATERIALS SHALL BE REMOVED FROM THE SITE AS PART OF THE BASE BID.
5. ALL DETAILS AND REFERENCES TO FOOT REFER TO THE LATEST EDITION OF THE FOOT DESIGN STANDARDS.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY TRENCHES TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE FIGHTING SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICT AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR THE IN-S CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
7. CONTRACTOR AND HIS SURVEYOR SHALL NOTE THE PROJECT BENCHMARK INFORMATION PROVIDED IN THE PLANS AND VERIFY PRIOR TO CONSTRUCTION.
8. ALL CONSTRUCTION PROJECTS 1 OR MORE ACRES IN SIZE THAT DISCHARGE TO OFFSITE AREAS ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGE FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES. IN ORDER TO MEET NPDES REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING, INSPECTING, MAINTAINING, AND REPORTING ON ALL ELEMENTS OF THE SWPPP, COMPLETING AND SUBMITTING THE REQUIRED NOTICE OF INTENT (NOI) AND NOTICE OF CONSTRUCTION (NOC) FORMS AS THE OPERATOR, AND PAYING ALL ASSOCIATED FEES. FOR PROJECTS LESS THAN 1 ACRE IN SIZE THAT ARE NOT REQUIRED TO COMPLY WITH THE NPDES GENERAL PERMIT, THE CONTRACTOR IS STILL RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
9. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNERS SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
10. BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS. CPH, INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.
11. THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS, WHICH CONTAIN THE NAME, ADDRESS, AND LOGO OF THE PROFESSIONAL. CPH, INC. IS NOT RESPONSIBLE FOR DRAWINGS PREPARED BY OTHER PROFESSIONALS.
12. THE CONTRACTOR SHALL SUBMIT ONE ELECTRONIC COPY OF SHOP DRAWINGS TO THE ENGINEER TO KEEP FOR HIS RECORDS. THE ENGINEER WILL NOT PROVIDE FOR APPROVAL OF SHOP DRAWINGS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND APPROVE PRIOR TO ORDERING THE MATERIALS. ANY DISCREPANCIES IDENTIFIED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
13. PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY, BY SAME.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING. AS A MINIMUM, TESTING SHALL INCLUDE A) PIPING AND STRUCTURAL EXCAVATION, BEDDING AND BACKFILL MATERIALS AND DENSITY TESTS; B) DETERMINATION OF COMPACTIVE EFFORT NEEDED FOR COMPLIANCE WITH THE DENSITY REQUIREMENTS; C) PORTLAND CEMENT CONCRETE AND ASPHALT PAVING MIXTURE DESIGN MIX REVIEW, MATERIALS, FIELD SLUMP AND AIR CONTENT, AND FIELD AND LAB CURED STRENGTH SAMPLES AND TESTING.
15. IN ADDITION TO QUALITY CONTROL TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OR APPROVALS FOR ANY WORK (OR ANY PART THEREOF) IF LAWS OR REGULATIONS OF ANY PUBLIC BODY HAVING JURISDICTION SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVAL. THE CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION THEREWITH AND SHALL FURNISH THE OWNER AND ENGINEER THE REQUIRED CERTIFICATES OF INSPECTION, TESTING OR APPROVAL.
16. ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER, APPROVED IN WRITING, AND COMPLYING WITH THE LATEST EDITION OF THE "RECOMMENDED REQUIREMENTS FOR INDEPENDENT LABORATORY QUALIFICATION", PUBLISHED BY THE AMERICAN COUNCIL OF INDEPENDENT LABORATORIES.
17. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.
18. THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL INSTALLED PIPELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, ACCUMULATED SILT IN PONDS, PLUS ALL ADJACENT AREAS AFFECTED BY CONSTRUCTION, AS DIRECTED BY THE OWNER OR JURISDICTIONAL AGENCY. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE OWNER.
19. ALL DISTURBED AREAS WITHIN RIGHT OF WAYS SHALL BE SODED.

20. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT BE LIMITED, FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
21. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (89-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
22. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING EXCAVATION.
23. THE GENERAL CONTRACTOR TO COORDINATE WITH LOCAL MAIL CARRIER TO INQUIRE IF MAIL CAN BE DELIVERED TO STORE. IF NOT GENERAL CONTRACTOR TO COORDINATE LOCATION WITH LOCAL POST OFFICE AND PROVIDE AND INSTALL MAILBOX.

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AS-BUILT DRAWING REQUIREMENTS

1. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER AT LEAST THREE WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDA LICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY ALL AS-BUILT SURVEY REQUIREMENTS BY THE GOVERNING AGENCIES, INCLUDING CITY OF MARGATE AS-BUILT REQUIREMENTS CHECKLIST, PRIOR TO START OF CONSTRUCTION TO ENSURE THAT THE REQUIRED AS-BUILT INFORMATION IS PROVIDED FOR.
2. ALL RECORD DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR IN ACAD FORMAT USING CONSTRUCTION PLAN SHEETS PROVIDED BY THE ENGINEER. AS-BUILT INFORMATION SHALL BE FIELD VERIFIED, MEASURED, ADDED TO THE ACAD FILES OF THE CONSTRUCTION PLAN SHEETS PROVIDED BY THE ENGINEER, AND CERTIFIED, SIGNED AND SEALED BY THE CONTRACTOR'S LICENSED SURVEYOR WHO WILL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND ELEVATIONS.
3. THE AS-BUILT INFORMATION IS TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - A. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, INLETS AND CLEANOUTS, INCLUDING STRUCTURE TOP AND INVERT ELEVATIONS.
 - B. DISTANCE ALONG PIPELINES BETWEEN STRUCTURES.
 - C. STORMWATER POND TOP OF BERM AND POND BOTTOM ELEVATIONS AND HORIZONTAL DIMENSIONS MEASURED AT A MINIMUM OF TEN LOCATIONS PER POND, AT LOCATIONS DESIGNATED BY THE ENGINEER. TOP OF POND HORIZONTAL DIMENSIONS ARE ALSO TO BE TIED TO PROPERTY CORNERS, EASEMENTS, AND RIGHTS-OF-WAY.
 - D. STORMWATER CONTROL STRUCTURE DIMENSIONS AND ELEVATIONS, INCLUDING ALL WEIRS, SLOTS, ORIFICES, GRATES, AND SKIMMERS.
 - E. STORMWATER CONVEYANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, CONTOURS, AND CROSS SECTIONS.
 - F. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL UTILITY VALVES, FITTINGS, CONNECTION POINTS, ETC.
 - G. VERTICAL ELEVATIONS OF ALL PIPELINES AT CROSSINGS OF POTABLE WATER MAINS (WHETHER THE WATER MAIN IS EXISTING OR NEW) IN ORDER TO DOCUMENT THAT THE MINIMUM REQUIRED VERTICAL SEPARATION HAS BEEN MET.
 - H. UTILITY PIPELINE TIED HORIZONTALLY TO EDGE OF PAVEMENT AND RIGHT-OF-WAY LINES, LOCATED EVERY 200-FT PLUS ALL CHANGES IN HORIZONTAL OFFSET.

4. IN CASES WHERE THE OWNER DETERMINES PARTIAL CLEARANCES FROM PERMITTING AGENCIES ARE BENEFICIAL TO THE OWNER FOR COMPLETED PORTIONS OF THE PROJECT, PROVIDE PRELIMINARY AS-BUILT DRAWINGS (ACAD FORMAT) TO THE ENGINEER FOR ITS USE IN PREPARING THE PARTIAL CLEARANCE APPLICATIONS FOR THE OWNER.
5. COMPLETE AS-BUILT DRAWINGS THAT ARE FOUND TO BE SATISFACTORY AS A RESULT OF THE ENGINEER'S REVIEW WILL BE USED AS THE BASIS FOR THE FINAL PROJECT RECORD DRAWINGS PREPARED BY THE ENGINEER USING THE CONTRACTOR PROVIDED AS-BUILT DRAWINGS PLUS ENGINEER ADDED INFORMATION.

6. CONTINUOUSLY MAINTAIN EXCAVATIONS IN A DRY CONDITION WITH POSITIVE DEWATERING METHODS DURING PREPARATION OF SUBGRADE, INSTALLATION OF PIPE, AND CONSTRUCTION OF STRUCTURES UNTIL THE CRITICAL PERIOD OF CONSTRUCTION AND/OR BACKFILL IS COMPLETED TO PREVENT DAMAGE OF SUBGRADE SUPPORT, PIPING, STRUCTURE, SIDE SLOPES, OR ADJACENT FACILITIES FROM FLOTATION OR OTHER HYDROSTATIC PRESSURE IMBALANCE.
7. WHEN CONSTRUCTION IS COMPLETE, REMOVE ALL DEWATERING EQUIPMENT FROM THE SITE, INCLUDING WELLS AND RELATED TEMPORARY ELECTRICAL SERVICE.

8. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNERS SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
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10. BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS. CPH, INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.
11. THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS, WHICH CONTAIN THE NAME, ADDRESS, AND LOGO OF THE PROFESSIONAL. CPH, INC. IS NOT RESPONSIBLE FOR DRAWINGS PREPARED BY OTHER PROFESSIONALS.
12. THE CONTRACTOR SHALL SUBMIT ONE ELECTRONIC COPY OF SHOP DRAWINGS TO THE ENGINEER TO KEEP FOR HIS RECORDS. THE ENGINEER WILL NOT PROVIDE FOR APPROVAL OF SHOP DRAWINGS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND APPROVE PRIOR TO ORDERING THE MATERIALS. ANY DISCREPANCIES IDENTIFIED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

13. PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY, BY SAME.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING. AS A MINIMUM, TESTING SHALL INCLUDE A) PIPING AND STRUCTURAL EXCAVATION, BEDDING AND BACKFILL MATERIALS AND DENSITY TESTS; B) DETERMINATION OF COMPACTIVE EFFORT NEEDED FOR COMPLIANCE WITH THE DENSITY REQUIREMENTS; C) PORTLAND CEMENT CONCRETE AND ASPHALT PAVING MIXTURE DESIGN MIX REVIEW, MATERIALS, FIELD SLUMP AND AIR CONTENT, AND FIELD AND LAB CURED STRENGTH SAMPLES AND TESTING.
15. IN ADDITION TO QUALITY CONTROL TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OR APPROVALS FOR ANY WORK (OR ANY PART THEREOF) IF LAWS OR REGULATIONS OF ANY PUBLIC BODY HAVING JURISDICTION SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVAL. THE CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION THEREWITH AND SHALL FURNISH THE OWNER AND ENGINEER THE REQUIRED CERTIFICATES OF INSPECTION, TESTING OR APPROVAL.

16. ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER, APPROVED IN WRITING, AND COMPLYING WITH THE LATEST EDITION OF THE "RECOMMENDED REQUIREMENTS FOR INDEPENDENT LABORATORY QUALIFICATION", PUBLISHED BY THE AMERICAN COUNCIL OF INDEPENDENT LABORATORIES.
17. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.
18. THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL INSTALLED PIPELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, ACCUMULATED SILT IN PONDS, PLUS ALL ADJACENT AREAS AFFECTED BY CONSTRUCTION, AS DIRECTED BY THE OWNER OR JURISDICTIONAL AGENCY. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE OWNER.
19. ALL DISTURBED AREAS WITHIN RIGHT OF WAYS SHALL BE SODED.

20. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT BE LIMITED, FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
21. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (89-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
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SANITARY SEWER SYSTEMS

1. THE ENTITY THAT WILL OPERATE AND MAINTAIN THE PUBLIC SEWER SYSTEM SHOWN ON THESE PLANS IS CITY OF MARGATE UTILITY. SEWER SYSTEM ON SITE OR WITHIN THE PRIVATE UTILITY EASEMENT WILL BE PRIVATELY MAINTAINED. THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF CITY OF MARGATE UTILITY.
2. INSTALL ALL SEWER MAINS AT A MINIMUM 36 INCHES OF COVER.
3. JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D3212 USING RUBBER GASKETS CONFORMING TO ASTM F477.
4. FITTINGS SHALL CONFORM TO THE SAME REQUIREMENTS AS THE PIPE. PROVIDE ADAPTERS AS REQUIRED TO JOIN PVC PIPE TO PIPE, FITTINGS AND EQUIPMENT OF OTHER MATERIALS. SOLVENT CEMENT SHALL BE AS RECOMMENDED BY THE PIPE MANUFACTURER.
5. SEWER PIPE SHALL BE COLOR CODED GREEN, STENCILED "SEWER LINE" (2" LETTERING ON TWO SIDES OF THE PIPE IN AT LEAST THREE AREAS PER PIPE SECTION).
6. INSTALL WARNING TAPE ALONG ALL SEWER PIPELINES. TAPE SHALL BE 6-INCH WIDE VINYL CONTINUOUS TAPE, COLORED GREEN WITH BLACK LETTERING CODED AND WORDED "CAUTION: SEWER BURIED BELOW". INSTALL ALONG PIPELINE, 2 FEET ABOVE PIPE, MINIMUM OF 1 FOOT BELOW GRADE.
7. CONNECTIONS TO EXISTING SEWER SHALL BE CONDUCTED IN SUCH A MANNER THAT THE EXISTING SEWER REMAINS IN OPERATION. PROVIDE BY PASS PUMPING OF EXISTING FLOWS OR COLLECT AND LEGALLY DISPOSE OF EXISTING SEWER FLOW AS NEEDED TO ACCOMMODATE CONSTRUCTION WHILE KEEPING EXISTING SEWER IN SERVICE.
8. PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL INSTALLED LINES AND MANHOLES. TEST PROCEDURES SHALL BE APPROVED BY THE ENGINEER. ALL TESTS SHALL BE MADE IN THE PRESENCE OF THE ENGINEER AND UTILITY. NOTIFY THE ENGINEER AND THE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY WORK IS TO BE INSPECTED OR TESTED.
9. PROVIDE ALL EQUIPMENT FOR TESTING. INCREMENTS ON GAGES USED FOR LOW PRESSURE AIR TESTING SHALL BE OF SCALED TO THE NEAREST 0.1 PSI. GAGES, PUMPS, AND HOSES SHALL BE IN GOOD WORKING ORDER WITH NO NOTICEABLE LEAKS.
10. ALL SERVICE LATERALS SHALL BE COMPLETED PRIOR TO TESTING, AND ARE SUBJECT TO THE SAME TESTING REQUIREMENTS AS THE MAIN LINE.
11. PROVIDE LIGHT SOURCE AND MIRRORS FOR LAMPING OF SEWER. ANY SEWER IN WHICH THE DIRECT LIGHT OF A LAMP CANNOT BE VIEWED IN EITHER DIRECTION, FULL CIRCLE, BETWEEN ADJACENT MANHOLES SHALL BE CONSIDERED UNSATISFACTORY, UNLESS THE LINE IS DESIGNED WITH HORIZONTAL DEFLECTIONS, AND SHALL BE REPAIRED BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION.
12. CONDUCT LOW PRESSURE AIR TESTING (4.0 PSI INITIAL PRESSURE) OF INSTALLED SEWER PIPING IN ACCORDANCE WITH ASTM F1417. MAXIMUM ALLOWABLE LEAKAGE IS 0.0015 CUBIC FEET PER MINUTE PER SQUARE FOOT INTERNAL SURFACE AREA BEING TESTED. ALLOWABLE AIR PRESSURE DROP DURING THE TEST IS 0.5 PSIG. MINIMUM REQUIRED TEST TIME (DURATION) IS: A) 4" PIPE = 1 MIN 53 SEC. B) 6" PIPE = 2 MIN 50 SEC. OR 0.427 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER. C) 8" PIPE = 3 MIN 47 SEC. OR 0.760 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER. D) 10" PIPE = 4 MIN 43 SEC. OR 1.187 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER. E) 12" PIPE = 5 MIN 40 SEC. OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER.
13. CONDUCT DEFLECTION TESTING OF PIPELINE AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. MAXIMUM ALLOWABLE PIPE DEFLECTION IS 5%. MEASURE DEFLECTION BY MANUALLY PULLING A MANDREL THROUGH THE PIPE. THE MINIMUM MANDREL OUTER DIAMETER SHALL BE IN ACCORDANCE WITH THE FOLLOWING: 6" SEWER = 5.45" MANDREL; 8" SEWER = 7.28" MANDREL; 10" SEWER = 9.08" MANDREL; 12" SEWER = 10.79" MANDREL; 15" SEWER = 13.20" MANDREL; 18" SEWER = 16.13" MANDREL; 21" SEWER = 19.00" MANDREL; 24" SEWER = 21.36" MANDREL; 27" SEWER = 24.06" MANDREL.
15. DEFLECTION TESTING IS CONSIDERED SATISFACTORY IF THE MANDREL CAN BE PULLED BY HAND THROUGH THE PIPE BEING TESTED. IF THE MANDREL CANNOT BE PULLED THROUGH THE PIPE, REPLACE OR CORRECT THE PIPE AND RETEST UNTIL TESTING IS SATISFACTORY. ANY PIPE REMOVED OR CORRECTED DUE TO FAILING DEFLECTION TESTING SHALL ALSO BE RE-TESTED FOR LEAKAGE.

PAVING, SIDEWALKS, AND CURBING

1. MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. ROADWAY PAVING, BASE, AND SUBGRADE THICKNESSES SHALL BE IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS AND IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
3. SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND SHALL BE IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
4. CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. ALL CURBS SHALL HAVE SAW CUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.
5. FIELD COMPACTION DENSITY, STABILITY, AND THICKNESS TESTING FREQUENCIES OF SUB-BASE, BASE, AND ASPHALT SHALL BE TESTED ONCE EVERY 200 LINEAR FEET OF PAVING PER 24" WIDE STRIP, STAGGERED LEFT, CENTER AND RIGHT OF CENTERLINE. WHERE LESS THAN 300 LINEAR FEET OF SUB-BASE, BASE, AND ASPHALT IS PLACED IN ONE DAY, PROVIDE MIN. OF ONE TEST FOR EACH PER DAY'S CONSTRUCTION AT A LOCATION DESIGNATED BY THE ENGINEER. ASPHALT EXTRACTION GRADATION SHALL BE TESTED FROM GRAB SAMPLES COLLECTED ONCE EVERY 1800 SQUARE YARDS OF ASPHALT DELIVERED TO THE SITE (OR A MINIMUM OF ONCE PER DAY).

PRECAST STRUCTURES AND APPURTENANCES

1. ALL MANHOLES SHALL BE PRECAST CONSTRUCTION. THE MINIMUM SIZE DIAMETER OF MANHOLES SHALL BE 48" FOR SEWER LINES 21" IN DIAMETER OR LESS. INTEGRALLY CAST STEPS WITHIN PRECAST STRUCTURES ARE NOT ALLOWED.
2. BASES SHALL BE ONE-PIECE PRECAST BASE SECTIONS CONSISTING OF INTEGRALLY CAST SLAB, BOTTOM RING SECTION AND CONCRETE FLOW CHANNELS. BASE SECTIONS SHALL HAVE INTEGRAL INVERTS WITH GASKETS TO MATCH THE PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL INVERT ANGLES. PROVIDE OUTLET STUBS WITH JOINTS TO MATCH THE PIPE.
3. RISERS SHALL BE PRECAST REINFORCED CONCRETE PER ASTM C478, MANUFACTURED USING SULFATE RESISTANT CEMENT (ASTM C150, TYPE II). RISERS SHALL BE 48-INCH DIAMETER UNLESS OTHERWISE INDICATED AND SHALL HAVE A MINIMUM WALL THICKNESS OF 5 INCHES.
4. GASKETS FOR SEATING PRECAST SECTIONS SHALL BE COLD ADHESIVE PREFORMED PLASTIC GASKETS CONFORMING TO FDOT SPECIFICATION 942-2, UNLESS OTHERWISE INDICATED.
5. UNLESS OTHERWISE INDICATED, CONE TOP SECTIONS SHALL BE PRECAST, ECCENTRIC TYPE WITH 24-INCH DIAMETER TOP OPENING CONFORMING TO ASTM C478. PROVIDE 8-INCH MINIMUM THICKNESS FLAT SLAB TOPS WITH ECCENTRIC 24 INCH DIAMETER OPENING, UNLESS OTHERWISE INDICATED.
6. PROVIDE A FLEXIBLE WATERTIGHT SEAL OF THE PIPE TO THE MANHOLE. CONNECTION OF CONCRETE PIPE TO THE MANHOLE SHALL BE MADE WITH NON-SHRINK METALLIC GROUT. CONNECTION OF DUCTILE IRON OR PVC PIPE TO THE MANHOLE SHALL PROVIDE A WATERTIGHT CONNECTION PER ASTM C893. WHERE CONNECTORS ARE USED, THEY SHALL BE INSTALLED IN THE MANHOLE WALL BY ACTIVATING THE EXPANDING MECHANISM IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE CONNECTOR MANUFACTURER. THE USE OF ADHESIVES OR LUBRICANTS FOR INSTALLATION OF RUBBER CONNECTORS IS PROHIBITED.
7. FRAMES AND COVERS SHALL BE GREY IRON PER ASTM A48, CLASS 30B AND SHALL BE U.S. FOUNDRY TYPE 227AS, TRAFFIC BEARING (AASHTO H-20 LOADING), UNLESS OTHERWISE NOTED IN THE DRAWINGS. CASTINGS SHALL BE SMOOTH, CLEAN, FREE FROM BLISTERS, BLOWHOLES, AND SHRINKAGE. RAISED LETTERING ON COVERS SHALL BE "STORM", "SEWER", OR AS DETAILED ON THE DRAWINGS.
8. PROVIDE INLETS, FRAMES, AND GRATES IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. ALL FRAMES AND INLET GRATES SHALL BE PRODUCTS OF U.S. FOUNDRY & MANUFACTURING CORPORATION, OR EQUAL.
9. ALL INLET GRATES SHALL BE SECURED BY CHAIN AND EYEBOLT TO THE TOP OF THE STRUCTURE.
10. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED GRADE. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSED AREAS SHALL BE 4" ABOVE FINISHED GRADE (UNLESS NOTED OTHERWISE).
11. ALL MANHOLES AND CLEAN OUTS CONSTRUCTED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING RINGS AND COVERS.
12. MANHOLE COATINGS AND FINISHES SHALL BE:
 - A. SANITARY SEWER MANHOLE INTERIOR - BITUMINOUS EPOXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS.
 - B. INTERIOR OF MANHOLES WHICH RECEIVE FORCE MAIN DISCHARGE - INTEGRALLY ATTACHED INTERIOR LINER, FULL HEIGHT, FIBERGLASS LINER. LINER THICKNESS TO BE IN ACCORDANCE WITH THE DRAWINGS.
 - C. EXTERIOR - BITUMINOUS EPOXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS.

STORM SEWER SYSTEMS

1. REINFORCED CONCRETE PIPE (RCP) JOINTS SHALL COMPLY WITH ASTM C443 AND FDOT SPECIFICATION SECTION 430, AND RUBBER GASKETS SHALL COMPLY WITH FDOT SPECIFICATION SECTION 942. MINIMUM COVER OVER THE PIPE, INCLUDING COVER OVER THE BELL OF THE PIPE WHERE APPLICABLE, SHALL BE 30 INCHES.
2. RCP PIPE SHALL NOT BE SHIPPED FROM MANUFACTURER UNTIL THE COMPRESSIVE STRENGTH OF THE PIPE HAS REACHED 4000 PSI AND A MINIMUM OF 5 DAYS HAVE PASSED SINCE THE MANUFACTURING OR REPAIR OF THE PIPE HAS BEEN COMPLETED.
3. UNDERDRAIN PIPE SHALL BE PERFORATED POLYVINYL CHLORIDE PIPE IN ACCORDANCE WITH ASTM F758. FILTER FABRIC UNDERDRAIN SOCK SHALL BE TYPE D-3 IN ACCORDANCE WITH FDOT INDEX NO. 440-001.
4. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC. FILTER FABRIC SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 430-001, TYPE D-3, A.O.S. 70-100. INSTALL IN ACCORDANCE WITH FDOT INDEX NO. 430-001. PROVIDE MINIMUM 12" OVERLAP.
5. INSTALL POLYETHYLENE PIPE IN ACCORDANCE WITH ASTM D2321. BACKFILL AND COMPACT EVENLY ON EACH SIDE TO PREVENT DISPLACEMENT. MINIMUM COVER OVER POLYETHYLENE PIPE SHALL BE AS FOLLOWS: A) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS SUITABLE SOILS AS DEFINED IN THE GENERAL NOTES; MINIMUM COVER SHALL BE 36 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER. B) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS MANUFACTURED AGGREGATES CLASS 1A OR 1B AS DEFINED IN ASTM D2321; MINIMUM COVER SHALL BE 30 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER.
6. INSTALL UNDERDRAINS IN ACCORDANCE WITH FDOT SPECIFICATION SECTION 440. INSTALL CLEANOUTS AS SHOWN ON THE DRAWINGS.
7. PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL INSTALLED LINES AND STRUCTURES.

SIGNS AND PAVEMENT MARKINGS

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE LATEST IMPLEMENTED EDITION OF FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC WITH RAISED PAVEMENT MARKERS (TYPE 911 - 4" x 4"). RAISED PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND FDOT INDEX NO. 706-001.
3. PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED. PAINT SHALL MEET THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 971, NON-REFLECTIVE WHITE TRAFFIC PAINT, TWO COATS.
4. ALL ROADWAY TRAFFIC SIGNS SHALL BE MANUFACTURED USING HIGH INTENSITY RETROREFLECTIVE MATERIALS. THE BACK OF ALL FINISHED PANELS SHALL BE STENCILED WITH THE DATE OF FABRICATION, THE FABRICATOR'S INITIALS, AND THE NAME OF THE SHEETING IN THREE-INCH LETTERS.
5. INTERNAL SITE TRAFFIC SIGNS ARE NOT REQUIRED TO BE RETROREFLECTIVE.
6. THE CONTRACTOR SHALL VERIFY THE REQUIRED LENGTH OF THE SIGN COLUMN SUPPORTS IN THE FIELD PRIOR TO FABRICATION.
7. CONTRACTOR SHALL PROVIDE AND INSTALL ALL SIGNS, BASES, ANCHOR BOLTS, CONDUITS, WIRING, ETC.
8. ALL PAVEMENT MARKINGS REQUIRE LAYOUT APPROVAL IN THE FIELD BY THE ENGINEER PRIOR TO INSTALLATION.
9. PRIOR TO FINAL PAVEMENT MARKING INSTALLATION, A TWO WEEK CURE TIME OF THE ASPHALT IS REQUIRED.

PANDA EXPRESS PHOTO NOTES

1. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREA WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.
3. CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL / MEP PLANS FOR CONTINUATION.
4. CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.
5. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL COORDINATE ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS DURING CONSTRUCTION.
7. THE GEOTECHNICAL INVESTIGATION PREPARED BY UNIVERSAL ENGINEERING SCIENCES DATED AUGUST 12, 2019 AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORTS RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORTS RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO: EXCAVATION, REMEDIATION, DEWATERING, COMPACTION, ETC.
8. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL LOCAL, STATE, AND FEDERAL CERTIFICATION AND LICENSING REQUIREMENTS FOR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: LAND DISTURBANCE PERMITS, BUILDING PERMITS, DEMOLITION PERMITS, NPDES PERMITS, DEWATERING PERMITS, ETC.
9. 24-HOUR CONTACT: JOE CELENTO, PHONE: (912)272-4811



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 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

DRAWN BY: H.F.

PANDA PROJECT #: D37783
 CIVIL PROJECT #: 2401053

<p>www.cphcorp.com A Full Service A & E Firm</p>	<p>Plans Prepared By: CPH CONSULTING, LLC State of Florida Licenses: Engineer No. 3215 Surveyor No. LB7143 Architect No. AA2605928 Landscape No. LC000298</p>
	<p>500 West Fulton Street Sanford, FL 32771 Ph: 407.322.6841</p>

Jason L. James, State of Florida, Professional Engineer, License No. 76936 This item has been digitally signed and sealed by Jason L. James, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies



JASON L. JAMES, P.E.
 FL P.E. No. 76936
 09/25/2025

PANDA EXPRESS
 PANDA HOME
 5681 W ATLANTIC BLVD
 MARGATE, FL 33063

GENERAL NOTES

C01.2

060014
 RETAIL LLC
 E. ROAD 7,
 3363
 188
 CENTER
 CITY NO. 1
 42

PARCEL ID #8413600019
 OWNER: WALMART STORES EAST LP
 ADDRESS: 5555 W ATLANTIC BOULEVARD,
 MARGATE, FL 33063
 ORB 41316, PG 1841
 SHOPPING CENTER
 MARGATE REALTY NO. 1
 PB 42, PG 42

060015
 BANK W 4
 E. ROAD 7,
 3363
 175
 CENTER
 CITY NO. 1
 42

PARCEL ID #8413600020
 OWNER: 1417 AVENUE 435002
 ADDRESS: 5671 W ATLANTIC BOV
 MARGATE, FL 33063
 INST# 119241063
 ATLANTIC MARGAT
 MISC. BOOK 9, PGS 81

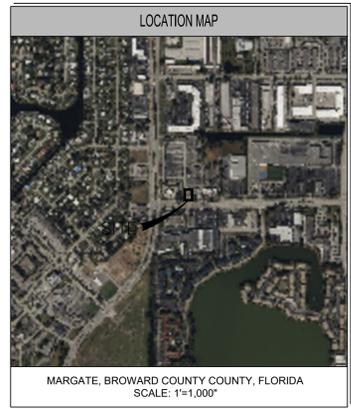
SR 814 (W ATLANTIC BOULEVARD)
 (RIGHT-OF-WAY WIDTH VARIES PER FDOT
 SECTION NO. # 86130-2504, SHEET 5 OF 18
 SECTION NO. 86100-2510, SHEET 27 OF 40

DEMOLITION LEGEND

- PAVEMENT TO BE SAW CUT AND REMOVED
- SIDEWALK AND ASSOCIATED CURBING TO BE SAWCUT AND REMOVED
- LANDSCAPE AND ASSOCIATED CURBING TO BE REMOVED
- APPROXIMATE LIMITS OF U/G PIPE REMOVAL
- CONTRACTOR TO PROTECT AND SAVE
- TREE TO BE REMOVED

DEMOLITION NOTES

1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
2. CHAPTER 553.851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING.
3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
4. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED. A BRIEF DESCRIPTION OF THE STRUCTURES IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY.
5. THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF DEMOLITION WHERE DEMOLITION IS REQUIRED.
 - A. DEMOLITION AND REMOVAL OF EXISTING CONC. BLOCK BUILDING
 - B. DEMOLITION AND REMOVAL OF EXISTING ON SITE ASPHALT, CONCRETE PAVING AND CURBING TO LIMITS SHOWN
 - C. REMOVAL OF EXISTING ONSITE ABOVE-GROUND AND UNDERGROUND UTILITIES, INCLUDING REMOVAL AND/OR PLUGGING OF EXISTING UTILITIES AS SHOWN ON PLANS.
6. PRIOR TO REMOVAL OF ANY UNDERGROUND SEWAGE TANK AND COMPONENTS FROM SERVICE, CONTRACTOR MUST COMPLETELY DRAIN THE SYSTEMS TO AN APPROVED SANITATION TANK FOR DISPOSAL AT AN APPROVED LOCATION AND IN ACCORDANCE WITH LOCAL & STATE REQUIREMENTS.
7. ALL ON SITE UNDERGROUND STRUCTURES AND PIPING MUST BE COMPLETELY REMOVED AND OVEREXCAVATED BY A MINIMUM OF 12" BENEATH THE STRUCTURES. CONTRACTOR SHALL USE APPROVED FILLING MATERIAL FOR FILLING THESE AREAS. FILL SHALL BE OF CLEAN, FINE SAND AASHTO CLASS A-3 AND SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND COMPACTED TO AT LEAST 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).
8. ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS, AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. REMOVE NO STRUCTURE SUBSTANTIALLY AS A WHOLE. DEMOLISH COMPLETELY ON THE PREMISES.
9. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
10. ELECTRICAL, TELEPHONE, CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY PRIOR TO COMMENCEMENT OF CONSTRUCTION. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS A NECESSITY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
11. PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXECUTE THE WORK IN A MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS. STREETS AND SIDEWALKS SHALL NOT BE BLOCKED BY DEBRIS AND EQUIPMENT.
12. AIR HAMMERS OR OTHER DEVICES WILL BE PERMITTED ON EXTERIOR WORK.
13. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING THE DEMOLITION/EXCAVATION PROCESS.
14. REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.
15. PAVEMENT REMOVAL:
 - A. WHERE EXISTING PAVEMENT IS TO BE REMOVED, SAW-CUT THE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACING. IF CONSTRUCTION RESULTS IN RAVELING OF THE SAW-CUT SURFACE, RECUT BACK FROM THE RAVELED EDGE PRIOR TO RESTORATION.
 - B. WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY, OR VALLEY GUTTER IS REMOVED FOR THE PURPOSE OF CONSTRUCTING OR REMOVING BOX CULVERTS, PIPE, INLETS, MANHOLES, APPURTENANCES, FACILITIES OR STRUCTURES, S40 PAVEMENT, ETC., SHALL BE REPLACED AND RESTORED IN EQUAL OR BETTER CONDITION THAN THE ORIGINAL. CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND OTHER EQUIPMENT AS REQUIRED.
16. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
17. PERMITTING: IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITTING FOR DEMOLITION FROM RESPONSIBLE REGULATORY AGENCIES AND FULLY ACKNOWLEDGE AND COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK.
18. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO PERFORM THE CONTRACT WORK FOR THIS PROJECT. THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL OF THE INFORMATION WITHIN THESE DOCUMENTS. ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.
19. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
20. THE CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK. ACTUAL REMOVAL AND/OR RELOCATION OF ALL EXISTING PLANTS IS TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE SITEWORK CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH THE LANDSCAPE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PRESERVING TREES AS INDICATED BY THE OWNER.
21. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITY TO THAT AREA DELINEATED IN THE DRAWING. ALL OTHER EXIST. UTILITIES INCLUDING: STORM DRAINAGE, GAS, ELECTRIC, TELEPHONE, WATER & SEWER SHALL BE PRESERVED & PROTECTED.
22. A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR THE DEMOLITION OF THE ACTUAL BUILDING.
23. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THIS SHEET BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, SIDEWALK, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
24. CONTRACTOR WILL BE PROVIDED ASBESTOS SURVEY. CONTRACTOR SHALL OBTAIN FDEP PERMIT AS REQUIRED.



KEYNOTES LEGEND

- ① CONTRACTOR TO USE CAUTION WHEN DIGGING AROUND EXISTING UTILITIES (CONTACT UTILITY PROVIDERS FOR UTILITY LOCATES)
- ② CONTRACTOR TO PROTECT AND SAVE EXISTING UTILITIES
- ③ EXISTING STRIPING TO BE REMOVED
- ④ EXISTING WHEELSTOP TO BE REMOVED
- ⑤ EXISTING GREASE TRAPS & CLEANOUTS TO BE REMOVED
- ⑥ CONTRACTOR TO REMOVE EXISTING TRANSFORMER AND BOLLARDS IN ACCORDANCE WITH CITY OF LEEBURG APPROVAL
- ⑦ EXISTING DRIVE-THRU EQUIPMENT TO BE REMOVED
- ⑧ EXISTING SIGNAGE TO BE REMOVED
- ⑨ ALL EXISTING LIGHT POLES & BASES ON SITE TO BE REMOVED (TYP.)
- ⑩ EXISTING UTILITY TO BE REMOVED
- ⑪ EXISTING SIDEWALK TO BE REMOVED

CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE VICINITY OF THE EXISTING BURIED GAS MAIN



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 91770
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 Facsimile: 626.372.8288

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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

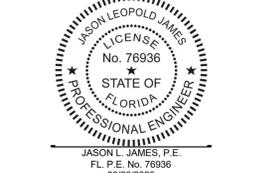
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DRAWN BY: H.F.

PANDA PROJECT #: D37783
 CIVIL PROJECT #: 2401053

e-ph Plans Prepared By
 CPH CONSULTING, LLC
 State of Florida Licenses:
 Engineer No. 3215
 Surveyor No. LB7143
 Architect No. AA26060928
 Landscape No. LC000298
 500 West Fulton Street
 Sanford, FL 32771
 Ph: 407.322.6841

Jason L. James, State of Florida, Professional Engineer, License No. 78936. This item has been digitally signed and sealed by Jason L. James, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



24 HOUR CONTACT:
 PANDA PM
 JOE CELENTO
 (912) 272-4811



VERTICAL DATUM: NAVD 1988

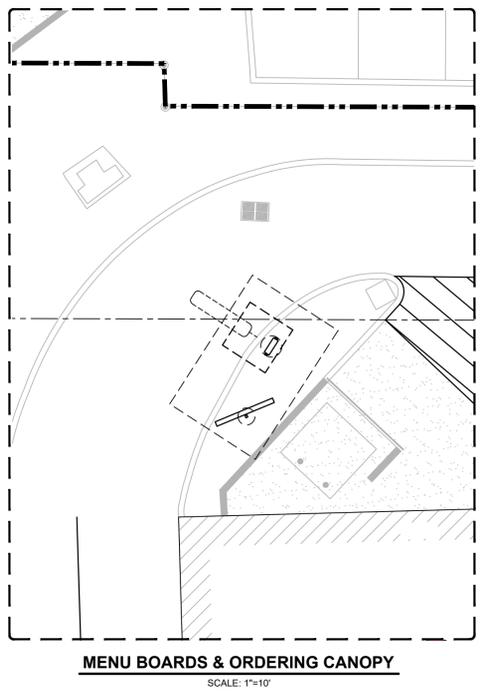
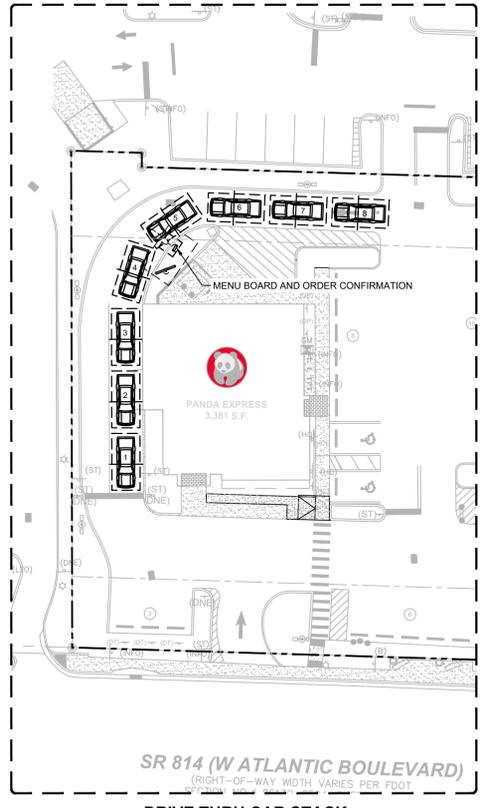
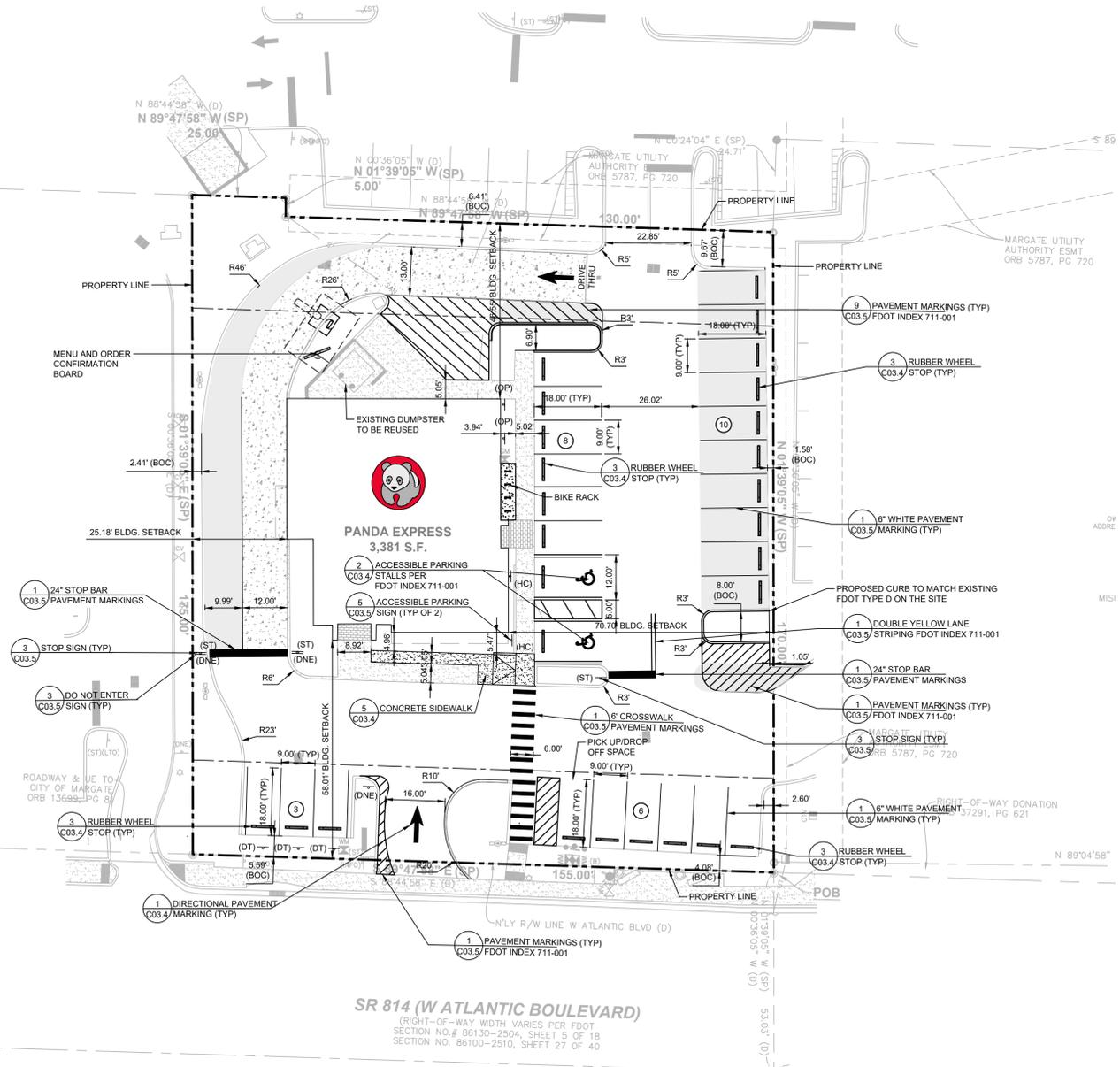


PANDA EXPRESS
 PANDA HOME
 5681 W ATLANTIC BLVD
 MARGATE, FL 33063

DEMOLITION PLAN

C02.0

PARCEL ID: #484136060019
 OWNER: WILLIAM STORES EAST LP
 ADDRESS: 5555 W ATLANTIC BOULEVARD,
 MARGATE, FL 33063
 ORB 41316, PG 1641
 SHOPPING CENTER
 MARGATE REALTY NO. 1
 PB 42, PG 42



LEGEND

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- LANDSCAPE BUFFER
- BUILDING SETBACK
- (ST) STOP SIGN
- (HC) HANDICAPPED PARKING SIGN
- (DNE) "DO NOT ENTER" SIGN
- (OP) ONLINE PICK-UP
- (DW) DRIVE-THRU WAITING
- (EP) EMPLOYEE PARKING
- SINGLE LIGHT POLE
- DUAL LIGHT POLE
- (BOC) BACK OF CURB
- FIRE HYDRANT

PANDA EXPRESS STANDARD NOTES

1. THE GEOTECHNICAL INVESTIGATION PREPARED BY XXXX, DATED XXX AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
2. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFF-SITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.
5. DIRECTIONAL ARROWS ARE ONLY FOR CLARIFICATION PURPOSES. DO NOT STRIPE.
6. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS SHOWN (BOC) WHICH INDICATES BACK OF CURB.

JURISDICTION: CITY OF MARGATE
 ZONING: PLANNED AND MIXED USE DISTRICT CORRIDOR-C
 FUTURE LAND USE: ACTIVITY CENTER
 OVERLAY DISTRICT: N/A
 ADDRESS: 5681 W ATLANTIC BLVD, MARGATE, FL 33063
 PARCEL ID: 09-25-20-000-0100-0000
 STATEMENT OF INTENT:

ADJACENT ZONING:		CORRIDOR	
NORTH:	CORRIDOR		
EAST:	RDIA		
SOUTH:	GATEWAY		
WEST:	GATEWAY		

REQUIRED BUILDING SETBACKS:		PROVIDED BUILDING SETBACKS:	
(S) FRONT:	35'	(S) FRONT:	50.0'
(E) SIDE:	2'	(E) SIDE:	7.7'
(W) SIDE:	2'	(W) SIDE:	25.2'
(N) REAR:	20'	(N) REAR:	48.6'

REQUIRED LANDSCAPE STRIP SETBACKS:		PROVIDED LANDSCAPE STRIP SETBACKS:	
(S) FRONT:	2'	(S) FRONT:	4.1'
(E) SIDE:	2'	(E) SIDE:	1.1'
(W) SIDE:	2'	(W) SIDE:	2.1'
(N) REAR:	2'	(N) REAR:	6.1'

MAX. BUILDING HEIGHT: 35' 0"
 EXIST. BUILDING HEIGHT: 17' 0"

REQUIRED PARKING:
 1 SPACE PER 3 SEATS OR 1 SPACE PER 100 SQ FT (WHICHEVER IS GREATER)
 58 SEATS / 3 SEATS = 20 SPACES
 3,381 SF / 100 SF = 34 SPACES

PROPOSED PARKING:
 REGULAR: 25 (DMS) = 18 x 9
 HANDICAP: 2 (DMS) = 18 x 12
 TOTAL = 27

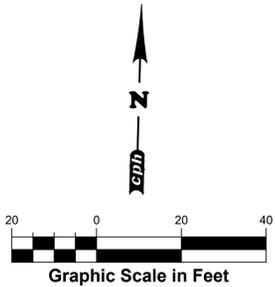
DRIVE ABLE WIDTH: 22 MIN. (2 WAY)

SITE AREA CALCULATIONS:
 SITE: 0.61 AC. (26,461 SF) (100%)
 PERVIOUS AREA: 0.11 AC. (4,595 SF) (17.4%)
 IMPERVIOUS AREA: 0.42 AC. (18,485 SF) (88.8%)
 BUILDING AREA COVERAGE: 0.08 AC. (3,381 SF) (12.8%)

FLOOD HAZARD: FLOOD ZONE "X"
 FIRM MAP NO. 22017C0363, DATED JULY 31, 2016

SITE LIGHTING:
 PHOTOMETRICS DESIGNED BY CPA. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTOMETRIC PLAN ON SHEET E-505, AND OWNER PRIOR TO CONSTRUCTION.

CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE VICINITY OF THE EXISTING BURIED GAS MAIN



24 HOUR CONTACT:
 PANDA PM
 JOE CELENTO
 (912) 272-4811



CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE VICINITY OF THE EXISTING BURIED GAS MAIN



PANDA EXPRESS, INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

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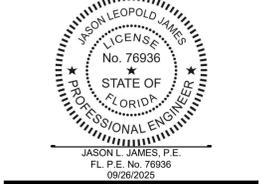
ISSUE DATE:
 11.11.25 LANDLORD APPROVAL SET

DRAWN BY: H.F.

PANDA PROJECT #: D37783
 CIVIL PROJECT #: 2401053

ePH Plans Prepared By
 CPH CONSULTING, LLC
 State of Florida Licenses:
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 Surveyor No. LB7143
 Architect No. AA26060928
 Landscape No. LC000298
 A Full Service A & E Firm
 500 West Fulton Street
 Sanford, FL 32771
 Ph: 407.322.6841

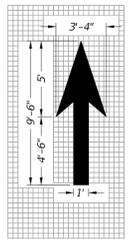
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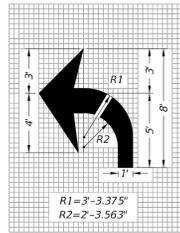
PANDA EXPRESS
 PANDA HOME
 5681 W ATLANTIC BLVD
 MARGATE, FL 33063

SITE PLAN

C03.0



Through Lane-Use Arrow



Turn Lane-Use Arrow
(Left Turn Shown - Right Turn Similar)
17 S.F.

1 DIRECTIONAL ARROWS
N.T.S.

2 ACCESSIBLE AREA
N.T.S.

PAVEMENT MARKING FOR PARKING

DIMENSIONS	
4'-8"	5'-0"
12'-0"	12'-0"
7'-0"	24'-0"
12'-0"	12'-0"

NOTES:

- Dimensions are to the centerline of markings.
- See Accessible Area for each accessible space when angle parking is used.
- Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations refer to plans.
- Mount FFP-22-06 sign below the FFP-21-06 sign.
- Use of the pavement symbol in accessible parking spaces is optional. When pavement symbol is used, the symbol is either 3'-0" or 5'-0" high and white in color.

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/01/21	REVISED

FY 2023-24 STANDARD PLANS

INDEX 711-001 SHEET 11 of 13

3 RUBBER WHEELSTOP
N.T.S.

LAG BOLT METHOD: RECOMMENDED FOR ASPHALT OR CONCRETE ONLY.

TOOLS NEEDED:

- HIGH SPEED HAMMER DRILL WITH A # MASONRY DRILL BIT
- IMPACT WRENCH OR HEAVY RATCHET WITH # SOCKET

- POSITION THE PARKING BLOCK WHERE YOU WANT TO INSTALL IT. USING THE HOLES MOLDED IN THE PARKING BLOCK AS TEMPLATES, MARK THE LOCATION OF EACH HOLE ON THE SURFACE.
- REMOVE THE PARKING BLOCK. USING A HIGH-SPEED HAMMER DRILL WITH # MASONRY BIT, DRILL A 4" TO 4" DEEP HOLE AT EACH MARKED LOCATION.
- INSERT A LAG ANCHOR (WITH THE LARGE ROUND HOLE IN THE ANCHOR FACING UP) INTO EACH HOLE. TAP THE ANCHOR INTO THE HOLES WITH A HAMMER SO THAT THE TOP OF EACH ANCHOR IS FLUSH WITH THE SURFACE.
- REPOSITION THE PARKING BLOCK SO THAT THE MOLDED HOLES LINE UP VERTICALLY WITH THE PILOT HOLES YOU DRILLED. BEGINNING IN THE CENTER HOLE, APPLY FIRM HAND PRESSURE. SLIP A WASHER ONTO A LAG BOLT. INSERT THE BOLT THROUGH THE HOLE IN THE PARKING BLOCK AND TIGHTEN THE BOLT ABOUT THREE QUARTERS OF THE WAY WITH A # SOCKET. REPEAT FOR EACH HOLE IN THE PARKING BLOCK. FINISH TIGHTENING EACH BOLT UNTIL JUST SNUG. DO NOT OVER TIGHTEN EXCESSIVE TIGHTENING MAY DAMAGE THE PARKING BLOCK AND WILL VOID THE WARRANTY.

4 BOLLARD
N.T.S.

NOTES:

- POSITION THE BOLLARD WHERE YOU WANT TO INSTALL IT. USING THE HOLES MOLDED IN THE BOLLARD AS TEMPLATES, MARK THE LOCATION OF EACH HOLE ON THE SURFACE.
- REMOVE THE BOLLARD. USING A HIGH-SPEED HAMMER DRILL WITH # MASONRY BIT, DRILL A 4" TO 4" DEEP HOLE AT EACH MARKED LOCATION.
- INSERT A LAG ANCHOR (WITH THE LARGE ROUND HOLE IN THE ANCHOR FACING UP) INTO EACH HOLE. TAP THE ANCHOR INTO THE HOLES WITH A HAMMER SO THAT THE TOP OF EACH ANCHOR IS FLUSH WITH THE SURFACE.
- REPOSITION THE BOLLARD SO THAT THE MOLDED HOLES LINE UP VERTICALLY WITH THE PILOT HOLES YOU DRILLED. BEGINNING IN THE CENTER HOLE, APPLY FIRM HAND PRESSURE. SLIP A WASHER ONTO A LAG BOLT. INSERT THE BOLT THROUGH THE HOLE IN THE BOLLARD AND TIGHTEN THE BOLT ABOUT THREE QUARTERS OF THE WAY WITH A # SOCKET. REPEAT FOR EACH HOLE IN THE BOLLARD. FINISH TIGHTENING EACH BOLT UNTIL JUST SNUG. DO NOT OVER TIGHTEN EXCESSIVE TIGHTENING MAY DAMAGE THE BOLLARD AND WILL VOID THE WARRANTY.

5 CONCRETE SIDEWALK
N.T.S.

CONCRETE NOTES:

- $f_c = 4,000$ PSI
- PROVIDE CONTROL JOINTS AT 5' O.C.
- PROVIDE EXPANSION JOINTS ONLY WHERE CONCRETE PAVEMENT ABUTS FIXED OBJECTS, CURB AND GUTTER, AND OTHER PAVEMENT TYPES.
- UPPER 1 FOOT OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF THE MODIFIED PROCTOR MAX. DRY DENSITY

6 CURB TRANSITION
N.T.S.

7 STANDARD CONCRETE CURB AND GUTTER
N.T.S.

NOTES:

- THE CONCRETE FOR CURBS SHALL BE DEPARTMENT OF TRANSPORTATION CLASS "T" CONCRETE, AND HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI.
- ALL CURBS SHALL HAVE CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTERS FOR ALL CURBS.

* WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

PANDA EXPRESS CHINESE KITCHEN

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DRAWN BY: H.F.

PANDA PROJECT #: D37783
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Surveyor No. LB7143
Architect No. AA3660928
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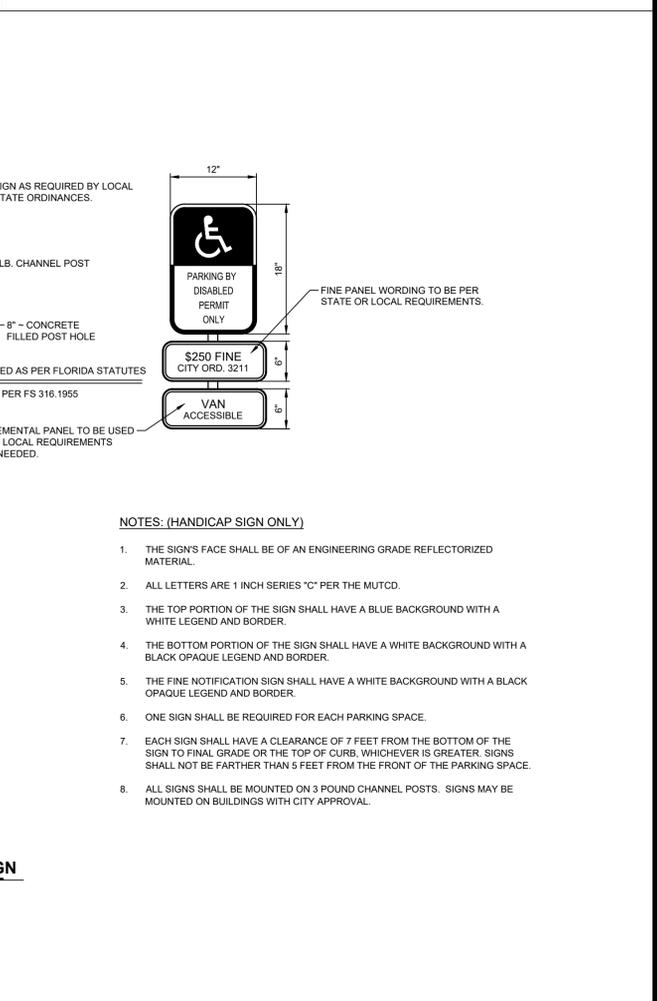
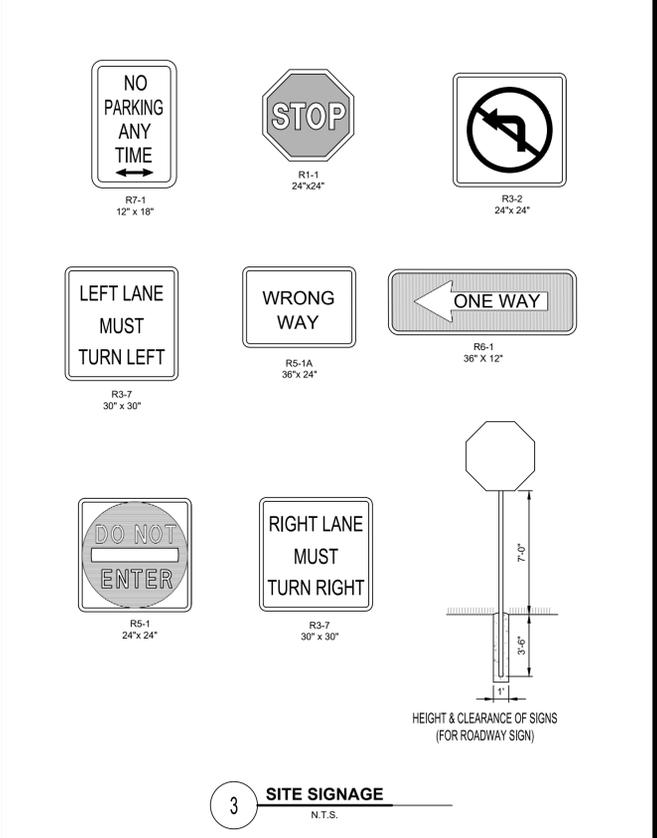
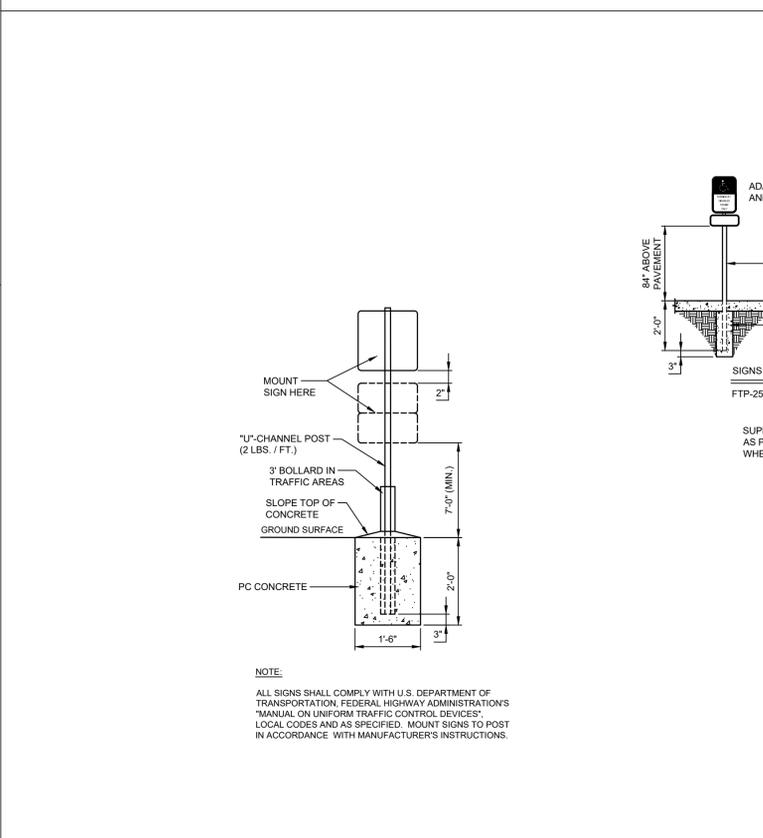
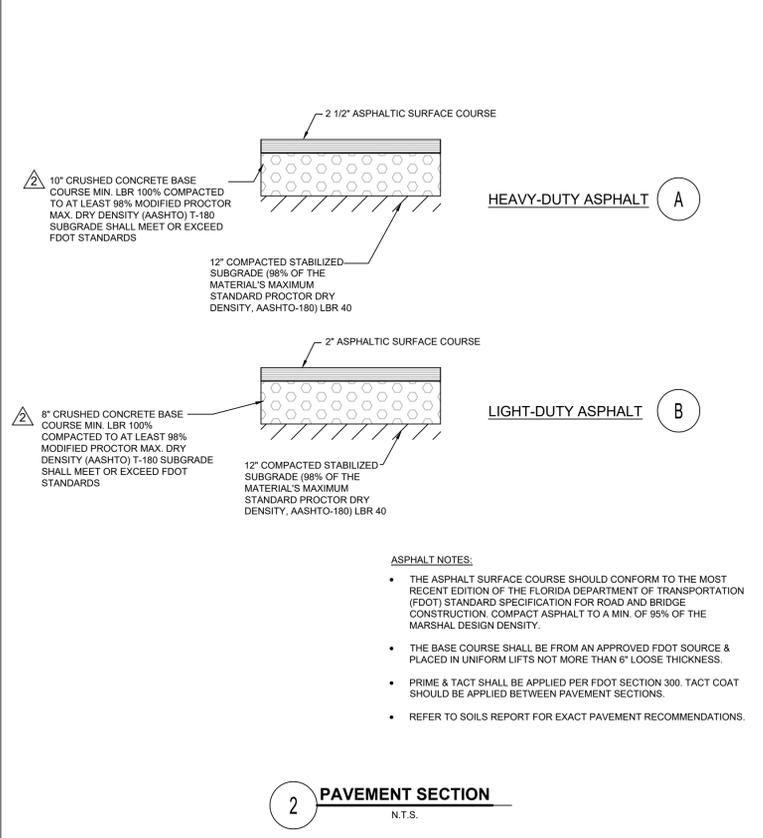
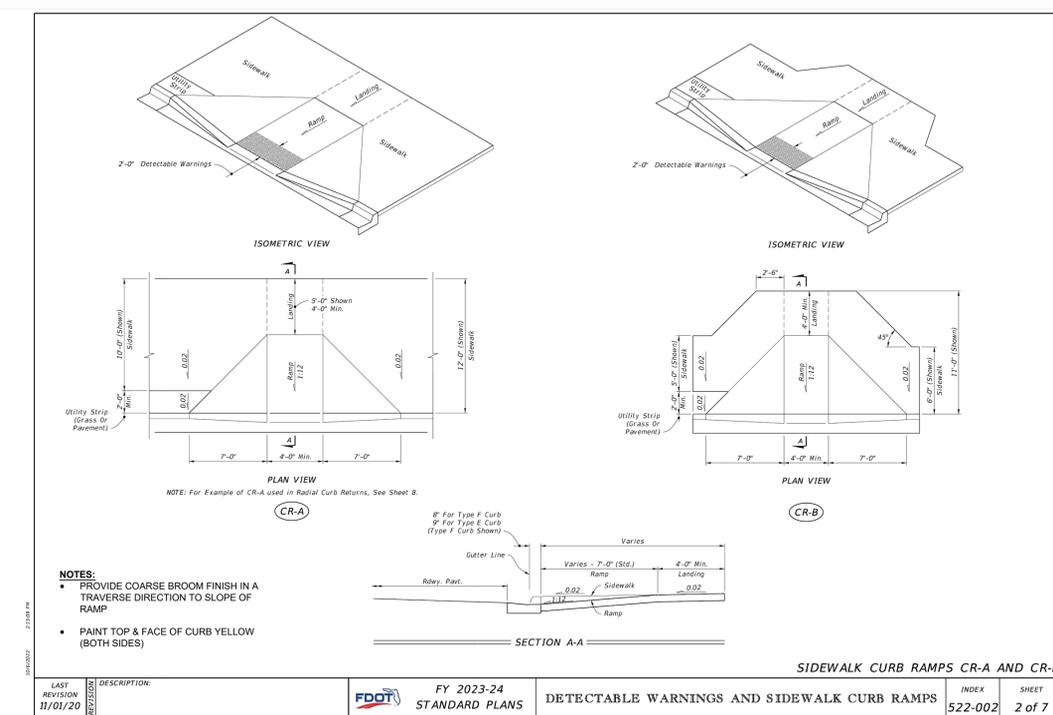
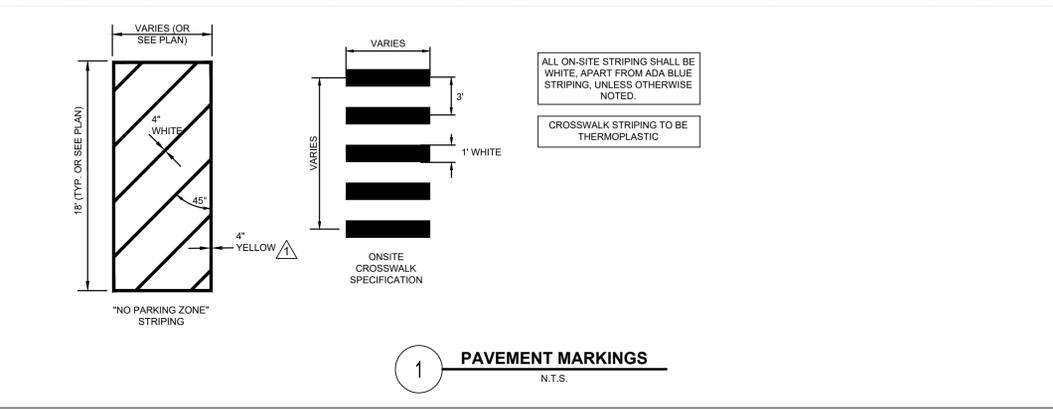
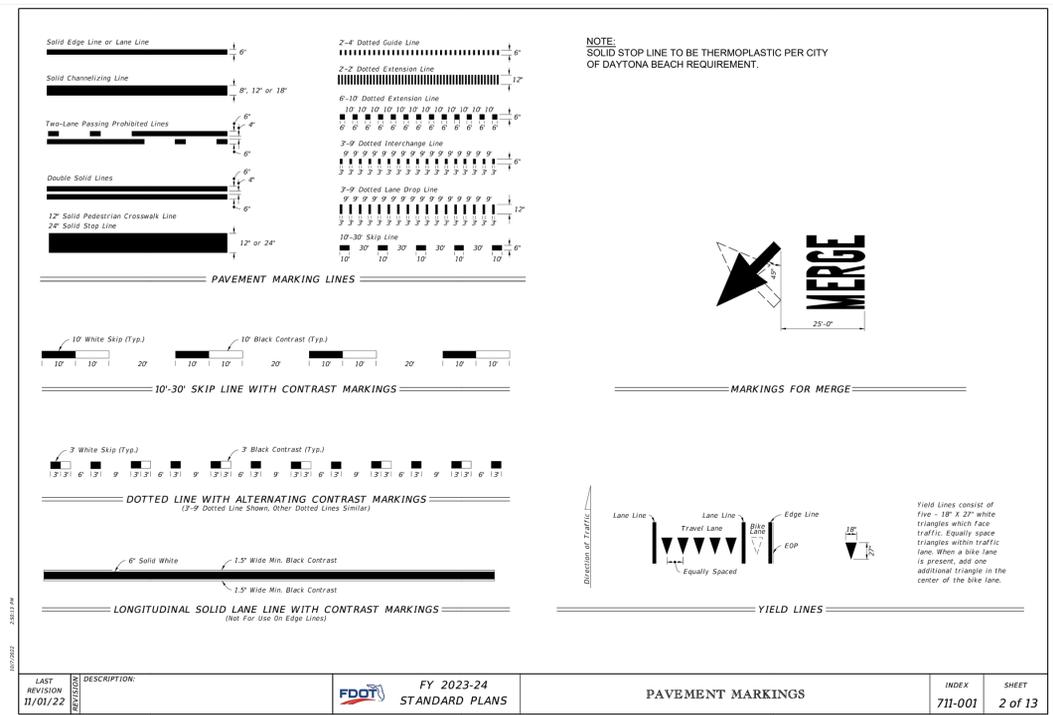
JASON LEOPOLD JAMES
LICENSE No. 76936
STATE OF FLORIDA
PROFESSIONAL ENGINEER

JASON L. JAMES, P.E.
FL P.E. No. 76936
09/25/2025

PANDA EXPRESS

PANDA HOME
5681 W ATLANTIC BLVD
MARGATE, FL 33063

HARDSCAPE DETAILS I
C03.2

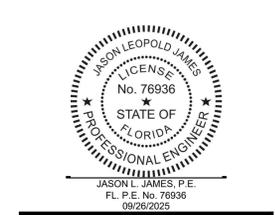


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REVISIONS:

ISSUE DATE:

DRAWN BY: H.F.
 PANDA PROJECT #: D37783
 CIVIL PROJECT #: 2401053



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 PANDA HOME
 5681 W ATLANTIC BLVD
 MARGATE, FL 33063

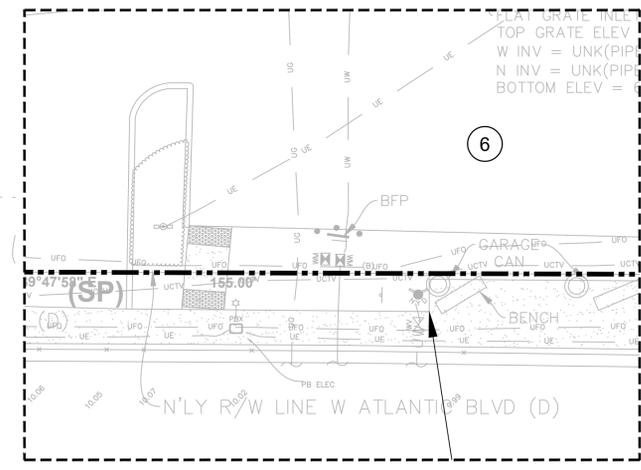
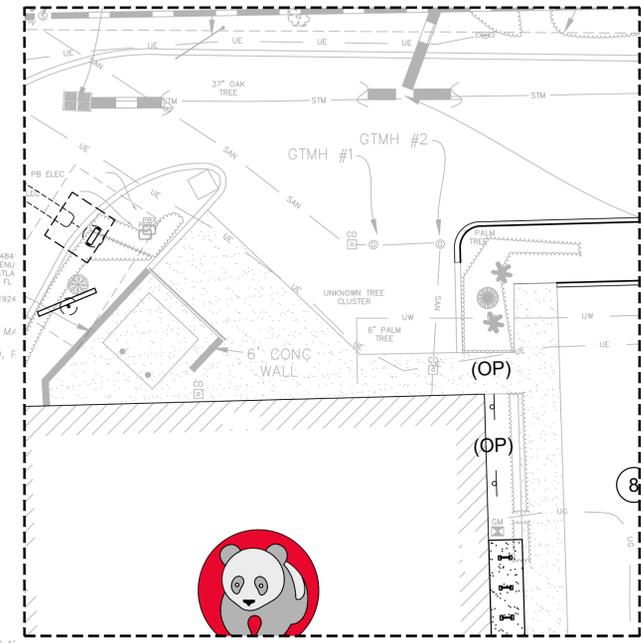
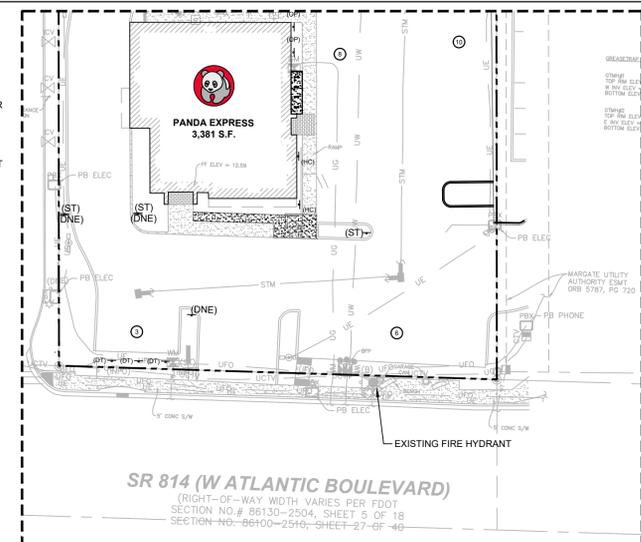
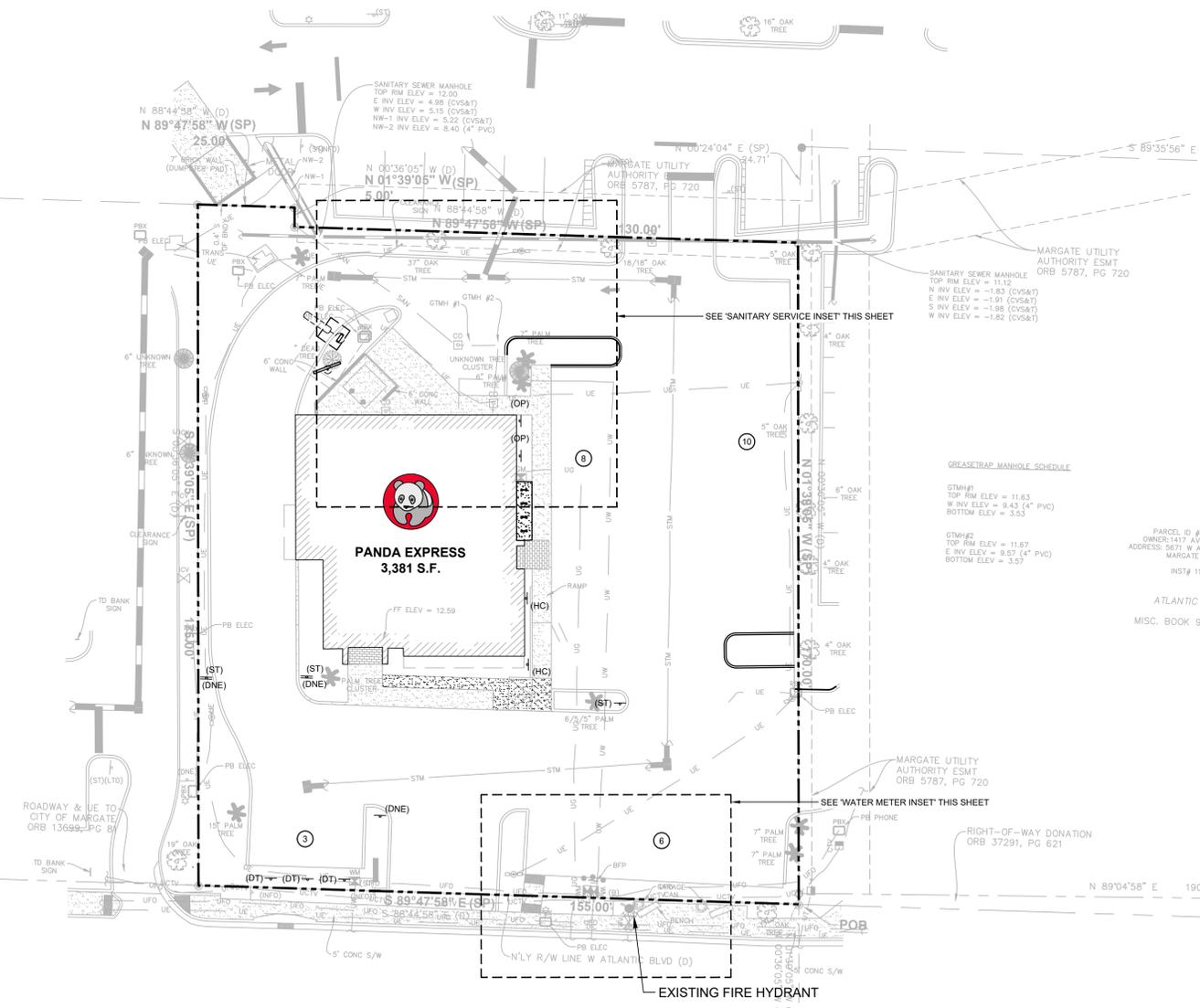
HARDSCAPE
 DETAILS II
 C03.3

303014
PAL, LLC
ROAD 7,
303
7ER
NO. 1
2

LEGEND

---	PROPERTY LINE
---	EXIST. ELECTRIC LINE
---	EXIST. STORM SEWER
---	EXIST. SANITARY SEWER
---	EXIST. WATER MAIN
⊕	GATE VALVE
⊕	EXISTING FIRE HYDRANT

PARCEL ID #48413600019
OWNER: WALMART STORES EAST LP
ADDRESS: 5555 W ATLANTIC BOULEVARD,
MARGATE, FL 33063
ORB 41316, PG 1641
SHOPPING CENTER
MARGATE REALTY NO. 1
PB 42, PG 42



- GENERAL UTILITY NOTES**
- SEE SHEET C01.1 FOR GENERAL NOTES.
 - SEE MEP PLANS FOR CONTINUATION OF ALL UTILITIES INTO BUILDING.
 - SANITARY LATERALS SHALL HAVE A MINIMUM FALL OF 1.00%.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION.
 - MAINTAIN EXISTING LOCATION OF FIRE HYDRANTS, VALVES, WATER LINES, BACKFLOW PREVENTERS, ETC. NOTIFY THE ENGINEER OF ANY CHANGES TO LOCATION OR CONFIGURATION. NFPA CODES SHALL BE ADHERED TO.
 - ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH LOCAL GOVERNING CODES.
 - UTILITY CONDUIT MATERIAL FOR ELECTRIC, TELEPHONE, AND CABLE SHALL BE INSTALLED PER UTILITY PROVIDER SPECIFICATIONS. ANY PROPOSED UTILITY RELOCATION SHALL BE COORDINATED WITH AND APPROVED BY THE APPROPRIATE UTILITY PROVIDER.
 - ALL STRUCTURE TOP (IE. CLEANOUTS, JUNCTION BOXES ETC. SHALL BE ENCASED WITH CONCRETE COLLAR. PAINTED BLACK IF LOCATED IN ASPHALT PAVEMENT WITH A MINIMUM DIMENSION OF 1' EACH SIDE.

- UTILITY LINE MATERIALS**
- POTABLE WATER LINE
1", 1 1/2" & 2" POLYETHYLENE TUBING, SDR9 COPPER TUBE
SIZE AWWA C901, ASTM D1248, ASTM D2239, ASTM D2737,
ASTM D3350
- GRAVITY SEWER LINE
6" PVC SHALL CONFIRM TO ASTM D3034, SR 26

GREASE INTERCEPTOR CALCULATIONS

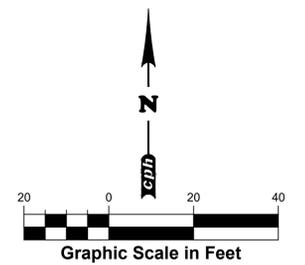
1) PER FAC 64E-6.013
(NUMBER OF SEATS) X (GALLON PER SEAT) X (LOADING FACTOR) X (HOURS OF OPERATION / 12) = MINIMUM GREASE TRAP REQUIRED

NUMBER OF SEATS = 52
GALLONS PER SEAT = 20
HOURS OF OPERATION = 10.5
LOADING FACTOR = 1.00

(52) X (20) X (10.5) / 12 X (1.00) = 910 GALLONS REQUIRED
GREASE INTERCEPTOR CAPACITY = 910 GALLONS

NEEDED FIRE FLOW

PER NFPA TABLE 18.4.5.1.2
TYPE (W00) UNPROTECTED
FIRE FLOW NEEDED: 1500 GPM, 2 HRS



24 HOUR CONTACT:
PANDA PM

JOE CELENTO
(912) 272-4811

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CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE VICINITY OF THE EXISTING BURIED GAS MAIN



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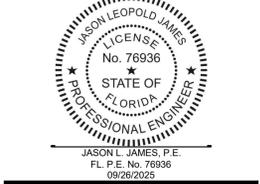
ISSUE DATE:

DRAWN BY: H.F.

PANDA PROJECT #: D37783
CIVIL PROJECT #: 2401053

e-ph Plans Prepared By:
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Engineer No. 3215
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Architect No. AA2600928
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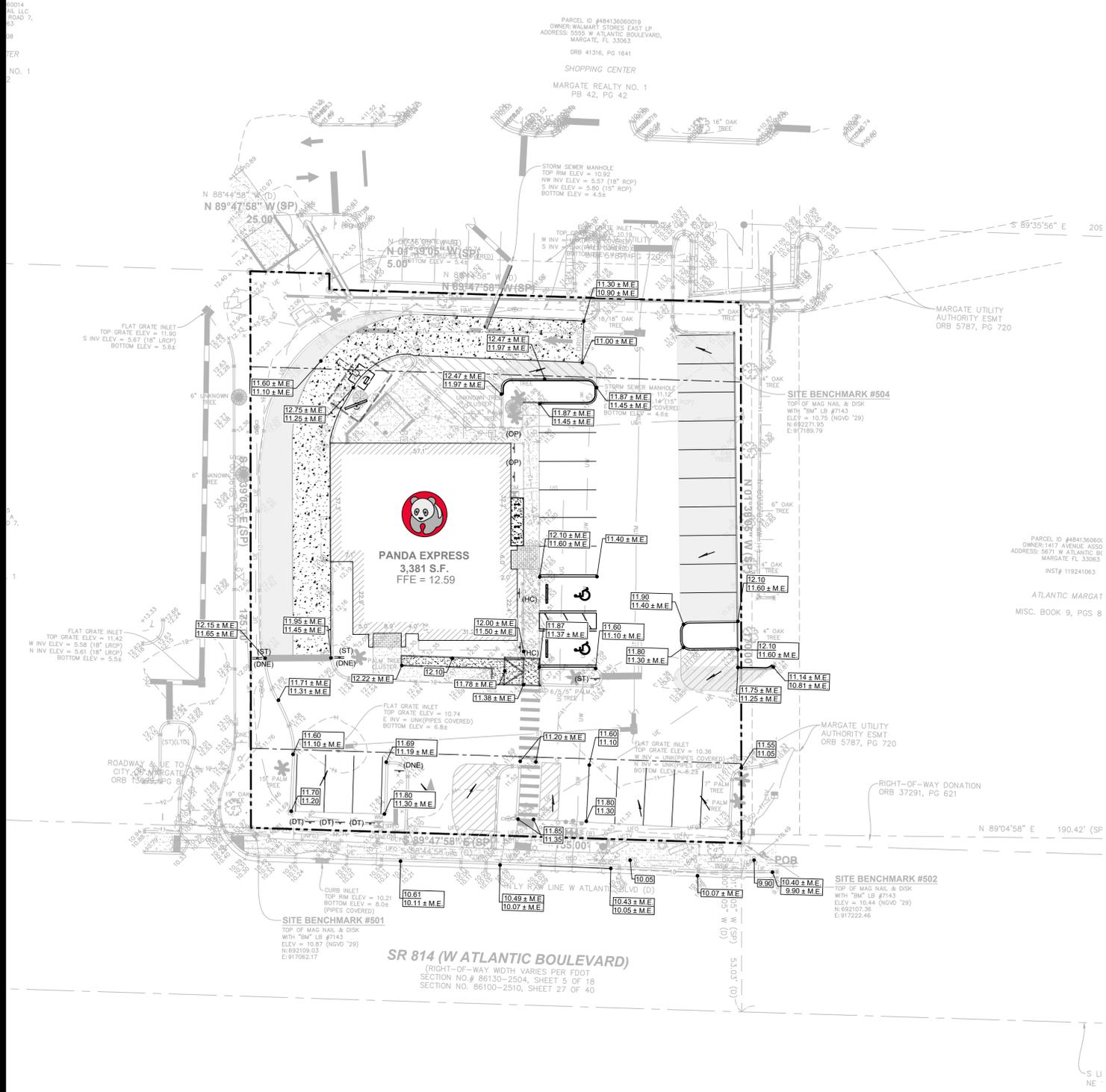


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PANDA HOME
5681 W ATLANTIC BLVD
MARGATE, FL 33063

UTILITY PLAN

C06.0

NO. 1
2

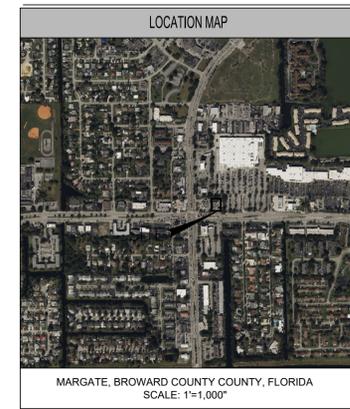


PANDA EXPRESS NOTES

- CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH SIGN COMPANY AND PANDA EXPRESS PM FOR FINAL LOCATION OF DRIVE THRU ELEMENTS (MENU BOARD, ORDER CANOPY, CLEARANCE BAR, AND DIRECTIONAL SIGNAGE) PRIOR TO INSTALLATION. CONTRACTOR SHALL ENSURE THAT EXISTING UTILITIES, INCLUDING SITE LIGHTING CONDUIT ARE NOT INSTALLED SO THAT THEY WOULD CONFLICT WITH THE PLACEMENT OF THE DRIVE THRU ELEMENTS AND FOOTINGS.
- CONTRACTOR SHALL PROVIDE CONCRETE PAVING BETWEEN FACE OF BUILDING AND BACK OF CURB ALONG DRIVE-THRU LANE AND ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING.
- CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

GRADING & DRAINAGE LEGEND

- STM
- EXIST. STORM SEWER
- MATCH EXISTING PAVEMENT ELEV.
- PROPOSED PAVEMENT ELEV.
- EXIST. DRAINAGE FLOW DIRECTION



GRADING & DRAINAGE NOTES

- SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
- SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.00%.
- MAXIMUM CUT OF FILL SLOPES IS 2H:1V.
- THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL. SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
- SEE SHEET C01.1 FOR GENERAL NOTES.
- FILL TO BE TESTED IN INCREMENTS OF 1' LIFTS FOR COMPACTION.

HYDROLOGY STATEMENT

ONSITE STORMWATER RUNOFF WILL BE COLLECTED VIA EXISTING INLETS AND CATCH BASINS, ALONG WITH THE EXISTING STORM PIPE SYSTEM, WHICH WILL CONVEY STORMWATER TO THE EXISTING MASTER STORMWATER SYSTEM. NO NEW STORMWATER FACILITIES ARE PROPOSED AS PART OF THIS PROJECT.

STORM SYSTEM NOTES

- ALL PIPES IN LEGEND SPECIFIED AS "STORM PIPE" SHALL BE SELECTED FROM THE FOLLOWING:
RCP PIPE SHALL COMPLY WITH ASTM C76
ERCP PIPE SHALL COMPLY WITH ASTM C507
HDPE PIPE SHALL COMPLY WITH ASTM 3350
PVC PIPE SHALL COMPLY WITH ASTM 3034, SDR 35
- FOR INLET BOTTOMS & SUPPLEMENTAL DETAILS SEE FDOT DESIGN STANDARDS MANUAL.
- ALL DRAINAGE STRUCTURES, INCLUDING CLEAN-OUTS, SHALL BE INSTALLED WITH TRAFFIC BEARING GRATES, TOPS, RINGS AND COVERS, ETC. AS APPLICABLE.
- ALL EXISTING INLET GRATES SHALL BE H20 TRAFFIC BEARING RETICULINE STEEL.
- ALL RCP PIPE JOINTS SHALL BE BELL & SPIGOT TYPE WITH A RUBBER GASKET CONFORMING TO ASTM C-443. THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.



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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

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DRAWN BY: H.F.

PANDA PROJECT #: D37783

CIVIL PROJECT #: 2401053

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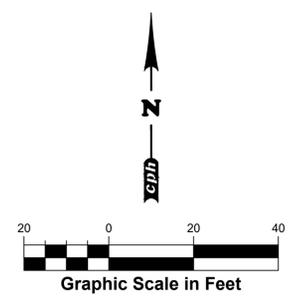
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MARGATE, FL 33063

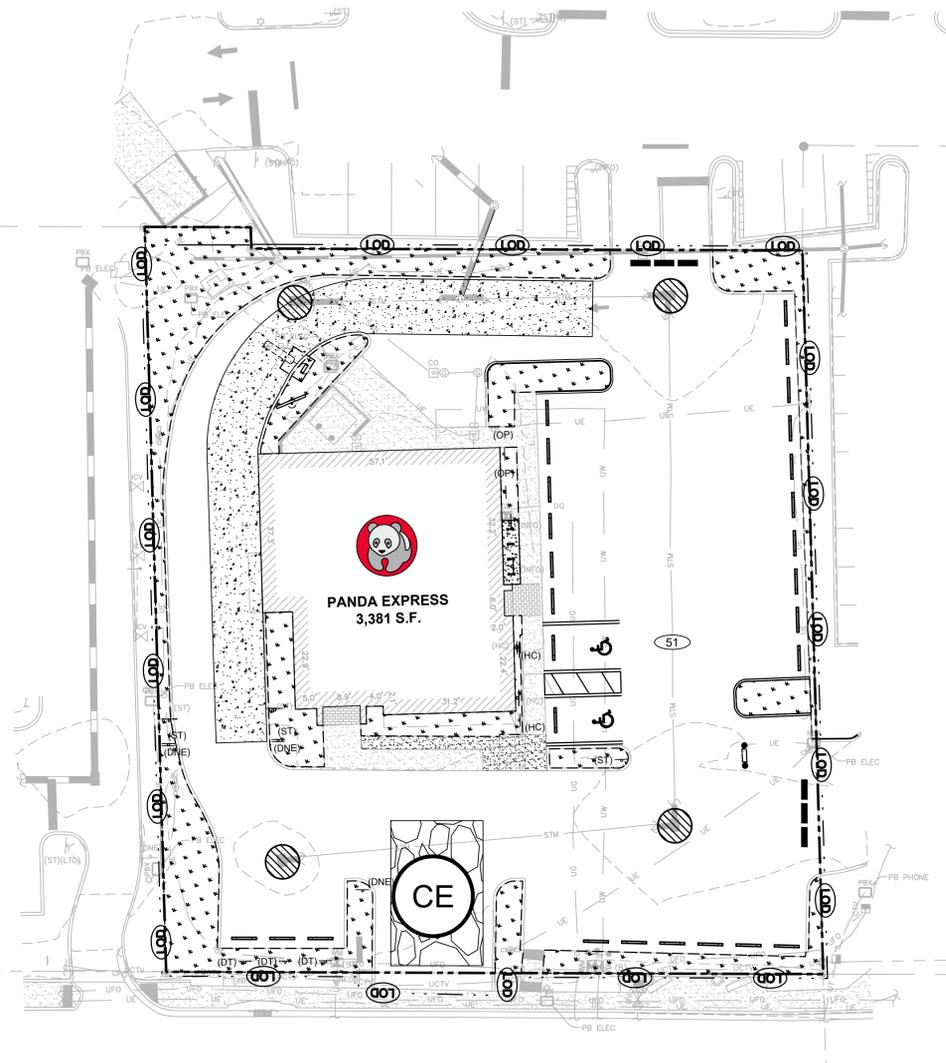
GRADING & DRAINAGE PLAN

C05.0

24 HOUR CONTACT:
PANDA PM

JOE CELENTO
(912) 272-4811





SR 814 (W ATLANTIC BOULEVARD)
 (RIGHT-OF-WAY WIDTH VARIES PER FDOT
 SECTION NO. # 86130-2504, SHEET 5 OF 18
 SECTION NO. 86100-2510, SHEET 27 OF 40)

PANDA EXPRESS STANDARD NOTES

1. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

SITE NOTES

1. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF WORK FROM THE SITE. BURIAL OF TREES AND OTHER DEBRIS SHALL NOT BE ALLOWED.
2. ALL MATERIAL SHALL BE NEW, UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
3. CONTRACTOR TO PROVIDE CONCRETE PAVING BETWEEN CASE OF BUILDING AND BACK OF CURB ALONG DRIVE-THRU LANE AND ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING.



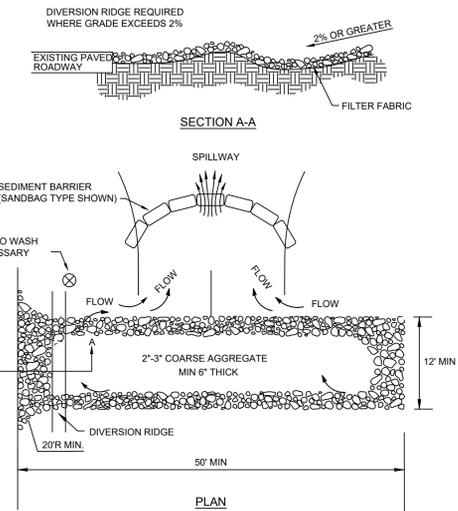
LEGEND

- LOD LIMITS OF DISTURBANCE
- SF SILT FENCE PER STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL (LATEST EDITION)
- BARRICADE (AT ALL ENTRANCE LOCATIONS W/O TEMPORARY CONSTRUCTION ACCESS)
- INLET PROTECTION
- CE CONSTRUCTION ENTRANCE PER STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL (LATEST EDITION)
- PERMANENT SEEDING/ VEGETATION
- 51 SOIL TYPE: PAMONA - ST. JOHN'S COMPLEX

ACREAGE SUMMARY

TOTAL SITE AREA	0.61 AC.
TOTAL DISTURBED AREA	0.61 AC.

NOTE:
 NO CONTAMINATION ON THIS SITE,
 NOR WITHIN 500' OF SITE.



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

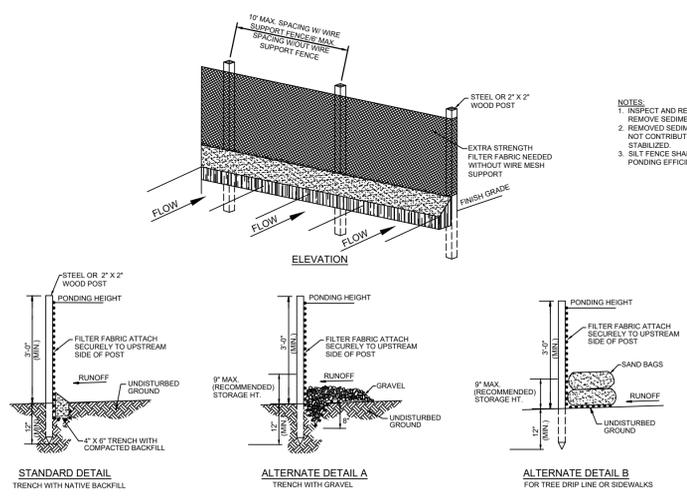
"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

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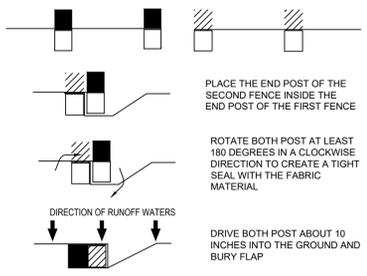
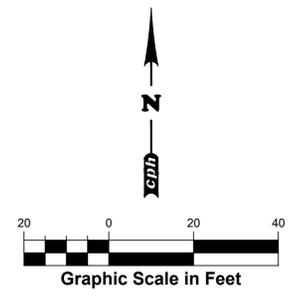
Project Name and location information: _____

TEMPORARY CONSTRUCTION EXIT DETAIL

N.T.S.



- NOTES:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT, OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



ATTACHING TWO SILT FENCES
 N.T.S.

SEDIMENTATION / SILT FENCE
 N.T.S.

24 HOUR CONTACT:
 PANDA PM
 JOE CELENTO
 (912) 272-4811



PANDA EXPRESS, INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8268

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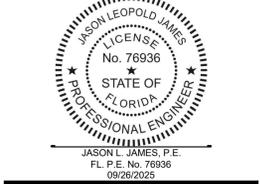
REVISIONS:

ISSUE DATE:

DRAWN BY: H.F.

PANDA PROJECT #: D37783
 CIVIL PROJECT #: 2401053

Jason L. James, State of Florida, Professional Engineer, License No. 76936. This item has been digitally signed and sealed by Jason L. James, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



PANDA EXPRESS
 PANDA HOME
 5681 W ATLANTIC BLVD
 MARGATE, FL 33063

SWPP PLAN

C06.0

EROSION AND SEDIMENTATION CONTROL NOTES

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, SECTION 403.085 AND THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.

SITE DESCRIPTION

A. SITE LOCATION
5681 W ATLANTIC BLVD MARGATE, FL 33063
SECTION 36 - TOWNSHIP 48 SOUTH - RANGE 41 EAST
LATITUDE: LONGITUDE:

B. SITE CONDITIONS & ACTIVITIES NARRATIVE

THE EXISTING CONDITION OF THE SITE IS OCCUPIED LAND WITH AN EXISTING BUILDING, PAVING AND LANDSCAPING. THE SITE WILL REMAIN AT APPROXIMATELY THE SAME GRADE AND HAVE NO MAJOR EFFECT ON ADJUTING PROPERTIES.

WETLANDS/BUFFERS

NO WETLANDS OR BUFFERS ARE ASSOCIATED WITH THIS PROJECT.

SWPPP INTENT

THE INTENT OF THIS SWPPP IS TO COMPLY WITH THE INTENT OF THE GENERIC PERMIT AND TO PREVENT THE RELEASE OF SOILS, TRASH, CHEMICALS, TOXINS AND OTHER POLLUTANTS BY WATER, AIR, VEHICLE TRANSPORT OR OTHER MEANS THAT CAN IMPACT STORM WATER QUALITY. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GENERIC PERMIT AND RETAIN ON-SITE FOR FUTURE REFERENCE. THE CONTRACTOR SHALL READ AND UNDERSTAND THE PERMIT, AND ENSURE THAT THE BMP'S ARE INSTALLED AND THE EXECUTION OF THE WORK IS PERFORMED TO MEET THE INTENT OF THE GENERIC PERMIT AND THE SWPPP.

POTENTIAL SOURCES OF POLLUTION

THE POTENTIAL SOURCES OF POLLUTION THAT MAY REASONABLY BE EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY INCLUDE: SEDIMENT, PESTICIDES, FERTILIZER, PLASTER, CLEANING SOLVENTS, ASPHALT, CONCRETE, GLUE, ADHESIVES, PAINTS, CURING COMPOUNDS, WOOD PRESERVATIVES, HYDRAULIC OIL FLUIDS, GASOLINE, DIESEL FUEL AND KEROSINE.

GENERAL NOTES

A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILE "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES" (DEP FORM 12541) 30 DAYS PRIOR TO THE DATE TO FILE TO THE FOLLOWING ADDRESS OR THROUGH THE DEP ONLINE SYSTEM AT LEAST TWO (2) DAYS BEFORE COMMENCEMENT OF CONSTRUCTION:

NPDES STORMWATER NOTICES CENTER, MS #5858 FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2600 BLAIR STONE ROAD, TALLAHASSEE, FLORIDA 32399-2400

THE CONTRACTOR SHALL SUBMIT A NOTICE OF INTENTION (NOTI) WITHIN 14 CALENDAR DAYS AFTER THE SITE HAS ACHIEVED FINAL STABILIZATION (I.E. ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINAL STABILIZED). TEMPORARY BMP'S HAVE BEEN REMOVED, AND STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE AUTHORIZED BY THE PERMIT HAVE BEEN ELIMINATED.

AN ENVIRONMENTAL RESOURCE PERMIT MODIFICATION FROM SOUTH FLORIDA WATER MANAGEMENT DISTRICT WILL BE OBTAINED FOR THIS SITE.

B. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES. SWALES SHALL BE CONSTRUCTED AS SHOWN ON PLANS.

C. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

- I. IN GENERAL, EROSION CONTROL SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
- II. NEW AND EXISTING STORMWATER INLETS AND OUTFALL STRUCTURES SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED IMMEDIATELY AS REQUIRED DURING THE VARIOUS STAGES OF CONSTRUCTION.
- III. PERIMETER EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL FINAL SITE STABILIZATION HAS BEEN ESTABLISHED.

D. CLEARING AND GRUBBING OPERATIONS SHALL BE CONTROLLED SO AS TO MINIMIZE UNPROTECTED ERODIBLE AREAS EXPOSED TO WEATHER. GENERAL EROSION CONTROL BMP'S SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND OFF-SITE SEDIMENTATION, WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC. THEY SHOULD BE EMPLOYED PRIOR TO ANY CONSTRUCTION ACTIVITY.

E. THE CONTRACTOR SHALL FURNISH, INSTALL PER THE SEQUENCE OF CONSTRUCTION, MAINTAIN AND SUBSEQUENTLY REMOVE ALL NECESSARY TEMPORARY BMP'S. THE CONTRACTOR WILL FURNISH AND INSTALL ALL NECESSARY PERMANENT BMP'S.

F. THE CONTRACTOR SHALL ADJUST, ADD OR MODIFY BMP'S AS NECESSARY TO COMPLY WITH THE INTENT OF THE GENERIC NPDES PERMIT AND THE SWPPP FOR NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL CONSULT WITH THE CEC PRIOR TO ADJUSTING, ADDING OR MODIFYING BMP'S THAT AFFECT THE HYDROLOGICS OF THE SITE OR BEFORE ADDING BMP'S NOT DETAILED IN THE SWPPP.

G. THE CONTRACTOR IS ADVISED THAT THE CONTRACT DRAWINGS ONLY INDICATE EROSION, SEDIMENT, AND TURBIDITY CONTROLS AT LOCATIONS DETERMINED IN THE DESIGN PROCESS. HOWEVER, THE CONTRACTOR IS REQUIRED TO PROVIDE ANY ADDITIONAL CONTROLS NECESSARY TO PREVENT THE POSSIBILITY OF SILTING ANY ADJACENT LOWLAND PARCEL OR RECEIVING WATER.

H. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THE MINIMUM ACCEPTABLE STANDARD FOR THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDENT UPON THE STAGE OF CONSTRUCTION, THE SEVERITY OF THE RAINFALL EVENT AND/OR AS DEEMED NECESSARY AS A RESULT OF ON-SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR THE APPLICABLE JURISDICTIONAL AUTHORITIES. THESE ADDITIONAL MEASURES (IF NEEDED) SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED MANAGEMENT PRACTICES (BMP'S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEXES #100 THROUGH #102 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO ASSURE THAT THE STORMWATER DISCHARGE FROM THE SITE DOES NOT EXCEED THE TOLERANCES ESTABLISHED BY ANY OF THE APPLICABLE JURISDICTIONAL AUTHORITIES.

I. THE CONTRACTOR SHALL KEEP THE SWPPP CURRENT AT ALL TIMES. THE CONTRACTOR SHALL SIGN AND DATE ANY CHANGES TO THE SWPPP AND KEEP THEM AS ATTACHMENTS TO THE ORIGINAL PLAN. WHENEVER ANY OF THE FOLLOWING EVENTS OCCUR, THE CONTRACTOR SHALL UPDATE THE SWPPP WITHIN 7 DAYS:

- I. THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION OR MAINTENANCE THAT HAS A SIGNIFICANT EFFECT ON THE DISCHARGE FROM THE PROJECT.
- II. THERE IS A NEW DISCHARGE POINT OR OUR OUTFALL.
- III. THERE IS A CHANGE IN THE LOCATION OF A DISCHARGE POINT OR OUTFALL.
- IV. AN INSPECTION REVEALS THAT BMP'S ARE INEFFECTIVE AT ELIMINATING OR MINIMIZING POLLUTANTS IN THE STORMWATER DISCHARGED FROM THE SITE.
- V. THERE IS A NEW SUBCONTRACTOR IMPLEMENTING ANY PORTION OF THE SWPPP.
- VI. A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT EQUAL TO OR GREATER THAN A REPORTABLE QUANTITY OCCURS DURING A 24-HOUR PERIOD.

J. THE CONTRACTOR SHALL ENSURE THAT THE CONTRACTOR AND ALL SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING SWPPP CONTROL MEASURES FOLLOW OUT THE CONTRACTOR/SUBCONTRACTOR CERTIFICATION TABLE INCLUDED IN THIS SWPPP.

K. THE CONTRACTOR SHALL COMPLETE THE CONSTRUCTION SEQUENCE TABLE INCLUDING IN THIS SWPPP PRIOR TO PROCEEDING WITH THE INSTALLATION OF BMP'S AND PRIOR TO GRADING DISTURBING ACTIVITIES. THE CONTRACTOR SHALL COMPLETE THE TABLE WITH ANTICIPATED DATES IN WHICH THE BMP WILL BE UTILIZED OR THE ACTIVITY WILL OCCUR.

STABILIZATION

A. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED AND WILL REMAIN UNDISTURBED FOR 7 DAYS OR MORE. STABILIZE BY COVERING WITH ADEQUATE AMOUNTS OF MULCH/OVER SEEDING AND PERIODICALLY WATER TO PROMOTE AND MAINTAIN GROWTH OF THE TEMPORARY GRASS/COVER, OR BY THE USE OF AN APPROPRIATE ALTERNATIVE BMP.

B. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.

C. ALL GRASS SLOPES CONSTRUCTED STEEPER THAN 4H:1V SHALL BE SODDED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED.

RETENTION OF RECORDS

THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE (3) YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION (NOTI) IS SUBMITTED.

REFERENCES

THE CONSTRUCTION PLANS AND SPECIFICATIONS FOR JOB P7399 AS PREPARED BY CPH, INC. IN MARCH 2024 ARE HEREBY REFERENCED AND MADE A PART OF THIS PLAN.

NOTE:

CONTRACTOR SHALL PAY CLOSE ATTENTION WHEN CLEARING AND/OR GRADING THE SITE TO ENSURE THAT WHEN EXISTING ROOTS ARE IDENTIFIED AND THEY ARE CUT OFF EVENLY WITH CLEAN SHARP PRUNING TOOLS. CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING THE DAMAGE TO THE EXISTING ROOT SYSTEMS.

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ANTICIPATED CONSTRUCTION SEQUENCE*	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV
CONSTRUCTION ENTRANCE												
TEMPORARY CONTROL MEASURES												
STORM FACILITIES												
ROUGH GRADE / SEDIMENT CONTROL												
FOUNDATION / BUILDING CONSTRUCTION												
FINISH GRADING												
PERMANENT CONTROL MEASURES												

* THIS IS ONLY A GUIDE. CONTRACTOR IS TO USE HIS JUDGMENT TO MODIFY AS NEEDED.

DUST CONTROL

A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.

B. AS REQUIRED AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.

C. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES. IF REQUIRED, DUST CONTROL FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL FOR A SILT FENCE EXCEPT THE MINIMUM HEIGHT SHALL BE A FEET.

WASTE MANAGEMENT

A. THE CONTRACTOR SHALL ENSURE THAT ALL WASTE AND DEBRIS ARE MANAGED DAILY SUCH THAT THEY WILL NOT IMPACT STORMWATER OR LEAVE THE PERMITTED AREA, AND DISPOSED OF PROPERLY IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS.

B. THE CONTRACTOR SHALL ENSURE THAT ALL CHEMICALS, OILS, FUELS, HAZARDOUS WASTE, UNIVERSAL WASTE AND TOXIC SUBSTANCES ARE PROPERLY MANAGED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL ENSURE THAT WASTE IS NOT DISCHARGED FROM THE SITE, AND DOES NOT IMPACT STORMWATER OR GROUNDWATER.

C. THE CONTRACTOR SHALL PROVIDE APPROPRIATE AND ADEQUATE WASHOUT FACILITIES TO ENSURE THAT CHEMICALS AND WASTE IS NOT DISCHARGED FROM THE SITE, AND DO NOT IMPACT STORMWATER OR GROUNDWATER. (E.G. CONCRETE REMOVAL WASHOUT, PAINT WASHOUT, ETC.) THE CONTRACTOR SHALL CLEAN UP SPILLS PROMPTLY AND ENSURE THAT WASHOUT AREAS ARE PROPERLY MAINTAINED TO PROVIDE ADEQUATE VOLUME TO PREVENT OVERFLOW.

D. THE CONTRACTOR SHALL PROVIDE ADEQUATE SANITARY FACILITIES FOR SITE PERSONNEL, MAINTAIN THROUGHOUT CONSTRUCTION, AND PROVIDE FOR PROPER DISPOSAL IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. SANITARY FACILITIES SHALL BE PROPERLY SITED TO PREVENT TIPPING.

E. A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING FOR EXAMPLE, ABSORBENT MATERIAL SUCH AS KITTLY LITTER OR SAWDUST, ACID, BASE, NEUTRALIZING AGENT, BROOMS, DUST PANS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE AND ITS LOCATION(S) SHALL BE IDENTIFIED WITH LEGIBLE TAGS PLACED ON THE SITE MAPS.

F. A SPILL CONTROL AND CONTAINMENT KIT SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.

G. CONTENTS SHALL BE INSPECTED DURING THE STORMWATER INSPECTION.

H. WHEN A SPILL OF REPORTABLE QUANTITIES IS DISCOVERED ON THE SITE, THE CONTRACTOR SHALL CLEAN UP ALL SPILLED MATERIALS AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE PERMITTING AGENCIES IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, THE OWNER AND PROJECT ENGINEER. THE CONTRACTOR SHALL RETAIN CLEANUP INFORMATION AS WELL AS DISPOSAL MANIFESTS WITH THEIR SWPPP.

MATERIALS MANAGEMENT AND EQUIPMENT STAGING AND MAINTENANCE

A. EXCAVATED MATERIALS SHALL BE STORED IN AREAS WHERE IT COULD BE WASHED AWAY BY HIGH WATER OR STORM WATER RUNOFF. STOCKPILED MATERIAL SHALL BE COVERED OR ENCLOSED WITH SEDIMENT CONTAINMENT DEVICES.

B. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING DRAINAGE COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BARRIERS OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OR OIL, GREASE, LUBRICANTS, OR OTHER CONTAMINANTS. CONTRACTOR SHALL MAKE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS IMMEDIATELY AFTER ANY OCCURRENCE.

C. THE CONTRACTOR SHALL ENSURE THAT ALL TOXIC / HAZARDOUS SUBSTANCES AND CHEMICALS ARE PROPERLY STORED, OUT OF THE WEATHER, AND USED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL ENSURE THAT THESE PRODUCTS ARE STORED AND USED IN SUCH A MANNER THAT WILL NOT NEGATIVELY IMPACT STORMWATER, GROUNDWATER OR PROTECTED SPECIES.

D. THE CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, EQUIPMENT, DEBRIS, WASTE, TRAILERS, AND OTHER SUPPORT RELATED ITEMS ARE CONTAINED WITHIN THE PERMITTED LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL ENSURE THAT THE STORAGE AND USE OF SUCH ITEMS DOES NOT NEGATIVELY IMPACT STORMWATER OR GROUNDWATER.

OFFSITE VEHICLE TRACKING

A. THE CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION EXIT IS USED BY ALL VEHICLES AND EQUIPMENT ENTERING OR LEAVING THE JOBSITE. THE CONTRACTOR SHALL MONITOR AND MAINTAIN THE CONSTRUCTION EXIT TO ENSURE THAT NO SOILS ARE TRACKED OFFSITE BY TIRES OR TRACKS, AND THAT NO SOILS ARE SPILLED BY TRUCKS OR EQUIPMENT LEAVING THE SITE. ALL TRACKED OR SPILLED SOILS SHALL BE SHOVELLED OR SWEEP FROM THE ROADWAY AND RETURNED TO THE SITE. WATER SHALL NOT BE USED TO CLEAN THE SOILS FROM THE ROADWAY UNLESS THE WATER AND SOILS ARE RECOVERED BY THE USE OF A VACUUM TRUCK OR SIMILAR DEVICE.

FERTILIZERS, HERBICIDES AND PESTICIDES

A. THE CONTRACTOR SHALL ENSURE THAT ALL FERTILIZERS, HERBICIDES, PESTICIDES AND SIMILAR PRODUCTS ARE PROPERLY STORED, OUT OF THE WEATHER, AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL ENSURE THAT THESE PRODUCTS ARE USED IN SUCH A MANNER THAT WILL NOT NEGATIVELY IMPACT STORMWATER, GROUNDWATER OR PROTECTED SPECIES.

B. NUTRIENTS SHALL BE APPLIED ONLY AT RATES NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION.

INSPECTIONS AND MAINTENANCE

A. THE CONTRACTOR SHALL INSPECT BMP'S AT DISCHARGE LOCATIONS, CONSTRUCTION EXIT, PERIMETER CONTROLS, INLET PROTECTION, STABILIZATION, EROSION CONTROL, DOCUMENTATION, WASTE DISPOSAL AREAS, MATERIAL STORAGE AREAS, ETC.) TO ENSURE THAT BMP'S ARE NOT CAUSING OR CONTRIBUTING TO VIOLATIONS OF WATER QUALITY STANDARDS OR RESULTING IN OFFSITE SEDIMENTATION. ENSURE THAT BMP'S ARE INSTALLED, MAINTAINED AND OPERATING CORRECTLY AND EFFECTIVELY; ENSURE THAT BMP'S ASSOCIATED WITH STORAGE AND WASTE DISPOSAL AREAS ARE BEING USED AND MAINTAINED PROPERLY; ENSURE THAT THE CONSTRUCTION EXIT IS FUNCTIONING PROPERLY TO PREVENT OFFSITE TRACKING OF SEDIMENT; ENSURE THAT EROSION PREVENTION MEASURES ARE MAINTAINED TO PREVENT VISIBLE EROSION OF DISTURBED AREAS AND SEDIMENTATION AT THE DISCHARGE POINTS, AND DETERMINE IF CONSTRUCTION ACTIVITIES HAVE ALTERED THE EFFECTIVENESS OF BMP'S. INSPECTIONS MUST BE COMPLETED AT LEAST EVERY SEVEN (7) CALENDAR DAYS, AND WITHIN 24 HOURS AFTER A RAINSTORM OF 0.50 INCHES OR GREATER EVEN IF IT RAINS ON THE WEEKEND OR A HOLIDAY.

B. THE CONTRACTOR SHALL REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION USING THE STORMWATER POLLUTION PREVENTION PLAN PROVIDED BY FDEP OR AN EQUIVALENT FORM. INSPECTION REPORTS SHALL BE SIGNED BY THE INSPECTOR AND A RESPONSIBLE AUTHORITY AS DEFINED BY THE PERMIT. INSPECTION REPORTS SHALL BE MAINTAINED WITH THE SWPPP. THE INSPECTOR MUST BE A QUALIFIED EROSION AND SEDIMENT CONTROL INSPECTOR AS DEFINED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

C. ANY MAINTENANCE, REPAIR AND NECESSARY REVISIONS TO BMP ITEMS SHALL BE ADDRESSED IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION OR IDENTIFICATION OF THE ISSUE. UNLESS OTHERWISE SPECIFIED, ACCUMULATED SEDIMENTS SHOULD BE REMOVED BEFORE THEY REACH ONE-HALF OF THE CAPACITY OF THE CONTROL DEVICE.

ALLOWABLE NON-STORMWATER DISCHARGES

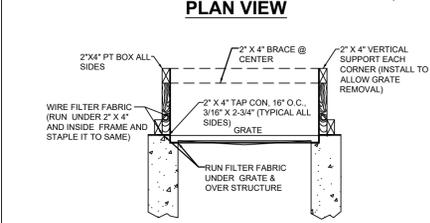
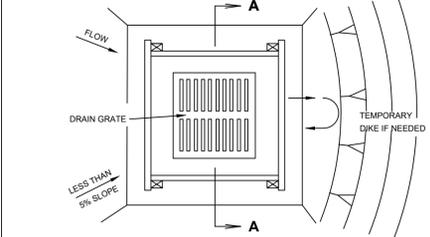
THE GENERIC PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES PROHIBIT MOST NON-STORMWATER DISCHARGES DURING THE CONSTRUCTION PHASE. CERTAIN DISCHARGES ARE ALLOWED BY THE PERMIT, PROVIDED APPROPRIATE BMP'S ARE UTILIZED AND THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. ALLOWABLE NON-STORMWATER DISCHARGES THAT OCCUR DURING CONSTRUCTION ON THIS PROJECT PER PART 2.2 OF THE GENERIC PERMIT ARE:

1. FIRE HYDRANT FLUSHINGS.
2. WATERS WITHOUT DETERGENTS USED TO SPRAY OFF LOOSE SOLIDS FROM VEHICLES.
3. WATERS USED TO CONTROL DUST.
4. POTABLE WATER SOURCES SUCH AS WATERLINE FLUSHINGS.
5. LANDSCAPE IRRIGATION AND DRINKING WATER.
6. ROUTINE EXTERNAL BUILDING WASHDOWN PROVIDED NO DETERGENTS ARE USED.
7. PAVEMENT WASHWATERS THAT DO NOT CONTAIN DETERGENTS, LEAKS, SPILLS OF TOXIC OR HAZARDOUS MATERIALS.
8. AIR CONDITIONING CONDENSATE.
9. SPRING WATER.
10. FOUNDATION OR FOOTING GRAB FLOWS THAT ARE NOT CONTAMINATED WITH PROCESS MATERIAL, SUCH AS SOLVENTS.
11. NONCONTAMINATED GROUND WATER ASSOCIATED WITH DEWATERING ACTIVITIES AS DESCRIBED IN PART 3.4 OF THE GENERIC PERMIT.

CONSTRUCTION SEQUENCING TABLE

ANTICIPATED CONSTRUCTION SEQUENCE*	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV
CONSTRUCTION ENTRANCE												
TEMPORARY CONTROL MEASURES												
STORM FACILITIES												
ROUGH GRADE / SEDIMENT CONTROL												
FOUNDATION / BUILDING CONSTRUCTION												
FINISH GRADING												
PERMANENT CONTROL MEASURES												

* THIS IS ONLY A GUIDE. CONTRACTOR IS TO USE HIS JUDGMENT TO MODIFY AS NEEDED.

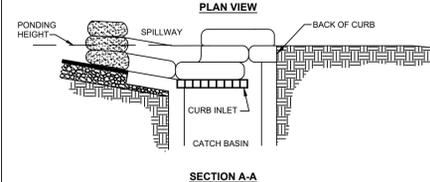
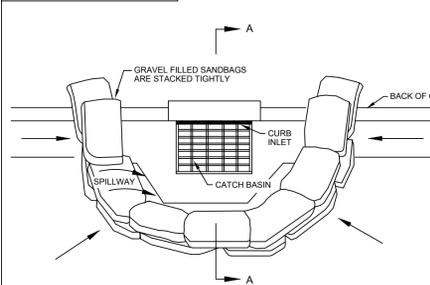


- NOTES:**
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%).
 2. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSTREAM SIDE OF THE STRUCTURE.
 3. THE FRAME SLOPE TO STRUCTURE TO ALLOW GRADE REMOVAL.
 4. LEAVE EXPOSED EDGE TO ALLOW FOR PAVING TO GRADE.

FILTER FABRIC INLET PROTECTION DETAIL

N.T.S.

NOTE:
AVOID USING IN TRAFFIC AREAS AS THIS CAN CAUSE A HAZARD.

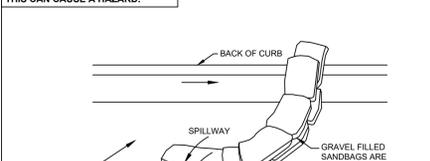


- NOTES:**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 2. SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AS NECESSARY. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

CURB INLET PROTECTION DETAIL

N.T.S.

NOTE:
AVOID USING IN TRAFFIC AREAS AS THIS CAN CAUSE A HAZARD.



- NOTES:**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 2. SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 3. TAPER TO ONE SANDBAG TO PROVIDE A SPILLWAY FOR OVERFLOW.
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AS NECESSARY. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

CURB LINE PROTECTION DETAIL

N.T.S.

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH "W" OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH "D" OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH "L" OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.
8. EXTRA CARE SHALL BE TAKEN TO ENSURE REGULAR MAINTENANCE OF FILTER SACKS USED IN RIGHT OF WAY TO ENSURE ADEQUATE DRAINAGE CAPACITY.



PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D4832	20 LBS
GRAB TENSILE ELONGATION	ASTM D4832	20 %
MULLEN BURST	ASTM D3763	800 PSI
MULLEN TEAR	ASTM D4832	20 LBS
UV RESISTANCE	ASTM D4355	80 %
APPEARANT OPENING SIZE	ASTM D4491	20 US SIEVE
FLOW RATE	ASTM D4491	40 GAL/MIN/9 FT PERMITTIVITY

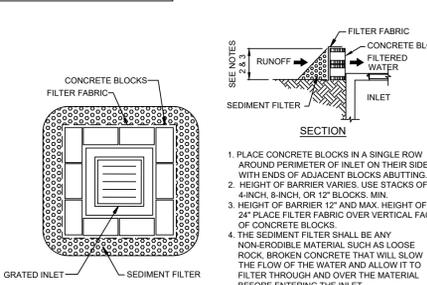
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D4832	20 LBS
GRAB TENSILE ELONGATION	ASTM D4832	15 %
MULLEN BURST	ASTM D3763	400 PSI
MULLEN TEAR	ASTM D4832	40 LBS
UV RESISTANCE	ASTM D4355	80 %
APPEARANT OPENING SIZE	ASTM D4491	20 US SIEVE
FLOW RATE	ASTM D4491	20 GAL/MIN/9 FT PERMITTIVITY

- CAUTION:** BAGGED INLET PROTECTION REQUIRES ADDITIONAL MAINTENANCE TO ENSURE THAT THE BMP FUNCTIONS PROPERLY AND DOES NOT CAUSE FLOODING.

GEOTEXTILE BAG INLET PROTECTION DETAIL

N.T.S.

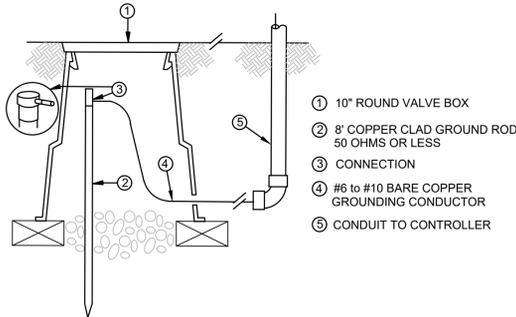
NOTE:
AVOID USING IN TRAFFIC AREAS AS THIS CAN CAUSE A HAZARD.



BLOCK AND AGGREGATE INLET SEDIMENT FILTER

GENERAL IRRIGATION NOTES

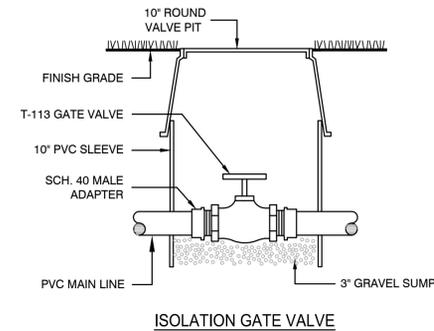
- ALL MAINLINES TO HAVE A MINIMUM OF 18" OF COVER. (CLASS 200 PVC PIPE).
- ALL LATERAL AND SUB-MAIN PIPE TO HAVE A MINIMUM OF 12" OF COVER (CLASS 200 PVC PIPE).
- NO ROCKS, BOULDER, OR OTHER EXTRANEIOUS MATERIALS TO BE USED IN BACKFILLING OF TRENCH.
- ALL PIPE TO BE INSTALLED AS PER MANUFACTURERS' SPECIFICATIONS.
- ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE OR LIQUID TEFLON.
- ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS.
- SPRINKLER AND RELATED EQUIPMENT TO BE INSTALLED AS PER DETAILS.
- ALL ELECTRICAL JOINTS TO BE MADE USING WATERPROOF CONNECTIONS AS SHOWN ON DETAILS.
- ALL EQUIPMENT NOT SPECIFIED IN THE LEGEND SHALL BE DETERMINED AND FURNISHED BY THE CONTRACTOR.
- NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR CONNECTIONS.
- ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET MUST BE REFERRED TO THE IRRIGATION CONSULTANT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PRECEDING WITH THE WORK.
- ALL 24 VOLT WIRE SHALL BE #12 UF/UL FOR COMMON WIRE, AND #14 UF/UL FOR CONTROL WIRES, DIRECT BURIAL, SOLID COPPER.
- CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED, I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
- CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING, I.E. VERIFY ROOT BALL SIZE FOR PLANTING.
- CONTRACTOR SHALL PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN A VALVE BOX (WRAP AROUND 3/4" PIPE 12 TIMES).
- SPRINKLERS IN LOW-LYING AREAS SHALL HAVE CHECK VALVES
- ALL SPRINKLERS TO BE MOUNTED ON FLEX PIPE - REFER TO DETAILS.
- INSTALL DRIP LINE TUBING AND NON-PRESSURE LATERAL LEAD LINE PIPING IN LANDSCAPE AREAS AND ADJACENT TO SELECTED PLANT MATERIAL AS SHOWN IN DETAILS.
- CONTRACTOR SHALL UTILIZE VALVE I.D. TAGS ON ALL REMOTE CONTROL VALVES.
- 24 VOLT WIRE SHALL BE COLOR CODED: COMMON WHITE, CONTROL RED.
- CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDED GROUNDING EQUIPMENT FOR POWER SUPPLY AND VALVE OUTPUT WITH (2) 5/8" COPPER CLAD GROUND RODS.
- CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDATION ON FAULT GROUND AND LIGHTNING PROTECTION.
- CONTROLLER GROUNDING MUST BE PER ASIC REQUIREMENTS.
- ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER:
 - TWO WRENCHES FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.
 - TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLERS.
 - TWO QUICK COUPLER KEYS WITH MATCHING HOSE SWIVELS.
- IRRIGATION INSTALLATION CONTRACTOR SHALL PROVIDE THE OWNER WITH A COLOR-CODED ZONE DIAGRAM PLAN, 8-1/2"x11" LAMINATED SHEET(S) WITH AN ELECTRONIC FILE COPY TO IDENTIFY CONTROLLER STATION TO THE CONTROL VALVE NUMBER FOR EACH CONTROLLER. THE LAMINATED CHART IS TO BE LOCATED IN AN ADHESIVE POUCH ATTACHED TO THE INSIDE OF CONTROLLER(S).
- THE CONTROLLER(S) SHALL SCHEDULE PROGRAM "A" TO A REGULAR RUN-TIME SETTINGS FOR AFTER THE ESTABLISHMENT PERIOD OF THE PLANT MATERIAL. PROGRAM "B" SHALL BE USED DURING THE ESTABLISHMENT PERIOD AND TURNED OFF AFTER THE 30-60 DAYS OF PLANT INSTALLATION.
- THE IRRIGATION CONTRACTOR WILL READ ALL SPECIFICATIONS AND REVIEW ALL DETAILS AND EXAMINE THESE PLANS CAREFULLY PRIOR TO BIDDING THIS PROJECT. FAILURE TO READ THIS INFORMATION IS NOT AN ACCEPTABLE REASON IF THE JOB IS UNDERBID.
- THE PLAN MAY NOT INCLUDE ALL MATERIALS. THIS DOESN'T RELIEVE THE CONTRACTOR FROM BEING RESPONSIBLE TO PROVIDE A COMPLETE SYSTEM IN PERFECT WORKING ORDER.



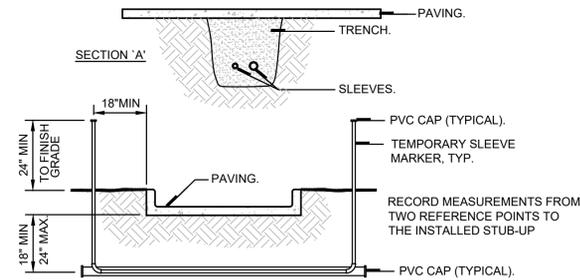
GROUND PER N.E.C.
CONTROLLER GROUNDING

DRIP TUBING NOTES

- INSTALL DRIP TUBING AT GRADE AND COVER WITH MULCH. TYPICAL SPACING FOR DRIP TUBING IS 12" TO 18" ON CENTER. SPACING TO BE DETERMINED BY PLANT LAYOUT. REFER TO LANDSCAPE PLAN. ANCHOR TUBING EVERY 10' WITH 12" LONG PLASTIC TUBING STAKES. INSTALL FLUSH VALVE ASSEMBLIES AT ALL TUBING "DEAD ENDS". INSTALL AIR/VACUUM RELIEF VALVES AT "HIGH POINTS" OF EVERY SECTION.
- GRID LAYOUT SHALL BE USED ON THIS PROJECT. USE CENTER GRID LAYOUT WHERE POSSIBLE.
- WHEN SLEEVING DRIPLINE, USE BLANK DRIPLINE IN SLEEVE. SLEEVE SHALL BE 2X DRIPLINE DIAMETER. NO EMITTER DRIPLINE SHALL BE PLACED IN SLEEVE.
- THE LENGTH OF ANY DRIPLINE LATERAL SHALL NOT BE LONGER THAN:
 - @ 15 PSI = 155 FEET
 - @ 20 PSI = 169 FEET
 - @ 30 PSI = 230 FEET
 - @ 40 PSI = 255 FEET
 LATERAL DISTANCE DOUBLED WHEN CENTER FEED LAYOUT USED (SEE CENTER FEED LAYOUT DETAIL).
- MANUAL FLUSH VALVE SHALL BE USED & PLACED WITH A 6" X 6" SUMP. VALVES SHALL BE OPENED EVERY WATERING DAY FOR 2 WEEKS AND THEN A MINIMUM OF 2 TIMES A YEAR TO CLEAR DRIPLINE OF DEBRIS.
- AIR/VACUUM RELIEF SHALL BE INSTALLED WHEN THE CHANGE IN SLOPE OCCURS 3% OR GREATER.
- STAPLES SHALL BE USED AT 5' O.C. AND 2 STAPLES X'ED OVER EACH OTHER WITH ANY CHANGE IN DIRECTION, ELBOWS, OR CROSSES.
- SUPPLY, EXHAUST HEADERS AND DRIPLINE SHALL BE PLACED 2"-4" FROM PLANTS AND PAVEMENT EDGES.
- BLANK DRIPLINE SHALL BE USED FOR ALL SUPPLY AND EXHAUST HEADERS, UNLESS OTHERWISE NOTED ON PLANS.
- PRIOR TO COVERING DRIPLINE, DRIPLINE CIRCUIT WILL BE PRESSURIZED AND TESTED FOR PROPER OPERATION.
- DRIPLINE LATERALS SHALL BE LAID IN THE LONGEST RUN, WHETHER IT BE THE WIDTH OR LENGTH OF THE ZONE.

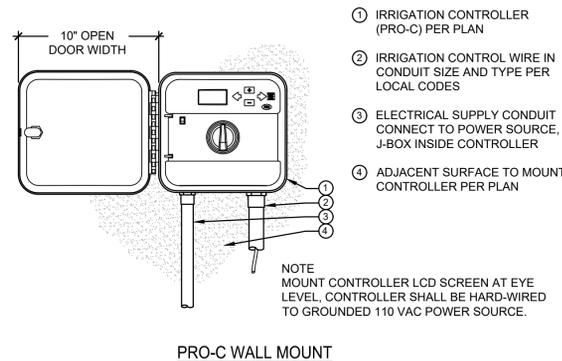


ISOLATION GATE VALVE



- NOTES**
- IRRIGATION SLEEVES SHALL BE CLASS 200 PIPE FOR 6" AND LARGER AND SCHEDULE 40 PVC FOR 3" AND SMALLER.
 - ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
 - WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE AND MARK ALL SLEEVE LOCATIONS. REMOVE EXTENSION WHEN SLEEVE IS UTILIZED.
 - MECHANICALLY TAMP TO 95% PROCTOR.
 - SLEEVE SHALL BE TWO (2) TIMES DIAMETER OF NOMINAL SIZE OF PIPE WITHIN SLEEVE.

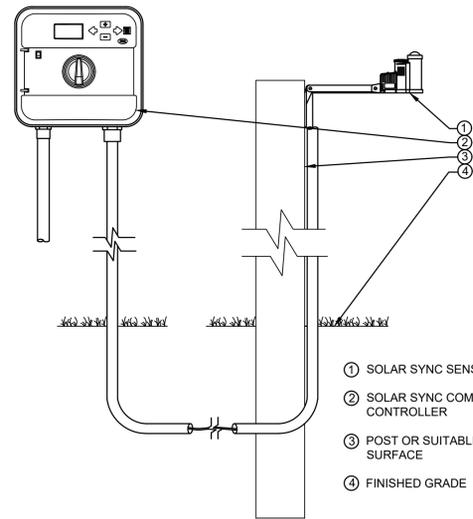
IRRIGATION SLEEVE DETAIL



PRO-C WALL MOUNT

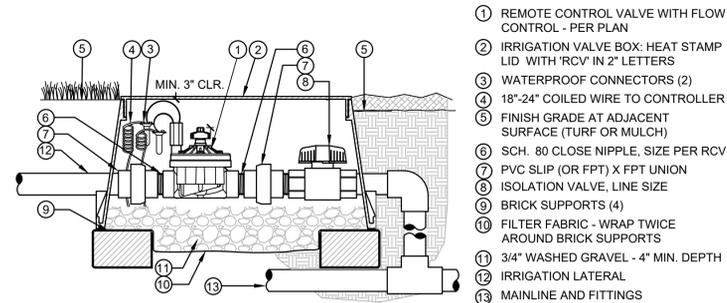
- IRRIGATION CONTROLLER (PRO-C) PER PLAN
- IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
- ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
- ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND 110 VAC POWER SOURCE.



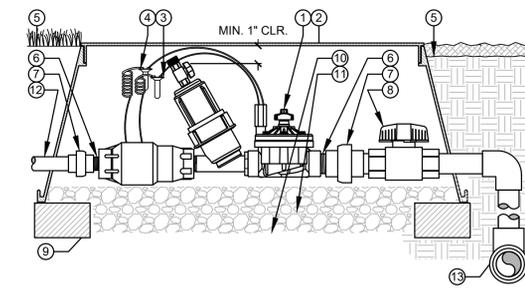
SOLAR SYNC WITH WALL MOUNT CONTROLLER

- SOLAR SYNC SENSOR
- SOLAR SYNC COMPATIBLE CONTROLLER
- POST OR SUITABLE MOUNTING SURFACE
- FINISHED GRADE



ELECTRIC REMOTE CONTROL VALVE

- REMOTE CONTROL VALVE WITH FLOW CONTROL - PER PLAN
- IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- WATERPROOF CONNECTORS (2)
- 18"-24" COILED WIRE TO CONTROLLER
- FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- SCH. 80 CLOSE NIPPLE, SIZE PER RCV
- PVC SLIP (OR FPT) X FPT UNION
- ISOLATION VALVE, LINE SIZE
- BRICK SUPPORTS (4)
- FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- IRRIGATION LATERAL
- MAINLINE AND FITTINGS



DRIP CONTROL KIT WITH UNIONS AND ISOLATION VALVE

- HUNTER REMOTE CONTROL VALVE (ICZ) WITH FILTER REGULATOR
- IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- WATERPROOF CONNECTORS (2)
- 18"-24" COILED WIRE TO CONTROLLER
- FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
- PVC SLIP X FPT UNION
- ISOLATION VALVE, SIZE AND TYPE PER PLAN
- BRICK SUPPORTS (4)
- FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- IRRIGATION LATERAL
- MAINLINE LATERAL AND FITTINGS



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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

DRAWN BY: V. RIVERA

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This item has been digitally signed and sealed by Danita R. Bryant on the date adjacent to the seal. Signature must be verified on any electronic copies



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Sep 29, 2025

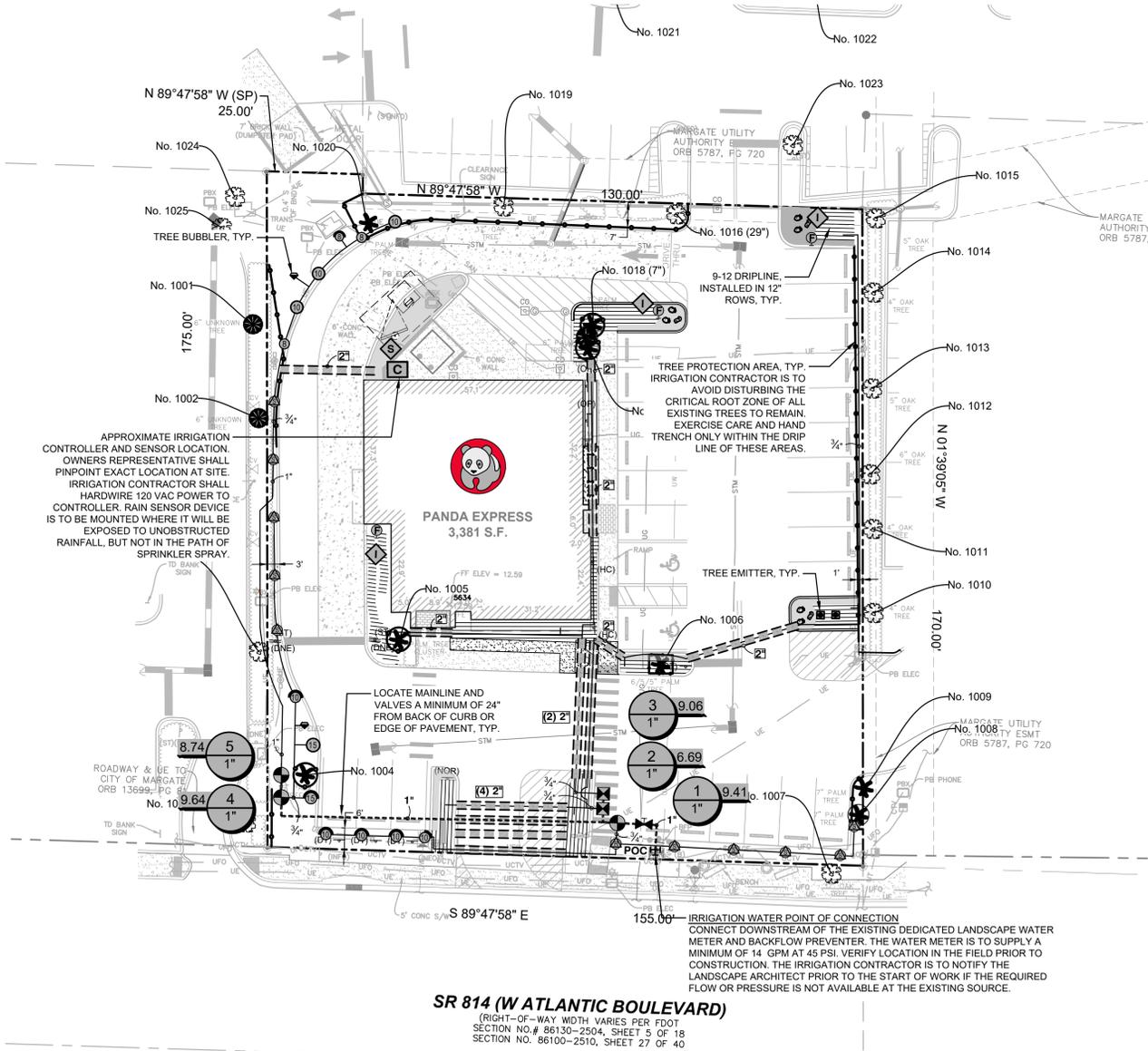
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IRRIGATION NOTES & DETAILS

THESE PLANS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS ARE TO RECEIVE 100% COVERAGE. INSTALL THIS IRRIGATION SYSTEM PER THE SITE CONDITIONS, AVAILABLE FLOW/PRESSURE AND MANUFACTURERS RECOMMENDATIONS. ADJUST ZONE FLOWS TO ACCOMMODATE THE AVAILABLE MAINLINE FLOWS AND PRESSURES.

THE DESIGN PROFESSIONAL DOES NOT ACCEPT ANY/ALL RESPONSIBILITY AND/OR LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY OR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONALS GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.



NOTES

- CONTRACTOR SHALL LOCATE ALL PROPERTY AND RIGHT OF WAY LINES BEFORE CONSTRUCTION BEGINS.
- THESE IRRIGATION PLANS ARE SCHEMATIC AND MAY BE EXAGGERATED. CONTRACTOR SHALL KEEP WITHIN ALL PROPERTY AND RIGHT OF WAY LINES DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST ALL SPRAY HEADS SO AS NOT TO SPRAY ONTO IMPERVIOUS SURFACES.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY DEPTHS AND COORDINATE IRRIGATION CONSTRUCTION WITH ALL EXISTING AND PROPOSED UTILITIES.
- ALL UNDERGROUND SLEEVES SHALL BE SCHEDULE 40 PVC AND SHALL BE TWICE THE DIAMETER OF ANY LINE IT HOUSES.
- CONTRACTOR TO PROTECT ALL EXISTING LANDSCAPING AND IRRIGATION.
- ALL WIRE WILL BE COLOR-CODED DIRECT BURIAL UL/UF WIRE: COMMON (WHITE) #12-1, CONTROL WIRE (RED) #14-1.
- IRRIGATION INSTALLATION CONTRACTOR SHALL INSTALL (2) SPARE CONTROL WIRES, COLOR-CODED YELLOW AND COMMON FROM CONTROLLER TO MIDPOINT OF MAINLINE, MOUNTED IN 10" ROUND VALVE BOX.
- MAINLINE LOCATION, WHERE SHOWN, IS FOR GRAPHIC CLARITY PURPOSES ONLY. INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING TO FDEP GUIDELINES AND TO IRRIGATION SPECIFICATIONS AND DETAILS.

IRRIGATION SYSTEM PERFORMANCE NOTES

- IRRIGATION SYSTEM IS DESIGNED TO OPERATE OFF AN EXISTING POTABLE WATER METER PROVIDING A MINIMUM FLOW OF 14 GPM AND A MINIMUM PRESSURE OF 45 PSI.
CONTRACTOR MUST CONTACT THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION IF THE AVAILABLE FLOW AND PRESSURE DEVIATES MORE THAN 5% OR WILL AFFECT THE PERFORMANCE OF THE SYSTEM.
MINIMUM PRESSURE REQUIREMENTS - 45 PSI AT THE POINT OF CONNECTION.
A. 30 PSI AT THE BASE OF THE POP-UP SPRAY HEADS.
B. 30 PSI AT THE BASE OF THE LOW-VOLUME EMITTER.
- HEAD LAYOUT IS BASED ON BASE INFORMATION PROVIDED. HEADS SHALL BE ADJUSTED TO ACCOMMODATE FIELD VARIATIONS WHILE MAINTAINING 100% COVERAGE AND MINIMIZING OVER-SPRAY ONTO PAVED AREAS AND BUILDINGS.
- 1/2" PIPE SHALL NOT BE USED FOR LATERAL PIPING.

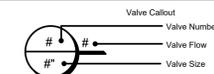
WATERING GUIDELINES FOR TREES AND SHRUBS DURING ESTABLISHMENT PERIODS

TYPE OF PLANT	ESTABLISHMENT PERIOD	WATERING SCHEDULE	RECOMMENDED AMOUNT OF WATER
TREES WITH LESS THAN 2" TRUNK DIAMETER	3 TO 6 MONTHS	1. DAILY FOR 2 WEEKS. 2. EVERY OTHER DAY FOR 2 MONTHS. 3. THEN WEEKLY UNTIL ESTABLISHED.	2 TO 3 GALLONS PER INCH OF TRUNK DIAMETER
TREES WITH 2" TO 4" TRUNK DIAMETER	6 TO 12 MONTHS	1. DAILY FOR 1 MONTH. 2. EVERY OTHER DAY FOR 3 MONTHS. 3. THEN WEEKLY UNTIL ESTABLISHED.	2 TO 3 GALLONS PER INCH OF TRUNK DIAMETER
TREES OVER 4" TRUNK DIAMETER	12 OR MORE MONTHS	1. DAILY FOR 2 WEEKS. 2. EVERY OTHER DAY FOR 2 MONTHS. 3. THEN WEEKLY UNTIL ESTABLISHED.	2 TO 3 GALLONS PER INCH OF TRUNK DIAMETER
SHRUBS IN 1-GALLON CONTAINERS	3 TO 6 MONTHS	1. DAILY FOR 6 WEEKS. 2. EVERY OTHER DAY FOR 2 MONTHS. 3. THEN WEEKLY UNTIL ESTABLISHED.	1 QUART
SHRUBS IN 3-GALLON CONTAINERS	3 TO 6 MONTHS	1. EVERY DAY FOR THE FIRST FEW WEEKS AFTER PLANTING. 2. GRADUALLY DECREASE TO EVERY OTHER DAY TO EVERY EVERY THIRD DAY UNTIL ESTABLISHED.	2 QUART
SHRUBS IN 7-GALLON CONTAINERS	6 TO 12 MONTHS	1. EVERY DAY FOR THE FIRST FEW WEEKS AFTER PLANTING. 2. GRADUALLY DECREASE TO EVERY OTHER DAY TO EVERY EVERY THIRD DAY UNTIL ESTABLISHED.	1 GALLON

NOTES: A. FREQUENCY MAY BE REDUCED WHEN PLANTS ARE INSTALLED DURING THE COOLER MONTHS OR DURING PERIODS OF FREQUENT RAIN.
B. DO NOT WATER IF THE ROOT BALL IS SATURATED.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
EST LCS RCS CST SST	Rain Bird 1806-U-PRS 15 Strip Series Turf Spray 6in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	11	30
Q T H F	Rain Bird 1806-U-PRS U8 Series Turf Spray 6in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	1	30
Q T H F	Rain Bird 1806-U-PRS U10 Series Turf Spray 6in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	5	30
Q T H F	Rain Bird 1806-U-PRS U15 Series Turf Spray 6in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	1	30
08HE-VAN 12HE-VAN 10HE-VAN 15HE-VAN	Rain Bird 1806-U-PRS HE-VAN Series Turf Spray 6in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	6	30
360	Rain Bird 1800-1300AF Flood Adjustable Flow 1.0 GPM - 2.3 GPM, Full circle bubbler, 1/2in. FIPT inlet.	2	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
ICZ	Hunter ICZ-101-40 Drip Control Zone Kit. 1in. ICV Globe Valve with 1in. HY100 filter system. Pressure Regulation: 40psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	2	
PC	Rain Bird MDCFCAP Dripline Flush Valve cap in compression fitting coupler.	3	
OPERIND	Rain Bird OPERIND Drip System Operation Indicator, stem rises 6" for clear visibility when drip system is charged to a minimum of 20psi. Includes 16" of 1/4" distribution tubing with connection fitting pre-installed.	3	
PC-DIFF	Rain Bird PC-DIFF Single Outlet, Pressure Compensating Drip Emitters with Self-Piercing Barb Inlet and Diffuser Cap. Flow rate: 5 GPH=light brown; 7 GPH=violet; 10 GPH=green; 12 GPH=dark brown; 18 GPH=white; 24 GPH=orange.	2	
Area to Receive Dripline	Rain Bird XFD-09-12 XFD On-Surface Pressure Compensating Landscape Dripline. 0.9 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. UV & Kink Resistant. Use XF insert fittings.	1,022 lf	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
ICV-G	Hunter ICV-G 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	3	
Nibco T-113-K	Nibco T-113-K Class 125 bronze gate shut off valve with cross handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"	1	
PC	Hunter P2C-400 with (01) PCM-300 Light Commercial & Residential Controller, 7-station expanded module controller, 120 VAC, Outdoor/Indoor model	1	
S	Hunter Solar-Sync-Sen Solar, rain freeze sensor with outdoor interface, connects to Hunter X-Core and ACC Controllers, install as noted. Includes gutter mount bracket. Wired. Module not included.	1	
POC	Point of Connection Existing water meter and backflow device. System requires 14 GPM @ 45 PSI. Irrigation contractor shall be responsible to verify the sources ability to service the systems requirements at site before starting construction.	1	
---	Irrigation Lateral Line: PVC Class 200 SDR 21 Only lateral transition pipe sizes 1" and above are indicated on the plan, with all others being 3/4" in size. Fittings shall be SCH 40 and molded. Install 12" below final grade.	879.2 lf	
---	Irrigation Mainline: PVC Class 200 SDR 21 Pipe sizes 3" inch or smaller shall have bell and socket joints. Fittings shall be SCH 40 and molded. Install 18" below grade.	122.1 lf	
---	Pipe Sleeve: PVC Schedule 40 The depth of the sleeves shall be a minimum 30" cover from finished grade under roadway crossings and 24" under all sidewalks and hardscapes. Extend sleeves 18" beyond edges of paving or construction, mark both ends with a 3" "V" in pavement.	288.3 lf	



WATERING SCHEDULE

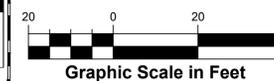
NUMBER	MODEL	TYPE	PRECIP	SUN	MON	TUE	WED	THU	FRI	SAT	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Hunter ICV-G	Turf Spray	1.26 in/h			24 min			24 min	1	48	48	452	226
2	Hunter ICZ-101-40	Area for Dripline	1.44 in/h			21 min			21 min	1	42	42	281	140
3	Hunter ICZ-101-40	Area for Dripline	1.44 in/h			21 min			21 min	1	42	42	381	190
4	Hunter ICV-G	Turf Spray	1.13 in/h			27 min			27 min	1	54	54	520	260
5	Hunter ICV-G	Turf Spray	1.17 in/h			26 min			26 min	1	52	52	454	227
TOTALS:						119			119		238	238	2,088	1,044

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	PIPE 3/4"	PIPE 1"	WIRE	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	Hunter ICV-G	1"	Turf Spray	9.41	10	159.2		209.2	30	0.93	2.94	33.9	34.1	1.26 in/h
2	Hunter ICZ-101-40	1"	Area for Dripline	6.69	418.5 lf	267.9		209.0	30	0.97	6.01	37.0	37.1	1.44 in/h
3	Hunter ICZ-101-40	1"	Area for Dripline	9.06	603.8 lf	180.5		212.8	30	2.72	7.44	40.1	40.5	1.44 in/h
4	Hunter ICV-G	1"	Turf Spray	9.64	7	117.0		117.0	30	1.06	2.96	34.0	35.5	1.13 in/h
5	Hunter ICV-G	1"	Turf Spray	8.74	9	91.6	84.1	117.0	30	2.27	2.87	35.1	36.4	1.17 in/h
Common Wire								122.1						



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CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE VICINITY OF THE EXISTING BURIED GAS MAIN



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REVISIONS:

ISSUE DATE:

DRAWN BY: V. RIVERA

PANDA PROJECT #: D37783
CIVIL PROJECT #: 2401053



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Danita R. Bryant, RLA
LA6667318
Sep 29, 2025

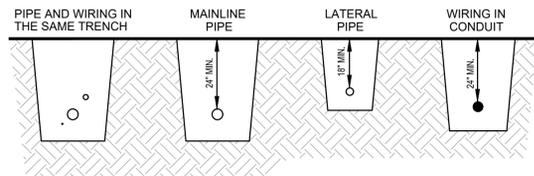
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IRRIGATION PLANS

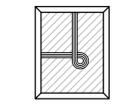
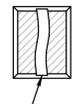
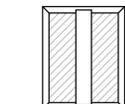
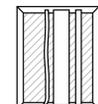
11.0

1. ALL LATERAL LINES SHALL BE SCH 200 PVC PIPE. ALL MAIN LINE SHALL BE SCH 40 PIPE.
2. SLEEVES BELOW ALL HARDSCAPE ELEMENTS SHALL BE SCH 40 PVC AND SHALL BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
3. ALL LATERAL LINE SHALL BE BURIED NO LESS THAN 18". ALL MAIN LINES AND ELECTRICAL LINES SHALL BE NO LESS THAN 24".



PLAN VIEW

WIRE W/O CONDUIT

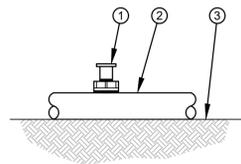


RUN WIRING BENEATH AND BESIDE MAINLINE. TAPE AND BUNDLE IT 10-FOOT INTERVALS.

ALL SOLVENT WELD PLASTIC PIPING TO BE SNAKED IN TRENCH SHOWN.

TIE A 24-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OF 30° OR GREATER. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.

PIPE AND WIRE TRENCHING

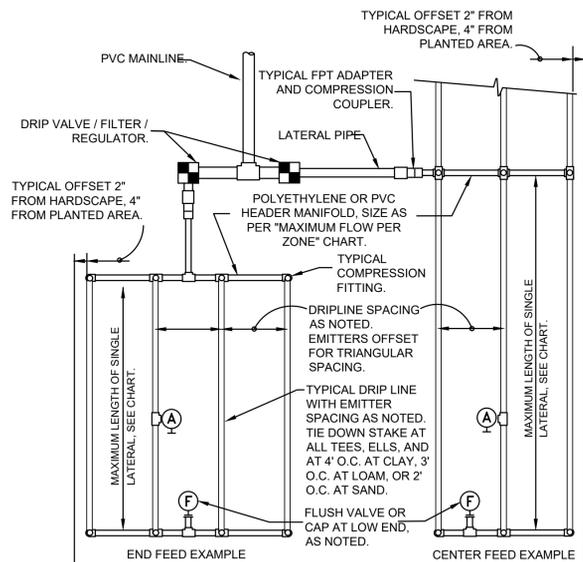


1. PRESSURE-COMPENSATING MODULE BARB INLET X BARB OUTLET EMITTER WITH PC DIFFUSER CAP: RAIN BIRD PC EMITTER WITH PC DIFFUSER
2. 1/2" POLYETHYLENE TUBING: RAIN BIRD XF SERIES TUBING OR RAIN BIRD XT-700 XERI-TUBE OR RAIN BIRD XBS BLACK STRIPE TUBING
3. FINISH GRADE

NOTES:

1. USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 1/2" POLYETHYLENE TUBING.
2. RAIN BIRD PC BARB X BARB EMITTERS ARE AVAILABLE IN THE FOLLOWING MODELS:
PC-05 5 GPH PC-07 7 GPH PC-10 10 GPH PC-12 12 GPH
PC-18 18 GPH PC-24 24 GPH
3. PC DIFFUSER CAPS ARE AVAILABLE IN BOTH BLACK AND PURPLE.

PRESSURE-COMPENSATING MODULE WITH PC DIFFUSER CAP INTO 1/2-INCH TUBING



TYPICAL DRIPLINE REQUIREMENTS

PSI	EMITTER FLOW RATE GPH		
	12" SPACING	18" SPACING	24" SPACING
10	125 96	175 135	218 171
20	249 191	350 171	442 340
30	307 236	434 333	550 422
40	350 269	495 380	627 171
50	125 96	175 135	218 171
60	125 96	175 135	218 171

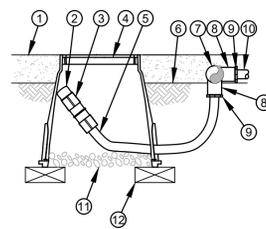
EMITTER SPACING	LATERAL SPACING	EMITTER FLOW RATE	
		0.6	0.9
12	12	0.96	1.44
18	18	0.69	1.03
24	24	0.28	0.41

EMITTER FLOW	LATERAL FLOW PER 100 FT (GPM)		
	12" SPACING	18" SPACING	24" SPACING
0.6 GPH	1.0 GPM	0.67 GPM	0.50 GPM
0.9 GPH	1.5 GPM	1.0 GPM	0.75 GPM

SLOPED CONDITION NOTE:

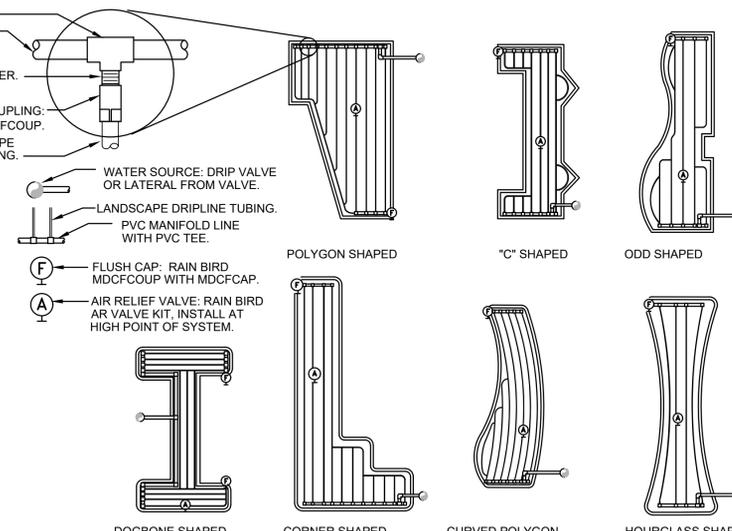
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHEREVER POSSIBLE.
2. INSTALL AIR RELIEF VALVE AT THE HIGHEST POINT.
3. NORMAL SPACING WITHIN 2/3 OF SLOPE.
4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

ALLOW A MINIMUM OF 6-INCHES OF DRIPLINE TUBING IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.



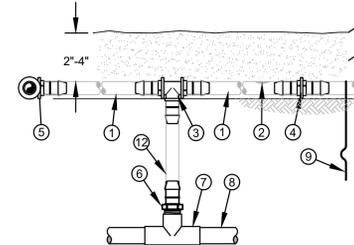
XFD ON-SURFACE DRIPLINE FLUSH POINT

1. TOP OF MULCH LAYER
2. FLUSH CAP FOR EASY FIT COMPRESSION FITTINGS: POTABLE: RAIN BIRD MDCFCAP NON-POTABLE: RAIN BIRD MDCFCAP
3. EASY FIT COUPLING: RAIN BIRD MDCFCOUP
4. SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
5. RAIN BIRD XF BLANK TUBING
6. FINISH GRADE
7. PVC EXHAUST HEADER
8. PVC SCH 40 TEE OR EL
9. BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)
10. ON-SURFACE DRIPLINE:
11. 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL
12. BRICK (1 OF 2)



DOG BONE SHAPED CORNER SHAPED CURVED POLYGON HOURGLASS SHAPED

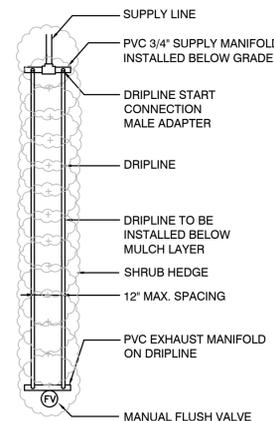
XFD ON-SURFACE DRIPLINE RISER ASSEMBLY



NOTES:

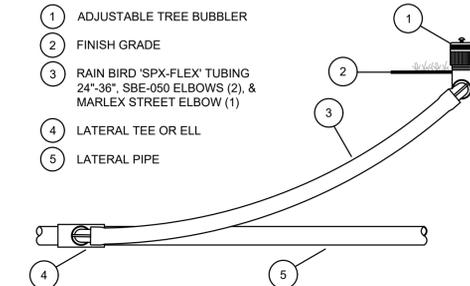
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

SHRUB DRIP LAYOUT



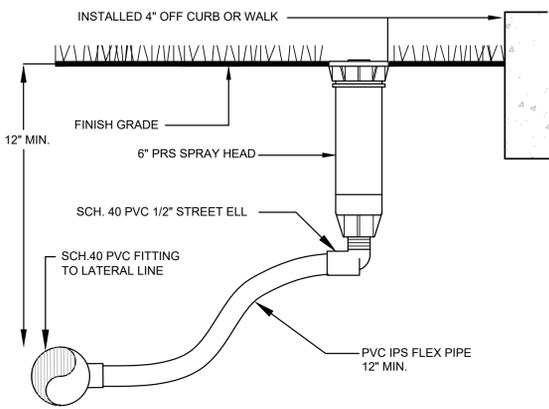
SHRUB DRIP LAYOUT

1. ON-SURFACE DRIPLINE:
2. INLINE DRIP EMITTER OUTLET. SEE PLANS FOR DRIPLINE OUTLET SPACING.
3. BARB TEE 17x17x17mm RAIN BIRD XFF-TEE
4. BARB COUPLING 17x17mm RAIN BIRD XFF-COUP
5. BARB ELBOW 17x17mm RAIN BIRD XFF-ELBOW
6. BARB MALE ADAPTER 17mm X 1/2" MPT RAIN BIRD XFF-MA-050 17mm X 3/4" MPT RAIN BIRD XFF-MA-075
7. PVC TEE SxSxT
8. PVC LATERAL SUPPLY HEADER
9. TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYP)
10. MULCH
11. FINISH GRADE
12. RAIN BIRD XF SERIES BLANK TUBING LENGTH AS REQUIRED



TREE BUBBLER DETAIL

1. ADJUSTABLE TREE BUBBLER
2. FINISH GRADE
3. RAIN BIRD 'SPX-FLEX' TUBING 24"-36", SBE-050 ELBOWS (2), & MARLEX STREET ELBOW (1)
4. LATERAL TEE OR ELL
5. LATERAL PIPE



6" POP-UP SPRAY HEAD DETAIL

SPRINKLERS IN LOW-LYING AREAS SHALL HAVE CHECK VALVES.



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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

DATE	BY

DRAWN BY: V. RIVERA

PANDA PROJECT #: D37783

CIVIL PROJECT #: 2401053

ePH Plans Prepared By: CPH CONSULTING, LLC
 State of Florida License: Engineer No. 3215
 Surveyor No. LB7143
 Architect No. AA3609028
 Landscape No. LC000298
 www.cphcorp.com
 A Full Service A & E Firm
 500 West Fulton Street
 Sanford, FL 32771
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Danita R. Bryant, RLA
LA6667318
Sep 29, 2025

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IRRIGATION NOTES & DETAILS



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TREE RETENTION PLAN
T1.0

Tree Data						
Tree #	DBH (in.)	Common Name	Botanical Name	Condition	Palm Height (ft)	Status
1001	9	Pigeon Plum	<i>Coccoloba diversifolia</i>	3		Offsite
1002	6	Dahoon Holly	<i>Ilex cassine</i>	3		Offsite
1003	18	Live Oak	<i>Quercus virginiana</i>	3		Offsite
1004	15	Cabbage Palm	<i>Sabal palmetto</i>	2	15	Remain
1005	7/7/7	Solitaire Palm	<i>Ptychosperma elegans</i>	2	10/11/12	Remain
1006	5/5/6	Solitaire Palm	<i>Ptychosperma elegans</i>	3	9/10/11	Remain
1007	31	Mahogany	<i>Swietenia mahagoni</i>	3		Offsite
1008	7	Solitaire Palm	<i>Ptychosperma elegans</i>	3	30	Remain
1009	6	Solitaire Palm	<i>Ptychosperma elegans</i>	3	28	Remain
1010	5	Green Buttonwood	<i>Conocarpus erectus</i>	2		Offsite
1011	4	Green Buttonwood	<i>Conocarpus erectus</i>	2		Offsite
1012	5	Green Buttonwood	<i>Conocarpus erectus</i>	2		Offsite
1013	4	Green Buttonwood	<i>Conocarpus erectus</i>	2		Offsite
1014	4	Green Buttonwood	<i>Conocarpus erectus</i>	2		Offsite
1015	5	Green Buttonwood	<i>Conocarpus erectus</i>	2		Offsite
1016	29	Mahogany	<i>Swietenia mahagoni</i>	3		Remain
1017	6	Solitaire Palm	<i>Ptychosperma elegans</i>	3	40	Remain
1018	7	Solitaire Palm	<i>Ptychosperma elegans</i>	3	35	Remain
1019	37	Mahogany	<i>Swietenia mahagoni</i>	3		Remain
1020	7	Solitaire Palm	<i>Ptychosperma elegans</i>	3	30	Remain
1021	11	Gumbo-Limbo	<i>Bursera simaruba</i>	3		Offsite
1022	16	Live Oak	<i>Quercus virginiana</i>	3		Offsite
1023	6	Silver Buttonwood	<i>Conocarpus erectus</i> var. <i>sericeus</i>	3		Offsite
1024	5	Dahoon Holly	<i>Ilex cassine</i>	3		Offsite
1025	5	Dahoon Holly	<i>Ilex cassine</i>	3		Offsite
1026	6	Pigeon Plum	<i>Coccoloba diversifolia</i>	2		Offsite

Tree condition ratings are based on an evaluation of health, structure and form as described in the Guide to Plant Appraisal, 10th Edition
1-Excellent 2-Good 3-Fair 4-Poor 5-Very Poor 6-Dead

TREE AND PALM INCHES REMOVED = 0'

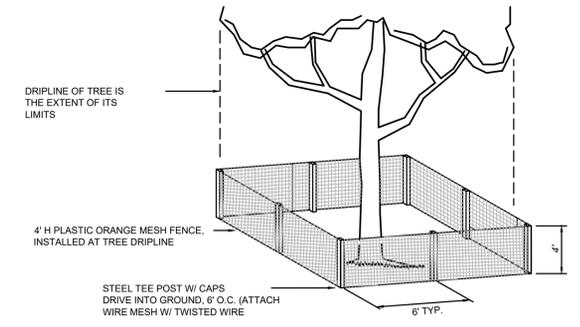
TREE LEGEND

= TREE TO BE REMOVED

= TREE TO BE PRESERVED

LEGEND

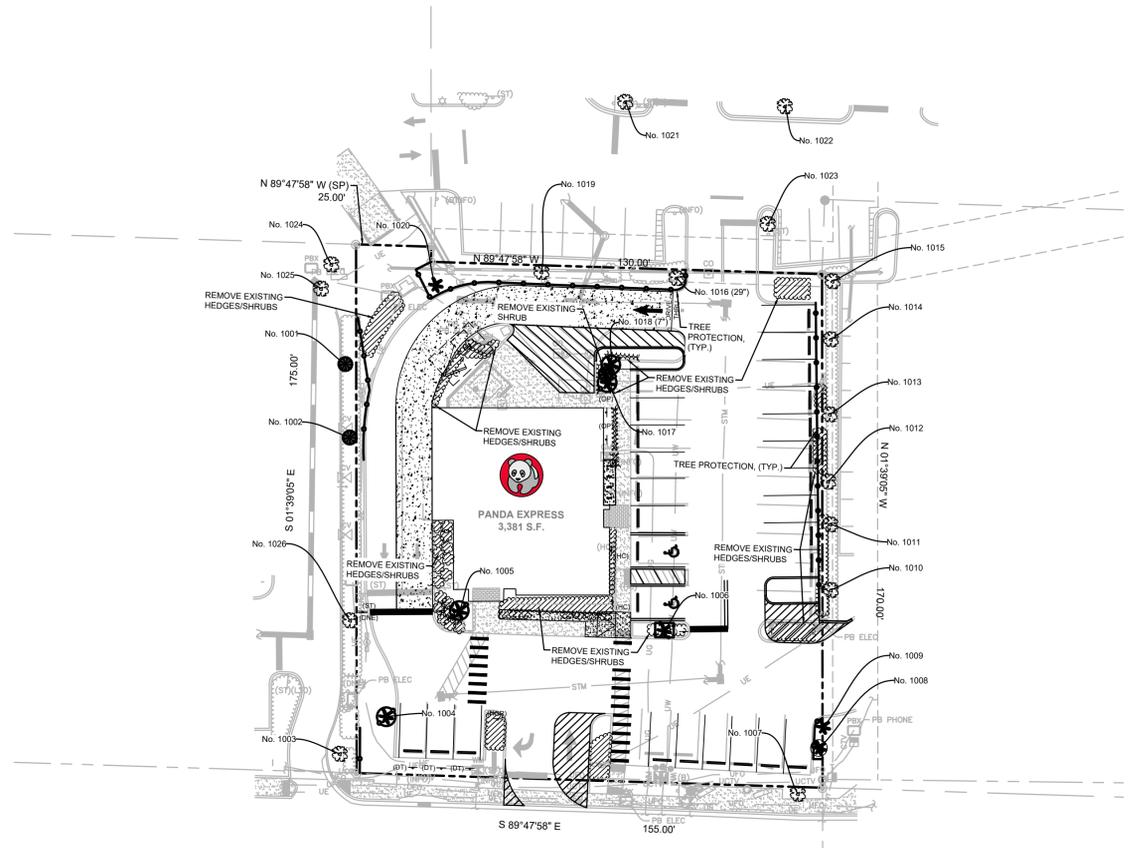
= SHRUBS/GROUND COVER TO BE REMOVED



TREE PROTECTION DETAIL
N.T.S.

TREE BARRICADE APPROVAL
OBTAIN CITY APPROVAL OF TREE BARRICADES PRIOR TO BEGINNING CLEARING OPERATIONS OR ANY SITE DEVELOPMENTS

- TREE PROTECTION NOTES:**
- Four (4) foot high orange mesh construction fencing shall be installed encompassing the drip line of each tree, or one foot in diameter for each inch of trunk diameter, whichever is greater. When surveyed fencing shall be moved to the edge of the tree protection area (TPA) as indicated on plans and be maintained through completion of construction.
 - Where the TPA occurs within 10 feet of the tree trunk, a trenching device shall be used to sever tree roots. Root raking shall not occur before roots have been cleanly severed.
 - All equipment and/or materials are prohibited within the TPA. Including but not limited to cement wash-out, chemicals, fuel or equipment servicing.
 - Grade changes shall not occur within the TPA. No fill shall be added, removed or stored within the TPA with exception of prescribed potting soil (see item 10).
 - Brush and weeds occurring within the TPA shall be cleared by hand or utilizing only the mower of a light wheeled farm tractor (less than 60 hp). During such activities soil profiles shall not be disturbed.
 - Roto-tilling, disking, root raking or other clearing methods that disturb the soil profile are expressly prohibited.
 - Utility lines and/or irrigation lines shall not occur within the TPA.
 - Saved trees shall be pruned to remove dead and damaged wood, correct structural defects and to provide access and visibility.
 - Canopy and root pruning shall be completed under direct observation by the owner designated ISA certified arborist and be accomplished by an arborist with five years or more experience pruning trees to ISA standards. Arborist must obtain approval from the owner prior to commencement of pruning activities. Two week advance notification is required.
 - Landscaping within TPA shall not disturb existing soil profiles. Eight inches of potting soil shall be imported and evenly spread to provide a planting medium within TPA.

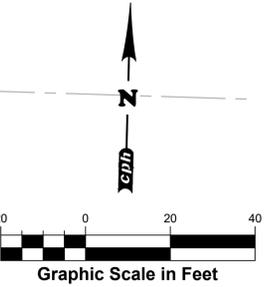


SR 814 (W ATLANTIC BOULEVARD)
(RIGHT-OF-WAY WIDTH VARIES PER FOOT)
SECTION NO. # 86130-2504, SHEET 5 OF 18
SECTION NO. # 86100-2510, SHEET 27 OF 40

24 HOUR CONTACT:
PANDA PM
JOE CELENTO
(912) 272-4811



CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE VICINITY OF THE EXISTING BURIED GAS MAIN





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LANDSCAPE PLAN

L1.0

D37783

40.704(G)(1)(a.) LANDSCAPING - LANDSCAPING ADJACENT TO OTHER PERIMETERS
REQUIRED: 5' WIDTH ALONG PARCEL LINES
AT LEAST ONE (1) SHADE TREE FOR EVERY SEVENTY-FIVE (75) LF
NO MORE THAN FIFTY (50) PERCENT OF THE PERIMETER LANDSCAPE STRIP MAY BE SODDED
155 LF - 24 LF (INGRESS/EGRESS) = 131 LF
131 LF / 75 = 1.74
PROVIDED: EXISTING 7' BUFFER WIDTH, (2) EXISTING OAK TREES

40.704(G)(1)(a.) LANDSCAPING - LANDSCAPING ADJACENT TO OTHER PERIMETERS
REQUIRED: 5' WIDTH ALONG PARCEL LINES
AT LEAST ONE (1) SHADE TREE FOR EVERY SEVENTY-FIVE (75) LF
NO MORE THAN FIFTY (50) PERCENT OF THE PERIMETER LANDSCAPE STRIP MAY BE SODDED
170 LF - 32 LF (INGRESS/EGRESS) = 138 LF
138 LF / 75 = 1.8 TREE
PROVIDED: EXISTING 1' BUFFER WIDTH, (2) EXISTING PALMS

40.704(G)(1)(a.) LANDSCAPING - LANDSCAPING ADJACENT TO OTHER PERIMETERS
REQUIRED: 5' WIDTH ALONG PARCEL LINES
AT LEAST ONE (1) SHADE TREE FOR EVERY SEVENTY-FIVE (75) LF
NO MORE THAN FIFTY (50) PERCENT OF THE PERIMETER LANDSCAPE STRIP MAY BE SODDED
174 LF / 75 LF = 2.3 TREES
PROVIDED: EXISTING 3' BUFFER WIDTH, (2) NEW TREES

40.704(F)(1)(a.) LANDSCAPING - LANDSCAPING ABUTTING RIGHTS-OF-WAY
REQUIRED: 10' ADJACENT TO AND PARALLEL WITH RIGHT OF WAY
AT LEAST ONE (1) SHADE TREE FOR EVERY FORTY (40) LF
HEDGES MUST BE PLANTED A MINIMUM OF TWO (2) FEET BACK FROM ANY PUBLIC SIDEWALK
155 LF - 28 LF (INGRESS/EGRESS) = 127
127 LF / 40 = 3.1 TREES
PROVIDED: EXISTING 6' BUFFER WIDTH, (1) EXISTING OFFSITE OAK TREE

40.704(E) MATERIALS REQUIREMENT
REQUIRED: A MINIMUM OF 50% NATIVE PLANT SPECIES
224 x .5 = 112
PROVIDED: 95

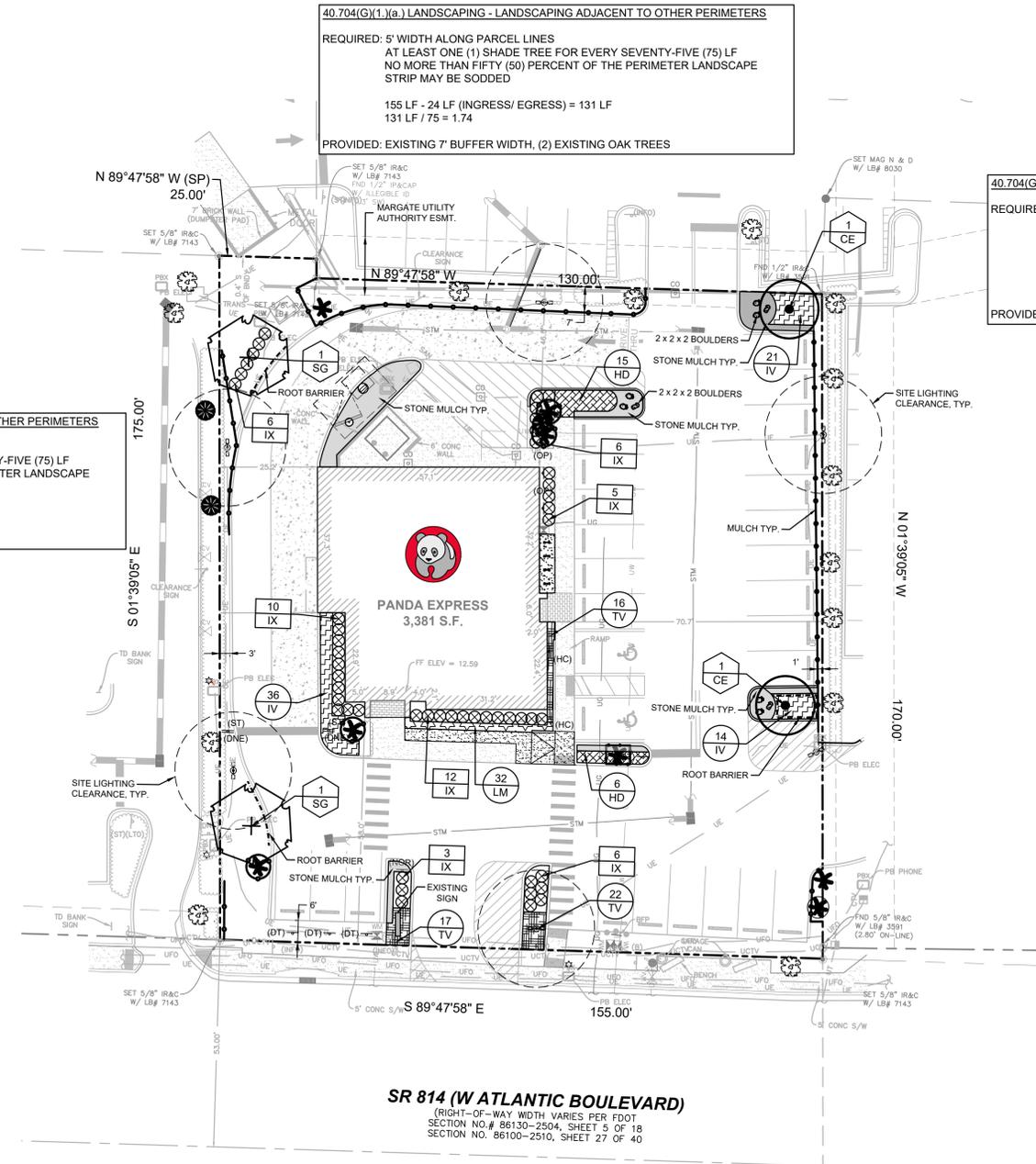
40.704(H) PARKING AREA AND PEDESTRIAN ZONE INTERIOR LANDSCAPING
REQUIRED: (1) SHADE TREE AND (3) SHRUBS / 200 SF
16,817 SF VUA / 200 SF = 84 x 3 = 252 SHRUBS
PROVIDED: 3 NEW TREES, 2 EX. TREES, 8 EX. PALMS AND 113 SHRUBS

PLANT LIST

SYM	COMMON NAME	BOTANICAL NAME	DESCRIPTION	QTY.
TREES				
SG	PARADISE TREE (N)	SIMAROUBA GLAUCA	2" DBH, 12' HT.	2
CE	GREEN BUTTWOOD (N)	CONOCARPUS ERECTUS	2" DBH, 12' HT.	2
DIAMETER AT BREAST HEIGHT (DBH) IS MEASURED AT 4.5'				
SHRUBS/GROUNDCOVER				
IX	MAUI RED IXORA	IXORA COCCINEA	3 GAL., 24" HT., 18" SPRD., 24" O.C.	48
SHRUBS/GROUNDCOVER				
HD	DUNE SUNFLOWER (N)	HELIANTHUS DEBILIS	1 GAL., 10" HT., 8" SPRD., 30" O.C.	21
IV	SCHILLING'S YAUPON HOLLY (N)	ILEX VOMITORIA 'SHILLING'S DWARF'	3 GAL., 10" HT., 14" SPRD., 24" O.C.	71
LM	EMERALD GODDESS LIROPE	LIRIOPE MUSCARI 'EMERALD GODDESS'	1 GAL., 8" HT., 6" SPRD., 18" O.C.	32
TV	SOCIETY GARLIC	TULBAGHIA VIOLACEA	1 GAL., 10" HT., 8" SPRD., 15" O.C.	55
SOD	ST. AUGUSTINE	STENOTAPHRUM SECUNDATUM.	SOLID SOD, CONTRACTOR TO VERIFY QTY. MATCH EXISTING SPECIES ON SITE	
N = NATIVE				
--- 18" WIDE STONE MULCH STRIP - 1"-2" SIZE STONE				
ALUMINUM EDGING				
ROOT BARRIER				

NOTE:

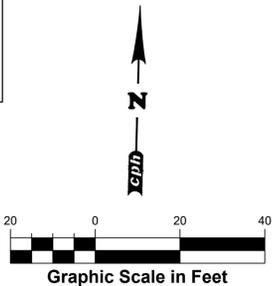
1. PLANT DESCRIPTIONS ARE FOR MINIMUM ACCEPTABLE SPECIFICATIONS. ALL CRITERIA LISTED FOR CONTAINER SIZE, CALIPER, HEIGHT, SPREAD, ETC. MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DOES NOT MEET THE HEIGHT OR SPREAD SPECIFICATION, IT WILL NOT BE ACCEPTED.
2. IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND CITY STAFF.
3. ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODDED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER.
4. ALL LANDSCAPED AREAS WILL BE 100% IRRIGATED WITH A CENTRAL AUTOMATIC IRRIGATION SYSTEM INCLUDING A RAIN SENSOR.
5. CONTRACTOR SHALL REPLACE ANY EXISTING SOD OR OTHER PLANT MATERIALS DAMAGED DURING CONSTRUCTION IN AREAS THAT ARE OUTSIDE PROPOSED LANDSCAPE AS SHOWN ON THE PLAN.



SR 814 (W ATLANTIC BOULEVARD)
RIGHT-OF-WAY WIDTH VARIES PER FDOT
SECTION NO. # 86130-2504, SHEET 5 OF 18
SECTION NO. 86100-2510, SHEET 27 OF 40

CONTRACTOR TO EXERCISE EXTREME CAUTION
WHEN EXCAVATING IN THE VICINITY OF THE
EXISTING BURIED GAS MAIN

24 HOUR CONTACT:
PANDA PM
JOE CELENTO
(912) 272-4811



Luminaire Schedule							
Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts	BUG Rating	Mounting Height
2	A	SLM-LED-24L-SIL-4-40-IL-70CRI	0.900	15698	161	B1-U0-G3	25
3	B	SLM-LED-18L-SIL-4-40-IL-70CRI	0.900	12271	135	B1-U0-G2	25
1	C	SLM-LED-18L-SIL-5W-40-70CRI	0.900	18498	135	B4-U0-G2	25

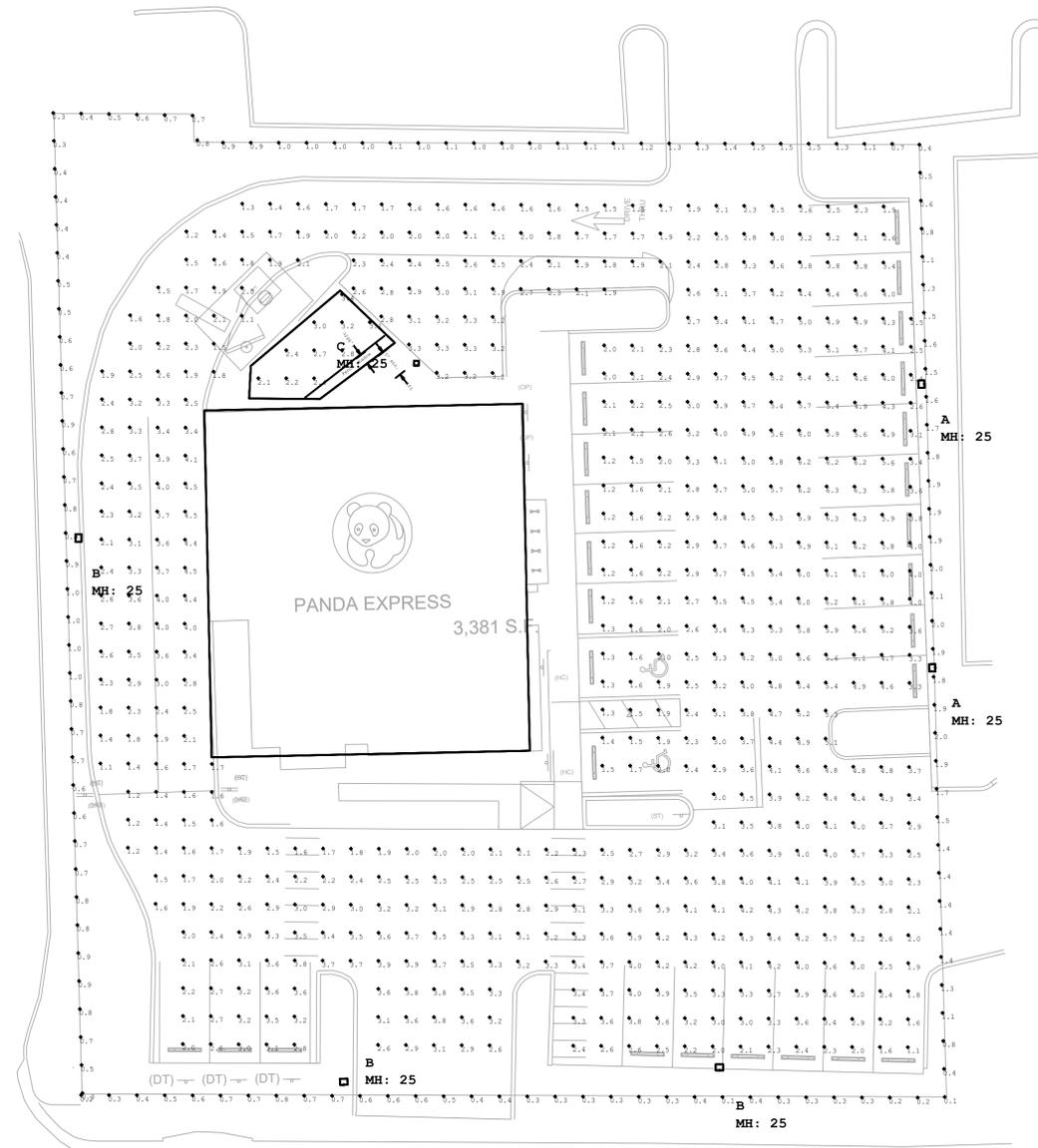
Illuminance (fc)					
Label	Avg	Max	Min	Avg/Min	Max/Min
Paved Area	3.15	6.3	1.1	2.86	5.73
Property Line	0.89	2.1	0.1	N.A.	N.A.
Trash Enclosure	2.73	3.4	2.1	1.30	1.62

SITE LIGHTING FIXTURE SCHEDULE 3

PANDA SITE LIGHTING DESIGN CRITERIA 2

E-106

NO SCALE E-106



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

1 PERMIT / BID SET 2025-08-29

DRAWN BY: RFFH

PANDA PROJECT #: S8-26-D37783

ARCH PROJECT #: 2401053

Prepared by
cph LLC
500 West Fulton St.
Sanford, FL 32771
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www.cphcorp.com
A Full Service
A & E Firm
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Landscape Lic. No. LC0000298



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PANDA INFILL
5681 W ATLANTIC BLVD.
MARGATE, FL 33063

E-106

SITE PHOTOMETRIC PLAN 1

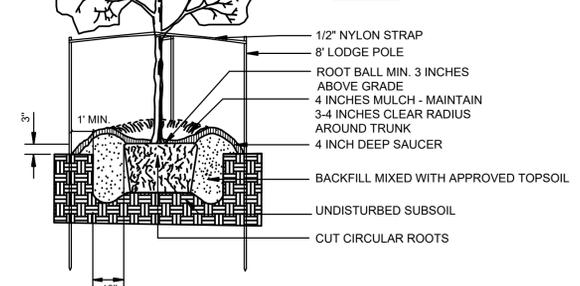
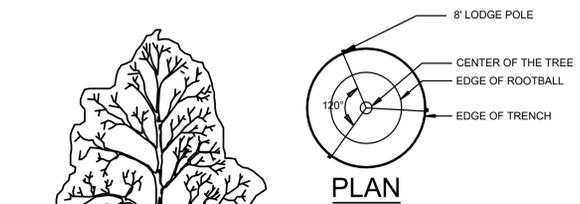
N.T.S. E-106

This item has been digitally signed and sealed by Gregory D. Taylor, PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

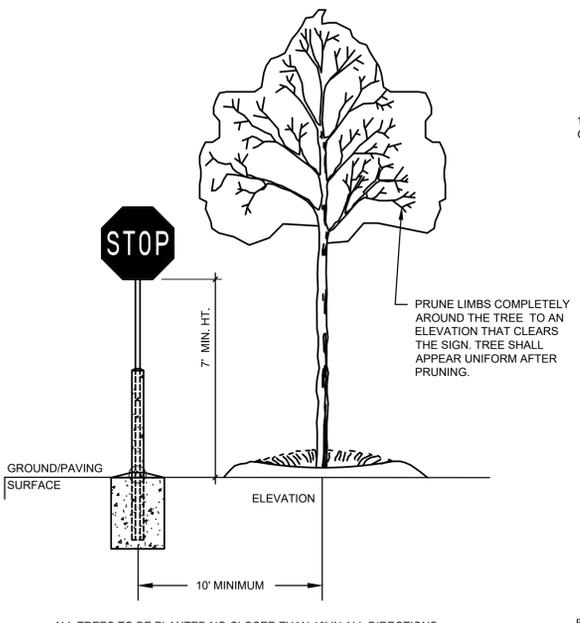
PANDA HOME NT

LANDSCAPE NOTES:

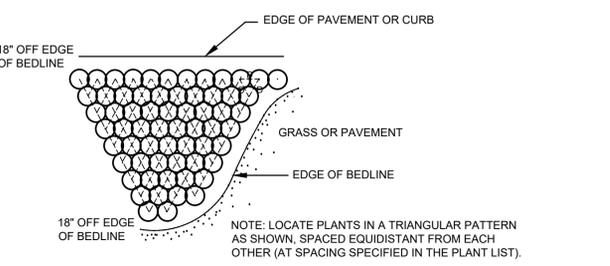
- The landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information and are considered to be approximate. It shall be the responsibility of the contractor 1) to verify the locations of utility lines within and adjacent to the work area 2) to protect all utility lines during the construction period 3) to repair any and all damage to utilities, structures, site furnishings, etc. which occurs as a result of the construction 4) To field adjust the location of proposed trees and palms 10' off the center of the utility lines. Notify the Landscape Architect if a 10' offset does not function.
- The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to ensure availability and proper location of irrigation items and plants.
- Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust tree and/or large shrub locations to avoid any such obstructions.
- Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques.
- All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting foreman.
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, published by the Florida Department of Agriculture and Consumer Services.
- The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the plant list or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. Trunk caliper (trunk diameter) is measured 6 inches from the ground on trees up to and including 4 inches in caliper, and 12 inches from the ground for larger trees. Since trunks are seldom round, the average of the largest diameter and that perpendicular to it is referred to as caliper. When the plant list description calls out DBH or caliper at DBH, it shall govern over the caliper definition in this note.
- The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
- Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the trade.
- Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
- TOPSOIL.**
Topsoil shall be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that produces heavy growth. Topsoil shall have a pH range of 5.5 to 7.4, free from subsoil, objectionable weeds, litter, sods, stiff clay, stones larger than 1-inch in diameter, stumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder planting operations. Top soil shall contain a minimum of three percent organic material. 6" Top Soil shall be placed in turf & landscape areas.
- All tree pits shall be excavated to size and depth in accordance with the Florida Grades & Standards for Nursery Stock, unless shown otherwise on the drawings, and backfilled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage percolation is available.
- The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered for plants to thrive as defined by Florida Grades and Standards for Nursery stock until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.
- It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper guying or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.
- All Palms to be staked as indicated per Palm staking details. All other trees to be stabilized utilizing 8' lodge poles per tree planting details.
- Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.
- Sod shall be of a species specified on the drawings and originate from a commercial turf grower, whose farm is free of grass soils. Matted sod will not be approved. It shall be a dense stand of live turf, reasonably free of weeds, well matted with grass roots in rectangular 12" by 24" inch or 12" wide rolls in a length consistent with the equipment and methods used to handle the rolls and place the sod. Any netting contained within the sod shall be certified by the manufacturer to be bio-degradable. The soil and root mat shall be a minimum of 1-1/2 inch thick and must hold together during placement. Sod shall be placed adjacent to one another to avoid gaps and overlaps. Joints shall be staggered between the rows. Sod placed on slopes exceeding 3:1 shall be pinned with turf staples. Sod turf, shall have been moved a minimum of one week prior to cutting and delivery, so that the length of the turf is no longer than 4 inches at time of delivery. Place sod within 48 hours of cutting the sod. The sod shall be kept moist throughout the 48 hour period to maintain the health and viability of the sod. Submit a letter of certification to the Owner's CEI Representative, at time of delivery, as to the source of the sod, the time it was cut, the species and cultivars provided, test mowing date, and that the sod is free of fire ants. Sod which has been cut for longer than 48 hours after being cut shall not be used unless specifically authorized by Owner's CEI Representative.
- It shall be the Contractor's responsibility to measure and determine the exact quantity of sod required for a complete job at the time of bidding or providing a price quote. The Owner shall not be responsible for additional cost due to the Contractor's under estimating of the quantity of sod for the original bid area.
- The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. If well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.
- UNUSUITABLE SUBSOILS**
Locations containing unsuitable subsoil shall be treated by one or more of the following:
 - Where unsuitability is deemed by Owner or Owner's Representative to be due to excessive compaction caused by heavy equipment and where natural subsoil is other than AASHTO classification of A6 or A7, loosen such areas with spikes, discing, or other means to loosen soil to condition acceptable to Owner. Loosen soil to minimum depth of 12 inches with additional loosening as required to obtain adequate drainage. Contractor may introduce peat moss, sand, or organic matter into the subsoil to obtain adequate measures shall be considered as incidental, without additional cost to Owner.
 - Where unsuitability is deemed by Owner or Owner's Representative to be due to presence of boards, mortar, concrete, graded aggregate base, or other construction materials in sub grade and where natural subsoil is other than AASHTO classification of A6 or A7, remove debris and objectionable material. Such remedial measures shall be considered as incidental, without additional cost to Owner.
 - Where unsuitability is deemed by Owner to be because natural subsoil falls into AASHTO classification of A6 or A7 and contains moisture in excess of 30 percent, then installation of sub drainage system or other means described elsewhere in Specifications shall be used. Where such conditions have not been known or revealed prior to planting time and they have not been recognized in preparation of the Drawings and Specifications, then Owner shall issue pricing order to install proper remedial measures.
 - Planting beds where existing subsoil is determined by Owner to be unsuitable for plant growth in accordance paragraph Unsuitable Subsoil herein shall be excavated to a depth of 12 inches or as needed to provide adequate drainage. Replace excavated soil with planting soil.
- The Landscape Contractor shall ensure that his work does not interrupt established or projected drainage patterns.
- The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of Bidding.
- Mulch - All plant beds shall be top dressed with 1" - 2" max. size tan river rock (or approved equal). Contractor shall provide an even layer to provide full coverage. Cypress mulch not permitted. A 3" diameter mulch ring is to be placed around trees located in sod areas or outside of planting beds.
- Transplanted Material - The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any relocated plant materials which die if such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.
- MAINTENANCE PRIOR TO FINAL INSPECTION AND ACCEPTANCE:**
 - Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to instruct the Owner or his representatives in general maintenance procedures.
 - Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.
 - During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated date.
 - At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor Stating the date when the Maintenance Period ends.



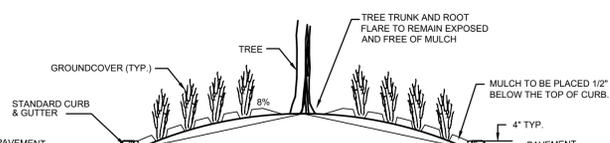
CONTAINER TREE PLANTING DETAIL
N.T.S.



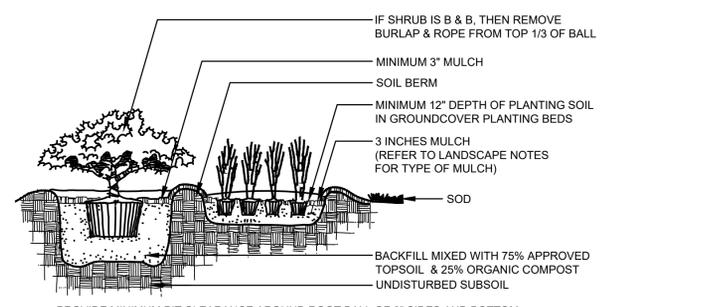
TREE PLANTING AT TYPICAL SIGN
N.T.S.



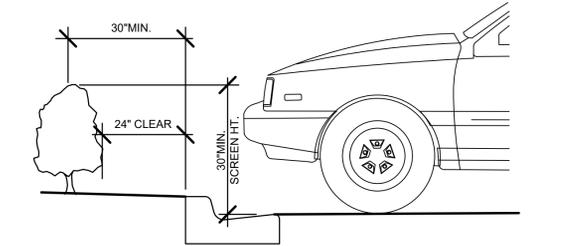
SHRUB/GROUNDCOVER SPACING PLAN
N.T.S.



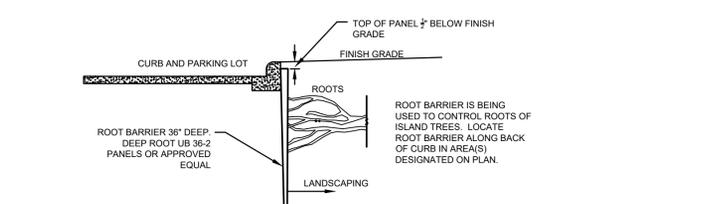
TYPICAL LANDSCAPE ISLANDS
N.T.S.



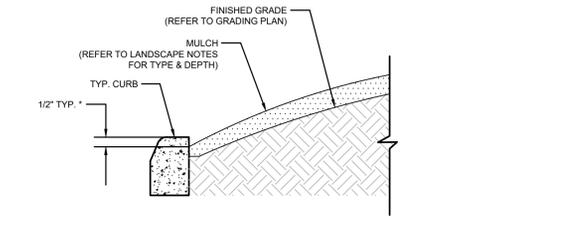
SHRUB AND GROUNDCOVER PLANTING DETAIL
N.T.S.



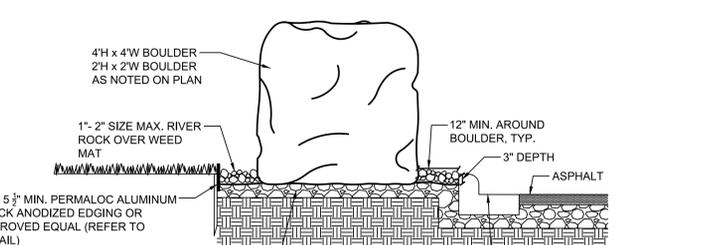
TYPICAL SECTION - HEDGE INSTALLATION
N.T.S.



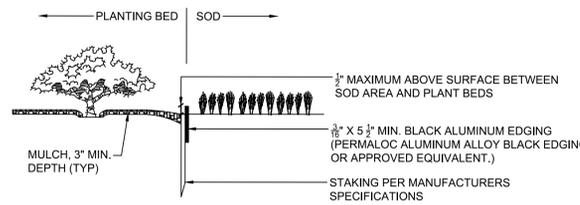
ROOT BARRIER DETAIL
N.T.S.



TYPICAL MULCH LAYOUT IN LANDSCAPE ISLAND
N.T.S.



BOULDER DETAIL
N.T.S.



ALUMINUM EDGING
N.T.S.

Pro 5 Weed Barrier

DeWitt Pro 5 Weed Barrier is a woven, needle-punched polypropylene fabric for commercial grade weed control. Specified by leading architects, the fabric is designed to allow air, water, and nutrients through. The fabric will not rot or mildew, and is formulated to resist UV degradation.

Property	Test Method	Unit	Minimum Average Roll Value
Woven Material			Polypropylene
Fiber Backing			Polyester
Color			Black with Gold Stripe every 12"
Construction Weave			15 x 10 or 10 x 15
Weight	ASTM D 5261	OZ/SY	5.0
			Scrim 2.8
			Cap 2.2
Grab Tensile Strength	ASTM D 4632	LBS	Warp 80
			Web 65
Grab Elongation	ASTM D 4632	%	Warp 15
			Web 15
Trapezoid Tear	ASTM D 4533	LBS	Warp 35
			Web 30
Puncture	ASTM D 6241	LBS	300
Water Permeability	ASTM D 4491	GAL/MIN/SF	10
Ultraviolet Exposure	ASTM D 4355	% Strength Retained	>70% after 2500 Hrs Carbon Arc Exposure

Date: 12/13/16, This data sheet supersedes all previously issued data. The above properties are typical averages.

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905 South Kingshighway Sikeston, MO 63801
www.dewittcompany.com
573.472.0048 phone / 800.888.9669 / 573.471.6715 fax

NOTE: INSTALL WEED BARRIER IN ALL MULCHING LOCATIONS.

THE ABOVE IS THE MINIMUM STANDARD. OTHER BRANDS MAY BE SUBSTITUTED AS LONG AS THE SPECIFICATIONS ARE MET OR EXCEEDED. HOWEVER, ANY SUBSTITUTION MUST BE SUBMITTED BY THE CONTRACTOR FOR PANDA PM APPROVAL, PRIOR TO INSTALLATION.

WEED BARRIER
N.T.S.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California 91770
Telephone: 626.799.9698
Facsimile: 626.372.8268

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REVISIONS:

ISSUE DATE:

DRAWN BY: V. RIVERA

PANDA PROJECT #: D37783
CIVIL PROJECT #: 2401053

Plans Prepared By: CPH CONSULTING, LLC
 Engineer No. 3215
 Surveyor No. LB7143
 Architect No. AA2600928
 Landscape No. LC000298
 500 West Fulton Street
 Sanford, FL 32771
 PH: 407.322.6841

This item has been digitally signed and sealed by Danita R. Bryant on the date adjacent to the seal. Signature must be verified on any electronic copies

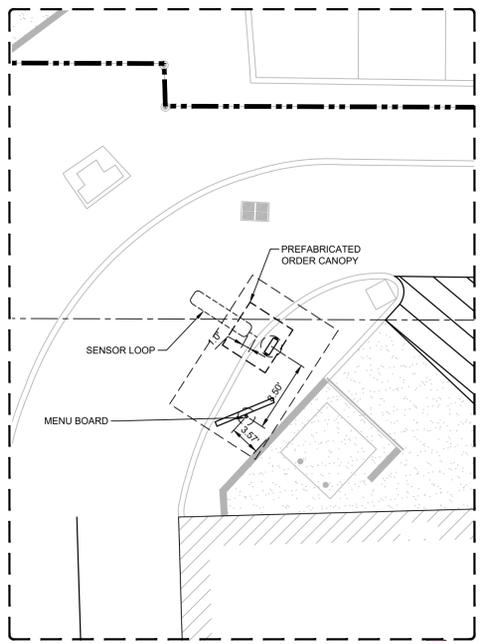
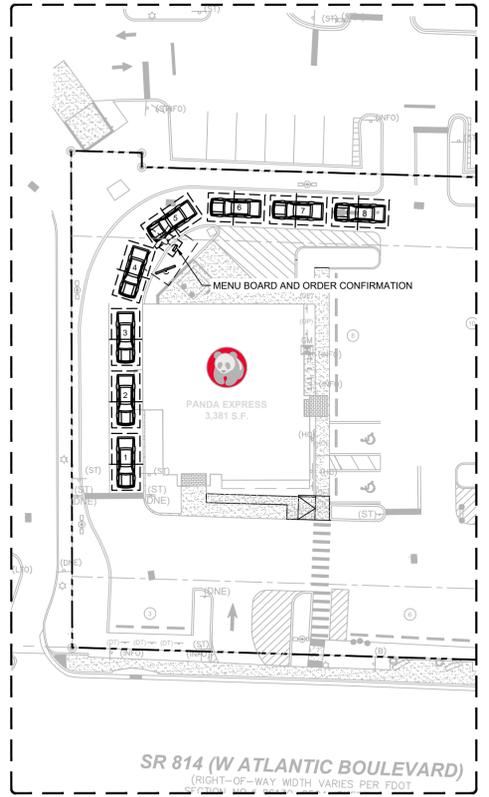
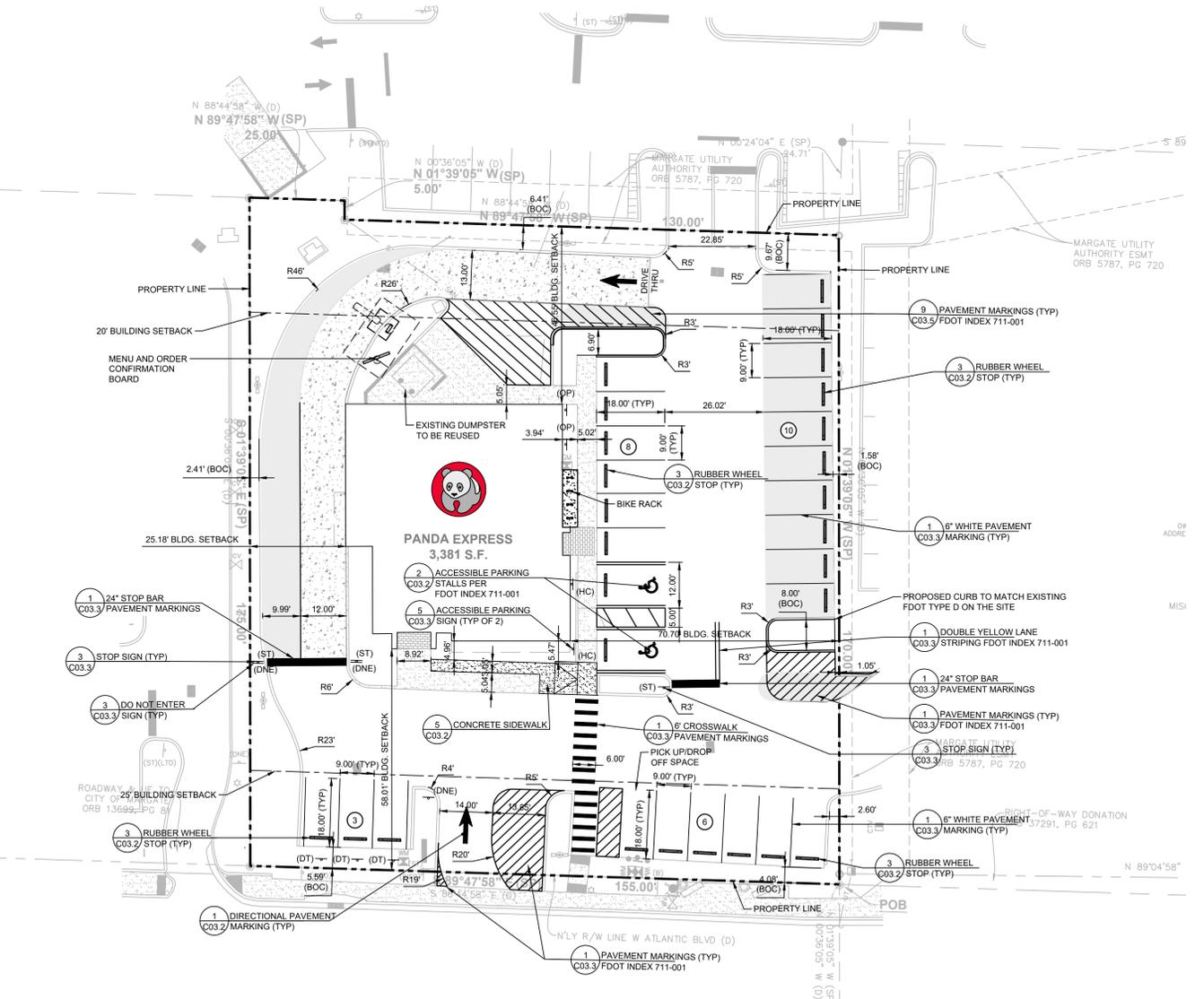


PANDA EXPRESS
PANDA HOME
5681 W ATLANTIC BLVD
MARGATE, FL 33063

LANDSCAPE NOTES & DETAILS

L5.0

PARCEL ID: #484136060019
 OWNER: WILLIAM STORES EAST LP
 ADDRESS: 5555 W ATLANTIC BOULEVARD,
 MARGATE, FL 33063
 ORB 41316, PG 1641
 SHOPPING CENTER
 MARGATE REALTY NO. 1
 PB 42, PG 42



LEGEND

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- LANDSCAPE BUFFER
- BUILDING SETBACK
- (ST) STOP SIGN
- (HC) HANDICAPPED PARKING SIGN
- (DNE) "DO NOT ENTER" SIGN
- (OP) ONLINE PICK-UP
- (DW) DRIVE-THRU WAITING
- (EP) EMPLOYEE PARKING
- SINGLE LIGHT POLE
- DUAL LIGHT POLE
- "BOC" BACK OF CURB
- FIRE HYDRANT

PANDA EXPRESS STANDARD NOTES

1. THE GEOTECHNICAL INVESTIGATION PREPARED BY XXXX, DATED XXX AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
2. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFF-SITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.
5. DIRECTIONAL ARROWS ARE ONLY FOR CLARIFICATION PURPOSES. DO NOT STRIPE.
6. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS SHOWN (BOC) WHICH INDICATES BACK OF CURB.

JURISDICTION: CITY OF MARGATE
 ZONING: PLANNED AND MIXED USE DISTRICT CORRIDOR-C
 FUTURE LAND USE: ACTIVITY CENTER
 OVERLAY DISTRICT: N/A
 ADDRESS: 5681 W ATLANTIC BLVD, MARGATE, FL 33063
 PARCEL ID: 09-25-20-000-0100-0000
 STATEMENT OF INTENT:

ADJACENT ZONING:
 NORTH: CORRIDOR
 EAST: CORRIDOR
 SOUTH: CORRIDOR
 WEST: GATEWAY

REQUIRED BUILDING SETBACKS:	PROVIDED BUILDING SETBACKS:
(S) FRONT: 30'	(S) FRONT: 30'
(E) SIDE: 2'	(E) SIDE: 2.7'
(W) SIDE: 2'	(W) SIDE: 25.2'
(N) REAR: 20'	(N) REAR: 46.6'

REQUIRED LANDSCAPE STRIP SETBACKS:	PROVIDED LANDSCAPE STRIP SETBACKS:
(S) FRONT: 2'	(S) FRONT: 4.1'
(E) SIDE: 2'	(E) SIDE: 1.1'
(W) SIDE: 2'	(W) SIDE: 2.1'
(N) REAR: 2'	(N) REAR: 6.1'

MAX. BUILDING HEIGHT: 35' 0"
 EXIST. BUILDING HEIGHT: 17' 0"

REQUIRED PARKING:
 1 SPACE PER 3 SEATS OR 1 SPACE PER 100 SQ FT (WHICHEVER IS GREATER)
 58 SEATS / 3 SEATS + 20 SPACES
 3,381 SF / 100 SF = 34 SPACES

PROPOSED PARKING:

REGULAR	DISMS	18' x 9'
25	2	27
TOTAL =		

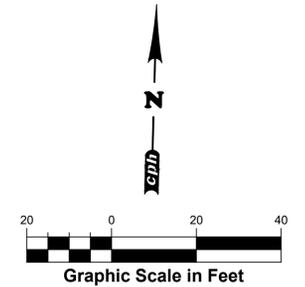
DRIVEABLE WIDTH: 22 MIN. (2 WAY)

SITE AREA CALCULATIONS:
 SITE: 0.61 AC. (26,461 SF) (100%)
 PERVIOUS AREA: 0.11 AC. (4,995 SF) (17.4%)
 IMPERVIOUS AREA: 0.42 AC. (18,465 SF) (88.8%)
 BUILDING AREA COVERAGE: 0.08 AC. (3,381 SF) (12.8%)

FLOOD HAZARD: FLOOD ZONE "X"
 FIRM MAP NO. 22017C0363, DATED JULY 31, 2024

SITE LIGHTING:
 PHOTOMETRICS DESIGNED BY CPA. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTO-METRIC PLAN ON SHEET E-056, AND OWNER PRIOR TO CONSTRUCTION.

**CONTRACTOR TO EXERCISE EXTREME CAUTION
 WHEN EXCAVATING IN THE VICINITY OF THE
 EXISTING BURIED GAS MAIN**



24 HOUR CONTACT:
 PANDA PM
 JOE CELENTO
 (912) 272-4811



CONTRACTOR TO EXERCISE EXTREME CAUTION
 WHEN EXCAVATING IN THE VICINITY OF THE
 EXISTING BURIED GAS MAIN



PANDA EXPRESS, INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8268

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

DRAWN BY: H.F.
 PANDA PROJECT #: D37783
 CIVIL PROJECT #: 2401053

e-ph Plans Prepared By
 CPH CONSULTING, LLC
 State of Florida License:
 Engineer No. 3215
 Surveyor No. LB7143
 Architect No. AA26060928
 Landscape No. LC000298
 500 West Fulton Street
 Sanford, FL 32771
 Ph: 407.322.6841

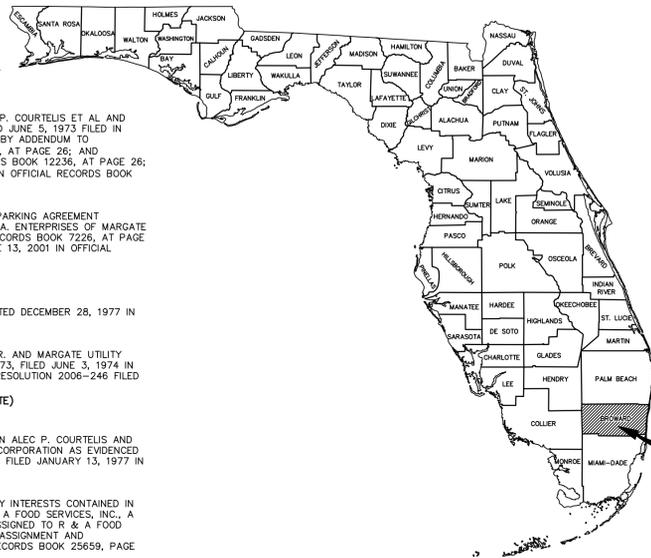


PANDA EXPRESS
 PANDA HOME
 5681 W ATLANTIC BLVD
 MARGATE, FL 33063

SITE PLAN

C03.0

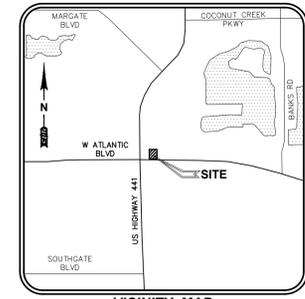
SCHEDULE B-SECTION II PER FIDELITY NATIONAL TITLE INSURANCE COMPANY
TITLE COMMITMENT NO. 12137711
COMMITMENT DATE: 07/09/2025 AT 8:00 A.M.
REVISION NO.: 'REV. B ON MAY 8, 2025'



PARCEL NOT SURVEYED

BOUNDARY & TOPOGRAPHIC SURVEY

ALSO BEING AN
(ALTA/NSPS LAND TITLE SURVEY)
 FOR
PANDA EXPRESS INC, A CALIFORNIA CORPORATION
 AT
5681 W ATLANTIC BOULEVARD
 LYING IN
SECTION 36-TOWNSHIP 48 SOUTH-RANGE 41 EAST
CITY OF MARGATE, BROWARD COUNTY, FLORIDA



cph
 www.cphcorp.com
 Building Better Communities Together
 500 West Fulton Street
 Sanford, FL 32771
 Ph: 407.322.6841
 Plans Prepared By:
 CPH Consulting, LLC
 A Full Service A & E Firm
 State of Florida License:
 Survey No. LB7143

- TERMS AND PROVISIONS DEVELOPER'S AGREEMENT BETWEEN ALEC P. COURTELIS ET AL AND MARGATE UTILITY AUTHORITY, INC., A FLORIDA CORPORATION, FILED JUNE 5, 1973 FILED IN OFFICIAL RECORDS BOOK 5310, AT PAGE 295; AND AS AFFECTED BY ADDENDUM TO DEVELOPER'S AGREEMENT FILED IN OFFICIAL RECORDS BOOK 11858, AT PAGE 26; AND ADDENDUM TO DEVELOPER'S AGREEMENT FILED IN OFFICIAL RECORDS BOOK 12236, AT PAGE 26; AND ASSIGNMENT OF DEVELOPER RIGHTS (AS TO PHASE I) FILED IN OFFICIAL RECORDS BOOK 15441, AT PAGE 512. (AFFECTS, BLANKET IN NATURE)
- TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THAT CROSS PARKING AGREEMENT BETWEEN ALEC P. COURTELIS AND DONALD L. SMITH, JR. AND G.L.A. ENTERPRISES OF MARGATE DATED JULY 20, 1977, FILED SEPTEMBER 30, 1977 IN OFFICIAL RECORDS BOOK 7226, AT PAGE 316; AND AMENDMENT TO CROSS PARKING AGREEMENT FILED JUNE 13, 2001 IN OFFICIAL RECORDS BOOK 31710 PAGE 1653. (AFFECTS, BLANKET IN NATURE)
- INTENTIONALLY DELETED.
- EASEMENT GRANTED TO FLORIDA POWER AND LIGHT COMPANY, DATED DECEMBER 28, 1977 IN OFFICIAL RECORDS BOOK 7352, PAGE 940. (DOES NOT AFFECT)
- EASEMENT BETWEEN ALEC P. COURTELIS AND DONALD L. SMITH, JR. AND MARGATE UTILITY AUTHORITY, INC., A FLORIDA CORPORATION DATED NOVEMBER 1, 1973, FILED JUNE 5, 1974 IN OFFICIAL RECORDS BOOK 5787, AT PAGE 720; AS AFFECTED BY RESOLUTION 2006-246 FILED APRIL 25, 2006 IN OFFICIAL RECORDS BOOK 41886, PAGE 177. (AFFECTS AS SHOWN, RESOLUTION - VACATION PLOTS OFFSITE)
- INTENTIONALLY DELETED
- TERMS AND PROVISIONS OF THAT CERTAIN LEASE BY AND BETWEEN ALEC P. COURTELIS AND DONALD L. SMITH, JR. AND S.S. KRESSE COMPANY, A MICHIGAN CORPORATION AS EVIDENCED BY THAT MEMORANDUM OF LEASE DATED NOVEMBER 25 1976 AND FILED JANUARY 13, 1977 IN OFFICIAL RECORDS BOOK 6670, AT PAGE 94. (DOES NOT AFFECT)
- TERMS, PROVISIONS, RESTRICTIONS, LIMITATIONS, AND POSSESSORY INTERESTS CONTAINED IN LEASE FROM B C REAL ESTATE INVESTMENTS, INC., AND TO R & A FOOD SERVICES, INC., A DELAWARE CORPORATION, DATED MARCH 1, 1994, AS ASSIGNED TO R & A FOOD SERVICES L.P. A DELAWARE LIMITED PARTNERSHIP, EVIDENCED BY ASSIGNMENT AND ASSUMPTION OF LEASES FILED NOVEMBER 16, 1996 IN OFFICIAL RECORDS BOOK 25659, PAGE 115. (AFFECTS, BLANKET IN NATURE)
- INTENTIONALLY DELETED.
- INTENTIONALLY DELETED.
- RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF LAKEWOOD COMMERCIAL, RECORDED IN PLAT BOOK 120, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AS AMENDED BY AGREEMENT FOR AMENDMENT OF NOTATION PLAT RECORDED IN OFFICIAL RECORDS BOOK 15706, PAGE 330, AS AMENDED BY AGREEMENT FOR AMENDMENT OF NOTATION PLAT RECORDED IN OFFICIAL RECORDS BOOK 15706, PAGE 334. (DOES NOT AFFECT)

Legal Description: (PER COMMITMENT FOR TITLE INSURANCE BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 12137711, COMMITMENT DATE 07/09/2025, AT 8:00 A.M., REVISION NO.: 'REV. B ON MAY 8, 2025')

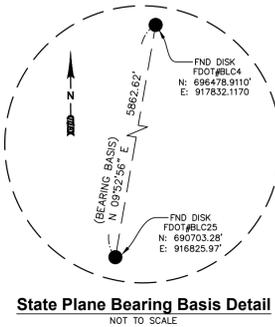
PARCEL 1:
 A PORTION OF SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST, BEING A PORTION OF THE SHOPPING CENTER TRACT AS SHOWN ON THE PLAT OF MARGATE, REALTY NO. 1, AS RECORDED IN PLAT BOOK 42, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE EAST 1/4 CORNER OF SAID SECTION 36, RUN NORTH 88°44'58" WEST, ALONG THE SOUTH LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 36 FOR A DISTANCE OF 746.68 FEET; THENCE RUN NORTH 0°36'05" WEST FOR A DISTANCE OF 53.03 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE CONTINUE NORTH 0°36'05" WEST, ALONG THE LAST DESCRIBED COURSE FOR A DISTANCE OF 170.00 FEET; THENCE RUN NORTH 88°44'58" WEST FOR A DISTANCE OF 130.00 FEET; THENCE RUN NORTH 0°36'05" WEST FOR A DISTANCE OF 5.00 FEET; THENCE RUN NORTH 88°44'58" WEST FOR A DISTANCE OF 25.00 FEET; THENCE RUN SOUTH 0°36'05" EAST FOR A DISTANCE OF 175.00 FEET; THENCE RUN SOUTH 88°44'58" EAST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF WEST ATLANTIC BOULEVARD FOR A DISTANCE OF 155.00 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
 NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND PARKING AS CONTAINED IN THE CROSS PARKING AGREEMENT DATED JULY 20, 1977, FILED SEPTEMBER 30, 1977, IN OFFICIAL RECORDS BOOK 7226, PAGE 316, AS AFFECTED BY OFFICIAL RECORDS BOOK 31710, PAGE 1653, BROWARD COUNTY, FLORIDA RECORDS.

Client Survey Notes:

- THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 12137711 WITH AN EFFECTIVE DATE OF JULY 9, 2025, AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
- THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
- THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF CEMETERIES OR BURIAL GROUNDS LOCATED ON THE SUBJECT SITE AT THE TIME OF SURVEY.
- THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF THE SUBJECT SITE'S USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL OR SUBSTANTIAL AREAS OF REFUSE AT THE TIME OF SURVEY.
- THE PROPERTY DESCRIBED HEREON HAS THE STREET ADDRESS AS FOLLOWS: 250 E. MICHIGAN STREET, ORLANDO, FLORIDA.
- NO WETLANDS WERE OBSERVED.



State Plane Bearing Basis Detail
 NOT TO SCALE

Abbreviation Legend:

(A)	- ACTUAL	MB	- MAP BOOK
A/C	- AIR CONDITIONER	MBX	- MAILBOX
ACSM	- AMERICAN CONGRESS ON SURVEYING & MAPPING	MES	- MITERED END SECTION
ADA	- AMERICANS WITH DISABILITIES ACT	MH	- MANHOLE
ALTA	- AMERICAN LAND TITLE ASSOCIATION	MLP	- METAL LIGHT POLE
APPROX	- APPROXIMATE	MPH	- MILES PER HOUR
ARV	- AIR RELEASE VALVE	MPP	- METAL POWER POLE
AVE	- AVENUE	N/A	- NOT APPLICABLE
AVG	- AVERAGE	NAVD	- NORTH AMERICAN VERTICAL DATUM
(BB)	- BEARING BASIS	NAD	- NORTH AMERICAN DATUM
BFP	- BACK FLOW PREVENTER	NG	- NATURAL GROUND
BLK	- BLOCK	NGS	- NATIONAL GEODETIC SURVEY
BLDG	- BUILDING	NGVD	- NATIONAL GEODETIC VERTICAL DATUM
BLVD	- BOULEVARD	N & D	- NAIL AND DISK
BM	- BENCH MARK	NO.	- NUMBER
BOC	- BACK OF CURB	NR	- NON-RADIAL
BOW	- BACK OF WALK	NSPS	- NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
BSL	- BUILDING SETBACK LINE	NT	- NON-TANGENT
BWF	- BARBED WIRE FENCE	NTS	- NOT TO SCALE
C-X	- DENOTES SHEET NUMBERING FOR ENGINEERING PLANS	OD	- OUTSIDE DIAMETER
(C)	- CALCULATED	ORB	- OFFICIAL RECORDS BOOK
CHORD	- CHORD	OR	- OFFICIAL RECORDS
CATV	- CABLE TELEVISION RISER	OUL	- OVERHEAD UTILITY LINES
CAV	- COMBINATION AIR VALVE	OTL	- OVERHEAD TRAFFIC LINES
CB	- CHORD BEARING	(P)	- PLAT
CBS	- CONCRETE BLOCK STRUCTURE	PB	- PLAT BOOK
C.A.R.	- CERTIFIED CORNER RECORD	PC	- POINT OF CURVATURE
C&G	- CURB & GUTTER	PC	- POINT OF COMPOUND CURVATURE
CI	- CATCH INLET	PCP	- PERMANENT CONTROL POINT
C/L	- CENTERLINE	PFF	- PROPOSED FINISHED FLOOR
CLF	- CHAIN LINK FENCE	PG	- PAGE
CM	- CONCRETE MONUMENT	POS	- PAGES
CMP	- CORRUGATED METAL PIPE	PI	- POINT OF INTERSECTION
CO	- CLEANOUT	PIV	- POST INDICATOR VALVE
CONC	- CONCRETE	PK	- PARKER KEYLON
COR	- CORNER	POB	- POINT OF BEGINNING
CRPP	- CORRUGATED PLASTIC PIPE	POC	- POINT OF COMMENCEMENT
CUE	- COUNTY UTILITY EASEMENT	POL	- POINT ON LINE
CVS	- CAN'T VERIFY SIZE	PP	- POWER POLE
CVS&T	- CAN'T VERIFY SIZE & TYPE	PRC	- POINT OF REVERSE CURVATURE
CWS	- CROSSWALK SIGNAL	PRM	- PERMANENT REFERENCE MONUMENT
Δ	- DELTA	PSM	- PROFESSIONAL SURVEYOR & MAPPER
(D)	- DESCRIPTION	PT	- POINT OF TANGENCY
DEB	- DEED BOOK	PVC	- POLYVINYL CHLORIDE PIPE
DBH	- DIAMETER AT BREAST HEIGHT IN INCHES	PWMT	- PAVEMENT
DE	- DRAINAGE EASEMENT	R41E	- RANGE 41 EAST
DEPT	- DEPARTMENT	R	- RADIUS
DIF	- DUCTILE IRON PIPE	RAD	- RADIAL
DR	- DRIVE	RCP	- REINFORCED CONCRETE PIPE
D/U	- DRAINAGE AND UTILITY EASEMENT	REC	- RECOVERED
(E)	- ENGINEERING PLAN	REV	- REVISION
E&B	- ELECTRIC JUNCTION BOX	R/W	- RIGHT-OF-WAY
EL	- UNDERGROUND ELECTRICAL LINES	RLS	- REGISTERED LAND SURVEYOR
ELEC	- ELECTRIC	RP	- RADIUS POINT
ELEV	- ELEVATION	RWL	- UNDERGROUND RECLAIM WATER LINE
ELLIP	- ELLIPTICAL	RWM	- RECLAIM WATER METER
EOI	- END OF INFORMATION	SE	- SPECIAL EASEMENT
EOP	- EDGE OF PAVEMENT	SEC 36	- SECTION 36
FB	- FIELD BOOK	SMH	- SANITARY SEWER MANHOLE
FDC	- FIRE DEPARTMENT CONNECTION	SP	- STATE PLANE
FDOT	- FLORIDA DEPARTMENT OF TRANSPORTATION	SQ	- SQUARE
FF	- FINISH FLOOR	SO FT	- SQUARE FEET
FGL	- FLAT GRATE INLET	SPP	- SPIRAL RIB PIPE
FLP	- FIBERGLASS LIGHT POLE	ST	- STREET
FHY	- FIRE HYDRANT	STW	- STORM DRAINAGE MANHOLE
FM	- FORCE MAIN	STW/M	- SIDEWALK
FND	- FOUND	TB	- TANGENT BEARING
FP&L	- FLORIDA POWER AND LIGHT	T48S	- TOWNSHIP 48 SOUTH
FS	- FLORIDA STATUTES	TEL	- TELEPHONE
(G)	- GRID (STATE PLANE)	TOB	- TOP OF BANK
GL	- UNDERGROUND GAS LINES	TOE	- TOE OF SLOPE
GOVT	- GOVERNMENT	TR	- TELEPHONE RISER
GPR	- GROUND PENETRATING RADAR	TRANS	- TRANSFORMER
STMH	- GREASE TRAP MANHOLE	TSB	- TRAFFIC SIGNAL BOX
HDPE	- HIGH DENSITY POLYETHYLENE PIPE	TSSP	- TRAFFIC SIGNAL SUPPORT POLE
HWF	- HOG WIRE FENCE	TVL	- UNDERGROUND CABLE TV LINES
ID	- IDENTIFICATION	(TYP)	- TYPICAL
ICV	- IRRIGATION CONTROL VALVE	UE	- UTILITY EASEMENT
INFO	- INFORMATION	UNK	- UNKNOWN
INV	- INVERT	UNL	- UNDERGROUND TELEPHONE LINES
IP	- IRON PIPE	UTL	- UTILITY
IP&C	- IRON PIPE & CAP	W	- WITH
IR	- IRON ROD	WIF	- WROUGHT IRON FENCE
IR&C	- IRON REBAR & CAP	WL	- UNDERGROUND WATER LINE
IRR	- IRRIGATION	WLP	- WOOD LIGHT POLE
L#	- ARC LENGTH	WM	- WATER METER
LP	- LICENSED BUSINESS NUMBER	WP	- WORK PROGRAM
LRCP	- LINED REINFORCED CONCRETE PIPE	WPF	- WOOD POST FENCE
(M)	- MEASURED	WPP	- WOOD POWER POLE
MAG	- MAGNETIC	WV	- WATER VALVE

Line Legend:

---	= 1 FOOT CONTOURS
---	= 5 FOOT CONTOURS
---	= ADJOINER PROPERTY LINES
---	= PROPOSED FINISHED FLOOR
---	= BROKEN LINE
---	= BARBED WIRE FENCE
---	= BURIED CABLE
---	= BURIED CABLE TELEVISION
---	= BURIED ELECTRIC
---	= BURIED FIBER OPTICS
---	= BURIED GAS
---	= BURIED RECLAIMED WATER LINE
---	= BURIED STORM LINES
---	= BURIED SANITARY LINES
---	= BURIED SANITARY SEWER FORCE MAIN LINE
---	= BURIED TRAFFIC CONTROL
---	= BURIED TELEPHONE LINE
---	= BURIED WATER LINES
---	= CENTER LINE R/W
---	= CHAIN LINK FENCE
---	= EASEMENT LINES (EXISTING)
---	= EASEMENT LINES (PROPOSED)
---	= EDGE OF WATER LINES
---	= EXISTING DRAINAGE PIPES
---	= EXISTING DRAINAGE PIPES
---	= EXISTING DRAINAGE PIPES (TERMINUS & ANGLE UNKNOWN)
---	= FIRE WATER MAIN LINES
---	= HOT WATER SUPPLY LINES
---	= IRRIGATION LINES
---	= OVERHEAD TRAFFIC LINES
---	= OVERHEAD UTILITY LINES
---	= RAILROAD TRACKS
---	= RIGHT-OF-WAY LINES
---	= SECTION LINES
---	= STONE WALL LINES
---	= TOP OF BANK LINES
---	= TOE OF SLOPE LINES
---	= TREE LINES
---	= TRAVERSE LINES
---	= UNKNOWN BURIED LINES
---	= VINYL FENCE
---	= WOOD FENCE
---	= WROUGHT IRON FENCE
---	= WETLAND LINE

Sign Legend:

(R1)	ROW NUMBER SIGN
(B)	BUS STOP SIGN
(DE)	DEAD END SIGN
(DNE)	DO NOT ENTER SIGN (R5-1)
(DT)	DRIVE-THRU PARKING
(HC)	HANDICAP SIGN
(HC)	DUAL HANDICAP SIGN
(FDC)	FIRE DEPARTMENT CONNECTION
(INFO)	INFORMATION SIGN
(KR)	KEEP RIGHT SIGN
(LTO)	LEFT TURN ONLY
(ME)	MEDIAN SIGN
(MO)	MOBILE ORDER PARKING SIGN
(ND)	NO DUMPING SIGN
(NL)	NO LEFT TURN SIGN (R3-2)
(NL)	NO LITTING SIGN
(NO)	NO OUTLET SIGN
(FL)	NO PARKING FIRE LANE SIGN
(NOR)	NO RIGHT TURN SIGN (R3-1)
(NTT)	NO THRU TRAFFIC SIGN
(NOT)	NO TRUCKS (R5-2)
(NP)	NO PARKING SIGN
(1W)	ONE WAY SIGN (R6-2)
(PE)	PEDESTRIAN CROSSING SIGN
(PU)	PICKUP PARKING SIGN
(RP)	RESERVED PARKING SIGN
(RTO)	RIGHT TURN ONLY
(SL)	SPEED LIMIT SIGN
(ST)	STOP SIGN (R1-1)
(SS)	STREET SIGN
(TZ)	TOW AWAY ZONE SIGN
(TE)	TRUCK ENTRANCE SIGN
(TX)	TRUCK EXIT SIGN
(U)	UNKNOWN SIGN
(WL)	WEIGHT LIMIT SIGN
(WW)	WRONG WAY SIGN
(Y)	YIELD SIGN

Symbol Legend:

---	= AIR RELEASE VALVE	○	= LIGHT POLE (QUAD)
○	= BORING HOLE LOCATION	○	= MAILBOX
○	= BRICK PAVERS	○	= MONITOR WELLS
○	= CABLE TV RISER	○	= NAIL & DISC (AS NOTED)
○	= CENTRAL ANGLE	○	= PARKING SPACES (2)
○	= CLEAN OUT	○	= POST INDICATOR VALVE
○	= COMBINATION AIR VALVE	○	= PULL BOX (AS NOTED)
○	= COMMUNICATION MANHOLE	○	= REVISION NUMBER (3)
○	= CONCRETE	○	= RECLAIMED WATER MARKER
○	= CONCRETE LIGHT POLE	○	= RECLAIMED WATER METER
○	= CONCRETE LIGHT POLE (DUAL)	○	= RECLAIMED WATER RISER
○	= CONCRETE LIGHT POLE (TRIPLE)	○	= RECLAIMED WATER VALVE
○	= CONCRETE LIGHT POLE (QUAD)	○	= ROOF DRAIN
○	= CONCRETE MITERED END SECTION	○	= SANITARY SEWER MANHOLE
○	= CONCRETE PAVERS	○	= SANITARY SEWER MARKER
○	= CONCRETE RIP RAP	○	= SANITARY SEWER VALVE
○	= CONCRETE UTILITY POLE	○	= TITLE OR REPORT ITEM NUMBER
○	= COUNTRY ROAD SYMBOL	○	= SECTION CORNER
○	= CROSSWALK SIGNAL POLE	○	= 4" x 4" CM LB #7143
○	= DETECTABLE WARNING AREA	○	= 5/8" IR&C LB #7143
○	= DUAL SUPPORT SIGN	○	= SIGN
○	= ELECTRICAL MANHOLE	○	= SITE BENCH MARK
○	= ELECTRIC METER	○	= STORM SEWER MANHOLE
○	= ELECTRICAL JUNCTION BOX	○	= STRIPING (DIRECTIONAL)
○	= ELECTRIC OUTLET	○	= TELEPHONE CABLE RISER
○	= ELECTRIC RISER	○	= TELEPHONE MANHOLE
○	= FIBER OPTIC MARKER	○	= TELEPHONE LINE MARKER
○	= FIRE DEPARTMENT CONNECTION	○	= TELEPHONE JUNCTION BOX
○	= FIRE HYDRANT	○	= TELEPHONE REPEATER
○	= FLOOD LIGHT	○	= TEST HOLE
○	= FOUND CONCRETE MONUMENT (AS NOTED)	○	= TRAFFIC SIGNAL BOX
○	= FOUND IRON PIPE (AS NOTED)	○	= TRAFFIC SIGNAL SUPPORT POLE
○	= FOUND IRON REBAR (AS NOTED)	○	= UNKNOWN MANHOLE
○	= FOUND/SET NAIL (AS NOTED)	○	= UNKNOWN UTILITY MARKER
○	= GARBAGE CAN	○	= UNKNOWN RISER
○	= GAS MARKER	○	= UNKNOWN VALVE
○	= GAS VALVE	○	= UTILITY FLAG (AS NOTED)
○	= GOPHER TORTOISE HOLE	○	= VENT (AS NOTED)
○	= GRATE INLET	○	= WATER METER
○	= GREASE TRAP MANHOLE	○	= WATER RISER
○	= GROUND LIGHT	○	= WATER SERVICE
○	= GUY ANCHOR	○	= WATER SPIGOT
○	= HANDICAP PARKING SPACE	○	= WATER SPRINKLER
○	= INTERSTATE SYMBOL	○	= WATER VALVE
○	= IRRIGATION CONTROL VALVE	○	= WELL
○	= LIGHT POLE	○	= WETLAND FLAG
○	= LIGHT POLE (DUAL)	○	= WOOD UTILITY POLE
○	= LIGHT POLE (TRIPLE)	○	= WATER LINE MARKER
○		○	= WIRE HEIGHTS (SEE CHART)

Reference Material

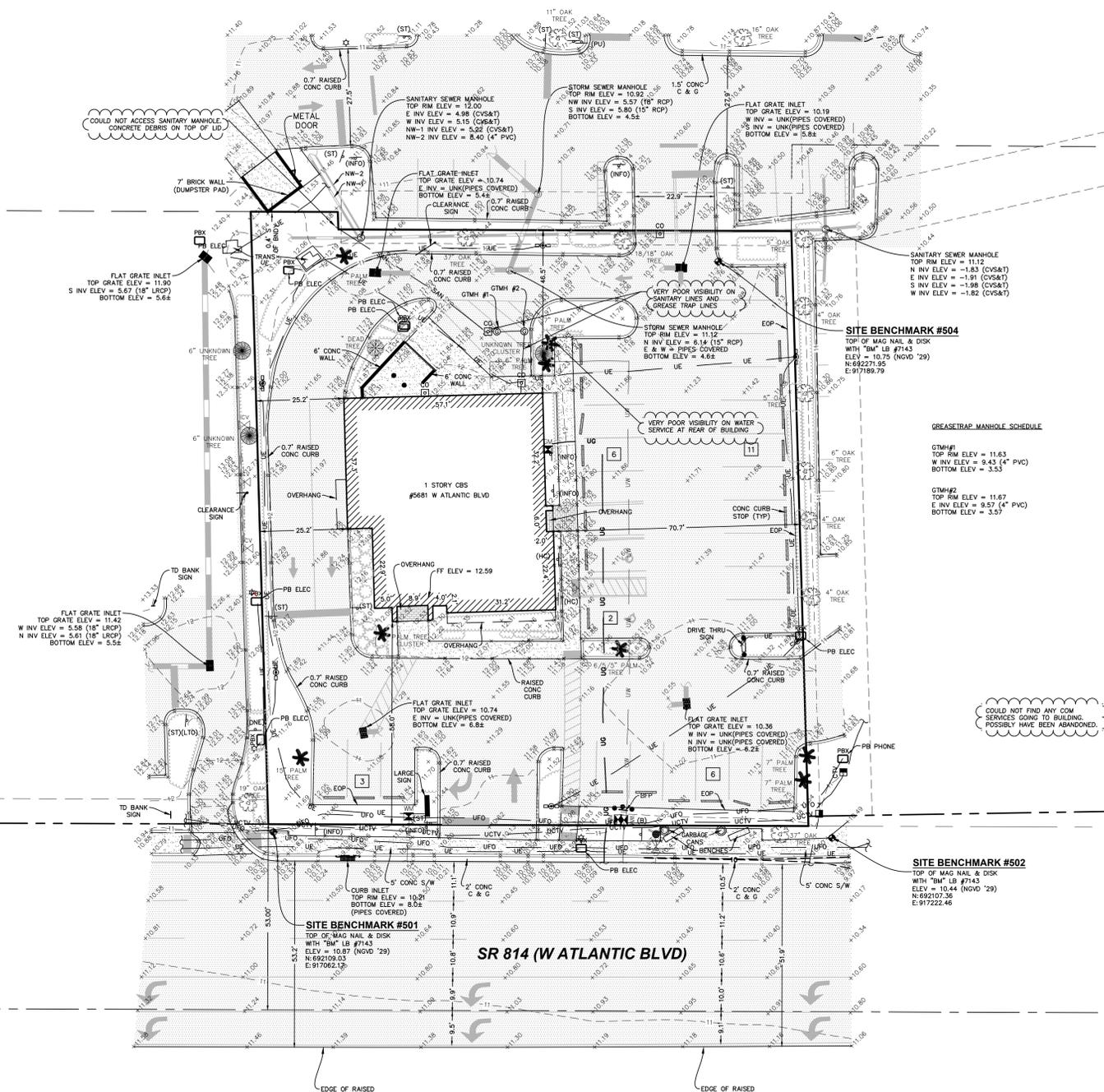
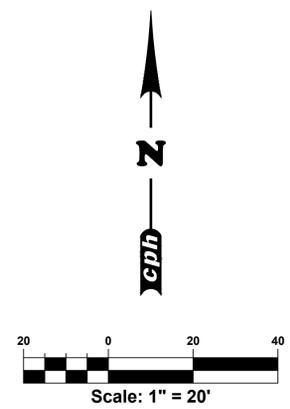
- FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP SECTION NO. 86130-2504, SHEET 5 OF 18, DATED 6-19-96 & SECTION NO. 86100-2510, APPROVED 6/12/12, SHEET 27 OF 40.
- PLAT OF MARGATE REALTY NO. 1, AS RECORDED IN PLAT BOOK 42, PAGE 42 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- SPECIAL WARRANTY DEED AS RECORDED IN ORB 48992, PG 728 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- RIGHT-OF-WAY DONATION ORB 37291, PG 621 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- ATLANTIC MARGATE, MISC. BOOK 9, PGS 86-88, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Parking Table

STANDARD SPACES =	26
ACCESSIBLE HANDICAP SPACES =	2
TOTAL SPACES =	28

Survey Notes:

- COPIES OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88)
 THE SITE BENCHMARKS FOR THIS TOPOGRAPHIC SURVEY ARE DISPLAYED ON THE RESPECTIVE SURVEY FILE. THESE BENCHMARKS ARE BASED ON A CLOSED VERTICAL CONTROL LOOP HAVING AN ACTUAL ERROR OF CLOSURE OF 0.001' WHICH MEETS THE ALLOWABLE CLOSURE OF 0.018'. THIS FIELDWORK WAS PERFORMED USING A TOPCON LEVEL MODEL #DL-502 AND REFERENCES THE FOLLOWING PUBLISHED BENCHMARKS AS ESTABLISHED BY THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88) AND ALL VERTICAL INFORMATION INCLUDING SPOT ELEVATIONS, NOTATIONS AND THE CONTOUR LINES DERIVED THEREFROM ARE BASED ON AND MATCHED TO VERTICAL CONTROL BENCHMARKS SUPPLIED BY NOS DATA SHEETS PUBLISHED AT WWW.LABINS.ORG AS FOLLOWS:
 a) DESIGNATION #FDOT 78607 BM#1 (NAVD '88) ELEVATION = 11.39
 SITE BENCHMARKS ARE AS SHOWN ON SURVEY SHEET 3 OF 3.
 b) DESIGNATION #FDOT 78607 BM#1 (NAVD '88) ELEVATION = 11.39
 SITE BENCHMARKS ARE AS SHOWN ON SURVEY SHEET 3 OF 3.
 c) DESIGNATION - FDOT#BLC4 = N 696478.91 FEET, E 917832.12 FEET
 d) DESIGNATION - FDOT#BLC25 = N 690703.28 FEET, E 916825.97 FEET
 THE EQUIPMENT USED TO TRANSFER THE STATE PLANE INFORMATION FROM THE



No.	Date	Added Requested Topographic Information	Revision	By
	9/2/25			JTF

Field Crew: L. Stoffel
 Drawn By: J. Fleming
 Checked By: N. Lunsford
 Approved By: P. Katrek
 Job No.: 2401053
 Date: 6/5/2025 © 2025

BOUNDARY & TOPOGRAPHIC SURVEY
 ALSO BEING AN
(ALTA/NSPS LAND TITLE SURVEY)
PANDA EXPRESS, INC.
A CALIFORNIA CORPORATION
 5681 W ATLANTIC BOULEVARD
 SECTION 36-TOWNSHIP 48 SOUTH-RANGE 42 EAST
 CITY OF MARGATE, BROWARD COUNTY, FLORIDA

THIS SURVEY IS NOT VALID WITHOUT SURVEY SHEETS 1 THROUGH 3 OF 3.

Survey Sheet 3

Sheet No.
V1.2

THE ELECTRONIC SIGNATURE HEREON IS IN COMPLIANCE WITH THE FLORIDA ADMINISTRATIVE CODE (FAC) 5-17.06(2) AND THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL J. KATREK, PSM, 623 ON 9/30/2025 PER 5-17.06(2)

For the Firm By: Paul J. Katrek
 Professional Surveyor and Mapper
 Florida Registration No. 6233