



SIGN WAIVER APPLICATION

Subject Property Address: 3201 N State Road 7, Margate, FL 33063

Subject Folio Number(s): 484124100011

Description of Request:

Secondary signage over entrance door.

AUTHORIZED AGENT INFORMATION

Name: Denise Lujo

Address: 3201 N State Road 7, Margate, FL 33063

Phone Number: 954-726-8686 Email Address: dlujo@live.com

APPLICANT INFORMATION (IF DIFFERENT THAN THE PROPERTY OWNER)

Name: _____

Address: _____

Phone Number: _____ Email Address: _____

PROPERTY OWNER INFORMATION

Name: BMF Plaza LLC

Address: 8040 W McNab Road, North Lauderdale, FL 33068

Phone Number: 954-726-8686x2004 Email Address: alujo@browardmeatandfish.com



SIGN WAIVER APPLICATION DETAILS

COMPLETE THIS FORM OR PROVIDE A LETTER THAT ADDRESSES ALL OF THE BELOW

Specific code section the waiver is being requested from and description of the request:

Section 39.6C - Secondary Identification Wall Sign

Description: Secondary signage over entrance door.

In order for the application to be considered by the Board of Adjustment, an applicant must prove that the request meets the criteria for granting a waiver. Below are the criteria from §39.19(B) of the City of Margate Code of Ordinances:

1. "There is something unique about the building or site configuration that would cause the signage permitted by this article to be ineffective in identifying a use or structure that would otherwise be entitled to a sign."

Then building is designed so that the signage for the anchor grocery store is located over its exit. Due to the distance between the entrance and the exit, the entrance does not appear to be part of the same.



2. "The granting of a waiver is not contrary to the intent of the sign code, the aesthetics of the area, or does not create a nuisance or adversely affect any neighboring properties."

The current sign is barely visible from the street due to the landscaping and how far the shopping center is set back from the street, so additional signage should not have any adverse effect.

3. "Literal enforcement of this article would result in unreasonable and undue hardship upon the petitioner." (A mere economic disadvantage due to the owner's preference as to what they would like to do with the property is not sufficient to constitute a hardship entitling the owner to a variance.)

The length of the storefront and location of the correct signage (over the exit door) makes it impossible for customers to determine where the entrance is. This causes customers to enter through the exit, causing traffic at the exit.



OWNER'S AUTHORIZATION AFFIDAVIT

I hereby certify that I am the owner or authorized agent of the property located at

3201 N State Road 7, Margate, FL 33063

being the subject property for this Sign Waiver application, and I hereby grant authorization to

R Miller Builders Corp. dba RMB to file an application with the City of Margate for approval of the same.

If the application is denied, I understand that an appeal to the City Commission may be filed within 7 days via the City Clerk's office.

Denise Lujo

Print owner's or authorized agent's name

[Signature]

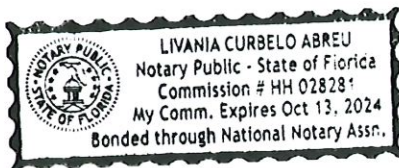
Signature of owner or authorized agent

Owner/Agent Phone Number: 954-726-8686 Email Address: DLUJO@live.com

Owner/Agent Address: 3201 N. State Road 7, Margate, FL 33063

STATE OF FLORIDA COUNTY OF Broward

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization, this 18 day of July, 2023 (year), by Denise Lujo (print name of person making statement).



[Signature]
(Signature of Notary Public - State of Florida)

Livania Curbeo Abreu
(Print, Type, or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification

Type of Identification Produced _____



PUBLIC HEARING SIGN AGREEMENT

Subject Property Address: 3201 N State Road 7, Margate, FL 33063

Subject Folio Number(s): 484124100011

Pursuant to the requirements set forth in §31-55 of the Code of the City of Margate, Florida, the applicants(s) for the public hearing for the application described above do(es) hereby agree that failure to remove the sign(s) within two (2) business days following a final determination in the matter will result in the forfeiture of the \$150 collected by the City of Margate.

Denise Lujo
Print applicant's name

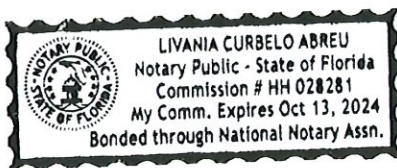
[Signature]
Signature of applicant

Owner
Print applicant's title

BMF Plaza, LLC
Print applicant's organization/company

STATE OF FLORIDA COUNTY OF Broward

Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization, this 25 day of July, 2023 (year), by Denise Lujo (print name of person making statement).



[Signature]
(Signature of Notary Public - State of Florida)

Livania Curbelo Abreu
(Print, Type, or Stamp Commissioned Name of Notary Public)

☒ Personally Known OR ☐ Produced Identification

Type of Identification Produced: _____

Prepared by:

Adam J Reiss, Esq.
Ross Realty Investments, Inc.
3325 S University Drive Suite 210
Davie FL 33328

BCPA Tax Parcel Number: 4841-24-10-0011

SPECIAL WARRANTY DEED

THIS INDENTURE, (the terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates), made this 28th day of December, 2020, between PENN DUTCH PLAZA LLC, a Florida limited liability company with a mailing address of 3325 S University Drive Suite 210 Davie FL 33328 (the "Grantor"), and BMF PLAZA, LLC, a Florida limited liability company, with a mailing address of 8040 West McNab Road North Lauderdale, FL 33068 (the "Grantee").

WITNESSETH:

THAT GRANTOR, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, to it in hand paid by Grantee, the receipt whereof is hereby acknowledged, does hereby forever grant, bargain, sell, convey and confirm to Grantee, and its successors and assigns, a certain tract of land situated, lying, and being in the City of Margate, Broward County, Florida, as more particularly described in Exhibit A attached hereto (the "Property").

This conveyance is subject to the following:

1. Conditions, restrictions, limitations and easements of record, if any, but this provision shall not operate to re-impose the same.
2. Zoning and other governmental regulations.
3. Taxes and assessments for 2020 and subsequent years not yet due or payable.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

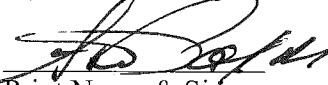
AND THE GRANTOR hereby covenants with said Grantee that Grantor is lawfully seized of the Property in fee simple; that the Grantor has good right and lawful authority to sell and convey said Property; that the Grantor hereby specially warrants the title to the Property and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but not otherwise.

IN WITNESS WHEREOF, Grantor has caused these presents to be executed on this 24th day of December, 2020

2 Witnesses:

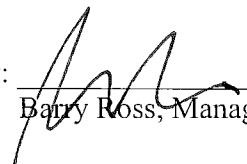
PENN DUTCH PLAZA LLC
a Florida limited liability company

 HAL COENEN
Print Name & Sign

 Annette D. Pappas
Print Name & Sign

By: Penn Dutch Plaza Sponsor LLC
a Florida limited liability company
its Manager

By: Ross Penn Dutch Plaza LLC
a Florida limited liability company
its Manager

By: 
Barry Ross, Manager

STATE OF FLORIDA)
COUNTY OF BROWARD)

The foregoing instrument was acknowledged before me, by means of ☒ physical presence or ☐ online notarization, this 24th day of December, 2020 by Barry Ross, as Manager of Ross Penn Dutch Plaza LLC, a Florida limited liability company which is the Manager of Penn Dutch Plaza Sponsor LLC, a Florida limited liability company which is the Manager of Penn Dutch Plaza LLC, a Florida limited liability company, who is personally known to me and did not take an oath and who executed same for the purposes set forth herein. Given under my hand and official seal this 24th day of December, 2020.

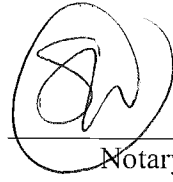
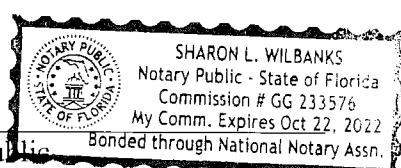
 Notary Public
 SHARON L. WILBANKS
Notary Public - State of Florida
Commission # GG 233576
My Comm. Expires Oct 22, 2022
Bonded through National Notary Assn.

EXHIBIT A

LEGAL DESCRIPTION

PARCEL 1

A PORTION OF PARCEL 1, MARGATE PLAZA NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 132, PAGE 50, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID PLAT; THENCE SOUTH 89°29'10" EAST ALONG THE NORTH LINE OF SAID PLAT AND ALONG THE MARGATE CITY LIMITS, A DISTANCE OF 292.55 FEET; THENCE SOUTH 07°40'09" EAST, A DISTANCE OF 501.01 FEET; THENCE SOUTH 01°00'34" EAST, A DISTANCE OF 194.57 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 01°00'34" EAST, A DISTANCE OF 175.01 FEET; THENCE NORTH 88°59'26" EAST, A DISTANCE OF 165.00 FEET; THENCE SOUTH 01°00'34" EAST, ALONG THE EAST LINE OF SAID PARCEL "A", A DISTANCE OF 272.67 FEET; THENCE SOUTH 88°59'26" WEST, A DISTANCE OF 165.00 FEET; THENCE SOUTH 01°00'34" EAST, A DISTANCE OF 210.00 FEET; THENCE SOUTH 51°00'02" WEST, A DISTANCE OF 150.99 FEET; THENCE SOUTH 06°10'16" WEST A DISTANCE OF 111.94 FEET; THENCE SOUTH 88°59'26" WEST, ALONG THE SOUTH LINE OF SAID TRACT "A", A DISTANCE OF 99.01 FEET; THENCE SOUTH 01°00'34" EAST, ALONG SAID SOUTH LINE, A DISTANCE OF 8.00 FEET; THENCE SOUTH 88°59'26" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 68.07 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT, THENCE WESTERLY ALONG THE ARC OF SAID CURVE, ALSO BEING SAID SOUTH LINE, HAVING A RADIUS OF 899.93 FEET AND A CENTRAL ANGLE OF 11°06'38"; A DISTANCE OF 174.51 FEET; THENCE NORTH 72°07'32" WEST, ALONG SAID SOUTH LINE, ALSO BEING A NON-TANGENT LINE, A DISTANCE OF 91.43 FEET; THENCE NORTH 01°00'34" WEST, A DISTANCE OF 241.90 FEET; THENCE NORTH 27°00'46" WEST, A DISTANCE OF 159.66 FEET; THENCE NORTH 01°00'34" WEST, A DISTANCE OF 388.54 FEET TO AN INTERSECTION WITH A NON-TANGENT CIRCULAR CURVE TO THE LEFT, AT WHICH THE RADIUS POINT BEARS NORTH 24°56'49" WEST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 330.00 FEET AND A CENTRAL ANGLE OF 04°04'45", A DISTANCE OF 23.50 FEET TO THE POINT OF TANGENCY; THENCE NORTH 60°58'26" EAST, A DISTANCE OF 107.61 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 220.00 FEET AND A CENTRAL ANGLE OF 25°24'41", A DISTANCE OF 97.57 FEET; THENCE NORTH 01°00'34" WEST, ALONG A NON-RADIAL LINE, A DISTANCE OF 23.00 FEET (THE PREVIOUSLY DESCRIBED SEVEN COURSES BEING COINCIDENT, WITH THE WESTERLY BOUNDARY OF SAID PLAT); THENCE NORTH 88°59'26" EAST, A DISTANCE OF 176.00 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 95.53 FEET AND A CENTRAL ANGLE OF 20°10'52", A DISTANCE OF 33.65 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 70°49'42" EAST, A DISTANCE OF 148.35 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 20°10'52", A DISTANCE OF 17.61 FEET TO THE POINT OF TANGENCY; THENCE NORTH 88°59'26" EAST, A DISTANCE OF

55.09 FEET TO THE POINT OF BEGINNING (THE LAST FIVE DESCRIBED COURSES BEING COINCIDENT WITH THE CENTERLINE OF A 30.00 FOOT WIDE INGRESS EGRESS EASEMENT, AS RECORDED IN OFFICIAL RECORDS BOOK 16205, PAGE 739 OF SAID PUBLIC RECORDS).

SAID LANDS SITUATE IN THE CITY OF MARGATE, BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 1

EASEMENT WHICH BENEFIT PARCEL 1 FOR ACCESS UTILITIES AND SURFACE WATER MANAGEMENT AS SET FORTH IN ARTICLE IV, SECTIONS 1, 3, AND 4 OF THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS AND OPERATING AGREEMENT EXECUTED BY CORAL POINT PLAZA ASSOCIATES, LTD., DATED AUGUST 15, 1988, RECORDED IN OFFICIAL RECORD BOOK 15727, PAGE 657, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 2

TOGETHER WITH EASEMENTS, RIGHTS AND PRIVILEGES SET FORTH IN DECLARATION OF COVENANTS FOR WATER MANAGEMENT RECORDED IN BOOK 15071, PAGE 620, AS AFFECTED BY INSTRUMENT RECORDED IN BOOK 16215, PAGE 314.

TOGETHER WITH EASEMENT INTEREST 3

EASEMENTS RIGHTS AND PRIVILEGES SET FORTH IN DRAINAGE EASEMENT RECORDED IN BOOK 14860, PAGE 506 AND AMENDMENT TO DRAINAGE EASEMENT RECORDED IN BOOK 14882, PAGE 450, AS AFFECTED BY THE ACKNOWLEDGMENT OF DRAINAGE EASEMENT RECORDED IN BOOK 15418, PAGE 827.

TOGETHER WITH EASEMENT INTEREST 4

EASEMENTS, RIGHTS AND PRIVILEGES SET FORTH IN FLOW EASEMENT RECORDED IN BOOK 15102, PAGE 907, AS AFFECTED BY ACKNOWLEDGEMENT OF FLOW EASEMENT RECORDED IN BOOK 15418, PAGE 837.

TOGETHER WITH EASEMENT INTEREST 5

ALL RIGHT, TITLE AND INTEREST OF CORAL POINT PLAZA ASSOCIATES. LTD., A FLORIDA LIMITED PARTNERSHIP, ("ASSOCIATES") IN, TO AND UNDER THE NON-EXCLUSIVE EASEMENT IN FAVOR OF PARCEL 1A AS SET FORTH IN THAT CERTAIN EASEMENT FROM SEAWARD CORPORATION TO CENTRUM SAWGRASS, INC., RECORDED IN OFFICIAL RECORD

BOOK 13938, PAGE 678, AND RE-RECORDED IN OFFICIAL RECORD BOOK 14069, PAGE 770, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS OVER THE LAND DESCRIBED IN SAID EASEMENT TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

TOGETHER WITH EASEMENT INTEREST 6

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS AND OPERATING AGREEMENT EXECUTED BY CORAL POINTE PLAZA ASSOCIATES, LTD., BEARING THE DATE OF AUGUST 15, 1988 RECORDED IN OFFICIAL RECORD BOOK 15727, PAGE 657, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

TOGETHER WITH EASEMENT INTEREST 7

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THE NON-EXCLUSIVE EASEMENT IN FAVOR OF PARCEL 1 FOR PEDESTRIAN AND VEHICULAR PASSAGE ONLY AS SET FORTH IN PARAGRAPH 2 AND NON-EXCLUSIVE EASEMENT IN FAVOR OF PARCEL 1 FOR THE INSTALLATION, USE, MAINTENANCE AND REPAIR OF UTILITIES INCLUDING, WITHOUT LIMITATION, WATER, SEWER, ELECTRIC AND DRAINAGE AND UTILITY IMPROVEMENTS AS SET FORTH IN PARAGRAPHS 5 AND 6 AND ALL OF ASSOCIATES' RIGHT, TITLE AND INTEREST IN, TO, AND UNDER PARAGRAPH 4 OF THAT CERTAIN EASEMENT AGREEMENT DATED APRIL 1, 1988, BETWEEN CENTRUM SAWGRASS, INC. AND THE HOME DEPOT, INC., RECORDED IN OFFICIAL RECORD BOOK 15321, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AS CORRECTED BY THAT CERTAIN CORRECTIVE EASEMENT RECORDED IN OFFICIAL RECORD BOOK 16205, PAGE 739, IN SAID PUBLIC RECORDS, TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

TOGETHER WITH EASEMENT INTEREST 8

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DRAINAGE EASEMENT BETWEEN FRANK NEWETH, LTD., AND CENTRUM SAWGRASS, INC., RECORDED IN OFFICIAL RECORD BOOK 14860. PAGE 506; AS AMENDED BY THAT CERTAIN AMENDMENT TO DRAINAGE EASEMENT RECORDED IN OFFICIAL RECORD BOOK 14882,

PAGE 450, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THAT BENEFITS PARCEL 1.

TOGETHER WITH EASEMENT INTEREST 9

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN FLOW EASEMENT BETWEEN FRANK NEWETH, LTD., AND CENTRUM SAWGRASS, INC., RECORDED IN OFFICIAL RECORD BOOK 15102, PAGE 907, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

TOGETHER WITH EASEMENT INTEREST 10

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DECLARATION OF COVENANTS FOR WATER MANAGEMENT EXECUTED BY CENTRUM SAWGRASS, INC., BEARING THE DATE OF DECEMBER 10, 1987, RECORDED IN OFFICIAL RECORD BOOK 15071, PAGE 620, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THAT SAME BENEFITS PARCEL 1. SUCH RIGHT, TITLE AND INTEREST WAS ACQUIRED BY ASSOCIATES PURSUANT TO THAT CERTAIN ASSIGNMENT

OF DEVELOPERS RIGHTS RECORDED IN OFFICIAL RECORD BOOK 16215, PAGE 314, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 11

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN CITY OF MARGATE DEVELOPER AGREEMENT AND THE ADDENDUM THERETO, RECORDED IN OFFICIAL RECORD BOOK 13235, PAGE 284, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AS ACQUIRED BY ASSOCIATES PURSUANT TO THAT CERTAIN ASSIGNMENT OF DEVELOPERS RIGHTS RECORDED IN OFFICIAL RECORD BOOK 16005, PAGE 28, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THE SAME BENEFITS PARCEL 1A, AND SUBJECT TO THE PARTIAL ASSIGNMENT THEREOF AS EVIDENCED BY THAT CERTAIN ASSIGNMENT OF DEVELOPER RIGHTS, DATED APRIL 1, 1988, BETWEEN CENTRUM SAWGRASS, INC., AND THE HOME DEPOT, INC., RECORDED IN OFFICIAL RECORD BOOK 16005, PAGE I, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT CERTAIN ASSIGNMENT OF DEVELOPER RIGHTS DATED AUGUST 26, 1988, BETWEEN CORAL POINTE PLAZA ASSOCIATES, LTD., AND THE CITIZENS AND SOUTHERN NATIONAL BANK OF FLORIDA, RECORDED IN OFFICIAL RECORD BOOK 16004, PAGE 982, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 12

ALL OF THE RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THE FOLLOWING: (I)SHOPPING CENTER: MARGATE PLAZA DECLARATION OF RESTRICTIVE COVENANTS, RECORDED IN OFFICIAL RECORDS BOOK 15291, PAGE 866, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND (II) SHOPPING CENTER: MARGATE PLAZA DECLARATION OF RESTRICTIVE COVENANTS ON THE OUTPARCELS RECORDED IN OFFICIAL RECORD BOOK 15536, PAGE 85, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 13

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DECLARATION OF RESTRICTIONS BETWEEN CENTRUM SAWGRASS, INC. AND THE HOME DEPOT, INC., RECORDED IN OFFICIAL RECORD BOOK 15320, PAGE 994, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 14

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN TO AND UNDER THE NON-EXCLUSIVE EASEMENTS IN FAVOR OF PARCEL 1A AS SET FORTH IN THAT CERTAIN EASEMENT FROM SAMPLE/441 LAND CORPORATION TO CORAL POINTE PLAZA ASSOCIATES, LTD., RECORDED IN OFFICIAL RECORD BOOK 16139, PAGE 330, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, FOR INSTALLING, MAINTAINING, REPAIRING AND USING DRAINAGE, WATER AND SEWER IMPROVEMENTS AND OTHER UTILITIES IMPROVEMENTS TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

TOGETHER WITH EASEMENT INTEREST 15

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DECLARATION OF RESTRICTIONS RECORDED IN OFFICIAL RECORD BOOK 16215, PAGE 316, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

ALL OF SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
BMF PLAZA, LLC

Filing Information

Document Number	L20000360536
FEI/EIN Number	85-4025038
Date Filed	11/13/2020
Effective Date	11/16/2020
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	12/09/2020
Event Effective Date	12/12/2020

Principal Address

3201 N. State Road 7
Margate, FL 33063

Changed: 02/21/2023

Mailing Address

3201 N. State Road 7
Margate, FL 33063

Changed: 02/21/2023

Registered Agent Name & Address

LUJO, ATHALIA
3201 N. State Road 7
Margate, FL 33063

Address Changed: 02/21/2023

Authorized Person(s) Detail

Name & Address

Title MGR

LUJO, DENISE
3201 N. State Road 7
Margate, FL 33063

Title MGR

LUJO, RUBEN

3201 N. State Road 7

Margate, FL 33063

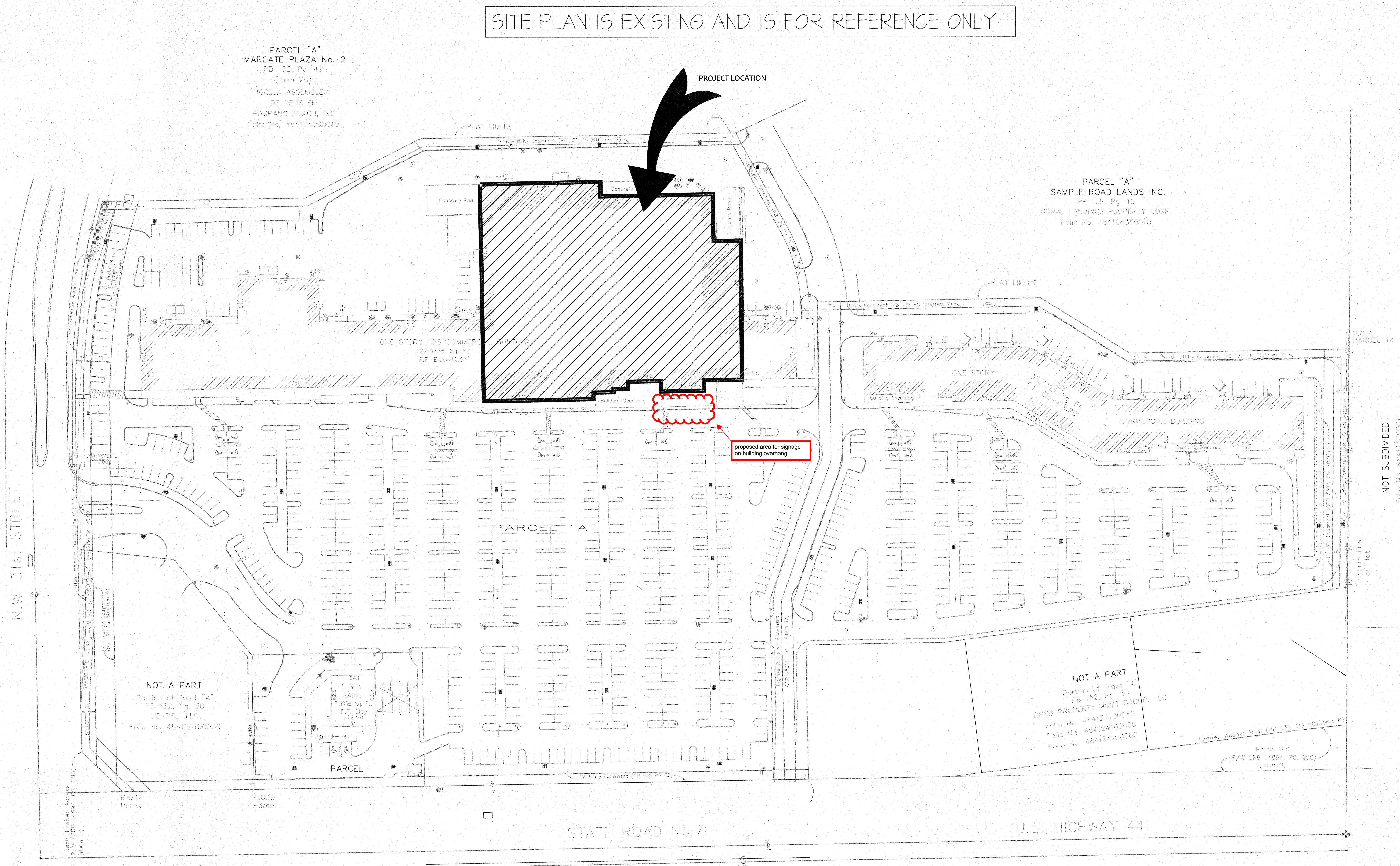
Annual Reports

Report Year	Filed Date
2021	04/21/2021
2022	03/07/2022
2023	02/21/2023

Document Images

02/21/2023 -- ANNUAL REPORT	View image in PDF format
03/07/2022 -- ANNUAL REPORT	View image in PDF format
04/21/2021 -- ANNUAL REPORT	View image in PDF format
12/09/2020 -- LC Amendment	View image in PDF format
11/13/2020 -- Florida Limited Liability	View image in PDF format

REVISIONS



SITE PLAN IS EXISTING AND IS FOR REFERENCE ONLY

PROJECT LOCATION

proposed area for signage on building overhang

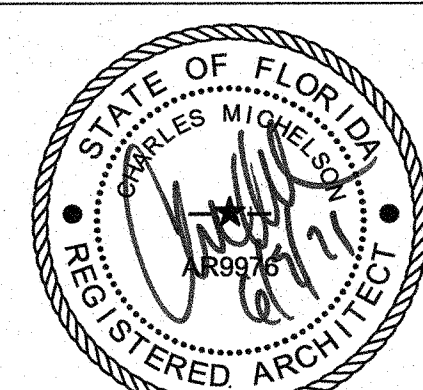
OVERALL EXISTING SITE PLAN
SCALE: 3/32" = 1'-0"

PROPOSED MODIFICATIONS FOR:
BROWARD MEAT & FISH
3201 N STATE ROAD 7
MARGATE, FL 33063

SALTZ MICHELSON
ARCHITECTS

3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897



Charles Michelson AR0009976

Project No.:
2020-167
Drawn By:
EQ/ER
Checked By:
ER
Date:
June 9, 2021

REVISIONS

Project Name: 3201 N STATE ROAD 7 MARGATE, FL 33063
Project No.: 2020-167
Drawn By: EQ/ER
Checked By: ER
Date: June 9, 2021
Scale: 3/32" = 1'-0"



OVERALL EXISTING
SITE PLAN

SP1.0



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Exterior Concept - Nighttime (View 04)

BROWRD3	02 JULY 2021	SCALE: N/A	D8
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PARCEL 1
A PORTION OF PARCEL "A", MARGATE PLAZA NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 132, PAGE 50, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

SAID LANDS SITUATE IN THE CITY OF MARGATE, BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 1
EASEMENT WHICH BENEFIT PARCEL 1 FOR ACCESS UTILITIES AND SURFACE WATER MANAGEMENT AS SET FORTH IN
ARTICLE IV, SECTIONS 1, 3, AND 4 OF THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS AND OPERATING
AGREEMENT EXECUTED BY CORAL POINT PLAZA ASSOCIATES, LTD., DATED AUGUST 15, 1988, RECORDED IN
OFFICIAL RECORD BOOK 15727, PAGE 657, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 2
TOGETHER WITH EASEMENTS, RIGHTS AND PRIVILEGES SET FORTH IN DECLARATION OF COVENANTS FOR WATER
MANAGEMENT RECORDED IN BOOK 15071, PAGE 620, AS AFFECTED BY INSTRUMENT RECORDED IN BOOK 16215,
PAGE 314.

TOGETHER WITH EASEMENT INTEREST 3
EASEMENTS RIGHTS AND PRIVILEGES SET FORTH IN DRAINAGE EASEMENT RECORDED IN BOOK 14860, PAGE 506
AND AMENDMENT TO DRAINAGE EASEMENT RECORDED IN BOOK 14882, PAGE 450, AS AFFECTED BY THE
ACKNOWLEDGMENT OF DRAINAGE EASEMENT RECORDED IN BOOK 15418, PAGE 827.

TOGETHER WITH EASEMENT INTEREST 4
EASEMENTS, RIGHTS AND PRIVILEGES SET FORTH IN FLOW EASEMENT RECORDED IN BOOK 15102, PAGE 907, AS
AFFECTED BY ACKNOWLEDGEMENT OF FLOW EASEMENT RECORDED IN BOOK 15418, PAGE 837.

TOGETHER WITH EASEMENT INTEREST 5.
ALL RIGHT, TITLE AND INTEREST OF CORAL POINT PLAZA ASSOCIATES, LTD., A FLORIDA LIMITED PARTNERSHIP, ("ASSOCIATES") IN, TO AND UNDER THE NON-EXCLUSIVE EASEMENT IN FAVOR OF PARCEL 1A AS SET FORTH IN THAT CERTAIN EASEMENT FROM SEAWARD CORPORATION TO CENTRUM SAWGRASS, INC., RECORDED IN OFFICIAL RECORD BOOK 13938, PAGE 678, AND RE-RECORDED IN OFFICIAL RECORD BOOK 14069, PAGE 770, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS OVER THE LAND DESCRIBED IN SAID EASEMENT TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS AND OPERATING AGREEMENT EXECUTED BY CORAL POINTE PLAZA ASSOCIATES, LTD., BEARING THE DATE OF AUGUST 15, 1988 RECORDED IN OFFICIAL RECORD BOOK 15727, PAGE 657, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

TOGETHER WITH EASEMENT INTEREST 7
ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THE NON-EXCLUSIVE EASEMENT IN FAVOR OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AS SET FORTH IN PARAGRAPHS 2 AND 3, AND THE NON-EXCLUSIVE EASEMENT IN FAVOR OF PARCEL 1 FOR THE INSTALLATION, USE, MAINTENANCE AND REPAIR OF UTILITIES INCLUDING, WITHOUT LIMITATION, WATER, SEWER, ELECTRIC AND DRAINAGE AND UTILITY IMPROVEMENTS AS SET FORTH IN PARAGRAPHS 5 AND 6 AND ALL OF ASSOCIATE'S RIGHT, TITLE AND INTEREST IN, TO, AND UNDER THE NON-EXCLUSIVE EASEMENT IN FAVOR OF PARCEL 1 FOR THE INSTALLATION, USE, MAINTENANCE AND REPAIR OF UTILITIES INCLUDING, WITHOUT LIMITATION, WATER, SEWER, ELECTRIC AND DRAINAGE AND UTILITY IMPROVEMENTS AS SET FORTH IN PARAGRAPHS 5 AND 6, AND THE HOME DEPOT INC., RECORDED IN OFFICIAL RECORD BOOK 15321, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AS CORRECTED BY THAT CERTAIN CORRECTIVE EASEMENT IN FAVOR OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, RECORDED IN SAID PUBLIC RECORDS, TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

TOGETHER WITH EASEMENT INTEREST 8
ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DRAINAGE EASEMENT BETWEEN
FRANK NEWETH, LTD., AND CENTRUM SAWGRASS, INC., RECORDED IN OFFICIAL RECORD BOOK 14860. PAGE 506;
AS AMENDED BY THAT CERTAIN AMENDMENT TO DRAINAGE EASEMENT RECORDED IN OFFICIAL RECORD BOOK
14862,
PAGE 450, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THAT BENEFITS
PARCEL 1,

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN FLOW EASEMENT BETWEEN FRANK NEWETH. LTD., AND CENTRUM SAWGRASS, INC., RECORDED IN OFFICIAL RECORD BOOK 15102, PAGE 907, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

TOGETHER WITH EASEMENT INTEREST 10. ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DECLARATION OF COVENANTS FOR WATER MANAGEMENT EXECUTED BY CENTRUM SWAGRASS, INC., BEARING THE DATE OF DECEMBER 10, 1987, RECORDED IN OFFICIAL RECORD BOOK 150711, PAGE 620, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH EASEMENT INTEREST 11. ALL RIGHT, TITLE AND INTEREST WACQUIRED BY ASSOCIATES PURSUANT TO THAT CERTAIN ASSIGNMENT OF DEVELOPERS' RIGHTS RECORDED IN OFFICIAL RECORD BOOK 16215, PAGE 314, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST IN, TO AND UNDER THAT CERTAIN CITY OF MARGATE DEVELOPER
ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES INC., RECORDED IN OFFICIAL RECORD BOOK 13239, PAGE 184, OF THE
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AS ACQUIRED BY ASSOCIATES PURSUANT TO THAT CERTAIN
ASSIGNMENT OF DEVELOPERS RIGHTS RECORDED IN OFFICIAL RECORD BOOK 16005, PAGE 28, OF THE PUBLIC
RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT CERTAIN ASSIGNMENT OF DEVELOPER RIGHTS DATED AUGUST
THE PARTIAL ASSIGNMENT THEREOF AS EVIDENCED BY THAT CERTAIN ASSIGNMENT OF DEVELOPER RIGHTS, DATED
AUGUST 26, 1988, BETWEEN CENTRUM GROUP, INC. AND CORAL POINT PLAZA ASSOCIATES, LTD.,
RECORDED IN OFFICIAL RECORD BOOK 16004, PAGE 982, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT CERTAIN
ASSIGNMENT OF DEVELOPER RIGHTS DATED AUGUST 26, 1988, BETWEEN CORAL POINT PLAZA ASSOCIATES, LTD.,
AND CENTRUM GROUP, INC., RECORDED IN OFFICIAL RECORD BOOK 16004, PAGE 982, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 12
ALL OF THE RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THE FOLLOWING: (I) SHOPPING
CENTER; MARGATE PLAZA DECLARATION OF RESTRICTIVE COVENANTS, RECORDED IN OFFICIAL RECORDS BOOK
15291, PAGE 866, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND (II) SHOPPING CENTER;
MARGATE PLAZA DECLARATION OF RESTRICTIVE COVENANTS ON THE OUTPARCELS RECORDED IN OFFICIAL RECORD
BOOK 15536, PAGE 85, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DECLARATION OF RESTRICTIONS BETWEEN CENTRUM SAWGRASS, INC. AND THE HOME DEPOT, INC., RECORDED IN OFFICIAL RECORD BOOK 15320, PAGE 994, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH EASEMENT INTEREST 14
ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN TO AND UNDER THE NON-EXCLUSIVE EASEMENTS IN FAVOR
OF PARCEL 1A AS SET FORTH IN THAT CERTAIN EASEMENT FROM SAMPLE/441 LAND CORPORATION TO CORAL
POINTE PLAZA ASSOCIATES, LTD., RECORDED IN OFFICIAL RECORD BOOK 16139, PAGE 330, OF THE PUBLIC
RECORDS OF BROWARD COUNTY, FLORIDA, FOR INSTALLING, MAINTAINING, REPAIRING AND USING DRAINAGE, WATER
AND SEWER IMPROVEMENTS AND OTHER UTILITIES IMPROVEMENTS TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

ALL RIGHT, TITLE AND INTEREST OF ASSOCIATES IN, TO AND UNDER THAT CERTAIN DECLARATION OF RESTRICTIONS RECORDED IN OFFICIAL RECORD BOOK 16215, PAGE 316, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TO THE EXTENT THAT SAME BENEFITS PARCEL 1.

ALL OF SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

1. THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF
A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. TITLE INFORMATION IS SHOWN ON THIS SHEET.
3. ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE
INDICATED.
4. THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS
SURVEY, EXCEPT AS SHOWN.
5. BEARINGS SHOWN HEREON ARE BASED ON THE RECORD PLAT.
6. PROPERTY ADDRESS: 3105-3285 N STATE ROAD 7, MARGATE FL, 33063
7. LANDS CONTAIN 12.844 ACRES, MORE OR LESS.
8. FLOOD INFORMATION IS AS FOLLOWS:

COMMUNITY NUMBER : 12011C0165H
PANEL NUMBER : 0165H
DATE OF FIRM INDEX : 08-18-2014
ZONE : AH,X(0.2%)
BASE FLOOD ELEVATION : 12.0' FOR AH

TITLE REPORT NO. 971127
PRO TITLE USA
DATE: 4/5/2023

NO.	BOOK/PAGE	DESCRIPTION	APPLIES?	EFFECTS?
1	ORB 12663/221	DRAINAGE EASEMENT	YES&	YES
2	ORB 12663/209	FLOWAGE EASEMENT	YES&	NO
3	ORB 12663/214	REVENUE AGREEMENT	YES&	NO
4	ORB 14058/123	AMENDMENT	YES&	NO
5	ORB 14068/173	AMENDMENT	YES&	NO
6	ORB 14882/450	AMENDMENT	YES&	NO
7	ORB 15235/284	DEVELOPMENT AGREEMENT	YES&	NO
8	ORB 16005/1	ASSIGNMENT	YES	NO
9	ORB 45964/1816	ASSIGNMENT	YES	NO
10	INST. 113295/19	ASSIGNMENT	YES	NO
11	INST. 113502562	ASSIGNMENT	YES	NO
12	ORB 13938/678	EASEMENT	YES&	YES
13	ORB 14069/770	EASEMENT	YES&	YES
14	INST. 113629672	AFFIDAVIT	YES	NO
15	ORB 15071/620	DEC OF COVENANTS	YES	NO
16	ORB 16015/314	ASSIGNMENT	NO&	NO
17	ORB 14860/506	DRAINAGE EASEMENT	YES&	YES
18	ORB 15418/827	ACKNOWLEDGEMENT	YES	NO
19	ORB 15102/907	FLOW EASEMENT	YES&	YES
20	ORB 1518/837	ACKNOWLEDGEMENT	NO	NO
21	ORB 15727/657	RECIPICAL EASEMENT	YES	YES
22	ORB 15291/866	DEC OF RES COV	YES	NO
23	ORB 15536/87	DEC OF RES COV	YES	NO
24	ORB 15820/934	CORRECTIVE EASEMENT	YES&	YES
25	ORB 16139/330	EASEMENT	YES&	YES
26	ORB 16215/316	DEC OF RESTRICTIONS	YES	YES
27	ORB 16205/739	CORRECTIVE EASEMENT	YES	YES
28	INST. 116955828	DECLARATION	NO	NO
29	INST. 117772553	DECLARATION	YES	NO
30	INST. 118329129	NOTE OF COMMENCEMENT	YES	NO

* DOCUMENT IS ILLEGIBLE
& OFFSITE EASEMENT TO BENEFIT PROPERTY
% PORTION OF LEGAL DESCRIPTION INCORRECT

A/C	=	AIR CONDITIONER
ALUM.	=	ALUMINUM
B.C.R.	=	BROWARD COUNTY RECORDS
B.B.	=	BATH BASIN
C.B.S.	=	CONCRETE BLOCK & STUCCO
CLF	=	CHAIN LINK FENCE
CONC.	=	CONCRETE
Δ	=	DELTA (INTERNAL ANGLE)
D.E.	=	DETRAIN EASEMENT
ELEV.	=	ELEVATION
F.F.	=	FINISHED FLOOR
FND.	=	FOUND
GARG.	=	GARAGE
INV.	=	INVERT
IP.	=	IRON PIPE
IR	=	IRON ROD
IRC	=	IRON ROD & CAP
L	=	ARC LENGTH
L.M.E.	=	LAKE MAINTENANCE EASEMENT
MON.	=	MONUMENT
N/D	=	NAIL AND DISC
P.B.	=	PLAT BOOK
P.G.	=	PAGE
PROP.	=	PROPOSED
R	=	RADIUS
R/W	=	RIGHT-OF-WAY
T.Y.	=	TYPICAL
U.E.	=	UTILITY EASEMENT

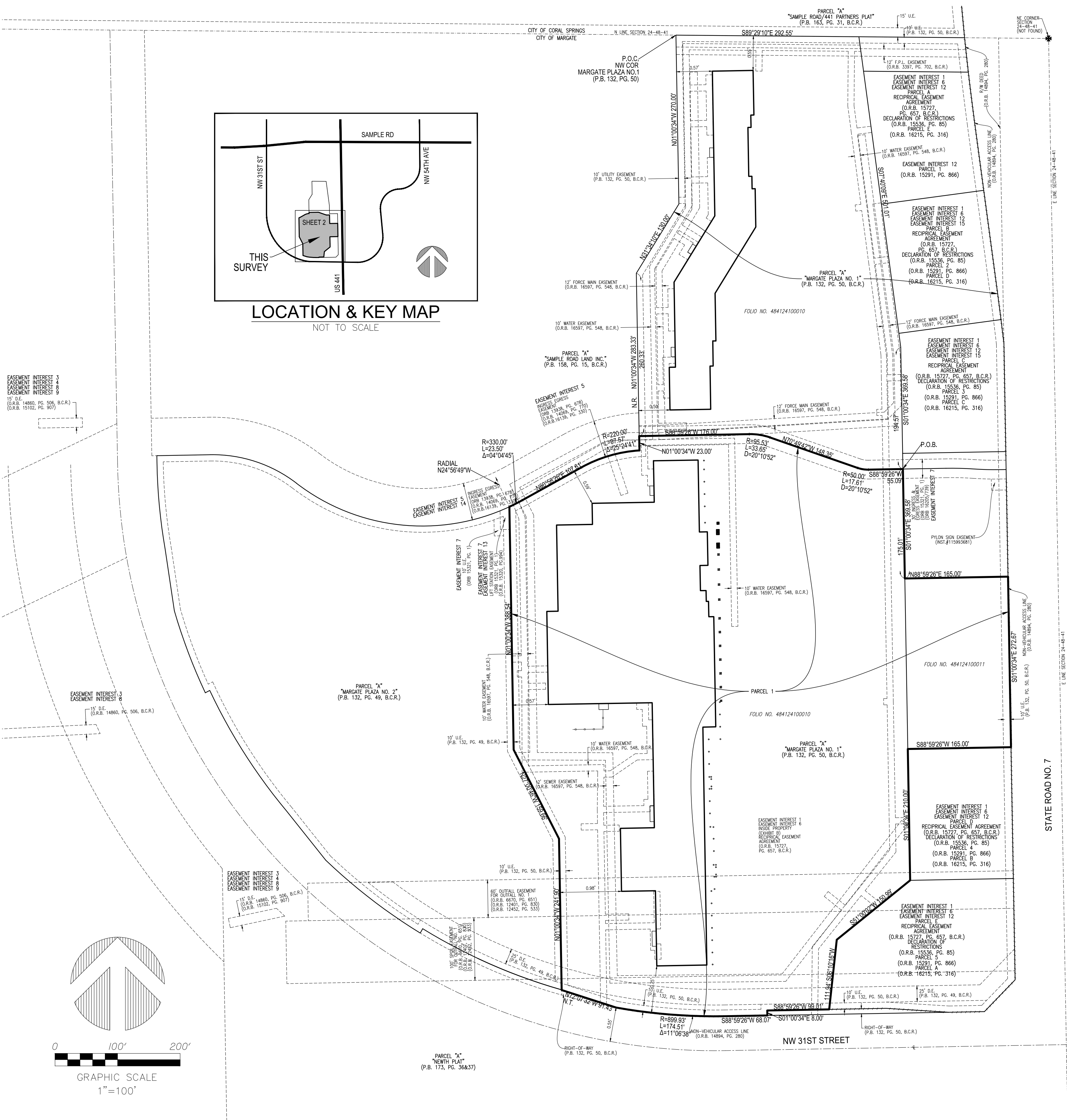
	WATER SERVICE
	ELECTRIC SERVICE
	TELEPHONE BOX
	CABLE TV BOX
	UNKNOWN SERVICE
	GAS MANHOLE
	DRAINAGE MANHOLE
	SANITARY MANHOLE
	UNKNOWN MANHOLE
	WATER VALVE
	SANITARY VALVE
	UNKNOWN VALVE
	SIGN
	FIRE HYDRANT
	CATCH BASIN
	LIGHT POLE
	WOOD UTILITY POLE
	CONCRETE UTILITY POLE
	CLEAN OUT
	CENTERLINE
	NON-VEHICULAR ACCESS LINE
	EXISTING ELEVATION

TO: BMF PLAZA, LLC
PRO TITLE USA

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,3,4,5,6,7A,7B,8,9,11,13,14,16,17,18, AND 20 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON SEPTEMBER 2, 2020 AND UPDATED ON APRIL 18, 2023.

JEFF S. HODAPP, SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111



NO.	DATE	BY	CK'D	REVISION	SEAL	JOB NO.	19128
1	04/18/2023	AJR	JSH	UPDATE SURVEY TITLE		SCALE	1" = 100'
						DRAWN	AJR
						CHECKED	JSH
						SHEET	1 OF 2

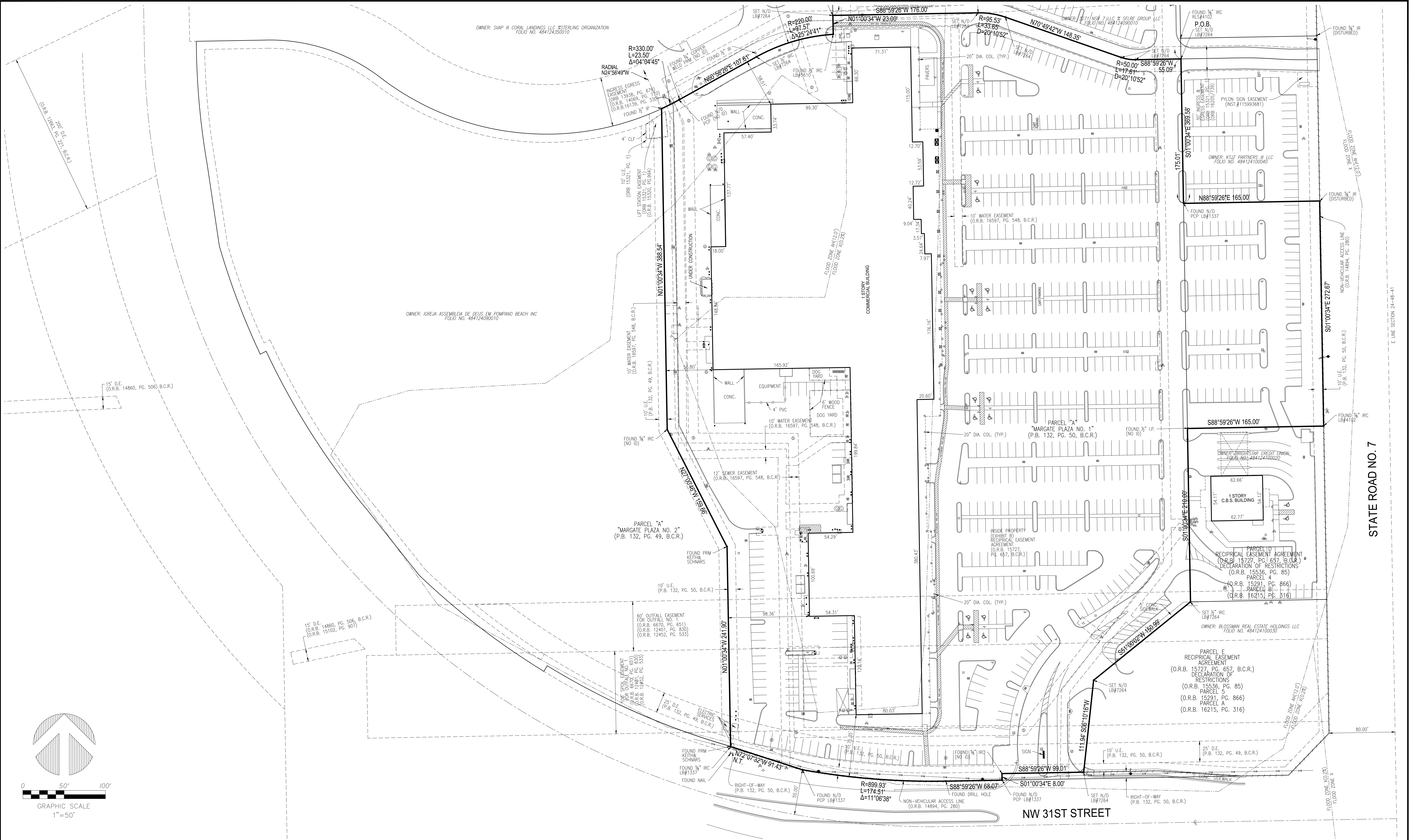


947 Clint Moore Road
Boca Raton, FL 33487

Tel: (561) 241-9988
Fax: (561) 241-5182

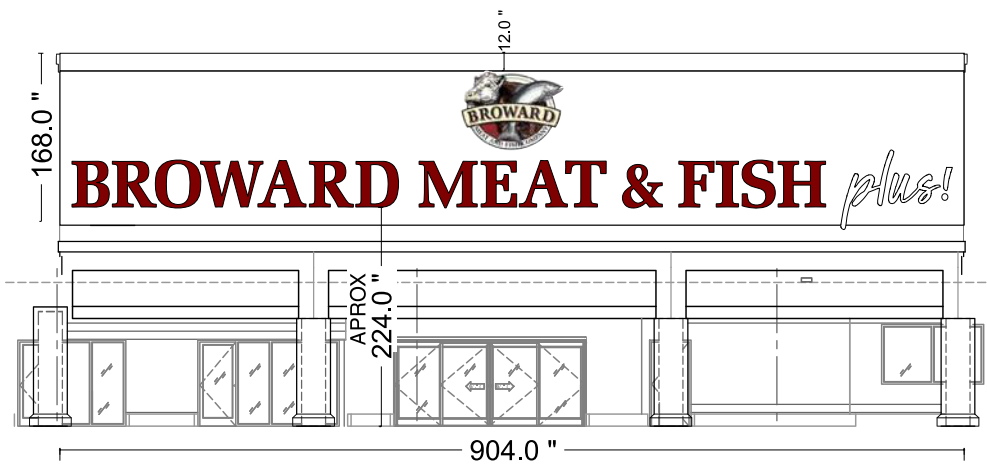
ALTA/NSPS TITLE SURVEY

3105-3285 N STATE ROAD 7

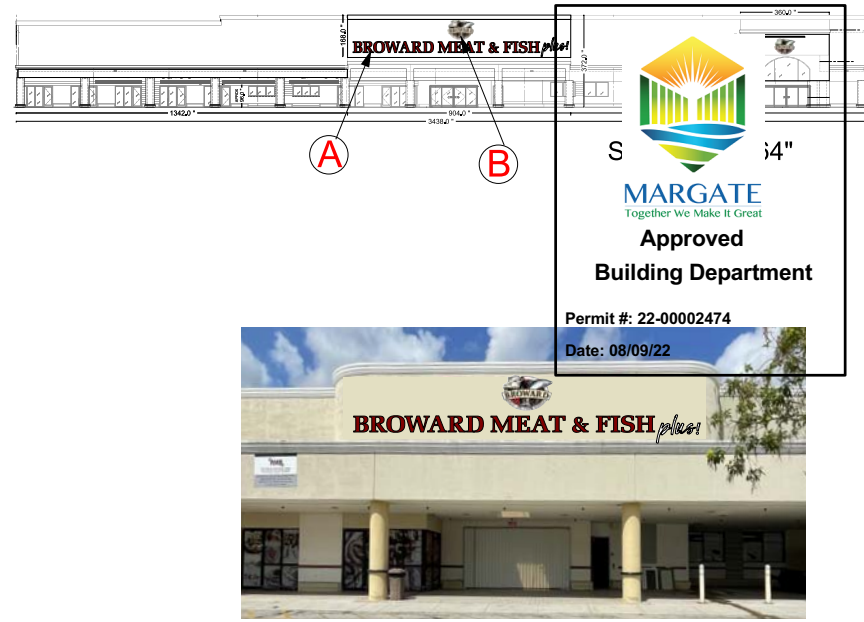


<div><div><div>PERIMETER</div><div>SURVEYING & MAPPING</div><div>Certificate of Authorization No. LB7264</div></div><div><div>947 Clint Moore Road</div><div>Boca Raton, FL 33487</div></div><div><div>Tel: (561) 241-9988</div><div>Fax: (561) 241-5182</div></div></div> <tr><td colspan="5">ALTA/NSPS TITLE SURVEY</td><td rowspan="5"><div><div>JOB NO.</div><div>19128</div></div><div><div>SCALE</div><div>1" = 50'</div></div><div><div>DRAWN</div><div>AJR</div></div><div><div>CHECKED</div><div>JSH</div></div><div><div>SEAL</div><div></div></div><div><div>SHEET</div><div>2 OF 2</div></div></td></tr> <tr><td>NO.</td><td>DATE</td><td>BY</td><td>CK'D</td><td>REVISION</td></tr> <tr><td>1</td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td></tr>	ALTA/NSPS TITLE SURVEY					<div><div>JOB NO.</div><div>19128</div></div> <div><div>SCALE</div><div>1" = 50'</div></div> <div><div>DRAWN</div><div>AJR</div></div> <div><div>CHECKED</div><div>JSH</div></div> <div><div>SEAL</div><div></div></div> <div><div>SHEET</div><div>2 OF 2</div></div>	NO.	DATE	BY	CK'D	REVISION	1														
	ALTA/NSPS TITLE SURVEY						<div><div>JOB NO.</div><div>19128</div></div> <div><div>SCALE</div><div>1" = 50'</div></div> <div><div>DRAWN</div><div>AJR</div></div> <div><div>CHECKED</div><div>JSH</div></div> <div><div>SEAL</div><div></div></div> <div><div>SHEET</div><div>2 OF 2</div></div>																			
	NO.	DATE	BY	CK'D	REVISION																					
	1																									

TYPICAL FLUSH MOUNTED LOGO & CHANNEL LETTER INSTALLATION
L.E.D. INTEGRATED SYSTEM ILLUMINATION



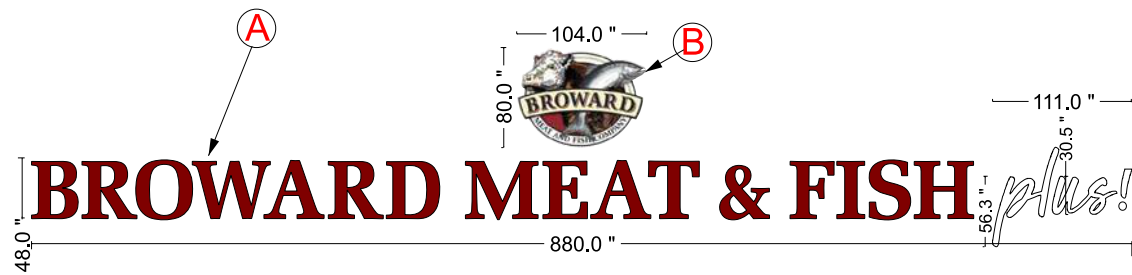
SCALE 1": 1/16"



- A** PROPOSED CHANEL LETTER SIGN AREA: 293.33 SQ/FT
FLUSH MOUNTED CHANNEL LETTER
LETTER RETURN: BLACK ALUMINUM GAUGE 0.040"
LETTER FACE: ACRYLIC WITH CARDINAL RED VINYL
JEWELITE (TRIM): RED
L.E.D. COLOR: RED

- B** PROPOSED CHANEL LOGO SIGN AREA: 57.77 SQ/FT
FLUSH MOUNTED CHANNEL LOGO
LETTER RETURN: BLACK ALUMINUM GAUGE 0.063"
LOGO FACE: WHITE ACRYLIC WITH DIGITAL PRINT
JEWELITE (TRIM): BLACK
L.E.D. COLOR: WHITE

SCALE 1": 5/64"

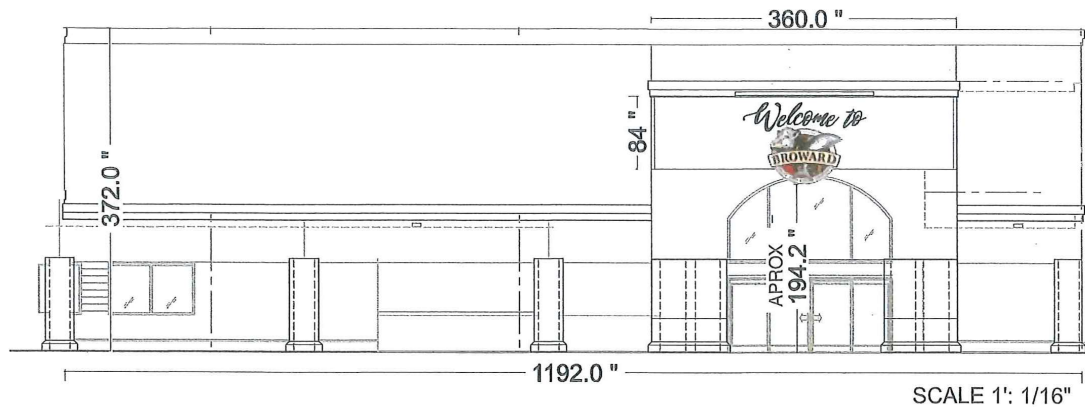
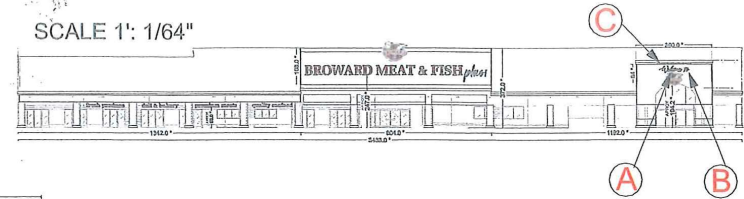


JOB ADDRESS	SIGN CONTRACTOR	GENERAL CONTRACTOR
Broward Meat & Fish 3202 N State Rd 7 Margate, FL. 33063	J Feldman Signs Corp 5071 S. State. Rd 7 #717 Davie. FL. 33314	RMB Corp Nova Dr Suite 103 Davie. FL. 33317

TYPICAL FLUSH MOUNTED LOGO & PVC LETTER INSTALLATION
L.E.D. INTEGRATED SYSTEM ILLUMINATION

PAGE 1 OF 3

SCALE 1" = 1/64"



- A** PROPOSED CHANEL LETTER SIGN AREA: 37.77 SQ/FT
FLUSH MOUNTED CHANNEL LETTER
LETTER RETURN: BLACK ALUMINUM GAUGE 0.063"
LETTER FACE: ACRYLIC WITH DIGITAL PRINT
TRIM CUP (JEWELITE): BLACK
L.E.D. COLOR: WHITE
- B** PROPOSED SIGN AREA: 34.75 SQ/FT
REVERSE CHANEL LETTER
LETTER: FACE ALUMINUM 0.080"
LETTER RETURN: ALUMINUM GAUGE 0.063"
LETTER FACE & RETURN COLOR: SW-7083 DARKROOM
L.E.D. COLOR: WHITE
- C** PROPOSED LENGTH: 162"
L.E.D. LIGHT BRACKET W/ 36" STAND-OFF



JOB ADDRESS	SIGN CONTRACTOR	GENERAL CONTRACTOR
Broward Meat & Fish 3204 N State Rd 7 Margate, FL. 33063	J Feldman Signs Corp 5071 S. State. Rd 7 #717 Davie, FL. 33314	RMB Corp Nova Dr Suite 103 Davie, FL. 33317

PAGE 2 OF 3 TYPICAL FLUSH MOUNTED CHANNEL LOGO INSTALLATION

(A) CBS WALL

L.E.D. INTEGRATED SYSTEM ILLUMINATION

SIDE VIEW DETAIL

(B) ALUMINUM CHANNEL LETTER
RETURNS ALUMINUM 0.040"
BACKS ALUMINUM 0.063"

(C) LETTER BACK FASTENED TO WALL W/
TAPCONS 3/16" X 1"7/8 MINIMUM PER LETTER

(D) L.E.D. INTEGRATED CABLE SYSTEM ILLUMINATION

(E) LED SYSTEM COMPONENTS RIVET
FASTEN TO LETTER BACKS

(F) L.E.D. STRIP CABLE INTEGRAL 14-AWG SUNLIGHT UV
RESISTANT & SUITABLE FOR WET & OUTDOOR
LOCATIONS (UL APPROVED)
PLTC 105°C & CMG (UL)US FT-4

(G) SNAP SYNTHETIC INSULATOR 5/16"

(H) UL LISTED 20 AMP. DISCONNECT
SERVICE SWITCH

(I) STRAIGHT CONNECTOR 1/2"

(J) GREENFIELD CONDUCTOR 1/2"

(K) U.L. APPROVED TRANSFORMER CASE FASTEN
TO WALL WITH TAPCON SCREWS 1"3/4 X 3/16".4 MIN

(L) UL LISTED 20 AMP. DISCONNECT

(M) EXISTING DEDICATED GROUNDED BRANCH CIRCUIT
UL LISTED 110 Volts, 20 AMP.

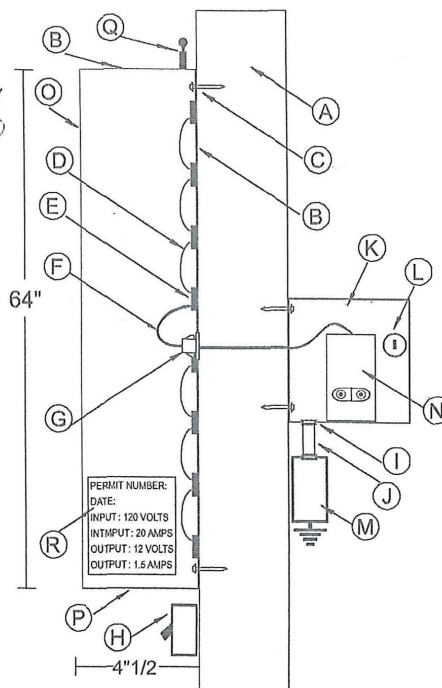
(N) Out Door UL 506 Listed Transformer
PRIMARY GROUNDED: 110 Volts, 20Amp, 60Hz
SECONDARY: 12Volts - 100 Watts, 1.5 AMP

(O) LETTER FACE: ACRYLIC PLASTIC 1/8"

(P) DRAINING HOLES TWO PER LETTER

(Q) EXISTING TIMER OR PHOTOCELL

(R) PERMIT TAG: 3"X4" TO BE PLACED
ON LETTER RETURN



(N) A TOTAL OF 2 LED TRANSFORMERS
TO BE USED, AS FOLLOWS

PARTIAL LED LINE FOOTAGE 72"

ONE: Out Door UL 506 Listed Transformer

PRIMARY GROUNDED: 120 Volts, 20Amp, 60Hz

SECONDARY: 12 Volts, 100 Watts, 1.5 AMP

(N1)+(N2) = 3.0 AMP

LOAD RATE 3.0 AMP- LESS
THAN 80% LOAD RATE
ALLOWANCE FOR 20AMP
GROUNDED CIRCUIT.

ELECTRICAL NOTES

- *Sign Company DOES NOT provide primary electric to sign.
- *Electric power to the sign must be done by a licensed electrical contractor or licensed electrician.
- *Each sign must have:
 - 1) A minimum of one dedicated 120volt & 20Amp circuit.
 - 2) Junction box within 6 feet of sign.
 - 3) Three wires: Line, Ground, Neutral.

This sign is intended to be installed in accordance with the requirements of Article NEC-600 and /or applicable local codes. This includes proper grounding & bonding of the sign. Cooper wire THWN, AWG #12 gauge minimum as per NEC 250-116

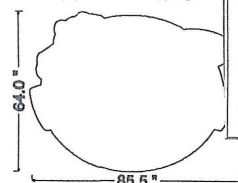
Approved weather proof 20AMP electrical service disconnect switch as per NEC 600-2 inside Bell Box.

#12 Primary electrical hook-up to electrical supply as per NEC 600-2 inside min.

Type RW flexible conduit, Main panel into building circuit # _____

Governing Code: FBC 2020-7E Florida Building Code
W/ 3 Sec Gust & A.S.C.E 7-16 Ch 6.29.
Exposure "C"
SOLID SIGN METHOD, HVHZ CHAPTER 16 CAT II

SCALE 1" = 3/16"



GOVERNING CODE: 2020 FLORIDA BUILDING CODE WITH 3 SEC GUST & A.S.C.E. 7-16 CH 6, 29
I, V=170 MPH EXPOSURE "C" SOLID SIGN METHOD, HVHZ CHAPTER 16 CAT II

ENGINEER AGK, LLC
DON ARPIN M.S.P.E.
4920 N. DIXIE HWY
STRUCTURAL ONLY PE.28585
FT. LAUDERDALE, FL 33334
954-772-8345
COA#26073

THIS ENGINEER HAS NOT VISIT
THE JOBSITE: DESIGN IS BASED
ON CONTRACTOR SUPPLIED DATA
IF ANY FIELD CONDITIONS OTHER
THAN SPECIFIED HEREIN, THIS
ENGINEER SHALL BE NOTIFIED.

Struct Only
#28585

DONALD J
ARPIN

Digitally signed by
DONALD J ARPIN
Date: 2023.03.10
16:31:06 -05'00'

JOB ADDRESS	SIGN CONTRACTOR	GENERAL CONTRACTOR
Broward Meat & Fish 3201 N State Rd 7 Margate, FL. 33063	J Feldman Signs Corp 5071 S. State. Rd 7 #717 Davie, FL. 33314	RMB Corp Nova Dr Suite 103 Davie, FL. 33317

PAGE 3 OF 3 TYPICAL FLUSH MOUNTED CHANNEL LETTER INSTALLATION

(A) CBS WALL L.E.D. INTEGRATED SYSTEM ILLUMINATION

(B) ALUMINUM CHANNEL LETTER
RETURNS ALUMINUM 0.040"
BACKS ALUMINUM 0.040"

(C) LETTER BACK FASTENED TO WALL W/
TAPCONS 3/16" X 1" 7/8 MINIMUM PER LETTER $33" = 12$

(D) L.E.D. INTEGRATED CABLE SYSTEM ILLUMINATION $28" = 10$

(E) LED SYSTEM COMPONENTS RIVET
FASTEN TO LETTER BACKS $21 = 9$

(F) L.E.D. STRIP CABLE INTEGRAL 14-AWG SUNLIGHT UV
RESISTANT & SUITABLE FOR WET & OUTDOOR
LOCATIONS (UL APPROVED)
PLTC 105°C & CMG (UL) US FT-4

(G) SNAP SYNTHETIC INSULATOR 5/16"

(H) UL LISTED 20 AMP. DISCONNECT
SERVICE SWITCH

(I) STRAIGHT CONNECTOR 1/2"

(J) GREENFIELD CONDUCTOR 1/2"

(K) U.L. APPROVED TRANSFORMER CASE FASTEN
TO WALL WITH TAPCON SCREWS 1 3/4 X 3/16" 4 MIN

(L) UL LISTED 20 AMP. DISCONNECT

(M) EXISTING DEDICATED GROUNDED BRANCH CIRCUIT
UL LISTED 110 Volts, 20 AMP.

(N) Out Door UL 508 Listed Transformer
PRIMARY GROUNDED: 110 Volts, 20Amp, 60Hz
SECONDARY: 12Volts - 100 Watts, 1.5 AMP

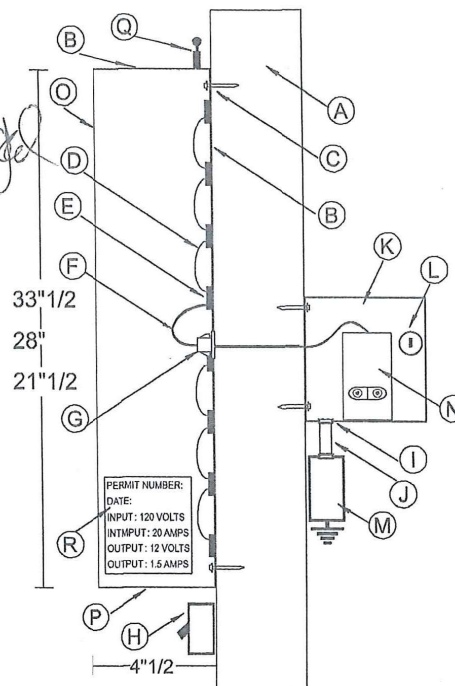
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(P) DRAINING HOLES TWO PER LETTER

(Q) EXISTING TIMER OR PHOTOCELL

(R) PERMIT TAG: 3"X4" TO BE PLACED
ON LETTER RETURN

SIDE VIEW DETAIL



(N) A TOTAL OF 2 LED TRANSFORMERS
TO BE USED, AS FOLLOWS

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(N1) + (N2) = 3.0 AMP

LOAD RATE 3.0 AMP- LESS
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ALLOWANCE FOR 20AMP
GROUNDED CIRCUIT.

ELECTRICAL NOTES

*Sign Company DOES NOT provide primary electric to sign.

*Electric power to the sign must be done by a licensed
electrical contractor or licensed electrician.

*Each sign must have:

- 1) A minimum of one dedicated 120Volt & 20Amp circuit.
- 2) Junction box within 6 feet of sign.
- 3) Three wires: Line, Ground, Neutral.

This sign is intended to be installed in accordance with the
requirements of Article NEC-600 and/or applicable local codes.
This includes proper grounding & bonding of the sign.

Cooper wire THWN, AWG #12 gauge minimum as per NEC 250-118

Approved weather proof 20AMP electrical service disconnect switch
as per NEC 600-2 inside Bell Box.

#12 Primary electrical hook-up to electrical supply as per NEC 600-2
inside min.

Type RW flexible conduit, Main panel into building circuit #

Governing Code: FBC 2020-7E Florida Building Code
W/ 3 Sec Gust & A.S.C.E 7-16 Ch 6.28.1

Exposure "C"

SOLID SIGN METHOD, HVHZ CHAPTER 16 CAT II

SCALE 1" = 1/4"



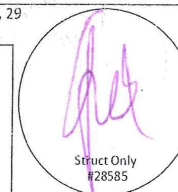
DONALD J ARPIN
Digitally signed by
DONALD J ARPIN
Date: 2023.03.10
16:31:33 -05'00'

3 7 2 3

GOVERNING CODE: 2020 FLORIDA BUILDING CODE WITH 3 SEC GUST & A.S.C.E. 7-16 CH 6, 29
V=170 MPH EXPOSURE "C" SOLID SIGN METHOD, HVHZ CHAPTER 16 CAT II

ENGINEER AGK, LLC
DON ARPIN M.S.P.E.
4920 N. DIXIE HWY
STRUCTURAL ONLY PE. 28585
FT. LAUDERDALE, FL 33334
954-772-8345
COA#26073

THIS ENGINEER HAS NOT VISIT
THE JOBSITE. DESIGN IS BASED
ON CONTRACTOR SUPPLIED DATA
IF ANY FIELD CONDITIONS OTHER
THAN SPECIFIED HEREIN, THIS
ENGINEER SHALL BE NOTIFIED.



JOB ADDRESS SIGN CONTRACTOR GENERAL CONTRACTOR

Broward Meat & Fish 3201 N State Rd 7 Margate, FL. 33063	J Feldman Signs Corp 5071 S. State. Rd 7 #717 Davie, FL. 33314	RMB Corp Nova Dr Suite 103 Davie, FL. 33317
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