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Legal Description

Parcel "A", of ALEXANDER PLAT, according to the plat thereof recorded in Plat Book 164, Page 28 of the Public Records of Broward County, Florida, being more particularly described as follows:

LESS AND EXCEPT:

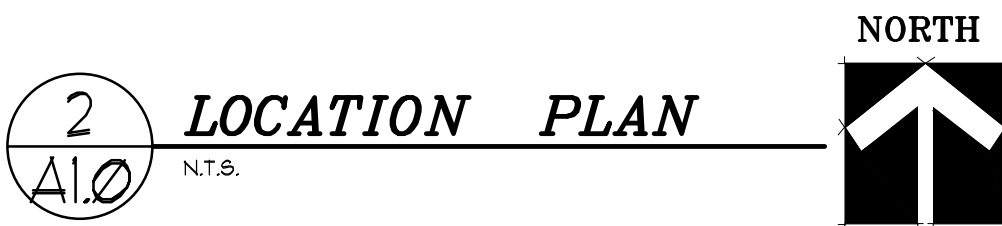
Beginning at the Westerly most Northwest corner of said Parcel "A"; thence North 44°17'52" East along a non-vehicular access line as shown on Plat a distance of 42.65 feet; thence North 89°36'13" East along said line (said line also being the North line of said Parcel "A"), a distance of 240.64 feet; thence South 00°21'47" East 258.00 feet; thence South 89°38'13" West 268.00 feet to a point on the West line of said Parcel "A"; thence North 01°02'24" West along said West line (said line also being aforesaid non-vehicular access line), a distance of 116.14 feet; thence North 01°00'23" West along said West line and non-vehicular access line a distance of 111.40 feet to the Point of Beginning. Said lands lying in the City of Margate, Broward County, Florida.

Said lands situated in City of Margate, Broward County, Florida and containing 114,627 square feet or 2.6315 acres more or less.

LEGAL DESCRIPTION



NW 31ST STREET-CORAL BAY DRIVE
MARGATE, FLORIDA



INDEX OF DRAWINGS	
A1.0	COVER SHEET
	SURVEY
A3.0	SITE PLAN
A4.0-A4.3	FLOOR PLAN
A5.0-A5.1	ELEVATIONS
SL1.0	PHOTOMETRICS PLAN
C-100	CIVIL COVER SHEET
C-200	PAVING, GRADING, AND DRAINAGE PLAN
C-300	UTILITY PLAN
C-301	UTILITY DETAILS
L-100	TREE DISPOSITION PLAN
L-200	LANDSCAPE PLANTING PLAN
L-201	LANDSCAPE DETAILS

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Engineering Inc.

7280 W PALMETTO PARK RD. SUITE 302
BOCA RATON, FL 33433
PHONE: 561-325-6700

CIVIL ENGINEER

GREEN EARTH
LANDSCAPE ARCHITECTURE

DALE BRYANT
LANDSCAPE ARCHITECT
2458 Van Buren Street
Hollywood, FL 33020
(954) 638-9825

LANDSCAPE ARCHITECT

AMERICAN SERVICES OF MIAMI, CORP.
Consulting Engineers . Planners . Surveyors

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PH: (305) 598-5101
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LAND SURVEYOR

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NORTH

CUBE SMART

NW. 31ST STREET CORAL BAY DRIVE
MARGATE, FLORIDA

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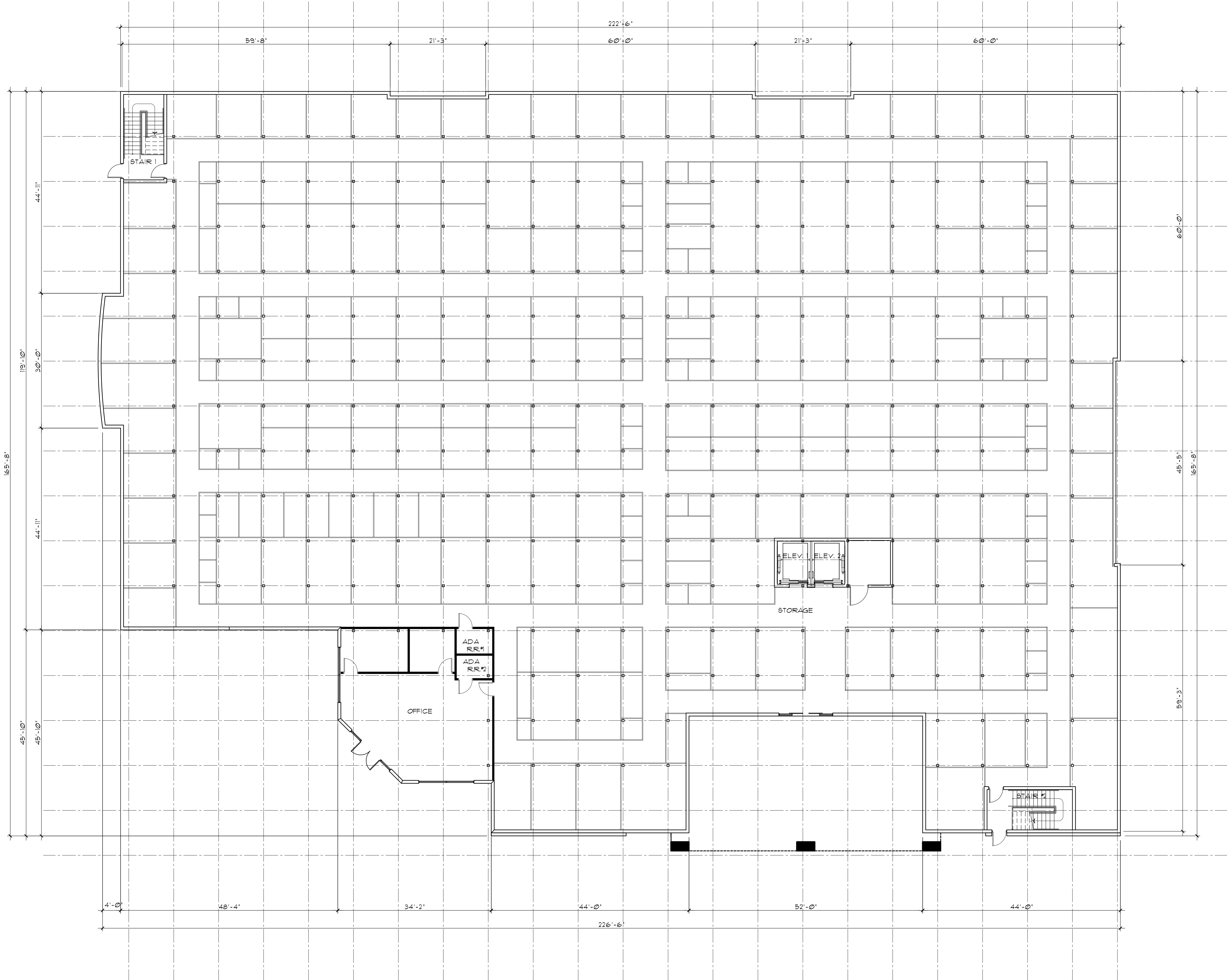
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AGE OF

2 SITE DATA

SITE DATA			
DESCRIPTION	SF. AREA	ACRES	% COVERAGE
GROSS SITE AREA	114,621 SF.	2.6315	100.00%
BUILDING COVERAGE	32,192 SF.		28%
SIDEWALKS (TOTAL CONC)	1,636 SF.		1%
IMPERVIOUS / VEHICULAR USE	40,461 SF.		35%
PERVIOUS /GREEN SPACE	39,138 SF.		35%
FAR	116		
ZONING	TOC-C		
LAND USE	COMMERCIAL - SELF-SERVICE STORAGE FACILITIES (666F)		
BUILDING HEIGHT	64'-5" TO PEAK OF ROOF		
SETBACKS			
	REQUIRED	PROVIDED	
FRONT	20' MAX FROM 12' SIDEWALK	11'-6"	
SIDE (EAST)	0	40'-0"	
SIDE (WEST)	0	84'-0"	
REAR	20'	30'-11"	
FLOOR AREAS			
GROUND FLOOR LEVEL	32,192 SF.	INCLUDES 1,111 SF. OF OFFICE SPACE	
SECOND FLOOR LEVEL	32,192 SF.		
THIRD FLOOR LEVEL	34,144 SF.		
THIRD FLOOR LEVEL	34,144 SF.		
TOTAL BUILDING AREA	133,872 SF.		
PARKING RATES AND REQUIREMENTS			
LIMITED ACCESS SELF STORAGE FACILITY (666F) - 911 BAYS		1 / 200 BAYS = 5 REQD	
1ST FLOOR OFFICES - 1111 SF.		1 / 200 SF. = 6 REQD	
PARKING TABULATIONS			
REQUIRED PARKING BUILDING - 666F		5 SPACES	
REQUIRED PARKING FOR BUILDING - OFFICES		6 SPACES	
TOTAL PARKING REQUIRED		11 SPACES	
NUMBER OF HC% REQUIRED (AS PART OF TOTAL REQUIRED)		1 SPACE	
PARKING PROVIDED			
REGULAR PARKING (10'-0" X 18'-0" WITH 2'-0" OVERHANG)		11 SPACES	
REGULAR PARKING (10'-0" X 20'-0")		6 SPACES	
HANDICAPPED PARKING (12'-0" X 20'-0")		1 SPACE	
TOTAL PARKING PROVIDED		18 SPACES	

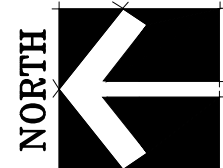
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GROUND FLOOR PLAN

3/32"=1'-0"



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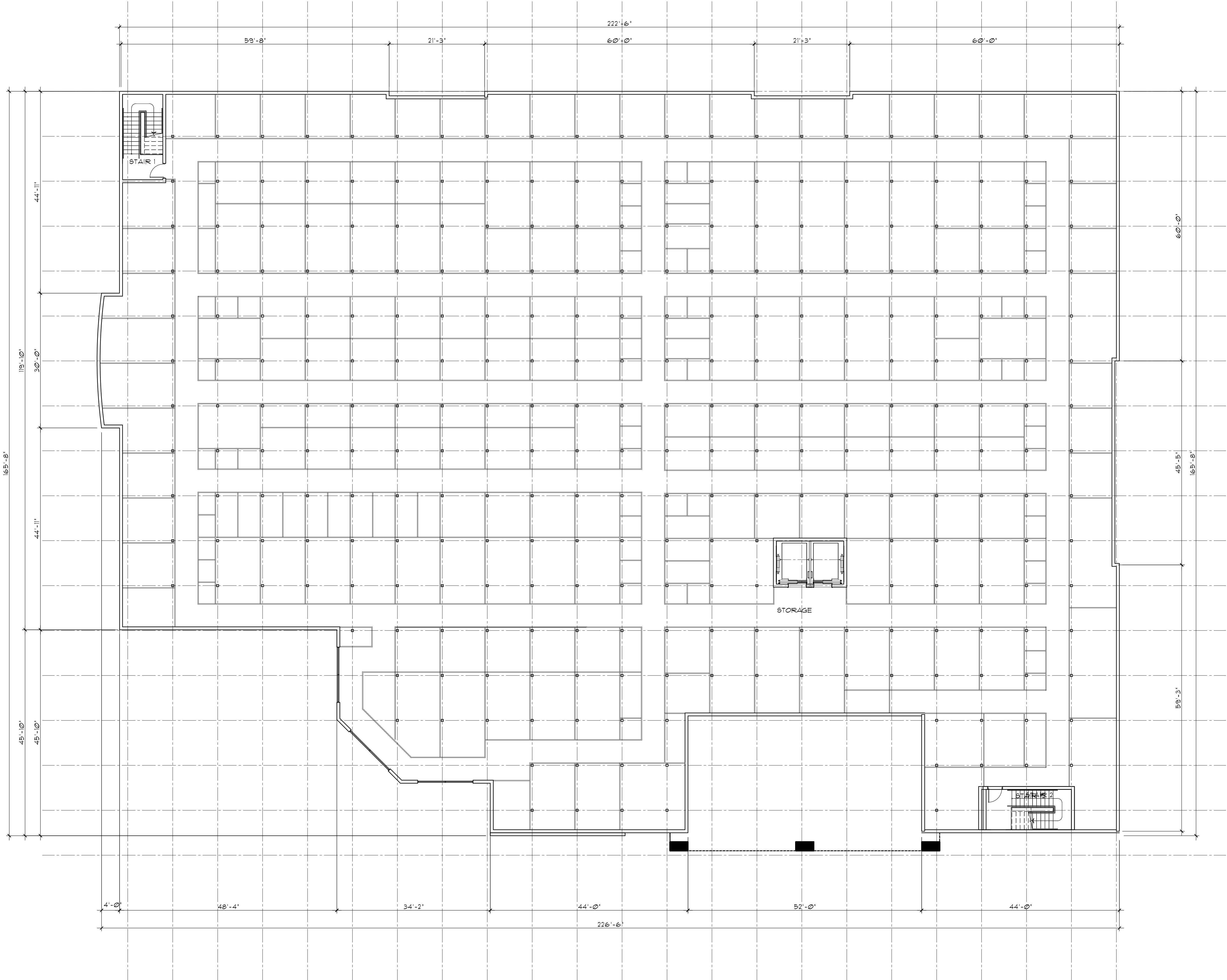
CUBE SMART

1111 31ST STREET CORAL BAY DRIVE
MARGATE, FLORIDA

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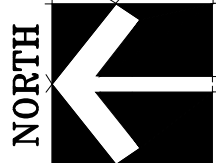
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THIRD FLOOR PLAN

3/32"=1'-0"



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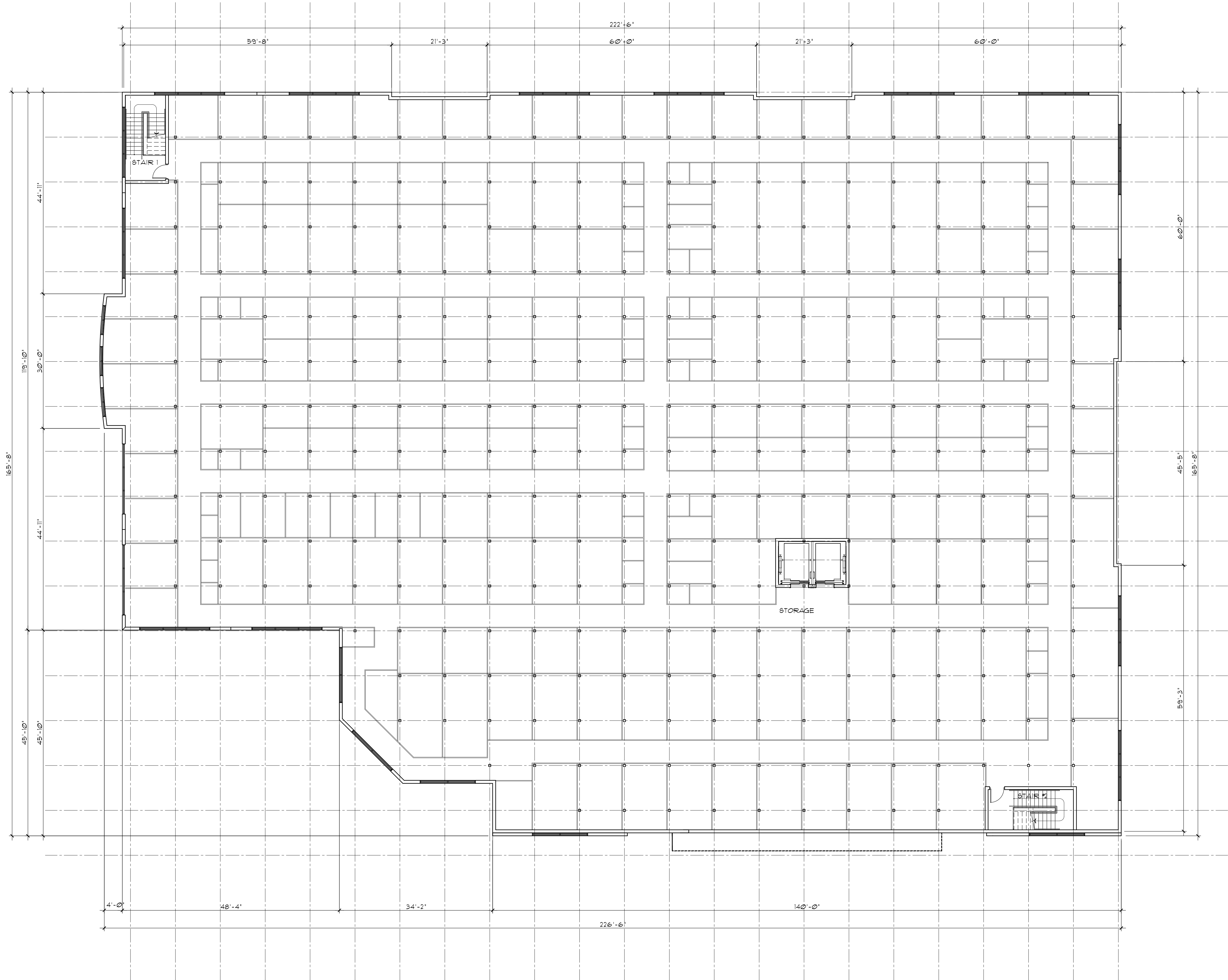
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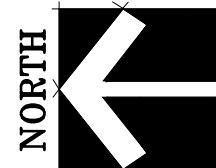
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FOURTH FLOOR PLAN

3/32"=1'-0"



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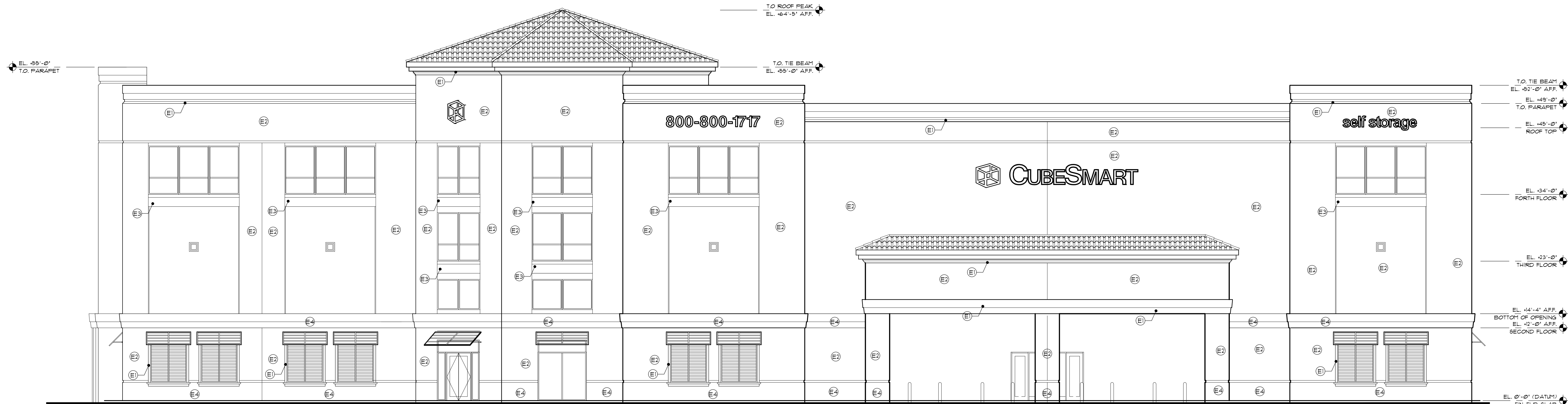
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MARK	DESCRIPTION	MATCH MANUF.	CATALOG NO.	COLOR
E1	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7014	EIDER WHITE
E2	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7050	USEFUL GRAY
E3	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7524	DHURRIE BEIGE
E4	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 7502	DRY ROCK
E5	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	SW 6445	GARDEN GROVE
E8	STOREFRONT GLAZING	Y K K	-	CLEAR
E9	STOREFRONT FRAME	Y K K	-	MILL

3 MATERIAL SCHEDULE



1 PROPOSED NORTH ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION (RIGHT SIDE)
SCALE: 1/8" = 1'-0"

CUBE SMART

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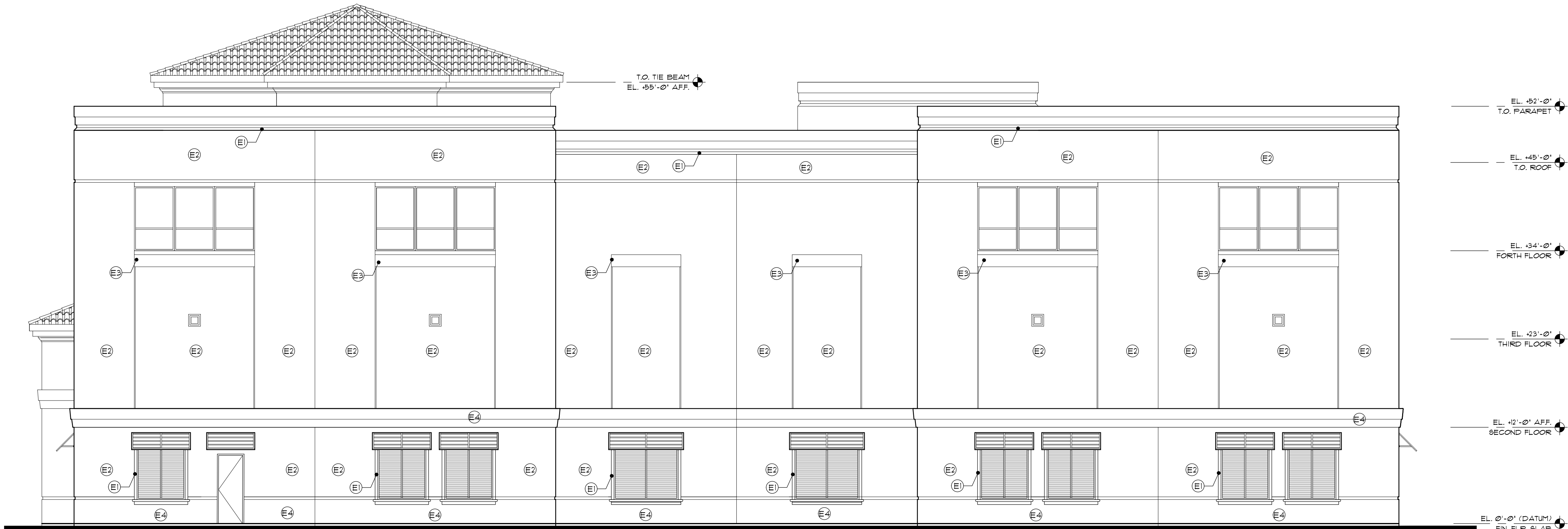
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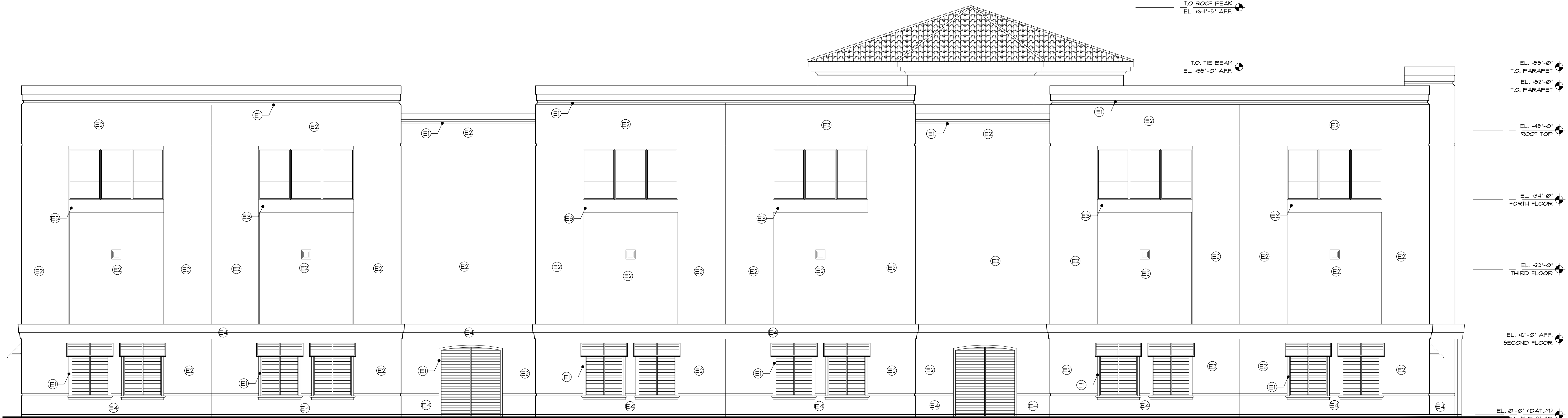
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1
A5.1
PROPOSED SOUTH ELEVATION (REAR)
SCALE: 1/8" = 1'-0"



2
A5.1
PROPOSED EAST ELEVATION (LEFT SIDE)
SCALE: 1/8" = 1'-0"

CUBE SMART

1111 31ST STREET CORAL BAY DRIVE
MARGATE, FLORIDA

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I:\Process\2015\1511 PREFERRED STORAGE MARGATE SL-1 SITE PHOTOMETRICS 1511.dwg, 5/12/2016 1:37:16 PM, DWG To PDF, pc3, Copyright, Kenneth R Carlson _ Architect, P.A.

STATE ROAD No. 7 U.S. No. 441

(F.D.O.T. RIGHT-OF-WAY MAP SECTIONS)

ASPHALT PAVING

OUND TRAFFIC

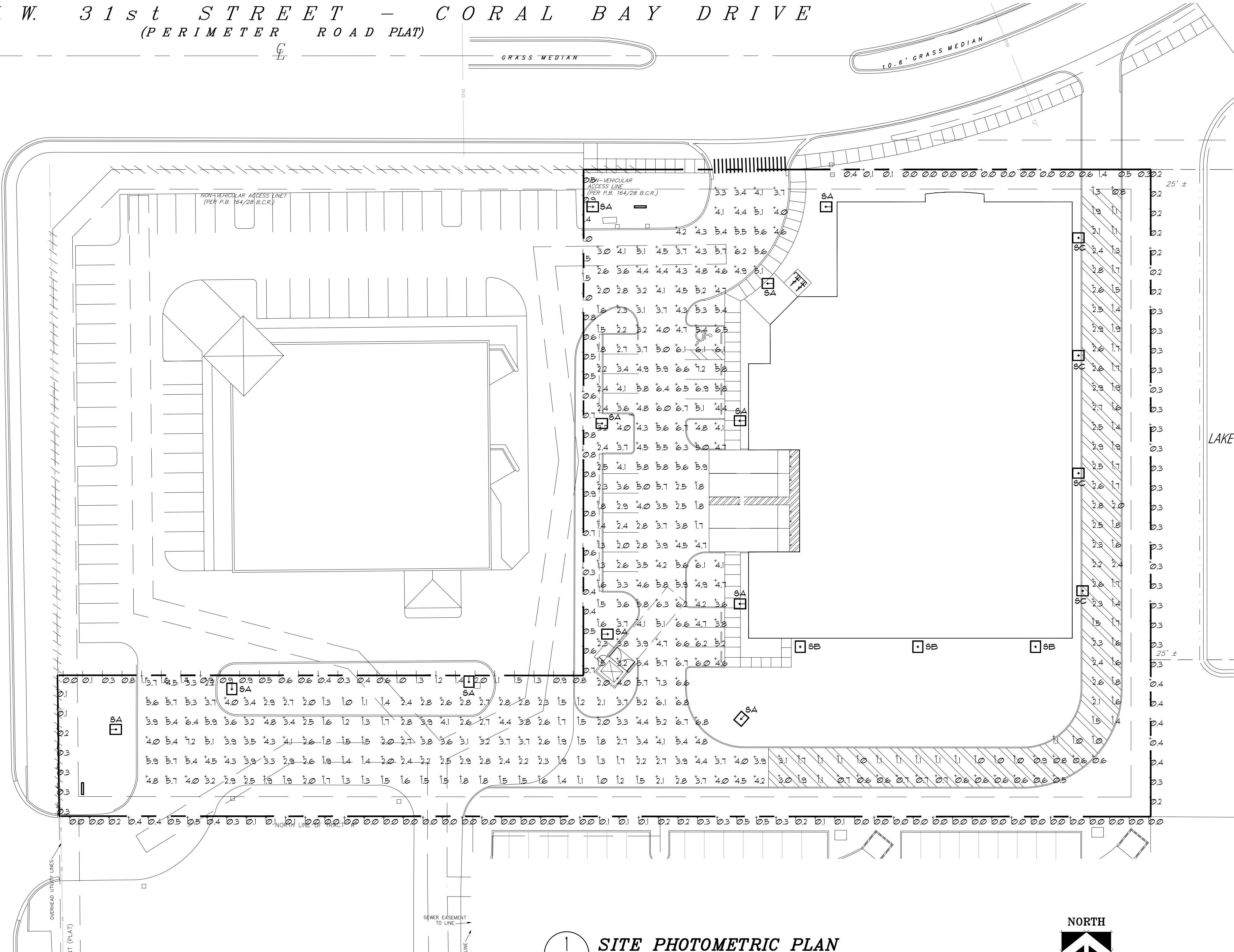
N. W. 31st STREET - CORAL BAY DRIVE
(PERIMETER ROAD PLAT)

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
	11	SA	SINGLE	N.A.	0.900	SPAULDING CL1-x-90L-1-5K-4-105-BC POLE MTD. - 25' A.G.	341.6
	3	SB	SINGLE	N.A.	0.900	SPAULDING CL1-x-60L-1-5K-4 BLDG. MTD. - 20' A.G.	143
	4	SC	SINGLE	N.A.	0.900	SPAULDING CL1-x-30L-1-4K-2 BLDG. MTD. - 20' A.G.	72.2

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
DRIVES & PARKING	Illuminance	Fc	3.72	7.3	1.0	3.72	7.30		
FIRE ROADWAY	Illuminance	Fc	1.63	3.1	0.5	3.26	6.20		
PROPERTY LINE - LEFT	Illuminance	Fc	0.76	2.0	0.0	N.A.	N.A.		
PROPERTY LINE - LOWER	Illuminance	Fc	0.11	0.5	0.0	N.A.	N.A.		
PROPERTY LINE - RIGHT	Illuminance	Fc	0.29	0.4	0.2	1.45	2.00		
PROPERTY LINE - UPPER	Illuminance	Fc	0.21	1.4	0.0	N.A.	N.A.		

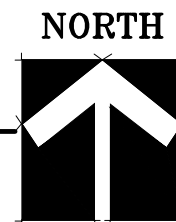
2 LUMINAIRE SCHEDULE

SCALE = NTS



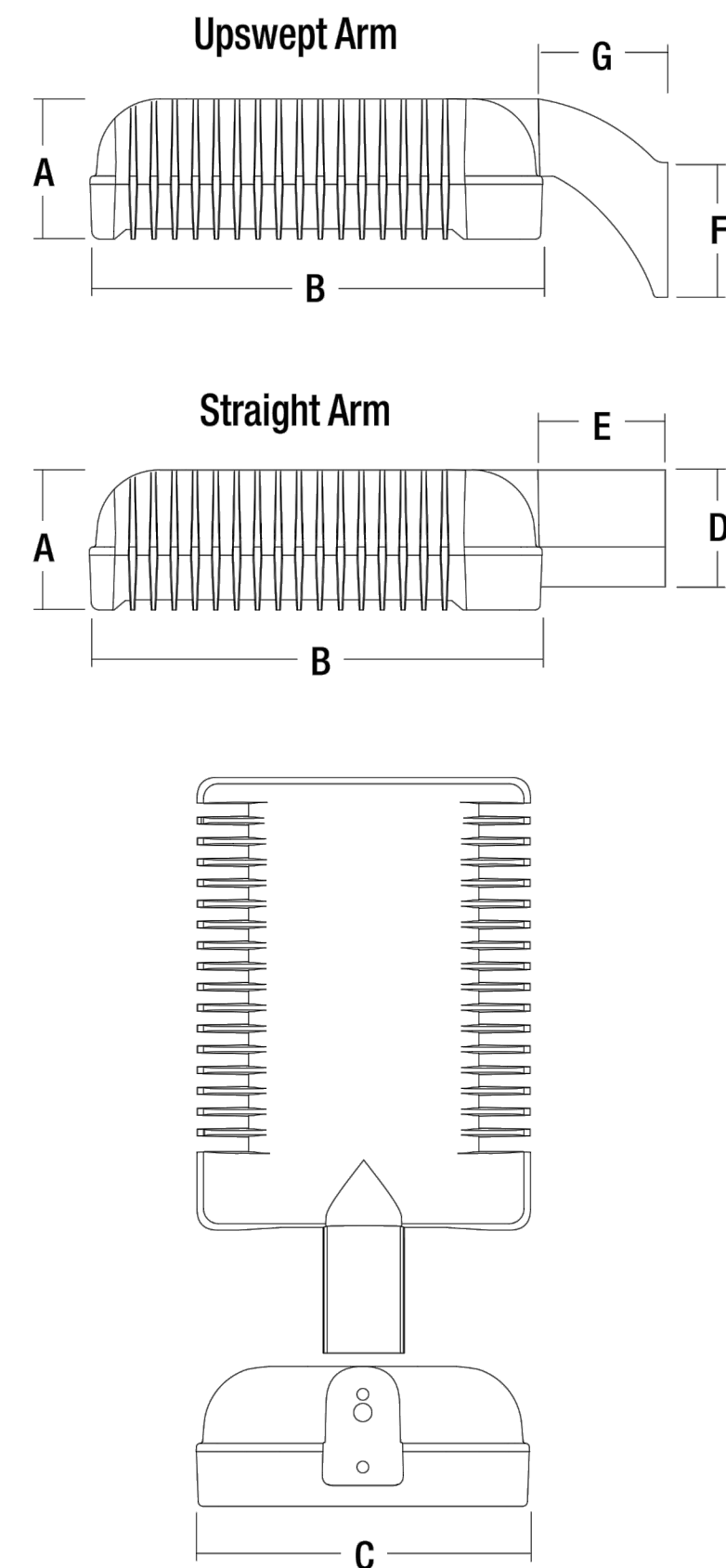
1 SITE PHOTOMETRIC PLAN

1" = 30' - 0"



3 LIGHT FIXTURE

SCALE = NTS



4 LIGHT FIXTURE

SCALE = NTS

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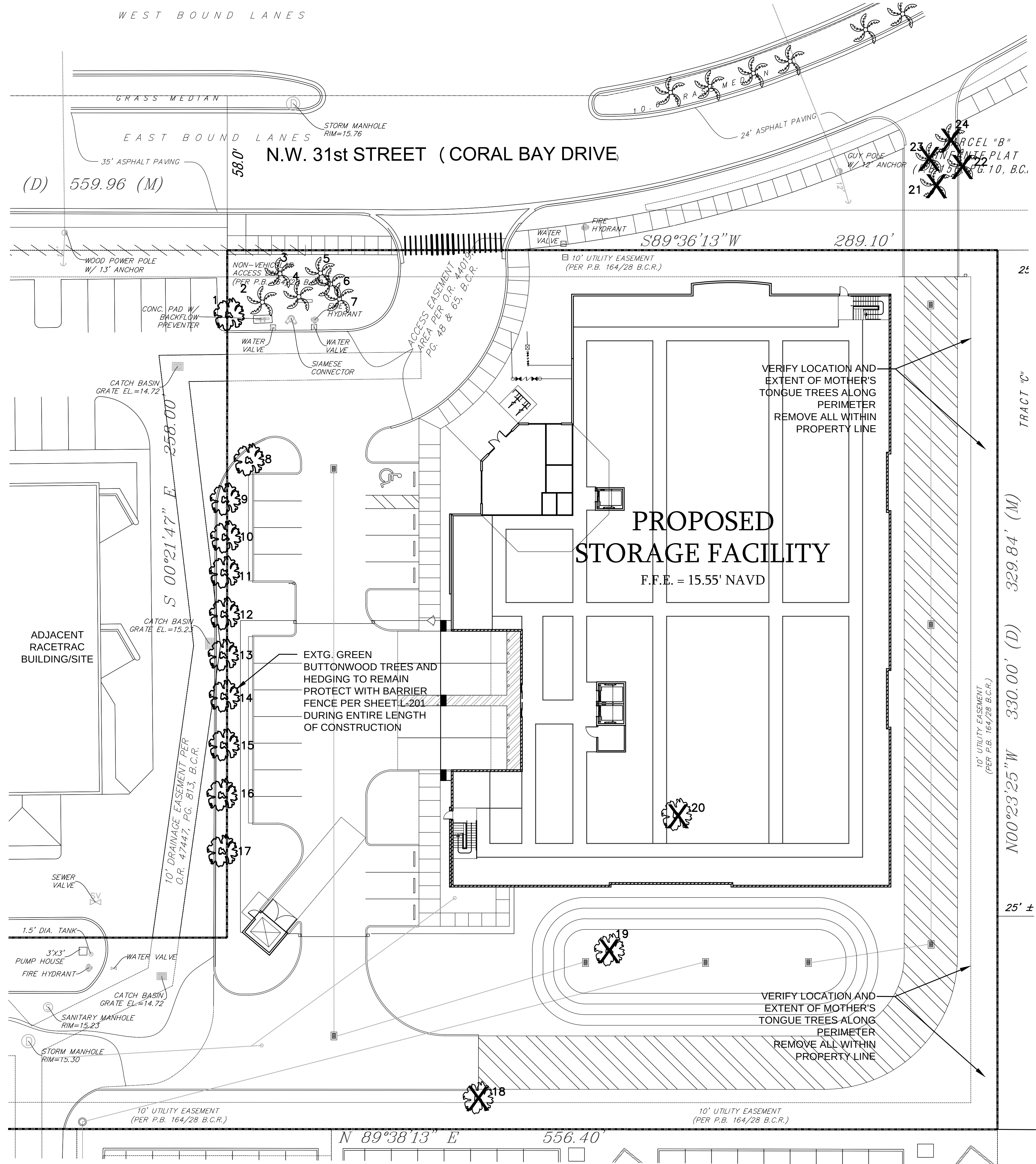
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GENERAL NOTES:

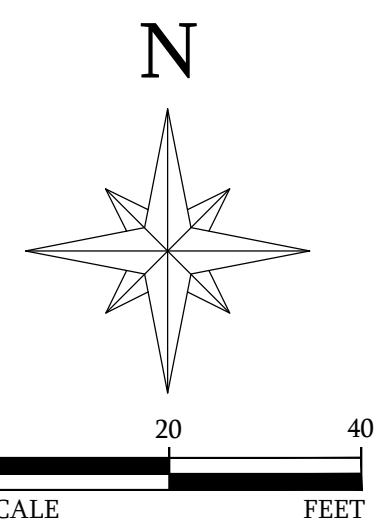
- CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER. CONTRACTOR SHALL VERIFY SITE AND TREE INFORMATION, AND BRING ANY DISCREPANCIES WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL.
- THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN BUT MAY REQUIRE FIELD VERIFICATION OF FINAL TREE LOCATIONS AND DETERMINATION OF SPECIES. ALL FINAL PLANS SHALL BE COORDINATED WITH FINAL APPROVED SITE PLAN.
- CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS-TO-REMAIN DURING CONSTRUCTION.
- CONTRACTOR ONLY TO RELOCATE SABAL PALMS THAT ARE IN CONFLICT WITH NEW SITE PLAN AND DRIVES AS INDICATED. ALL OTHER TREES AND PALMS ARE TO REMAIN AND RECEIVE A PROTECTIVE BARRIER FENCING AROUND THE DRIPLINE OF THE CANOPY OR CROWN EXCEPT FOR ALBIZIA TREES TO BE REMOVED AS INDICATED WITH AN 'X' AND PER THE TREE CHART. SEE LANDSCAPE DETAILS SHEET.
- CONTRACTOR TO COMPLETELY REMOVE ALL SHRUBS, GROUNDCOVER AND TURF GRASS WHERE NEW SHRUBS, GROUNDCOVER AND TURFGRASS ARE SPECIFIED TO PREPARE FOR NEW PLANTINGS. CONTRACTOR TO REPAIR AND RESTORE ANY LANDSCAPE OR TURF GRASS AREAS THAT ARE AFFECTED DURING CONSTRUCTION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE AND THE LANDSCAPE INSPECTOR. SEE LANDSCAPE DETAILS FOR AMENDED SOIL INSTALLATION REQUIREMENTS.
- LANDSCAPE INSPECTOR AND LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE RESERVE THE RIGHT TO MAKE CHANGES IN MATERIAL, QUANTITIES AND PROJECT SCOPE.
- IN THE EVENT OF DISPUTE, THE LANDSCAPE ARCHITECT'S INTERPRETATION SHALL BE FINAL.
- ALL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS.
- CONTRACTOR TO LEAVE SITE COMPLETELY CLEAN, RESTORED, AND FREE OF DEBRIS.
- NO TREE SHALL BE RELOCATED UNTIL A TREE REMOVAL PERMIT IS SECURED AS REQUIRED.
- FOR SABAL PALMS TO BE RELOCATED, ROOT PRUNE TO A DEPTH OF 30" AROUND ENTIRE PERIMETER OF PALM TO CREATE A 3' DIAMETER TRENCH PRIOR TO RELOCATION. TIGHTLY WRAP ROOTBALL IN BURLAP AND SECURE OPEN AREAS TOGETHER. ONCE REPLANTED, BRACE AND WATER DAILY FOR 30 DAYS AT A MINIMUM OF 5 GALLONS PER OCCURRENCE. BEYOND 30 DAYS, WATER AT LEAST 3 TIMES PER WEEK FOR THE NEXT 3 MONTHS OR UNTIL SUBSTANTIALLY ACCLIMATED. HURRICANE CUT ALL SABAL PALM CROWNS JUST PRIOR TO RELOCATION.

TREE DISPOSITION CHART

No.	LATIN NAME	COMMON NAME	DBH (IN INCHES)	HEIGHT	SPREAD	ACTION
1	Lagerstroemia indica	CRAPPE MYRTLE	4" combined	12'	8'	REMAIN
2	Sabal palmetto	SABAL PALM	12"	14'	8'	REMAIN
3	Sabal palmetto	SABAL PALM	12"	17'	8'	REMAIN
4	Sabal palmetto	SABAL PALM	12"	12'	8'	REMAIN
5	Sabal palmetto	SABAL PALM	12"	15'	8'	REMAIN
6	Sabal palmetto	SABAL PALM	12"	19'	8'	REMAIN
7	Sabal palmetto	SABAL PALM	12"	15'	8'	REMAIN
8	Sabal palmetto	SABAL PALM	12"	12'	8'	REMAIN
9	Conocarpus erectus	GREEN BUTTONWOOD	7"	18'	11'	REMAIN
10	Conocarpus erectus	GREEN BUTTONWOOD	7"	18'	11'	REMAIN
11	Conocarpus erectus	GREEN BUTTONWOOD	7"	18'	11'	REMAIN
12	Conocarpus erectus	GREEN BUTTONWOOD	7"	18'	11'	REMAIN
13	Conocarpus erectus	GREEN BUTTONWOOD	7"	18'	11'	REMAIN
14	Conocarpus erectus	GREEN BUTTONWOOD	7"	18'	11'	REMAIN
15	Conocarpus erectus	GREEN BUTTONWOOD	7"	18'	11'	REMAIN
16	Conocarpus erectus	GREEN BUTTONWOOD	7"	18'	11'	REMAIN
17	Conocarpus erectus	GREEN BUTTONWOOD	7"	18'	11'	REMAIN
18	Albizia lebbbeck	WOMAN'S TONGUE	16" combined	12'	14'	REMOVE
19	Albizia lebbbeck	WOMAN'S TONGUE	20" combined	22'	27'	REMOVE
20	Albizia lebbbeck	WOMAN'S TONGUE	20" combined	24'	30'	REMOVE
21	Syagrus romanzoffiana	QUEEN PALM	10"	14'	8'	REMOVE
22	Syagrus romanzoffiana	QUEEN PALM	10"	14'	8'	REMOVE
23	Syagrus romanzoffiana	QUEEN PALM	10"	14'	8'	REMOVE
24	Syagrus romanzoffiana	QUEEN PALM	10"	14'	8'	REMOVE

TREE INVENTORY LEGEND

- EXISTING TREE TO REMAIN IN PLACE
SEE LANDSCAPE DETAILS FOR REQUIRED TREE PROTECTION BARRIER FENCING TO BE ERCTED FROM START TO END OF CONSTRUCTION
- EXISTING TREE TO BE REMOVED
- EXISTING PALM TO REMAIN IN PLACE
SEE LANDSCAPE DETAILS FOR REQUIRED TREE PROTECTION BARRIER FENCING TO BE ERCTED FROM START TO END OF CONSTRUCTION
- EXISTING PALM TO BE REMOVED



LICENSED PROFESSIONAL

William Dale Bryant

FL LICENSE NUMBER

LA6666943

PROJECT #

16111

DATE

05-16-2016

SCALE

AS NOTED

DESIGNED BY

WDB

DRAWN BY

WDB

CHECKED BY

WDB

SELF STORAGE FACILITY

SR7 AND N.W. 31st ST.

MARGATE, FL

CITY OF MARGATE

BROWARD COUNTY, FL

G R E E N E A R T H

L A N D S C A P E A R C H I T E C T U R E

954-638-8825

dabrynd@greeneearth.com

Hollywood, FL 33020

Tree Disposition

Plan

SHEET NUMBER

L-100

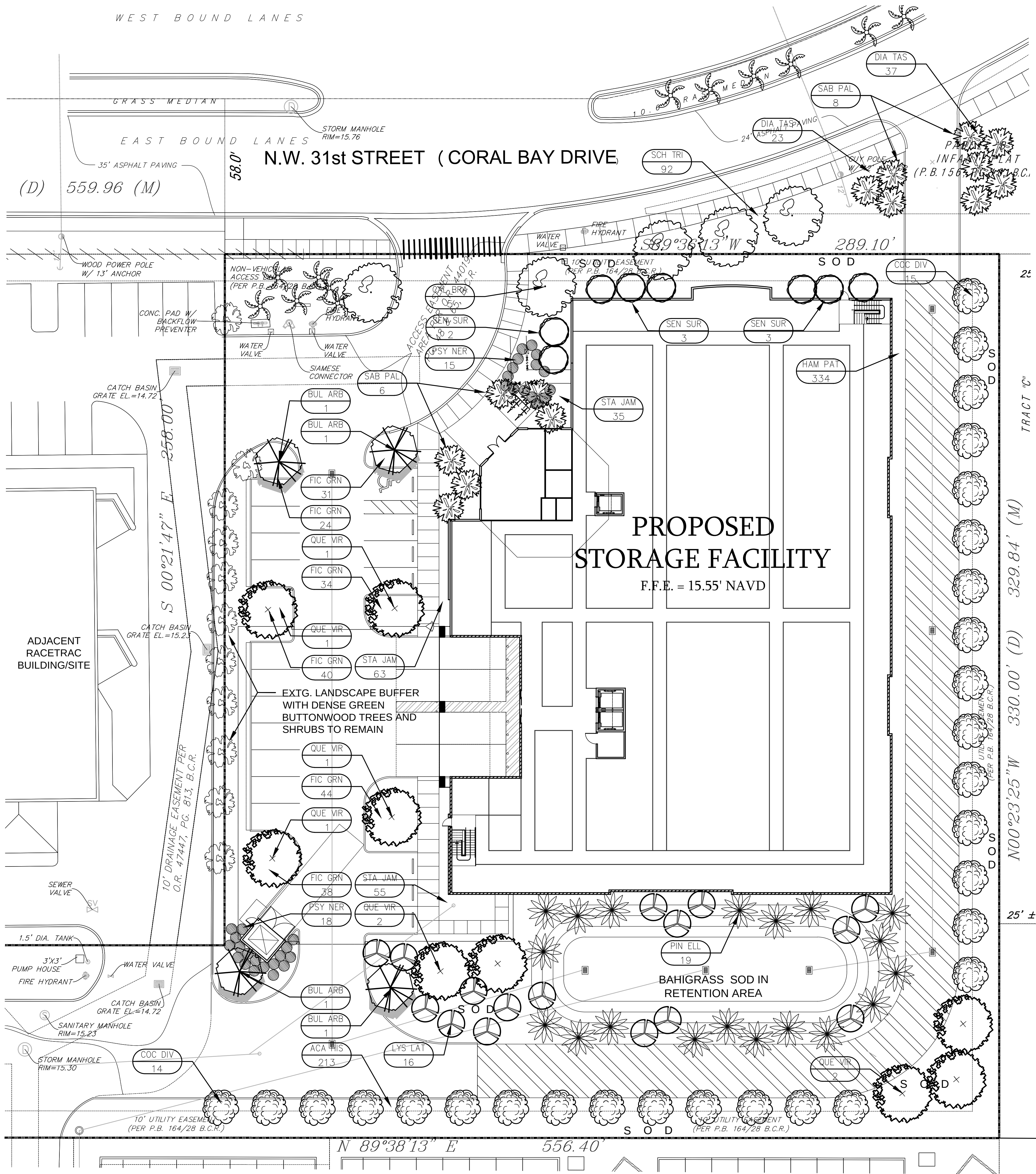
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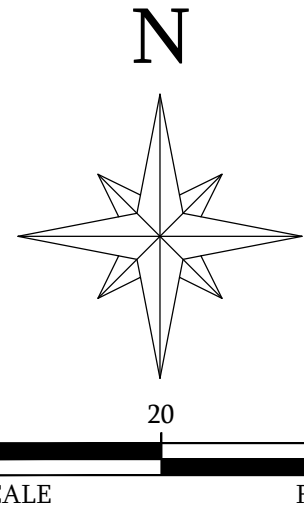
NOTES:

- All proposed plant material shall be a minimum of Florida No. 1 or better as described in Grades and Standards for Nursery Plants, Parts I and II, latest edition published by the Florida Department of Agriculture and Consumer Services.
- All planted areas shall contain a three (3) inch layer of wood mulch from harvested Eucalyptus or Melaleuca stands, solar sterilized. Keep mulch a min. 12" away from tree trunks. Create mulch tree rings around all trees that are not within a shrub or groundcover bed.
- All existing and new plant material shall be pruned, if needed, to achieve the shape and form characteristic to their design intent. Pruning shall be in strict accordance with ISA A300 guidelines.
- All sod or seed shall be certified (if applicable), and weed and insect free.
- Contractor shall be responsible for locating existing utilities or other obstructions which may interfere with plant installation.
- Call Sunshine One Call service for underground utility locations 48 hours prior to any excavation or digging 1-800-432-4770.
- All above ground mechanical equipment, irrigation pumps, FPL transformers, etc. shall be screened on a minimum of three (3) sides.
- All landscape materials to be guaranteed for a period of 1 calendar year after final acceptance.
- The landscape plans are based on Florida Friendly Landscape principles.
- Where overhead power lines exist, all proposed trees and palm setbacks shall conform with the Florida Power and Light (FPL) Guidelines for setbacks from overhead utility lines.
- Plant quantities are provided for convenience. In the event of discrepancies between plant quantities and plan graphics, plan graphics shall take precedence.
- All landscape buffer areas shall have uncompacted coarse loam that is a minimum of 12 inches deep. Soils shall be appreciably free of gravel, stones, rubble or trash. All compacted soil, contaminated soil or roadbase fill shall be removed. Under no circumstances shall soils with greater than five percent or less than 0.5 percent organic matter be accepted.
- All sod shall be St. Augustine 'Palmetto', a drought-tolerant variety of St. Augustine grass.
- Grade all landscape areas to a fine grade after limerock and deleterious materials are removed and amended soil is placed. Thoroughly remove ALL vegetation not specified to remain prior to installation of new landscape materials.
- At time of Building Permit, Irrigation Plans shall be submitted with Landscape Plans. All landscape areas will receive 100% head-to-head irrigation coverage by means of an automatic, underground irrigation system with rain sensor, backflow prevention (if potable source is used) and an automatic programmable timer. System shall be designed to comply with South Florida Water Management District and local regulations.

LANDSCAPE CODE COMPLIANCE TABULAR DATA CHART		
SECTION	REQUIRED	PROVIDED
SEC. 23-6 LANDSCAPE ADAJCENT TO R.O.W. 1 TREE PER 40LF @ 289.1 LF + HEDGE PARALLEL TO R.O.W.	7.23 TREES CONT. HEDGE	13 TREES CONT. HEDGE
SEC. 23-7 SHADE PERIMETER BUFFER @ 266 LF 1 TREE/75 LF + SHRUBS AND GROUNDCOVER (<30% TURF)	3.4 TREES + SHRUBS AND GROUNDCOVER	9 EXTG. TREES/333 PROPOSED TREES + SRHUBS AND GROUNDCOVER
SEC. 23-8 PARKING AND VEHICLE USE AREA 12% CANOPY COVERAGE OF GROSS LOT AREA @ 95,140SF	1 TREE + 5 SHRUBS PER 200SF OF LANDSCAPE AREA	47 TREES + 5 SHRUBS PER 200SF OF LANDSCAPE AREA
SEC. 23-9 DUMPSTER ENCLOSURE AND SCREENING COMBINATION OF SHRUBS AND GROUNDCOVER ON 3 SIDES 3' MIN. WIDTH	SHRUBS ON 3 SIDES OF CBS ENCLOSURE	SHRUBS ON 3 SIDES OF CBS ENCLOSURE

PLANT LIST					
TREE AND PALMS					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	DESCRIPTION
BUL ARB	2	Bulnesia arborea	VERAWOOD	12' HT./2" DBH	STRAIGHT TRUNK, FULL RADIAL BRANCHING, 5' C.T.
CAL BRA	5	Calophyllum brasiliense	BRAZILIAN BEAUTYLEAF	12' HT./2" DBH	STRAIGHT TRUNK, FULL RADIAL BRANCHING, 5' C.T.
COC DIV	29	Coccoloba diversifolia	PIGEON PLUM	12' HT./2" CAL	STRAIGHT TRUNK, FULL RADIAL BRANCHING, 5' C.T.
LYS LAT	16	Lysiloma latisiliquum	WEeping TAMARIND	12' HT./2" CAL	STRAIGHT TRUNK, FULL RADIAL BRANCHING, 5' C.T.
PIN ELL	19	Pinus elliotii	SLASH PINE	14' HT./2.5" CAL	STRAIGHT TRUNK, FULL RADIAL BRANCHING, 5' C.T.
QUE VIR	9	Quercus virginiana	LIVE OAK	12' HT./2" CAL	STRAIGHT TRUNK, FULL RADIAL BRANCHING, 5' C.T.
SAB PAL	12	Sabal palmetto	SABAL PALM	14'/18'/22" HTS.	STRAIGHT EVEN TRUNKS, HURRICANE CUT, STAGGER HTS. IN GROUPS OF 3
SEN SUR	8	Senna surratensis	CASSIA	12' HT./2" CAL	STRAIGHT TRUNK, FULL RADIAL BRANCHING, 5' C.T.
SHRUBS AND GROUNDCOVER					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	DESCRIPTION
ACA HIS	213	Acalypha hispida	CHENILLE PLANT	7 GAL.	30"X30", FULL, SPACE 36" O.C.
DIA TAS	60	Dianella tasmanica 'Variegata'	VARIEGATED FLAX LILY	3 GAL.	24" X 24", FULL, SPACE 24" O.C.
FIC GRN	211	Ficus microcarpa 'Green Island'	GREEN ISLAND FICUS	1 GAL.	18" IN. SPREAD, FULL, SPACE 24" O.C.
HAM PAT	334	Hamelia patens 'Compacta'	DWARF FIREBUSH	7 GAL.	MIN. 30" X 30", FULL, SPACE 36" O.C.
PSY NER	34	Psychotria nervosa	WILD COFFEE	3 GAL.	24"X24", FULL, SPACE AS SHOWN ON PLAN
SCH TRI	92	Schefflera arboricola 'Trinette'	TRINETTE	3 GAL.	24"X24", FULL, SPACE AS SHOWN ON PLAN
STA JAM	153	Stachytarpheta jamaicensis	BLUE PORTERWEED	1 GAL.	18"X18", FULL, SPACE 24" ON CENTER

NOTE: ALL LANDSCAPE AREAS DENOTED WITH 'SOD' TO RECEIVE ST. AUGUSTINE 'PALMETTO' VARIETY OF SOD TURFGRASS. LAY SOD ON 2" BLANKET OF 50% SAND/TOPSOIL AMENDED SOIL MIX, SEW PIECES WITH TIGHT JOINTS, STAGGER JOINTS, CUT SMOOTH, EVENLY CURVED FLOWING EDGES AS DEPICTED ON PLAN.



TREE INVENTORY LEGEND

- EXISTING TREE TO REMAIN IN PLACE
SEE LANDSCAPE DETAILS FOR REQUIRED TREE PROTECTION BARRIER FENCING TO BE ERECTED FROM START TO END OF CONSTRUCTION
- EXISTING PALM TO REMAIN IN PLACE
SEE LANDSCAPE DETAILS FOR REQUIRED TREE PROTECTION BARRIER FENCING TO BE ERECTED FROM START TO END OF CONSTRUCTION

LICENSED PROFESSIONAL

PROJECT # 16111

DATE 05-16-2016

SCALE AS NOTED

DESIGNED BY WDB

DRAWN BY WDB

CHECKED BY WDB

William Dale Bryant

FL LICENSE NUMBER LA6666943

BY

DATE

REVISIONS

No.

SELF STORAGE FACILITY

SR7 AND N.W. 31st ST.

MARGATE, FL

CITY OF MARGATE

BROWARD COUNTY, FL

GREEN EARTH LANDSCAPE ARCHITECTURE

9548384925

dalabry@greeneearthfl.com

Hollywood, FL 33020

Landscape Planting Plan

SHEET NUMBER L-200

5 LAYERS OF BURLAP

3/4" STEEL BANDING

2x4 BATTONS

NAIL BRACING TO WOOD BATTONS (DO NOT ALLOW NAILS TO PENETRATE TRUNK)

WOOD BRACING (SEE NOTES BELOW)

3" LAYER OF SHREDDED BARK MULCH (KEEP 12" AWAY FROM TRUNK)

COMPACTED SOIL TREE RING

FINAL GRADE

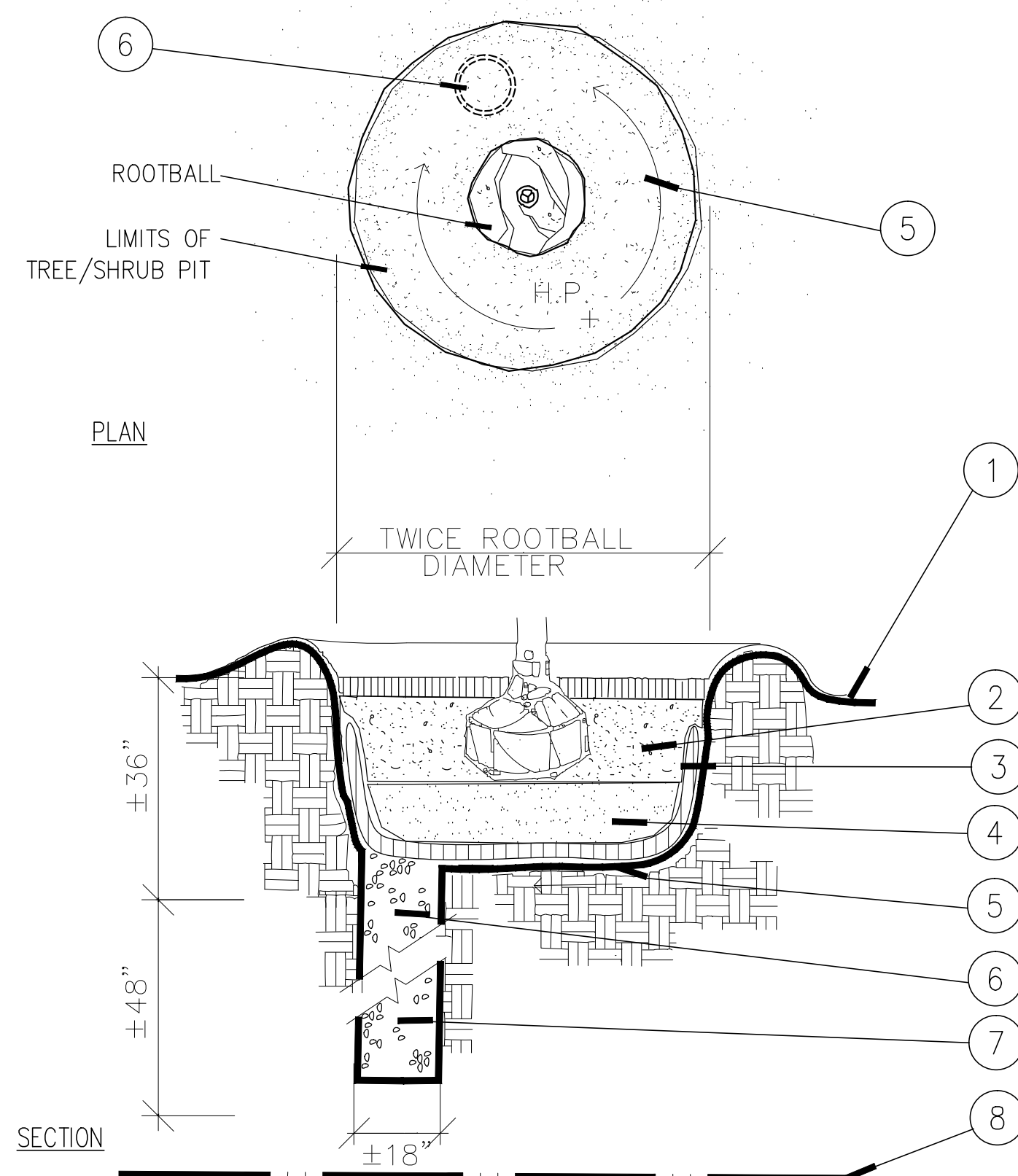
2X4 TREE STAKE

AMENDED PLANTING SOIL
RATIO MIX OF 50% CLEAN, SCREENED SAND AND 50% PULVERIZED TOPSOIL, FREE OF WEEDS AND NEMATODES BACKFILLED IN PLANTING HOLE THAT IS A MINIMUM TWICE THE DIAMETER OF THE ROOTBALL

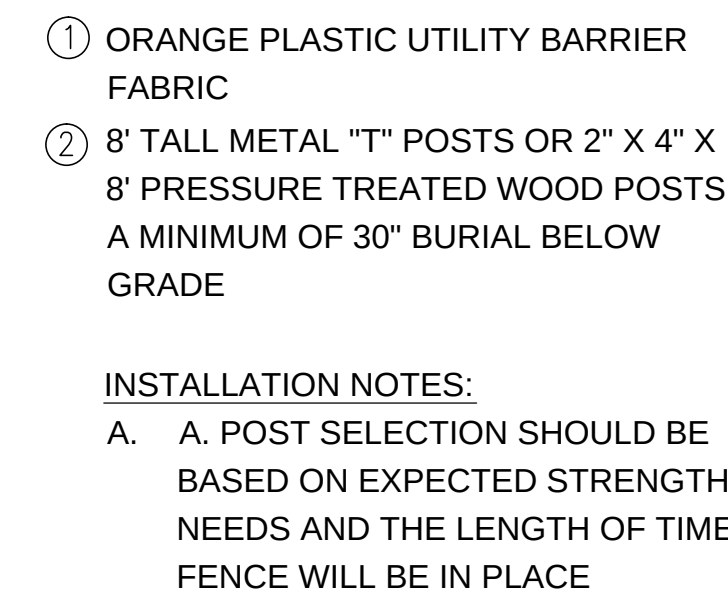
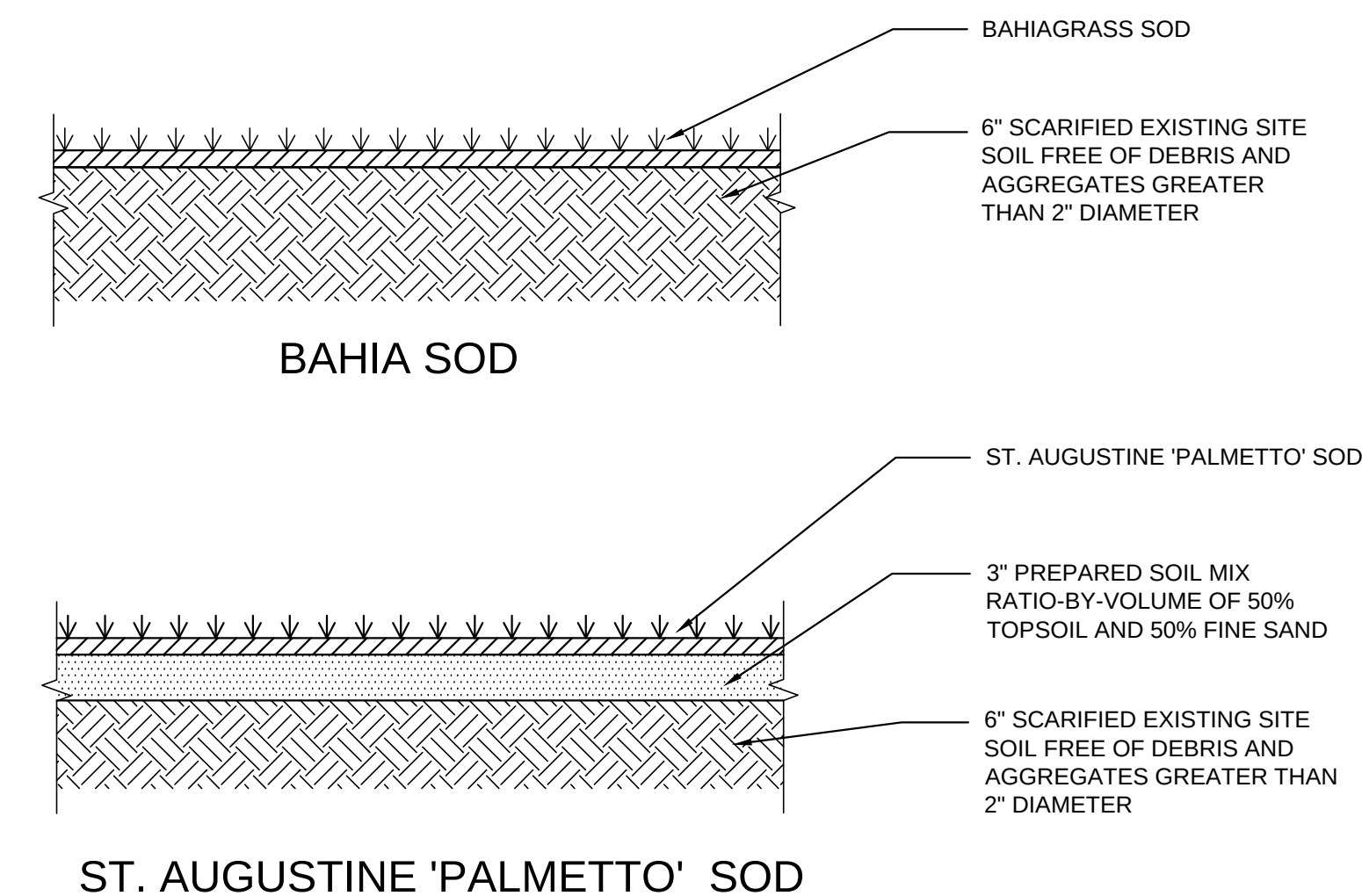
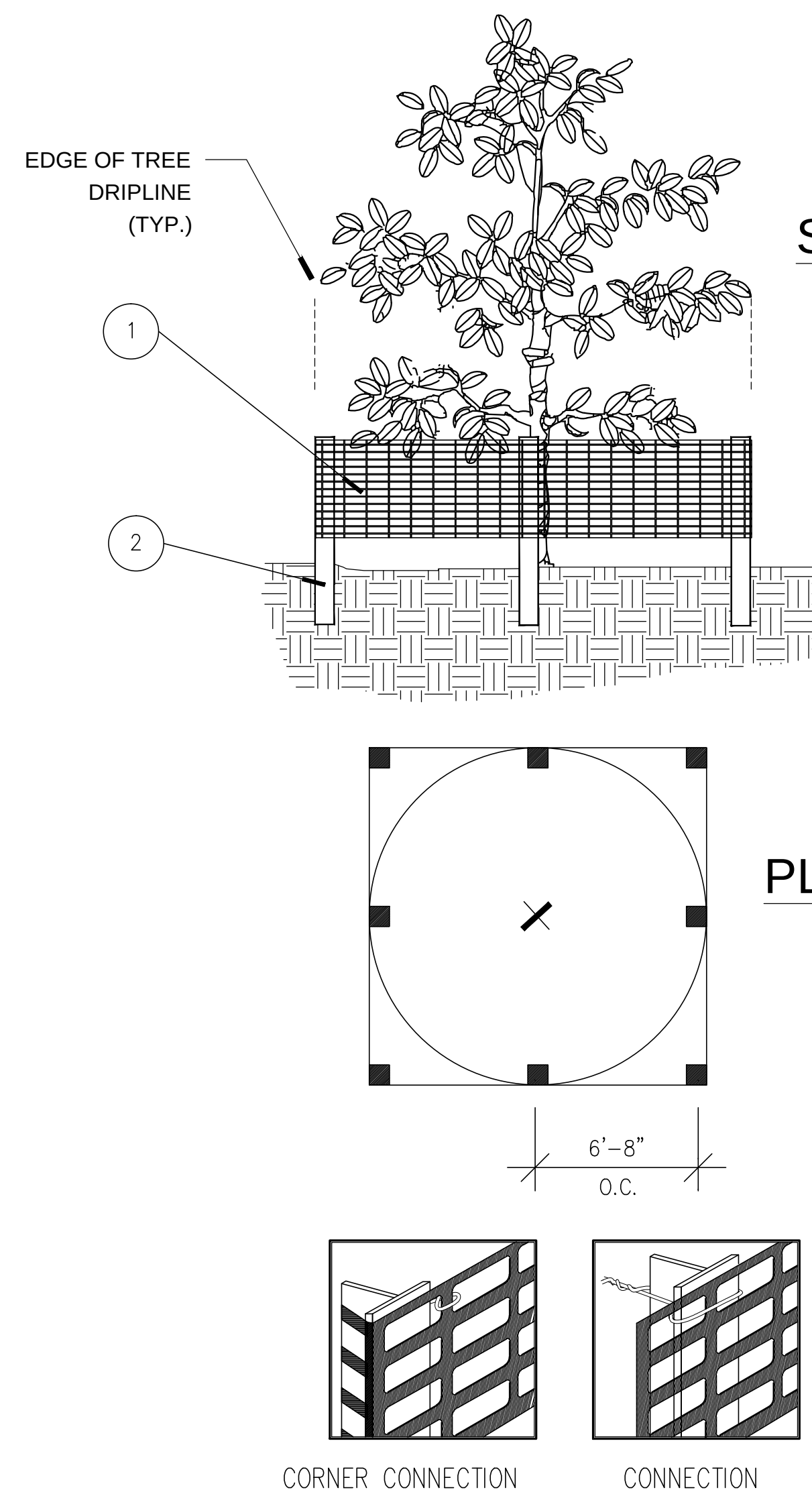
MINIMUM TWICE THE DIAMETER OF ROOTBALL

NOTES:

- *PALMS OVER 35' HEIGHT, USE (4) 4X4 BRACING AND STAKES
- **PALMS UNDER 35' HEIGHT, USE (4) 2X4 BRACING AND STAKES
- ***PALMS WITH SMALL TRUNKS, USE MIN. (3) 2X4 STAKES AND 1½" BLACK WEBBING TAPE
- ****ROOT FLARE TO BE SLIGHTLY ABOVE FINAL GRADE



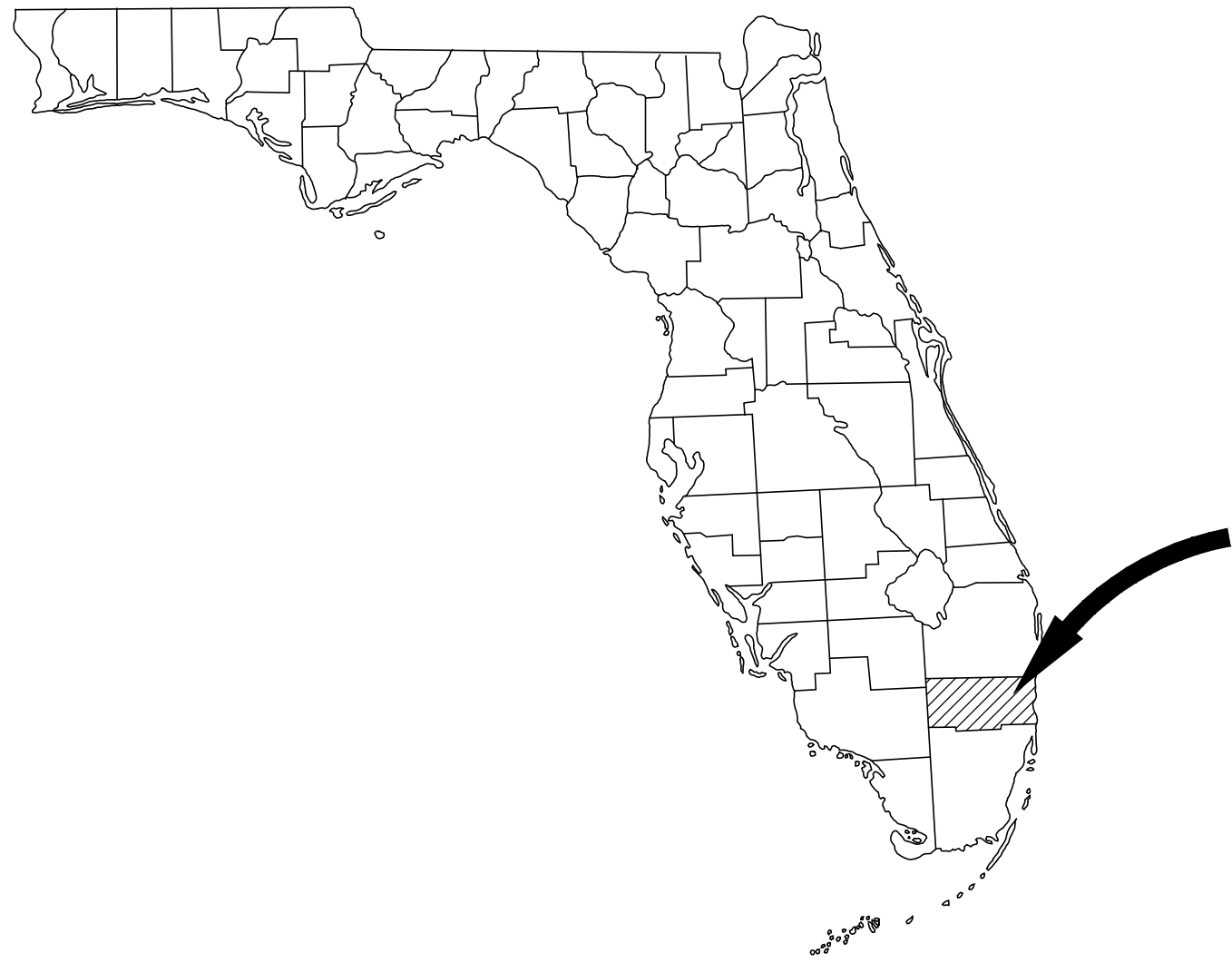
1. FINISH GRADE
2. BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED.
3. FILTER CLOTH, MIRAFI 500X OR BETTER
4. 12" CLEAN SAND, COMPACTED. ADJUST LAYER THICKNESS SO TOP OF ROOTBALL IS AT LEAST 1" ABOVE FINISHED GRADE.
5. SLOPE BOTTOM TO DRAIN
6. $\pm 18"$ ϕ AUGERED HOLE PENETRATE THROUGH OCCLUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7' TO ASSURE PROPER PERCOLATION.
7. BACKFILL WITH 1 1/2" - 3/4" GRAVEL.
8. WATER TABLE. (DEPTH VARIES)



- B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF $\frac{1}{2}$ THE HEIGHT OF THE POST BUT NEVER LESS THAN 30" DEPTH
- C. SPACE POSTS EVERY 6-8' APART
- D. SECURE FENCING TO POST WITH NYLON CABLE TIES
WOOD STRIPS MAY ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS

NOTE: IF WIRE TIES ARE USED,
AVOID DIRECT CONTACT WITH
PLASTIC FENCE FABRIC AS WIRE
MAY WEAR THROUGH OVER TIME

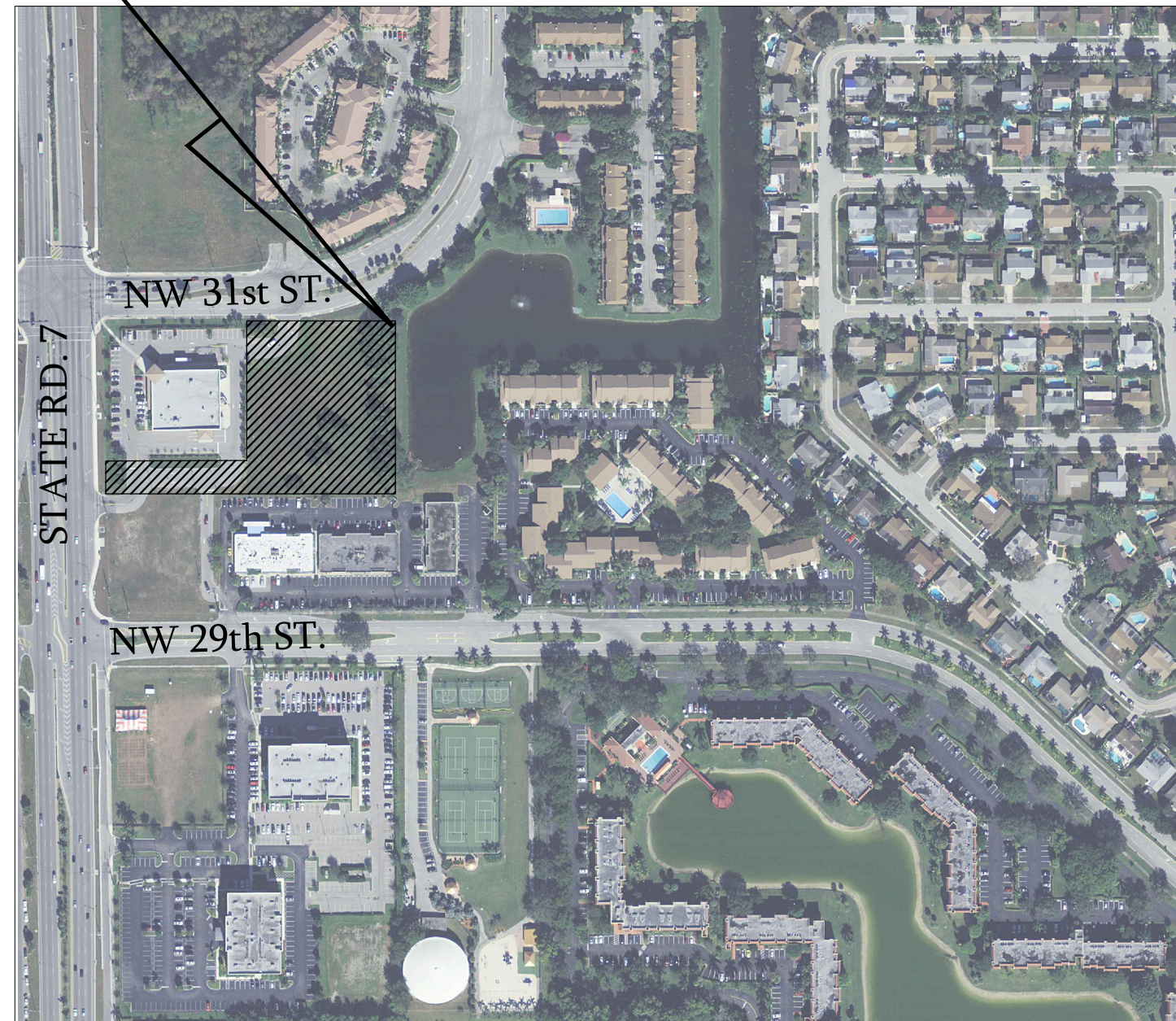
Plotted By: Torik Layout: Cover Sheet May 16, 2016 08:10:15am M:\024 Wheat Capital Management\024-04 Margate\CAD\C-100 COVER SHEET.dwg
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STATE OF FLORIDA
BROWARD COUNTY

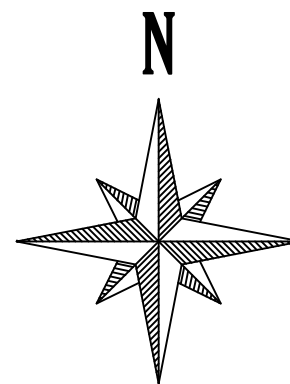
CONSTRUCTION PLANS FOR SELF-STORAGE - MARGATE

PROJECT LOCATION



LOCATION MAP

1" = 250'



PROJECT TEAM:

APPLICANT/DEVELOPER

WHEAT CAPITAL MANAGEMENT
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SUITE 601
FT. LAUDERDALE, FLORIDA 33394
PHONE: 954.556.1515
CONTACT: C.J. MAIER

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PHONE: 954.427.8848
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CONTACT: KENNETH R. CARLSON, R.A.

LANDSCAPE ARCHITECT

GREEN EARTH LANDSCAPE ARCHITECTURE
PHONE: 954.638.9825
CONTACT: DALE BRYANT, RLA

SURVEYOR

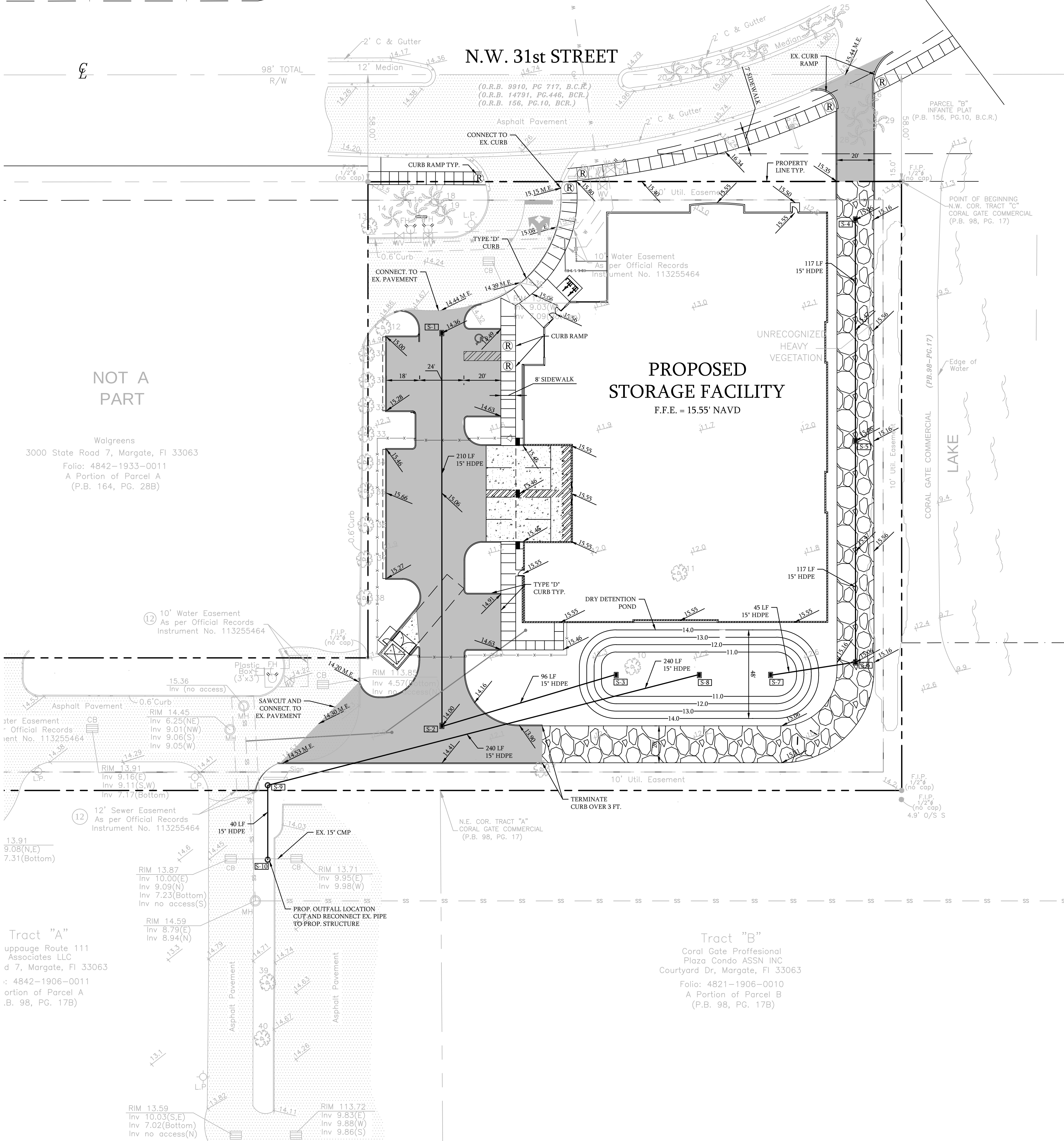
AMERICAN SERVICES OF MIAMI, CORP.
9370 S.W. 72nd ST., SUITE A-102
MIAMI, FL 33173
PHONE: 305.598.5101
CONTACT: ED PINO

Sheet Index

- | | |
|-------|---------------------------------------|
| C-100 | COVER SHEET |
| C-200 | PAVING, GRADING, AND DRAINAGE PLAN |
| C-201 | PAVING, GRADING, AND DRAINAGE DETAILS |
| C-300 | UTILITY PLAN |
| C-301 | UTILITY DETAILS |

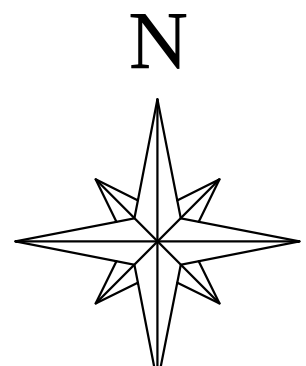
COVER SHEET	SHEET NUMBER C-100	SELF STORAGE MARGATE CITY OF MARGATE BROWARD COUNTY, FL	PROJECT # 024-04 DATE 05-16-2016 SCALE - AS NOTED DESIGNED BY TZ DRAWN BY TZ CHECKED BY EW	No.	REVISIONS	DATE	BY	LICENSED PROFESSIONAL	ERIK J. WILCZEK FL LICENSE NUMBER 58216

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LEGEND

- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED STABILIZED FIRE ACCESS



0 30 60
SCALE FEET

PAVING GRADING AND DRAINAGE NOTES

- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- CONTRACTOR TO REVIEW SFWMD DEWATERING PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- ELEVATIONS SHOWN AT CURBLINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
- POLLUTION RETARDANT BAFFLES AND SUMPS REQUIRED FOR EXFILTRATION TRENCH.

LOT COVERAGE CALCULATIONS			
	ACRES	SQ. FEET	
TOTAL	2.13	92,783	
PERVIOUS	0.71	30,928	
IMPERVIOUS	1.42	61,855	
Building	0.75	32,670	
Vehicular Use	0.59	25,700	
Sidewalk	0.08	3,485	

* EXCLUDES EX. DRIVE AISLES CONSTRUCTED AS PART OF ADJACENT DEVELOPMENT

DRAINAGE STRUCTURE SCHEDULE			
STRUCTURE NO.	STRUCTURE TYPE	GRATE/RIM EL.	INVERT EL.
S-1	C-TOP, B-BOT	14.36	8.20
S-2	C-TOP, B-BOT	14.00	8.20
S-3	TYPE "C"	11.00	7.75
S-4	C-TOP, B-BOT	15.06	10.81
S-5	C-TOP, B-BOT	15.06	10.81
S-6	C-TOP, B-BOT	15.06	10.81
S-7	TYPE "C"	11.00	7.75
S-8	TYPE "C"	13.00	7.75
S-9	MANHOLE	15.00	7.75 (NE), 10.75 (S)
S-10	MANHOLE	14.50	10.75 (N), 10.00±(W,E)

- ALL STRUCTURES SHALL BE PER FDOT INDEX 200
- ALL FRAMES AND GRATES IN VEHICULAR USE AREAS SHALL BE TRAFFIC LOAD BEARING

ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
GROUND WATER TABLE EL. = 8.50± NAVD
FEMA FLOOD ZONE ELEV. = X (N/A)
BROWARD COUNTY 100yr FLOOD MAP EL. = 12.5' NAVD

LICENSED PROFESSIONAL
ERIK J. WILCZEK
FL LICENSE NUMBER
58216

PROJECT #
024-04
DATE
05-16-2016
SCALE
AS NOTED
DESIGNED BY
TZ
DRAWN BY
TZ
CHECKED BY
EW

REVISIONS
No.
DATE
BY

SELF STORAGE
MARGATE

BROWARD COUNTY, FL
CITY OF MARGATE

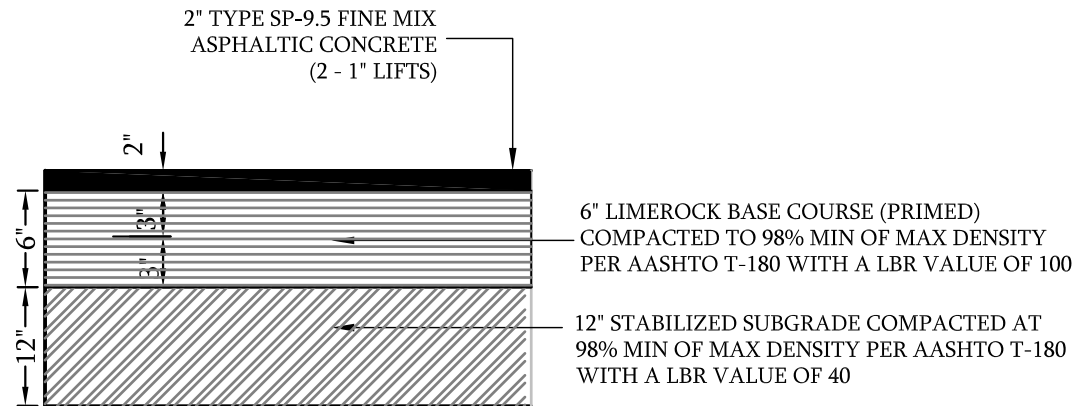
KEEN
Engineering Inc.

7280 W PALMETTO PARK RD., SUITE 302, BOCA RATON, FL 33433
PHONE: 561-325-6700
CA#3195

PAVING, GRADING
AND
DRAINAGE PLAN

SHEET NUMBER
C-200

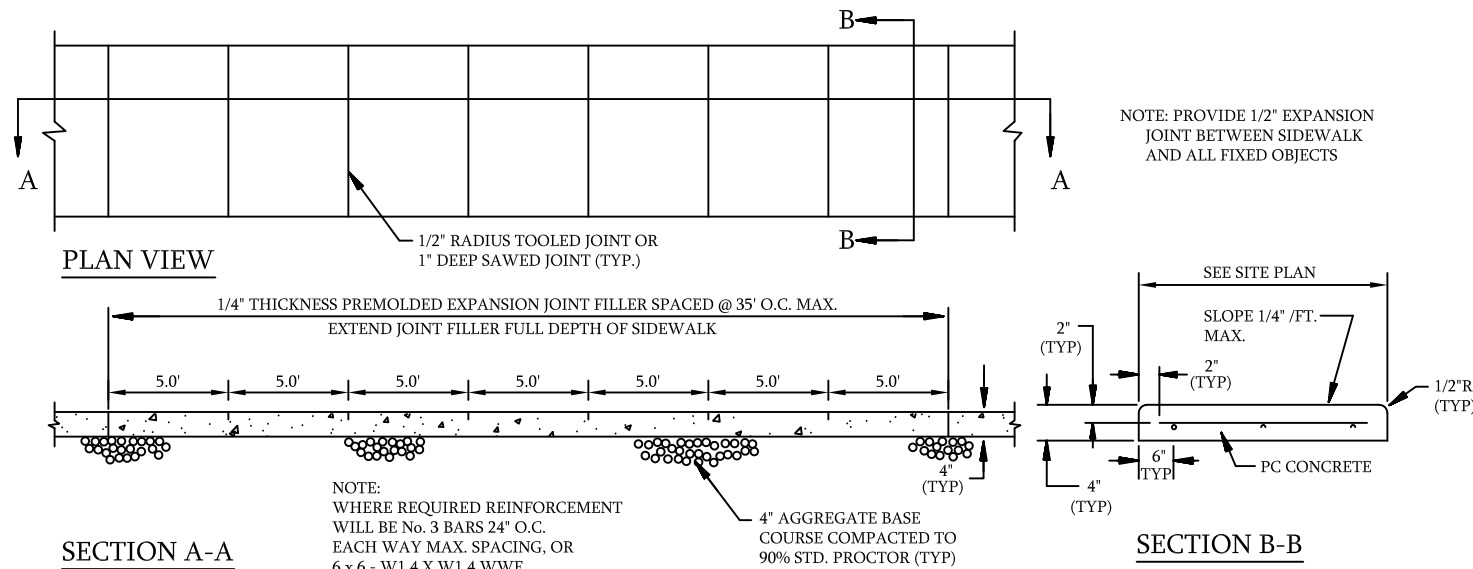
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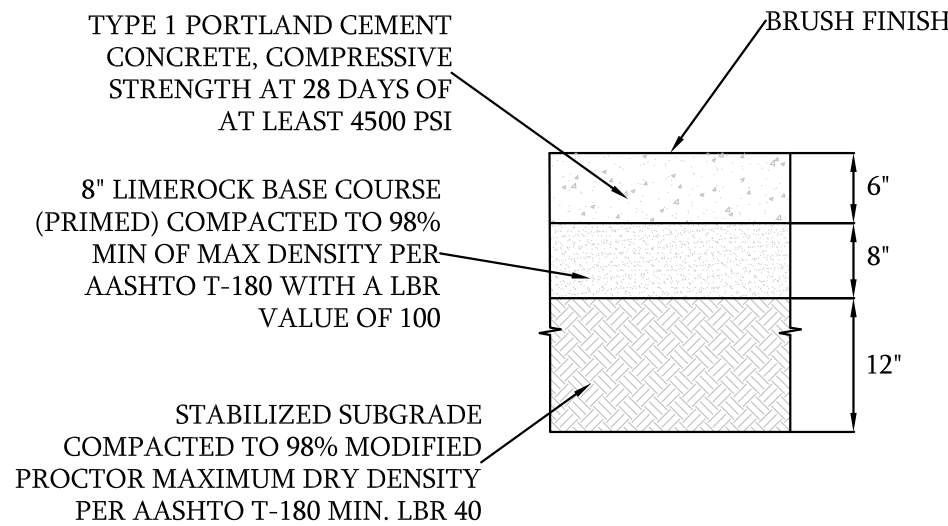
ASPHALT PAVEMENT DETAIL

NOTE:

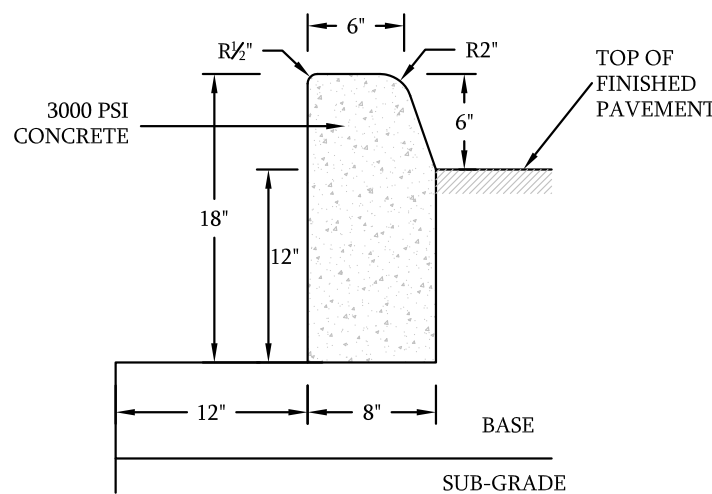
BITUMINOUS ASPHALT COARSE MAY BE INSTALLED IN TWO SEPARATE 1" LIFTS TO ALLOW MOBILIZATION OF EQUIPMENT. THE SECOND LIFT OF ASPHALT SHALL NOT BE PLACED UNTIL ALL OTHER WORK ON THE SITE HAS BEEN COMPLETED. UPON COMPLETION OF SECOND LIFT OF ASPHALT, ANY SCRATCHES, GOUGES, OR LOSS OF AGGREGATE WILL NOT BE ACCEPTED. CONTRACTOR TO REMEDY ALL HOLES, BLEMISHES, ETC. PRIOR TO THE UNIFORM INSTALLATION OF SECOND LIFT. AFTER SECOND LIFT OF ASPHALT IS INSTALLED, TRAFFIC ROLLING IS REQUIRED.



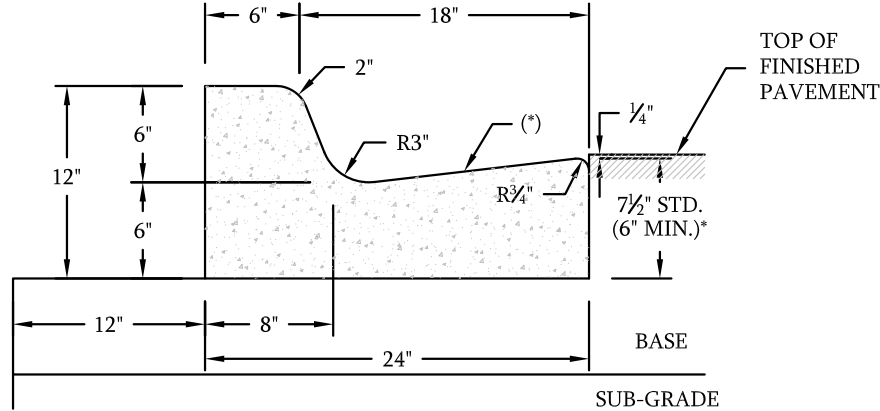
CONCRETE SIDEWALK



HEAVY DUTY CONCRETE



FDOT TYPE "D" CURB

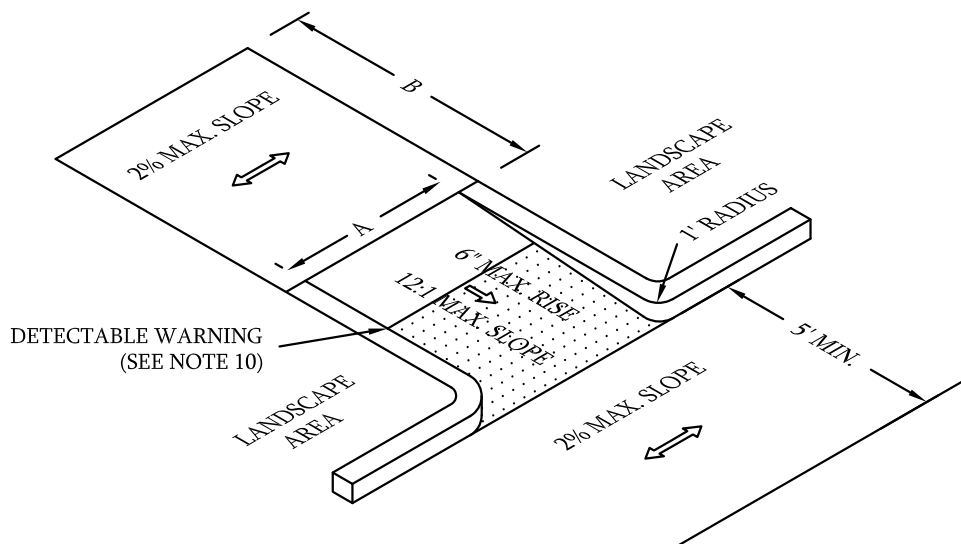


TYPE "F" CURB AND GUTTER

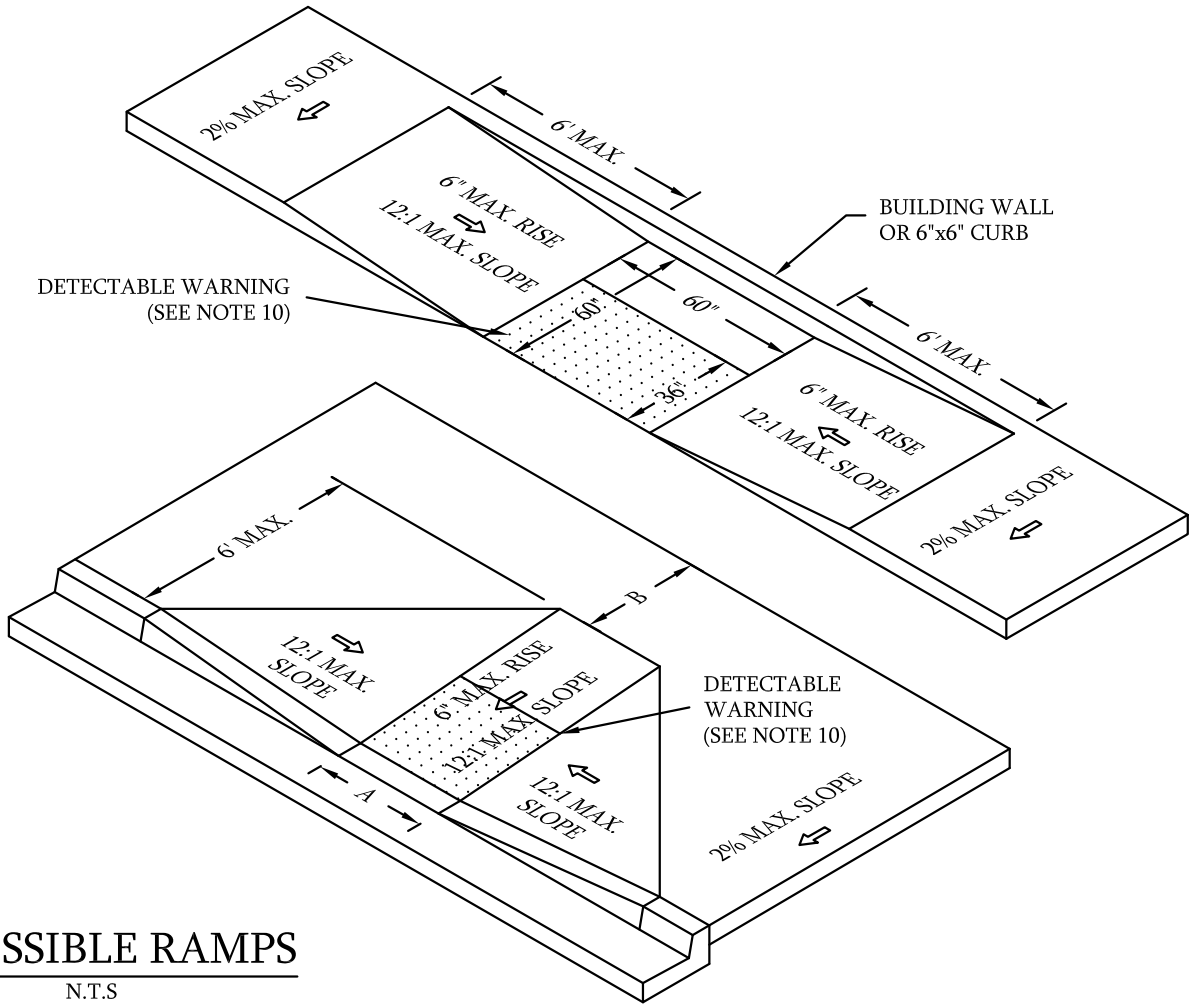
NOTES:

- ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH CHAPTER 11 OF THE FLORIDA BUILDING CODE.
- ACCESSIBLE ROUTE TO ACCESSIBLE SPACES, BUILDING ENTRANCES, AND PUBLIC STREETS SHALL NOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE.
- CHANGE IN ELEVATION WITHIN THE ACCESSIBLE ROUTE IS NOT TO EXCEED 1/4" WITHOUT A CURB RAMP.
- UNLESS OTHERWISE SHOWN ON THE PLANS, THE MINIMUM CLEAR ROUTE SHALL BE 36" WIDE WITH A 60"x60" PASSING SPACE EVERY 200 FEET.
- ACCESSIBLE ROUTES THROUGH PLANTERS SHALL BE LEVEL WITH THE SURROUNDING PAVEMENT OR PROVIDE CURB RAMPS AT EACH END WITH A MINIMUM 48" LEVEL LANDING IN BETWEEN.
- THE ACCESSIBLE ROUTE IN FRONT OF PULL-IN PARKING SHALL BE A MINIMUM OF 44" WIDE AND NOT REDUCED BY VEHICLE OVERHANGS, CURBING, SIGN POSTS, OR OTHER OBSTRUCTIONS.
- ANY WALK THAT CROSSES OR ADJOINS A VEHICULAR WAY NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS SHALL BE DEFINED BY A CONTINUOUS 36" WIDE DETECTABLE WARNING.
- SPECIAL RAMP RULES APPLY FOR ANY RISE GREATER THAN 6" INCLUDING BUT NOT LIMITED TO RESTRICTION ON SLOPE, TOTAL RISE BETWEEN LANDINGS, AND USE OF HANDRAILS, PER F.B.C. 11-4.8.
- PUBLIC SIDEWALK CURB RAMPS CONSTRUCTED WITHIN A PUBLIC RIGHT-OF-WAY, IN ABSENCE OF LOCAL ROADWAY GUIDELINES, SHALL MEET THE REQUIREMENTS OF F.D.O.T. INDEX 304.
- CURB RAMPS SHALL HAVE A DETECTABLE WARNING EXTENDING 3' WIDE.
- DETECTABLE WARNINGS: SEE DETAIL SHEET

RAMP LOCATION	MINIMUM DIMENSION	
	A	B
AT OUTSWING DOOR	44"	40"
AT INSWING/SLIDING DOOR	44"	48"
NO DOORWAY	36"	36"

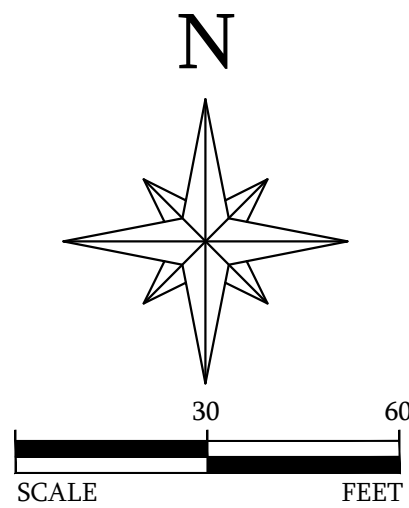


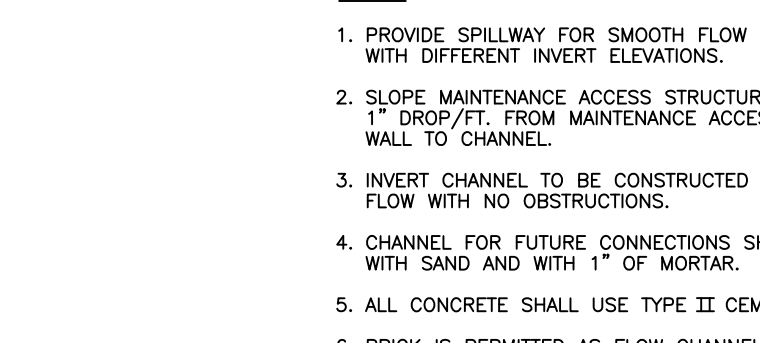
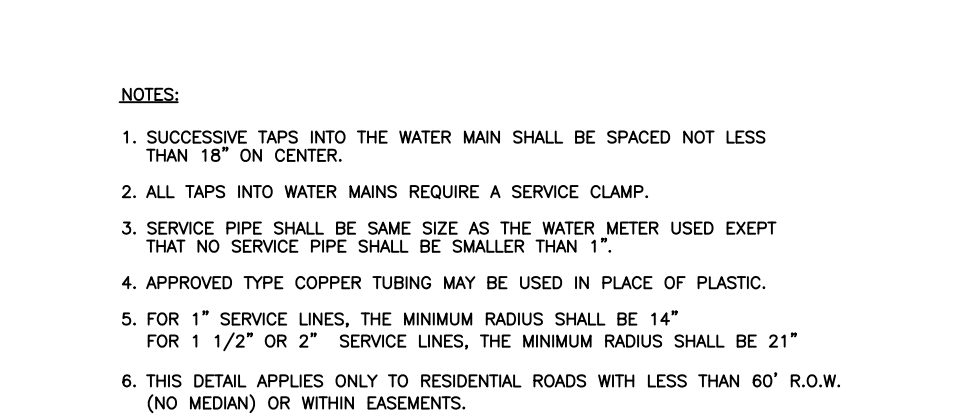
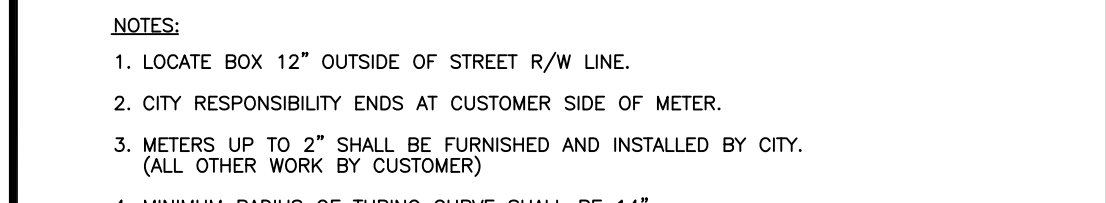
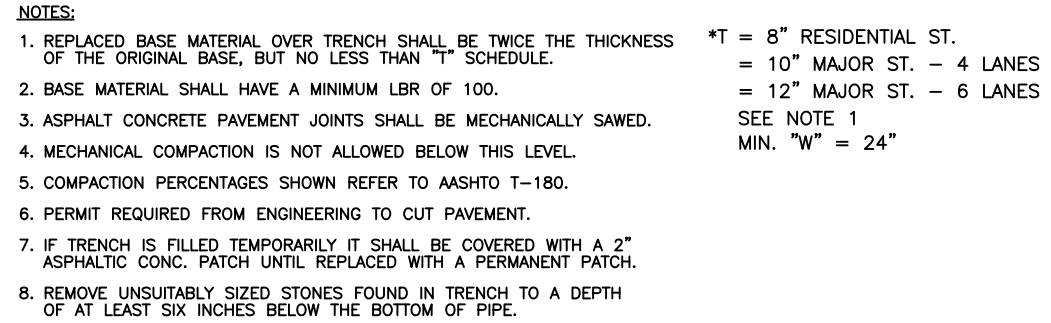
ACCESSIBLE RAMPS





1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. SANITARY SEWER LATERALS SHALL BE 6" PVC SCHEDULE 40
4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET
5. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3 FT. OF COVER ON ALL WATER MAINS.
6. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
7. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
8. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (CITY OF MARGATE) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
9. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES IF IN CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
10. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.

[illegible]



DATE: 7-1-15	DRAWN: JWEAVER		
	CITY OF MARGATE, FLORIDA DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES	INVERT FLOW CHANNEL	WW-6

