Mayor Lesa Peerman

Vice Mayor Joanne Simone

Commissioners
Brian Donahue
Tommy Ruzzano
Frank B. Talerico



City Manager Jerry A. Blough

City Attorney Eugene M. Steinfeld

City Clerk Joseph J. Kavanagh

# City of Margate, Florida

#### **DEVELOPMENT REVIEW COMMITTEE AGENDA**

# REGULAR MEETING Thursday, February 20, 2014 9:30 AM CITY HALL, COMMISSION CHAMBERS 5790 MARGATE BOULEVARD

#### ALL INTERESTED PARTIES ARE WELCOME

- 1) Approval of the January 16, 2014 and February 6, 2014 DRC meeting minutes.
- 2) DRC NO. 02-14-03. PETITION: Consideration of a special exception use, for permission to operate an animal clinic in Palm Lakes Plaza.

LOCATION: 7256 West Atlantic Boulevard ZONING: B-2 Community Business District

LEGAL DESCRIPTION: A portion of Parcel B, of "ORIOLE-MARGATE SECTION 4," as recorded in Plat Book

78, Page 20, of the public records of Broward County, Florida.

PETITIONER: Marla Neufeld, Esq., agent for Stockbridge Palm Lakes Plaza, LLC.

3) DRC NO. 02-14-05. PETITION: Consideration of a site plan approval, for improvements to Kaye Stevens Park

LOCATION: 5825 Royal Palm Boulevard ZONING: S-1 Recreational District

LEGAL DESCRIPTION: Lot 31, "IBEC ADDITION NO. 2," according to the plat thereof, as recorded in Plat

Book 47, Page 21 of the public records of Broward County, Florida.

PETITIONER: Adriane Esteban, agent for the Margate Community Redevelopment Agency.

4) General discussion.

A representative of the petitioner and the property owner must be present for a petition to be reviewed by the DRC. Representations made before the DRC shall be conditions of said approval. A petitioner appealing findings made by the DRC with respect to any matter considered at a meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes all of the testimony and evidence upon which the appeal the appeal is to be made.

For your convenience, DRC audio tape copies are available at the City Clerk's office.

Any person with a disability requiring auxiliary aids and services for this meeting may call the City Clerk's office at (954)972-0828, with their request at least two (2) business days prior to the meeting date.

CC: Mayor and City Commission, City Manager, City Attorney, City Clerk, Finance Director, Parks and Recreation Director, Committee Members, Petitioners, AT&T, FPL, Comcast, U.S. Postal Service, Press and Post.

5790 MARGATE BOULEVARD, MARGATE, FLORIDA 33063 • TELEPHONE (954) 972-6454 / FACSIMILE (954) 935-5304 http://www.margatefl.com • e-mail - citymanager@margatefl.com



City of Margate 5790 Margate Boulevard Margate, FL 33063 954-972-6454 www.margatefl.com

# AGENDA ITEM FACT SHEET Item No: 2.

**TO:** Development Review Committee

**FROM:** Benjamin J. Ziskal, AICP

**DATE:** February 20, 2014

**RE:** DRC NO. 02-14-03. PETITION: Consideration of a special exception use, for permission

to operate an animal clinic in Palm Lakes Plaza.

**LOCATION:** 7256 West Atlantic Boulevard

**ZONING:** B-2 Community Business District

**LEGAL DESCRIPTION:** A portion of Parcel B, of "ORIOLE-MARGATE SECTION 4," as recorded in Plat Book 78, Page 20, of the public records of Broward County, Florida.

**PETITIONER:** Marla Neufeld, Esq., agent for Stockbridge Palm Lakes Plaza, LLC.

**BACKGROUND:** The applicant is seeking permission to open a 3,500 square foot animal

clinic in Palm Lakes Plaza.



# City of Margate DEVELOPMENT REVIEW COMMITTEE Application for Special Exception (existing)

5790 Margate Rlvd Margate FL 33063

	STATE OF TAXABLE PARTY.	Name and Address of the Owner, where the Publisher, where the Publisher the Publisher, which was the Publisher, where the Publisher, where the Publisher, where the Publisher, where the Publisher, which was the Publisher the Publisher, which was the Publisher the Publisher, which was the Publisher the Publishe	
Submittal	Date	(official	use):
0,			

954-972-6454	.05
Project Name	PCKO.
Project Name Palm Lakes Plaza - Veterinary Clinic	
7210-7388 W. Atlantic Blud., Margale, FL 33063	DRC#02-14-03
Acreage   Folio Number   4241-35-04.3373	Paid: # 500
Existing Use Shopping Cener	
Legal Description See attached	
Describe proposal/request in detail	
-See altached narrative	
Agent/Contact Name	
Maria Neufeld, Esq	
Address 100 W. Cypress Greek Rd, Suite 700	
Followd 01 23209	
Phone Number 954, 761, 2929 Fax Number	
Email Address Maria. neufeld@gmlaw.com	
Property Owner Name Stack boildon Palm Lakes Plaza, IIC	
Stockbridge Palm Lakes Plaza, LLC  Address 2240 NW 19th Street, Suite 801, Baca Rator	0, 201121
2270 NW 17" Street, Suite 801, Baca Katon	VI+C 557.5
Phone Number Fax Number	
561.989.7240	18703
Email Address	

OWNER'S AFFIDAVIT: I certify that I am the owner of record for the above referenced property and give authorization to file this petition. I understand that I, or a representative on my behalf, must be present at the DRC meeting. I further understand that my petition will be subject to the regulations of Chapter 16 1/2 of the Margate City Code.

# \*\*\* CUSTOMER RECEIPT City of Margate \*\*\*

Batch ID: AMORALES

1/13/14 00

Receipt no: 53614

Type SvcCd Description ECDV SPECIAL EXECPT. 1.00 Amount USE

Qty STOCKBRIDGE PALM LAKES PLAZA

\$500.00

SUITE 3330 FOUR EMBARCADERO CENTER

SAN FRANCISCO, CA 94111
RE:PALM LAKES PLAZA VET CLINIC

7210-7388 W ATLANTIC BLVD

SPECIAL EXCEPTION (EXISTING)

Tender detail CK Ref#:

1236

\$500.00 \$500.00 \$500.00

Trans date: 1/15/14 Total payment:

Total tendered:

Time: 12:18:40

HAVE A GREAT DAY!

\*\* City of Margate CUSTOMER RECEIPT \*\*

Batch ID: AMORALES 1/13/14 00 Receipt no:

Type SvcCd Description EB ECDV BANNER ECDV BANNERS

Amount

53616

Qty 1.00 \$150.00

CLIENT COST ADVANCE GREENSPOON MARDER

100 W CYPRESS CREEK RD STE 700

FORT LAUDERDALE, FL 33309

RE: WOOLBRIGHT DEVELOPMENT DRC # 02-14-03

VET CLINIC-PALM LAKES PLAZA

Tender detail

Total payment:

Total tendered: CK Ref#: 125542

\$150.00 \$150.00 \$150.00

Trans date: 1/15/14 Time: 12:21:30

HAVE A GREAT DAY!

#### Consent and Authorization to File Special Exception Application

**Stockbridge Palm Lakes Plaza, LLC** certifies that it is the Owner of the subject property subject to this Special Exception Application and hereby authorizes the law firm, **GREENSPOON MARDER, P.A.** to act as Agent and submit the Special Exception Application on the Owner's behalf.

Stockbridge Palm Lakes Plaza, LLC



#### PUBLIC HEARING SIGN REMOVAL BOND AGREEMENT In accordance with Ordinance #1500.485

I, Uylan Forseea	, petitioner of record and
on behalf of the property owner, hereby agree that the subject pu	iblic hearing sign shall be removed
within two (2) business days following a final determination by	the governing body. Further, it is
understood that by complying with this section, the \$150 cash bo	and will be returned to the petitioner of
record.	
If said public hearing sign is not removed in two (2) business day	ys, I hereby authorize the administration
of the City of Margate to remove said sign, billing the costs of the	e removal of the sign to the owner of
the property.	
I understand that the \$150 (one hundred fifty dollar) cash bond s	hall be forfeited and applied against the
cost of removal to the City of Margate if said public hearing sign	is not removed in two (2) business
days.	
100 100 1 D. 1 1	OFFICE USE ONLY Date of Decision:
Business Name	Tabled to date
	certain?
2240 NW 19th St #801, Boca Ration FL Address E21/21	Two Business Days (after decision)
Address \$3437	COMPLIED? Y N
(a)	If YES, initiate check request to Finance (603- 0000-220.18-00)
Signature	If NO, inform Finance to deposit Bond (001-0000-
1/9/14	369.90-01)
Date	



From the desk of:
Marla Neufeld, Esq.
Trade Centre South, Suite 700
100 W. Cypress Creek Road
Fort Lauderdale, Florida 33309-2140
Phone: 954.491.1120
Fax: 954,771.9264
Direct Phone: 954.761.2929
Direct Fax: 954.333.4129

Email: marla.neufeld@gmlaw.com

#### Stockbridge Palm Lakes Plaza, LLC Special Exception Narrative

Stockbridge Palm Lakes Plaza, LLC ("Applicant") owns the Palm Lakes Plaza shopping center ("Shopping Center") located in the City of Margate ("City"). The Applicant is proposing to bring a 3,500 square foot veterinary clinic ("Property" or "Animal Clinic")) to the Shopping Center in accordance with the Applicant's site plan. The zoning for the Property is B-2 which does not allow for veterinary hospitals. However, according to Section 12.3(B) of the City's Land Development Code ("Code"), an animal clinic and pet hospital area are allowed as special exception uses provided (i) adequate soundproofing is provided in any area where animals are contained or treated and (ii) all boarding activities shall be ancillary to the primary use.

Therefore, the Applicant seeks a special exception use approval from the provisions of the Code in accordance with Sections 12.10 of the Code to allow for an animal clinic and pet hospital use at the Property. The Applicant satisfies the special exception use approval conditions in Section 12.10 of the Code as follows:

(a) Compatibility of the use and site plan elements with the indigenous environment and with properties in the neighborhood, as outlined in the Margate Comprehensive Plan.

The Property is compatible with the indigenous environment and with the properties in the neighborhood as outlined in the Margate Comprehensive Plan ("Comprehensive Plan"). The Property is located within the City's B-2 community business zoning district with a commercial land use designation. The purpose of this zoning district includes, but is not limited to, providing a full range of office, retail and services uses in the City. The proposed Animal Clinic will serve the animal and pet veterinary needs of the surrounding neighborhoods and for residents and the proposed use of the Property is in compliance with the goals and objectives of the B-2 zoning and commercial use of the Property.

(b) Substantial detrimental effects of the proposal on the property values in the neighborhood.

The operation of Animal Clinic in the Shopping Center will not have detrimental effects on the property values in the neighborhood. The Property is currently a vacant bay in the Shopping Center. The Property is surrounded by other compatible



From the desk of:
Marla Neufeld, Esq.
Trade Centre South, Suite 700
100 W. Cypress Creek Road
Fort Lauderdale, Florida 33309-2140
Phone: 954.491.1120
Fax: 954.771.9264
Direct Phone: 954.761.2929
Direct Fax: 954.333.4129
Email: marla.neufeld@gmlaw.com

commercial business uses such as restaurants, banks, a drug store, and a child day care center being constructed and operated by the Applicant.

(c) Substantial detrimental effects of the use on living or working conditions in the neighborhood.

The proposed Animal Clinic will not have any detrimental effects on the living or working conditions in the neighborhood. As set forth above, the Animal Clinic is surrounded by other commercial uses that are compatible with the proposed use. The plan for the proposed Animal Clinic will comply with all provisions of the Code, including the requirements to allow for a special exception use which includes (i) providing adequate soundproofing where animals are contained or treated and (ii) ensuring that all boarding activities shall be ancillary to the primary use. Further, the proposed Animal Clinic will serve the commercial use needs of the surrounding neighborhoods and for residents.

(d) Ingress and Egress to the development and proposed structures, with particular reference to automotive and pedestrian safety, control of automotive traffic, provision of services and servicing of utilities and refuse collection, and access in the case of fire, catastrophe, or emergency.

The Property is located within a Shopping Center with numerous other commercial businesses. As reflected on the survey, there is proper ingress and egress to the Property to allow for the servicing of utilities and refuse collection, and access in case of fire, catastrophe or emergency. The Property is accessible through two main roads, which include West Atlantic Boulevard and Rock Island Road. Utility companies will also be able to enter and safely drive through the Property to access any utilities as needed.

(e) Off-street parking location and relation to buildings, internal traffic safety, traffic flow and control, access in case of fire or emergencies, and screening and buffering.

As provided on the survey, the location of parking provides easy and safe access to the uses on the Property.



From the desk of: Marla Neufeld, Esq. Trade Centre South, Suite 700 100 W. Cypress Creek Road Fort Lauderdale, Florida 33309-2140 Phone: 954.491.1120

Fax: 954.771.9264 Direct Phone: 954.761.2929 Direct Fax: 954.333.4129 Email: marla.neufeld@gmlaw.com

(f) Orientation, location size, and features of buildings, and appearance and harmony of the buildings with nearby development and land uses.

The orientation, location size and features of the existing building are in harmony with the surrounding buildings and nearby development and land uses. As set forth above, the Property is surrounded by other compatible commercial uses such as restaurants, banks, a drug store, and a child day care center being constructed and operated by the Applicant. The Property does not abut residential parcels.

(g) Sufficiency of setbacks, buffers, and general amenities to preserve internal and external harmony and compatibility with uses inside and outside the proposed development and to control adverse effects of site generated noise, lights, fumes, and other nuisances.

The plan for the proposed Animal Clinic provides setbacks and buffers that meet the Code and general amenities that preserve the harmony and compatibility with the surrounding uses. As a result, the impact of any noise, lights, fumes or other potential nuisances will be controlled.

(h) Adequacy of stormwater management with attention to the necessity for on-site retention to alleviate flooding and ground water pollution without compromising the aesthetics and maintainability of landscaping.

Stormwater management will be provided to alleviate flooding and ground water pollution. Therefore, the aesthetics and maintainability of the landscaping will not be compromised.

(i) Adequacy of landscaping an emphasis on the preservation of existing trees, the use of native species, and the use of berming along street perimeters.

Adequate berms have been provided and existing trees have been preserved to the extent possible.

(j) Compliance with applicable goals, objectives, and policies of the Margate Comprehensive Plan.



From the desk of:
Marla Neufeld, Esq.
Trade Centre South, Suite 700
100 W. Cypress Creek Road
Fort Lauderdale, Florida 33309-2140
Phone: 954.491.1120
Fax: 954.771.9264
Direct Phone: 954.761.2929
Direct Fax: 954.333.4129
Email: marla.neufeld@gmlaw.com

The proposed use furthers the goals, objectives, and policies of the Comprehensive Plan because the Property is located along West Atlantic Boulevard and does not abut residential parcels. In accordance with the site plan, the Applicant proposes to make improvements to the Property that will enhance the Shopping Center by taking an empty bay at the Shopping Center and developing and offering an Animal Clinic to the community.

# (k) Compliance with the applicable goals, objectives and policies of the Margate Community Redevelopment Plan.

The Property is located within the Community Redevelopment Area ("CRA"). The Property is currently a vacant bay in the Shopping Center and the Applicant proposes to develop the Property as an Animal Clinic, which will include making certain improvements required for the Property to permit this use at the Property. The improvements and the use of the Property as an Animal Clinic are compatible with the surrounding uses located along West Atlantic Boulevard. The Property is not located in the City's Transit Oriented Corridor district. Therefore, the type of commercial business being proposed is in accordance with the commercial zoning and land use designations for the Property.

#### loucks engineering inc.

4520 ne 18 avenue, ste 400 fort lauderdale florida, 33334 TEL. (954) 938 - 1881 FAX (954) 938 - 1884

DATE: September 23, 2013

TO: Mr. Jimmy Freyman

Re: PALM LAKES PLAZA 7352 W. ATLANTIC BLVD. MARGATE FLORIDA

The site lighting was surveyed 9/21/13, at approximately 11:00 pm, weather was clear.

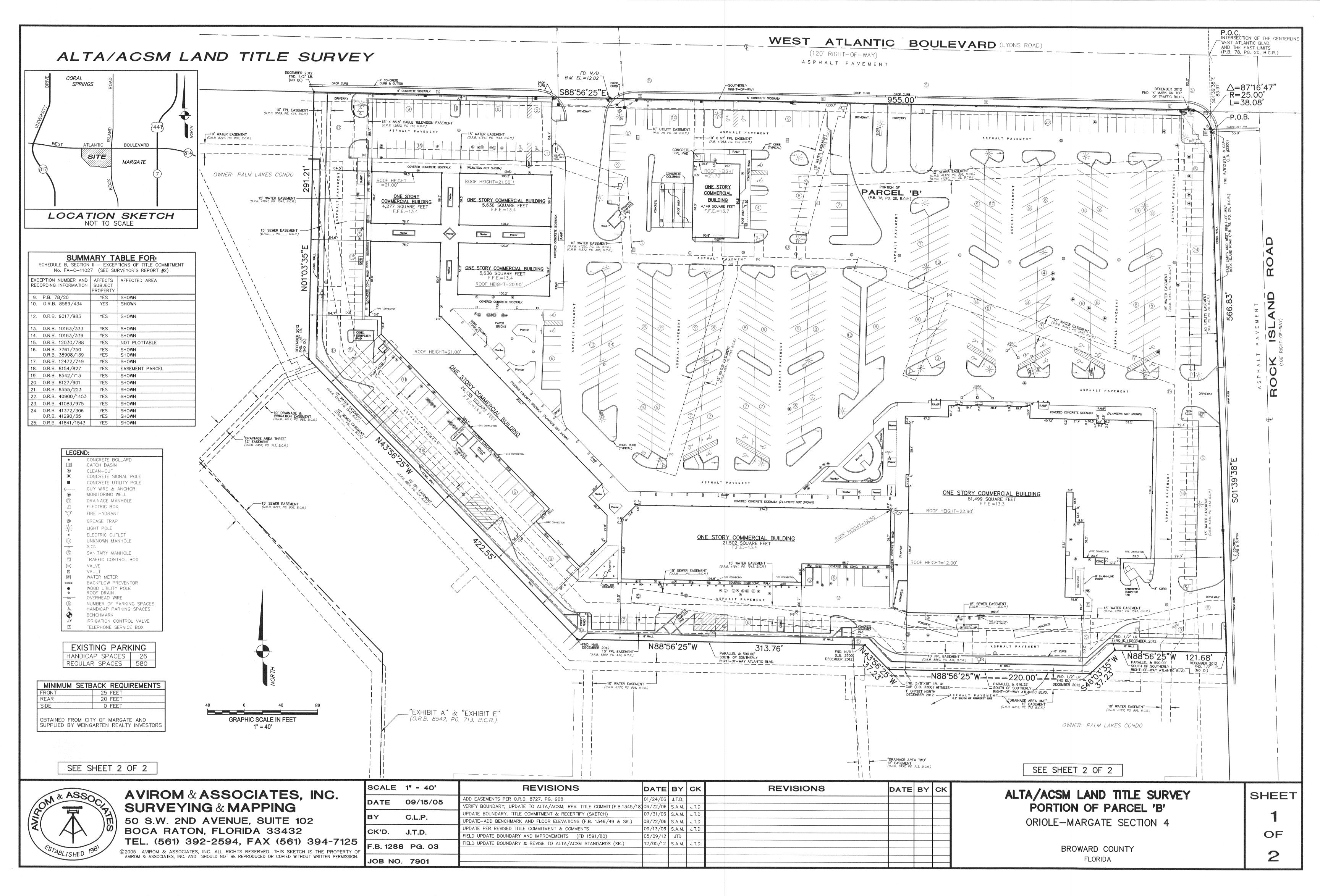
We are using an Extech Heavy Duty Light Meter # 407026 for our readings. Based on the parking lot lighting as permitted in 2004 from drawings prepared by US Architectural Lighting dated 7/12/04, the lighting values were found to be in compliance with the City of Margate code requirements.

Respectfully,

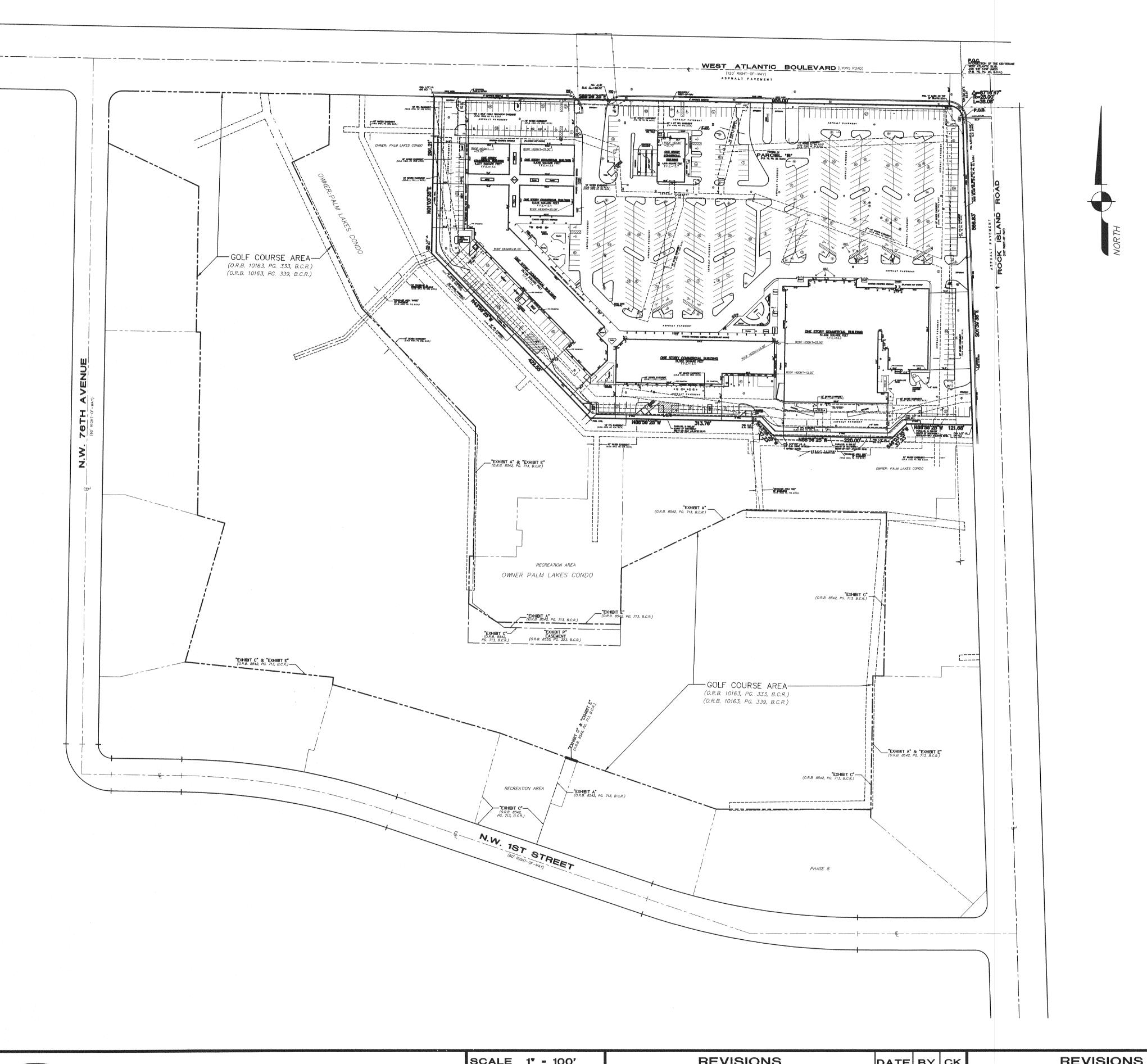
E. Pilhuj.

file:13249

twu



# EXHIBIT FOR OFFSITE DOCUMENTS



#### SURVEYOR'S REPORT:

- 1. Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper
- 2. Lands shown hereon were not abstracted by Avirom & Associates, Inc. for easements, rights—of—way, ownership or other instruments of records. Instruments of record are per Title Commitment No. FA-C-11027, prepared by First American Title Insurance Company, issued, September 20, 2006. Property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in Title Commitment. Easements where applicable are shown on the survey. (SEE SUMMARY TABLE)
- 3. The land description shown hereon is per the Title Commitment.
- 4. No underground improvements were located.
- 5. Bearings shown hereon are based on the south right—of—way line of West Atlantic Boulevard, having a bearing of S88°56'25"E. (PER P.B. 78, PG. 20, B.C.R.)
- 6. Elevations shown hereon are based on the National Geodetic Vertical Datum of 1929.
- 7. Benchmark Description: Broward County Engineering Division Benchmark #1565. (EL.=12.142) 8. The entire property described hereon lies within Flood Zone AH, (El. 11) Community Panel No. 120047 0115 F, dated August 18, 1992.
- 9. Property Address: 7210-7388 West Atlantic Boulevard, Margate, Florida.
  10. Abbreviation Legend: Q = Centerline; C.B.S.= Concrete, Block & Stucco; CONC.= Concrete; Δ = Delta Angle; EL.= Elevation; FND.= Found; I.P.= Iron Pipe; I.R.= Iron Rod; L.= Arc Length; L.B.= Licensed Business; P.B.= Plat Book; B.C.R.= Broward County Records; PG.= Page; P.L.S.= Professional Land Surveyor; P.O.B.= Point of Beginning; P.O.C.= Point of Commencement; R.= Radius; FPL= Florida Power and Light; D= Delta; ESMT= Easement; O.R.B.= Official Records Book; N/D= Nail and Disk; B.M.= Benchmark; F.F.E.= Finished
- 11. I have no knowledge of earth moving work or building construction, changes as to street right—of—ways, street or sidewalk construction, and the observable evidence of site use as a solid waste dump, sump or sanitary landfill.

#### LAND DESCRIPTION:

A Portion of Parcel B, ORIOLE—MARGATE SECTION 4, according to the plat thereof, as recorded in Plat Book 78, Page 20 of the Pubic Records of Broward County, Florida, more particularly described as follows:

Commence at the intersection of the centerline of West Atlantic Boulevard and the east limit of said plat as shown on said plat; thence S01°39'38"E along said east limit a distance of 83.91 feet to the Point of Beginning; thence continue S01°39'38"E along said east limit, and along the west right—of—way of Rock Island Road, as shown on said plat a distance of 566.83 feet; thence N88°56'25"W, along a line parallel with and 590.00 feet south of the southerly right-of-way of Atlantic Boulevard. as shown on said plat, a distance of 121.68 feet; thence S46°03'35"W, a distance of 37.23 feet; thence N88°56'25"W, along a line parallel with and 616.32 feet south of the southerly right—of—way of Atlantic Boulevard, as shown on said plat, a distance of 220.00 feet; thence N43°56'25"W, a distance of 37.23 feet; thence N88°56'25"W, along a line parallel with and 590.00 feet south of the southerly right—of—way of Atlantic Boulevard, as shown on said plat, a distance of 313.76 feet; thence N43°56'25"W, a distance of 422.55 feet; thence NO1°03'35"E, a distance of 291.21 feet to a point on the southerly right-of-way line of Atlantic Boulevard, as shown on said plat; thence S88°56'25"E along said line, a distance of 955.00 feet; thence southeasterly along the arc of a tangent curve, being concave to the southwest, having a radius of 25.00 feet, a delta of 87°16'47", an arc distance of 38.08 feet to the Point of Beginning.

Said lands lying in the City of Margate, Broward County, Florida, containing 12.5692 acres more or less.

# TOGETHER WITH the following easement rights:

Easement for Drainage and Irrigation purposes recorded in Official Records Book 9017, Page 983; Flowage Easement recorded in Official Records Book 10163, Page 333; and Easement for drainage pipes, and water and/or sewer lines recorded in Official Records Book 10163, Page 339.

All of the Public Records of Broward County, Florida.

# **CERTIFICATION:**

THIS IS TO CERTIFY that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17, 18 and 21 of Table A thereof. The field work was completed on December 5, 2012.

Florida Registration No. 4409 AVIROM & ASSOCIATES, INC. L.B. No. 3300

SEE SHEET 1 OF 2



AVIROM & ASSOCIATES, INC. SURVEYING & MAPPING

50 S.W. 2ND AVENUE, SUITE 102 BOCA RATON, FLORIDA 33432 TEL. (561) 392-2594, FAX (561) 394-7125 ©2005 AVIROM & ASSOCIATES, INC. ALL RIGHTS RESERVED. THIS SKETCH IS THE PROPERTY OF AVIROM & ASSOCIATES, INC. AND SHOULD NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION.

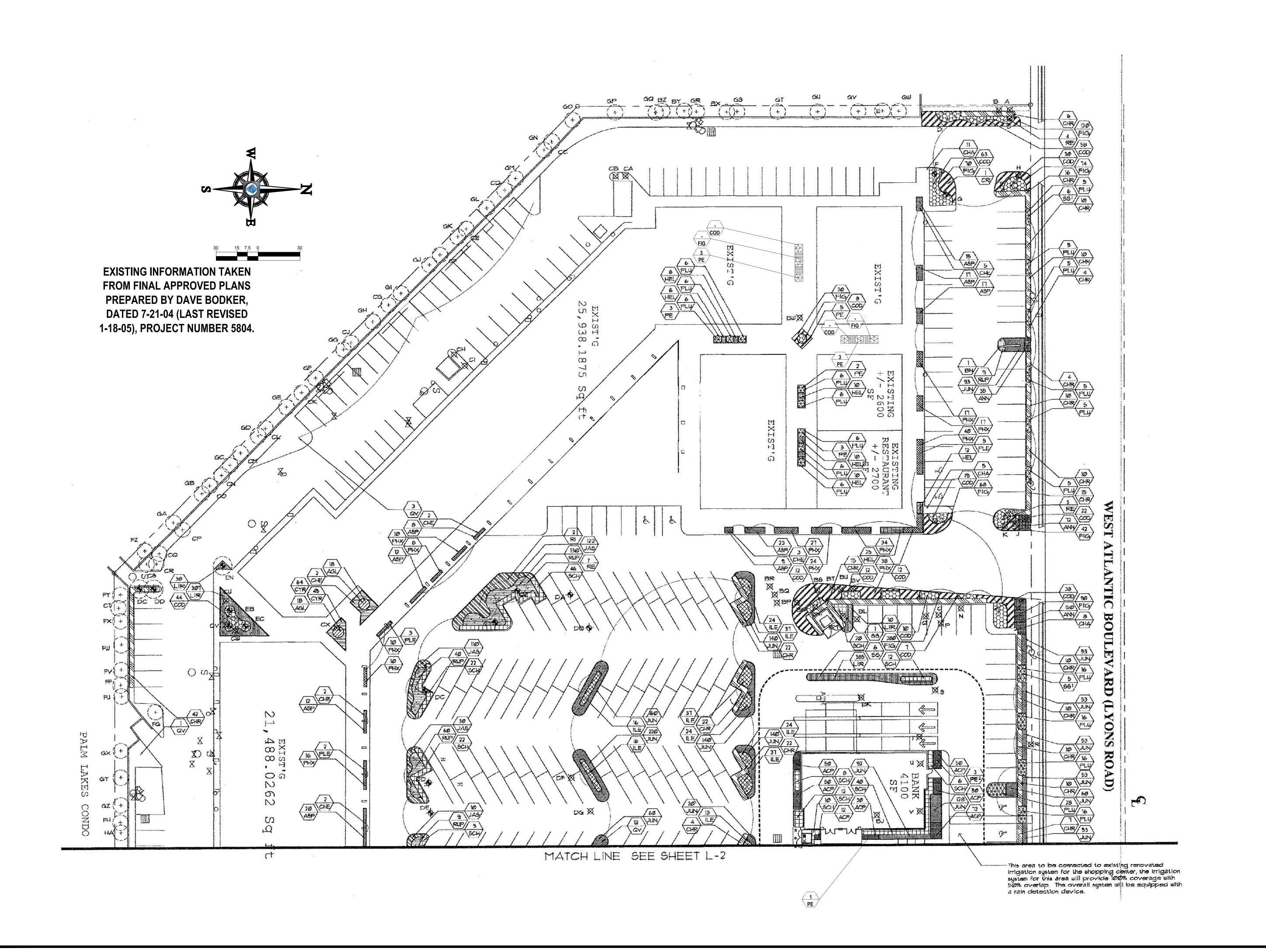
4	SCALE	1" - 100'	REVISIONS	DATE	BY	СК	REVISIONS	DATE	BY	СК
	DATE	09/15/05	ADD EASEMENTS PER O.R.B. 8727, PG. 908	01/24/06	J.T.D.					
1	JAIE	09/10/00	VERIFY BOUNDARY; UPDATE TO ALTA/ACSM; REV. TITLE COMMIT.(F.B.1345/18)	06/22/06	S.A.M.	J.T.D.				
	BY	C.L.P.	UPDATE BOUNDARY, TITLE COMMITMENT & RECERTIFY (SKETCH)	07/31/06	S.A.M.	J.T.D.				
	<b>9</b> T	U.L.P.	UPDATE-ADD BENCHMARK AND FLOOR ELEVATIONS (F.B. 1346/49 & SK.)	08/22/06	S.A.M.	J.T.D.				
	CK'D.	J.T.D.	UPDATE PER REVISED TITLE COMMITMENT & COMMENTS	09/13/06	S.A.M.	J.T.D.				
1	JR D.	J.I.D.	FIELD UPDATE BOUNDARY AND IMPROVEMENTS	05/09/12	JTD					
	ED 1288	PG. 03	FIELD UPDATE BOUNDARY & REVISE TO ALTA/ACSM STANDARDS (SK.)	12/05/12	S.A.M.	J.T.D.				
f L	.D. 1200	FG. 03								<u> </u>
	JOB NO.	7901								

ALTA/ACSM LAND TITLE SURVEY PORTION OF PARCEL 'B'

ORIOLE-MARGATE SECTION 4

BROWARD COUNTY FLORIDA

SHEET OF



ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

OFFICES:

In 1000 CORPORATE DR.

SUITE 250

FT. LAUDERDALE, FLORIDA 33334

TAMPA, FLORIDA 33609

KNOW WHAT'S BELCALWAYS CALL 8'S BEFORE YOU D'It's fast. It's free. It's the law.

www.callsunshine.com

PROJECT No.: DRAWN BY: CHECKED BY: CAD I.D.:

PROJECT:

PALM LAKES PLAZA

STOCKBRIDGE PALM

PLANTING PLAN-2

LAKES PLAZA LLC

CITY OF MARGATE FLORIDA

ENGINEERING GROU

RADICE III
1000 CORPORATE DRIVE, SUITE 250
FORT LAUDERDALE, FL 33334
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

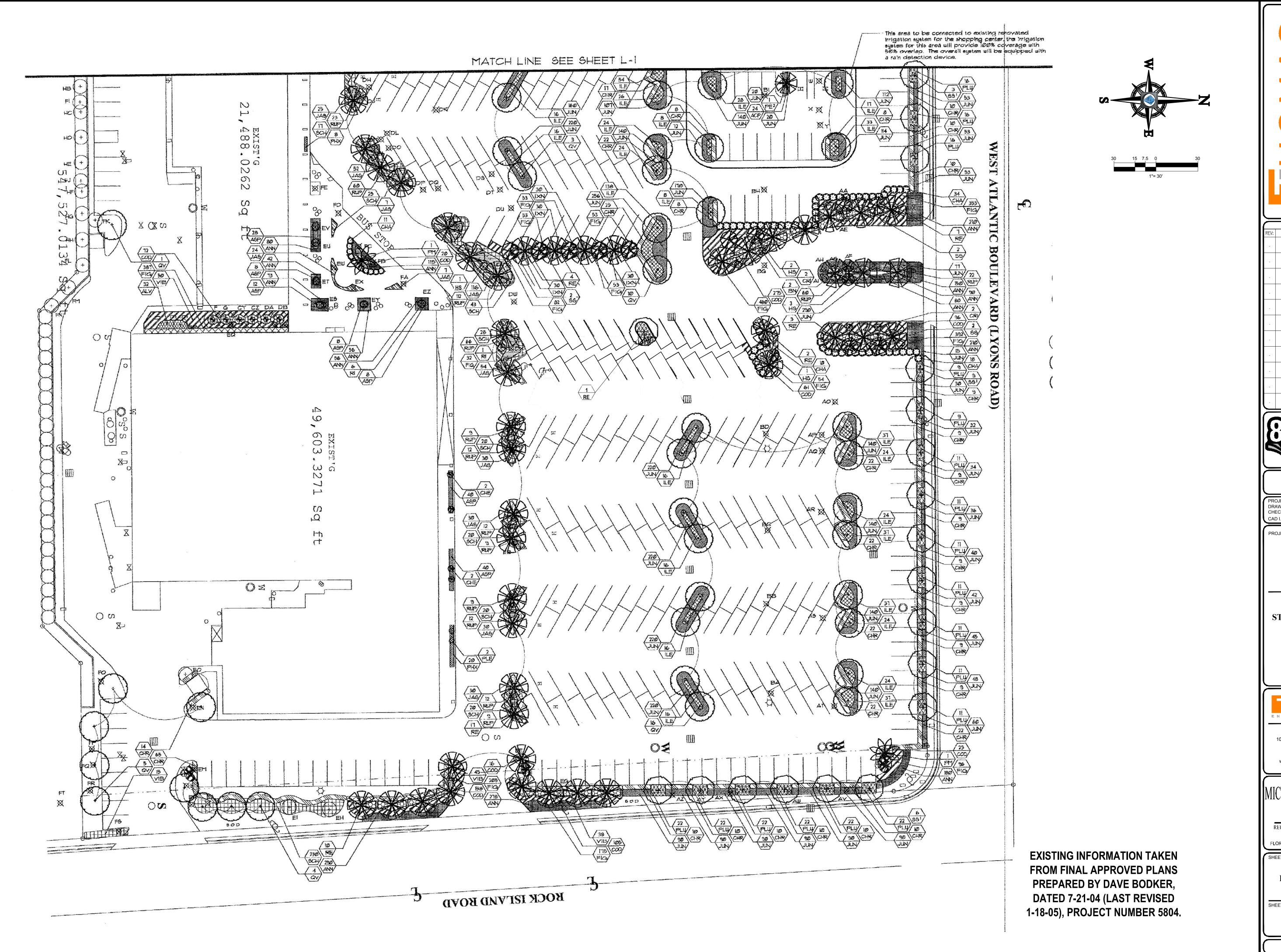
MICHAEL D. GROSSWIRT

REGISTERED LANDSCAPE ARCHITECT January 9, 2014 FLORIDA LICENSE No. 6666871 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

PLANTING PLAN 1

SHEET NUMBER:



COMMENT:



PROJECT No.: DRAWN BY: CHECKED BY:

PALM LAKES **PLAZA** 

STOCKBRIDGE PALM LAKES PLAZA LLC

CITY OF MARGATE FLORIDA

RADICE III

1000 CORPORATE DRIVE, SUITE 250
FORT LAUDERDALE, FL 33334
PH: (954) 202-7070
FX: (954) 202-7070 www.ThomasEngineeringGroup.com

MICHAEL D. GROSSWIRTH

REGISTERED LANDSCAPE ARCHITECT January 9, 2014 FLORIDA LICENSE No. 6666871 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

PLANTING PLAN 2

**L-2** 

# EXISTING TREE LIST

	51NG IT	STELIOL	
SYM	9PECIES	DESCRIPTION	<u>STATUS</u>
AB	Washingtonia	40' ht.	remove
	Washingtonia	40' ht.	remove
в С Р	Washingtonia Black olive	40' ht. 12" cal. 40' ht. x 40' epr.	remove remain
D E F	Jacaranda Foxtail palm	40' hi x 50' spr. 10' o.s. hi.	remain relocati
G	Foxtall palm	10° 01. ht.	relocati
Н	Washingtonia palm	50° 01. ht.	remove
J	Washingtonia palm	40' o.a. ht. 40' o.a. ht.	remove remove
K	Washingtonia palm	40' o.a. ht.	remove
L	Black olive	18" cal. 40" ht. x 30" spr.	
X 7 0	Bottlebrush tres Folnciana	14' ht. x 14' spr. multi-trunk 18" cal. 30' ht. x 40' spr. 12' ht. x 8' spr. 6" cal.	remove remove
P	Bottlebrush tree Loquat Poinciana	5" cal. 14" ht. x 8" spr. poor 24" cal. 40" ht. x 40" spr.	remove
R	Washingtonia	25' ht. poor	remove
S	Black olive	30' ht. x 30' spr., 12" cal.	
T	Live oak	8" cal. 20' ht. x 20' spr.	remove
U	Acacia	18" cal. 30' ht. x 30' spr.	
m	Live oak	4" cal. 18' ht. x 12' spr. poor	remove
A	Poinciana	12" cal. 20' ht. x 20' spr.	
×	Poinclana	12" cal. 20" ht. x 20" spr.	remove
Υ	Poinclana	12" cal. 20" ht. x 20" spr.	
Y'	Black olive Black olive	12" cal. 30" ht. x 30" spr. 18" cal. 35" ht. x 35" spr.	renove
AA	Washingtonia	35' o.a. ht.	remove
AB	Washingtonia	35' o.a. ht.	
AC AD AE	Washingtonia Washingtonia	38' o.a. ht. 35' o.a. ht. 35' o.a. ht.	remove remove
AF AG	Washingtonia Bottlebrush Washin <b>gto</b> nia	12' ht. x 6' spr. poor 40' os. ht.	ranove
AH	Washingtonia	35' o.a. ht.	remove
Al	Washingtonia	20' o.a. ht.	
AK	Illashingtonia Bottlebrush	35' c.a. ht. 12' ht. x 6' apr. poor	remove
AL	Bottlebrush	12' ht. x 6' spr. poor	remove
AM	Bottlebrush	12' ht. x 6' spr. poor	remove
AN	Black olive	i8" cai, 30' ht. x 25' epr.	remove
AO	Black olive	i2" cai, 30' ht. x 30' epr.	remove
AP	Poinciana	12" cal. 20" ht. x 20" spr. poor	remove
AQ	Poinciana	12" cal. 20" ht. x 20" spr. poor	remove
AR	Live oak	12" cal. 20" ht. x 20" spr.	remove
As	Live oak	12" cal. 25" ht. x 25" spr.	
AT	Poinciana	24" cal. 25' ht. x 40' spr.	remove
AU	Acacia tree	30" cal. 50' ht. x 40' spr.	
AV	Live oak Live oak	14" cal. 30" ht. x 30" epr. 14" cal. 30" ht. x 30" epr.	remove
AY AY	Live cak Bottlebrush Bottlebrush	14" cal. 36" ht. x 36" epr. 12" cal. 14" ht. x 16" epr. 12" cal. 14" ht. x 16" epr.	remove remove
AZ	DOTTISDI GEN	the cost to the X to spire	1 DING V CA
BA	Schefflera	12" cal 30' ht. x 30' spr.	remove
BB	Black olive	12" cal 30' ht. x 30' spr.	remove
BC	Black olive	24" cal. 40" ht. x 40" spr.	remove
BD	Black olive	16" cal. 40" ht. x 40" spr.	remove
BE	Foxtail palm	10' o.e. hr.	remove
BF	Foxtail palm	10' o.e. hr.	remove
8G	Black olive	16" cal. 40" ht. x 40" epr.	remove
BH	Black olive	18" cal. 40" ht. x 40" epr.	
BJ	Black oilve	12" cal. 30" ht. x 30" sor.	remove
BJ	Black oilve	14" cal. 35" ht. x 35" spr.	
ek	Black olive	12" cal. 30" ht. x 30" spr.	remove
ek	Bottlebrush	20" ht. x 20" spr. nulti	
BM BN BO	Bottlebrush Bottlebrush	20' ht. x 20' spr. multi Poor condition Poor condition	remove remove
BP BQ	Bottlebrush Bottlebrush Washingtonia	a" cal. 18" ht. x 16" spr. 40" o.a. ht.	remove
BR	Washingtonia	40' oa. ht.	remove
BS	Washingtonia	40' oa. ht.	
BT	Washingtonia	40° o.a. ht.	remove
BU	Bottlebrush	Multi trunk 20° ht. x 20° spr.	remove
BY	Bottlebrush Areca paim	Multi trunk 20' ht. x 20' spr. 5 trunks 20' o.a. ht.	remain
BX	Bischofla	18" cal 50" ht. x 40" spr.	remain
BY	Jacaranda	50" ht. x 50" spr.	remain
BI	Jacaranda	40' ht. x 40' spr.	remain
CA	Bischoffa	6" cal 30' ht. x 30' spr.	remain
CB	Bischoffa	6" cal 30" ht. x 30" spr.	remain
CC	Jacaranda	40" ht. x 40" spr.	remain
CD	Jacaranda	40' ht. x 40' spr.	remain
CE	Jacaranda	40' ht. x 50' spr.	remain
CF CG ≈	Bischofia Acacia	40' hL x 40' spr. 40' hL x 40' spr.	remain remain
CH Ci	Bischofia Bischofia	30' ht. x 20' spr.  0"cal 20" cal 40' ht. x 20' spr. 10" cal 30' ht. x 20' spr.	remain remain remain
GK GK GK GL	Gumbo limbo Gumbo limbo	40 ht. x 30' spr. 40 ht. x 30' spr.	remain remain
CM	Gunico limbo	40 ht. x 30' spr.	remain
	Gunico limbo	40 ht. x 30' spr.	remain
CO	Biachofia	14" cal 40" ht. x 30" spr.	remain
CP	Biachofia	14" cal 40" ht. x 30" spr.	remain
CR	Poinciana	12" cal 30" ht. x 20" spr.	remain
	Loquat	5" cal 20" ht. x 20" spr.	remain
C5	Poinciana	12° cal 30° ht. x 20° spr.	remain
CT	Jacaranda	40° ht. x 30° spr.	remain
CA.	Loquat Loquat	12" cal 20" ht. x 20" spr. poor 12" ht. x 12" spr. poor	remove
CX CM	Bottlebrush Dracena	Poor condition Poor condition	remove
CX	Foxtall palm	12' o.a. ht.	relocati
	Foxtall palm	12' o.a. ht.	relocati
DA	Foxtall palm	ie'oa.h.	relocati
DB	Foxtall palm	ie'oa.h.	relocati
DC	Foxtall paim	12' o.a. ht.	relocati
DD	Foxtall paim	12' o.a. ht.	relocati
DE	Foxtail pain	i2' oa. ht.	Lewone
DF	Black olive	8" cai, 20' ht. x 20' spr.	Lewone
DG	Black olive	8" cal, 20" ht. x 20" spr.	renove
DH	Washingtonia palm	35" c.a. ht.	renove
DJ	Washingtonia palm	35' oa. ht.	remove
DI	Washingtonia palm	35' oa. ht.	
DK	Bottlebrush	Multi trunk 25' ht. x 35' epr.	remove
DL	Washingtonia palm	35' o.a. ht.	remove
DM	Washingtonia paim	35' o.a. ht.	remove
DN	Washingtonia paim	35' o.a. ht.	remove
DO	Washingtonia palm	35' oa. ht.	Lewone
PP	Acacia	18" cal, 40' ht. x 40' spr.	Lewone
DQ	Acacia	12" cal, 30" ht. x 30" spr.	remove
DR	Schefflera	24" cal, 30" ht. x 30" spr.	remove
D6	Black olive	8" cal, 20" ht. x '0" spr.	remove
DT	Black olive	8" cal, 20" ht. x i0" spr.	remove
DV	Schefflera	12" cal, 20" ht. x 20" spr.	remove
DV	Buttlebrush	18" cal, 20" ht. x 20" spr.	remove
DW	Buttlebrush	18" cal, 20" ht. x 20" spr.	remove
DX	Foxtail palm	10" c.a. ht.	remove
DY	Foxtall palm	10' o.a. ht.	remove
DZ	Schofflera	30" cal, 20' ht. x 30' apr.	
DZ'	Foxtall palm	12' o.a. ht.	relocat

Ą	Schefflera	40" cal, 25" ht. x 30" epr.	renove
EB	Foxtail palm	lo' oa. ht.	relocat
C	Foxtail palm	10' ca.ht.	relocat
ED.	Jerusalem thorn	12" ht. x 12" spr.	remove
E	Washingtonia paim	35' o.a. ht.	remove
EF	Washingtonia palm	35' o.a. ht.	remove
EG.	Bottlebrush	10" cai, 16' ht. x 16' spr.	remove
<b>∃</b> <del>}}</del>	Live oak	12" cal, 25' ht. x 30' spr.	remain
Ξ1 <u>.</u>	Live oak	14" cal, 30' ht. x 20' spr.	remakı
ĒJ •v~	Bottlebrush	12" cal, 16" ht. x 16" spr.	renove
EK EL	Bottlebrush	12" cal, 16' ht. x 16' spr. 40" cal. ht.	remove
EL'	Washingtonia palm Washingtonia palm	40' o.a. ht.	remove
iM.	Washingtonia pain	40' c.a. ht.	remove
EN .	Foxtail palm	10' oa. ht.	relocat
Ø	Bottlebrush	5" cal, 12' ht x 14' epr.	remain
P	Poinciana	18" cal, 40" ht. x 40" spr.	remain
Q	Loquat	12" cal, 30" ht. x 30" spr.	remove
R	Loquat	12" cal, 30" ht. x 30" spr.	remove
5	Adnoidle pelm	Double trunk 6' ca. ht.	remove
ΞŢ	Adnoidia palm	Triple trunk 6' o.a. ht.	remove
<u>:</u> u	Adnoidía palm	Double trunk 6' oa. ht.	renove
EV.	Adnoidia paim	Double trunk 6' o.a. ht.	remove
EW	Adnoidia palm	Double trunk 6' o.s. ht.	remove
EX EY	Adnoidia paim	Double trunk 6' o.a. ht.	remove
ΞŹ	Adnoidia palm Adnoidia palm	Double trunk 6' o.a. ht. Triple trunk 6' o.a. ht.	remove evonet
-4.	- Later Charles paris	The traine on the	1 CHOYS
Ą	Adeotolia palm	Triple trunk 8' o.a. ht.	FORDYS
8	Royal palm	14' o.a. ht.	renove
C	Royal palm	14' o.a. ht.	remove
PD	Adnoidia paim	12' o.a. ht.	remove
E	Adnoidia palm	6' o.s. ht. triple trunk	LEWOAR
<del>†</del>	Jacaranda	40' ht x 40' spr.	remain
G	Acacia	16" cal, 40" ht. x 40" spr.	renak
<del>1</del> 4	Jacaranda	24" cat, 40' ht. x 40' spr.	remáln
₹ ₹ <b>J</b>	Jacaranda Jacaranda	24" cat, 40' ht. x 40' spr.	remain
າ *<	Jacaranda Biscaptia	24" cal, 40" ht. x 40" spr. 20" cal, 50" ht. x 40" spr.	remain remain
1	Liquetrum tree	12' ht. x 12' spr.	remain
Ħ	Bottlebrush	20' ht. x 20' spr.	renain
N	Bottlebrush	20' ht. x 20' 6pr.	remain
-0	Sehefflera	20' ht. x 20' spr.	renove
P	Bottlebrush	lø' ht. x 5' spr.	remove
G.	Washingtonia	30' o.a. ht.	remove
R	Washingtonia	25' o.a. ht.	remove
S	Washingtonia	25' oa. ht.	remove
T.	Weaping fig	20' ht. x 20' spr. offelte	remain
u.	Liguatrum tree	12' ht. x 12' spr., multi trunk	reanain
Y	Ligustrum tree	12" ht. x 12" spr., multi trunk	remain
W.	Liguatrum trea	12' ht. x 12' spr., multi trunk	remain
×	Liquetrum tree	12' ht. x 12' spr., multi trunk	remain
<b>,</b>	Liqueirum tree	12' ht. x 12' epr., multi trunk 12' ht. x 12' epr., multi trunk	remain
Z	Ligustrum tree Liqustrum tree	12' ht. x 12' spr. multi trunk	remain remain
žΑ	Ligustrum tree	12' ht. x 12' spr., multi trunk	remain
<b>i</b> 13	Liquetrum tree	12' ht. x 12' epr., multi trunk	remāin
ac.	Liguetrum tree	12' ht. x 12' spr., multi trunk	remain
SD	Ligustrum tree	12' ht x 12' spr., multi trunk	ræmain
3E	Ligustrum tree	12' ht. x 12' apr., mult) trunk	remain
aF.	Liguatium tree	12' ht. x 12' spr., multi trunk	remain
aG:	Liguetrum tree	12' ht. x 12' epr., mult1 trunk	renain
3H - 1	Liquistrum tree	12" ht. x 12" spr., multi trunk	remain
51 - 1	Ligustrum tree	12' ht x 12' epr., multi trunk	remain
ā.J 3≮.	Ligustrum tree	12' ht x 12' apr, multi trunk	renain
il.	Ligustrum tree Ligustrum tree	12' ht. x 12' spr., multi trunk 12' ht. x 12' spr., multi trunk	remain remain
aM	Liguetrum tree	12' ht. x 12' epr., multi trunk	remain
aN.	Liguatrum tree	12' ht. x 12' spr., multi trunk	remain
3O	Liquetrum tree	12' ht. x 12' epr., multi trunk	remain
ap-	Liquetrum tree	12' ht. x 12' epr., multi trunk	remain
3Q	Ligustrum tree	12' ht. x 12' epr., multi trunk	remain
aR.	Liquatrum tree	12' ht. x 12' epr., multi trunk	remain
5 <b>5</b>	Liguatrum tree	12' ht. x 12' ejor., multi trunk	remain
3U	Ligustrum tree	12' ht. x 12' spr., multi træk	remain
5V	Liguatrum tree	12' ht. x 12' spr., multi truck	renain
3W	Ligustrum tree	12' ht. x 12' spr., multi trunk	remain
äΧ Sec	Liguatrum tree	12' ht, x 12' spr., multi trunk	remain
31	Liquetrum tree	12' ht. x 12' epr., multi trunk	remain
		12' ht. x 12' epr., multi trunk	remain
IA.	Liquetrum tree	12' ht. x 12' spr., multi trunk	remain
B	Liguetrum tree	12' ht. x 12' spr., mult! trunk	remain
<del> </del>	Ligustrum trea	12' ht. x 12' spr., multi trunk	remain
₩D	Liquetrum tree	12' ht. x 12' spr., multi trunk	remain
4E	Ligustrum tres	12' lnt. x 12' spor., multi trunk	remain
4F	Ligustrum tree	12" ht. x 12" spr., multi trunk	remain
<del> </del>  G	Ligustrum tree	12' ht. x 12' spr., multi trunk	remain
<del>{H</del>	Liguetrum tree	12' ht, x 12' spr., multi trunk	remain

# CODE DATA

(b), Required Landscaping Abutting RO.	W'a
Rock Island Road	22.3-
(1)   tree/40' =	
and the side of the company of the c	4.400

13 trees required 586'-84' = 504'/40' = 13 trees provided or exist Minimum of 20% must be palms
3 palms = 1 tree

2 palms required 2 pains provided hedge required hedge provided

<u>Atlantic Blvd.</u> 980'-117' = 863'/40 =

22 trees required 22 trees provided of exist

22 x 200 =

4 palms required 4 palms provided hedge required hedge provided

Parking Area Interior Landscaping
(a) 10 sq. Pt. of Interior landscaping/parking space, excluding spaces abutting perimeters.
452 parking spaces x 10 = 4,520 sq. Ft. Int. landscape area required in excess of 5,000 sq. Ft. int. landscape area provided

(b) I tree required/150 sq. ft. of landscape required landscaping required Required sq. ft. 4,520/150 = 30

30 trees required 51 trees provided or exlet

Minimum Landscape Requirements For Zoning Districts

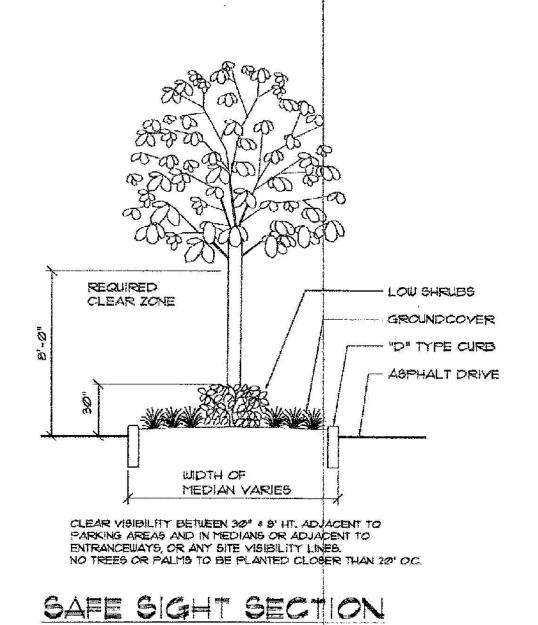
(c) Non Residential Districts

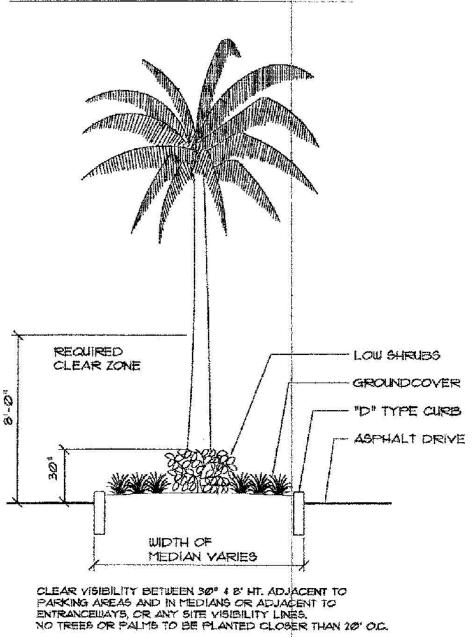
1,4441/20 =

6' ht. wall required 6' ht. wall provided 13 trees required 3 trees provided 67 trees exist +16' oa. ht. areca pains

# PLANT LIST

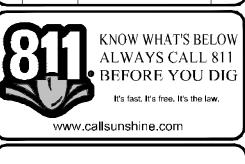
SYM BN	BOTANICAL/COTTON NAME Bismarkia nobilis Bismarck Palm	SPECIFICATIONS  16' ca. ht., opeciman	<u>GTY</u> 3
H\$	Hibiscus spp. Hibiscus Standard	5' ht. x 3' spr., standard	14
PE	Ptychosperma elegans Alexander Palm	16° pa. ht., single trunk	20
FE <sup>2</sup>	Ptychosperma elegans Double Alexander Palm	16' oa. ht., double trurk	7
PE3	Ptychosperma elegana Triple Alexander Palm	16' oa. ht., tripia trunk	1
FM	Phoenix medjool Medjool Date Falm	10° ct, opeciman	2
QY	Quercus virginisna Live Oak	12' ht. x 6' spr. 2½" cal. contains grown, T' cat.	54
RE	Roystonea elata Florida Royal Palm	25' oa. ht.	59
RI	Raphiolopsie indica Std. Indian Hawthorn	5' ht. x 3' spr., standard	11
\$ <del>\$</del>	Serná aurrátensis Glaucous Cassia	10' ht. x 5' spr. 2" cet	15
661	Laegerstromia indica Crepe Myrtle	12' ht. x 6' spr. 8' c.t., single trunk	30
ACP	Acalypha pendula Trailing Chenilla	I gal, 10° spr., 12° oc	338
AGL	Aglachema silver queen Silver Queen	1 gal, 10" ht x 10" spr., 18" o.c.	36
ALY	Alpinia variegata Variegated Ginger	3 gal, 24" ht. x 24" spr., 24" oc.	32
ANN	Annuals to be selected by Landscape Architect	4" pots, 12" o.c.	2,167
ASP	Asparāgus dens. myers Foxtail Asparagus	l gal, lø" spr. lø" o.c.	217
CHA	Chamaedorea cataractarum Cat Paim	4' tt. x 4' spr.	94
CHE	Chamaedorea elegana Parlor Palm	6' ht. x 4' spr.	20
CHR	Chrysobalanus icaco Cocopium Hedge	3 gal, 24" ht x 24" spr., 24" oc.	751
COD	Codiaeum variegatum Mammey Croton	3 gal, 24" ht. x 24" spr., 24" o.c.	1,237
CRI	Crinum amabile Purple Crinum Lily	10 gal, 31 ht. x 31 spr.	5
CYR	Cyrtomium falcataum Holly Fern	1 gal., 12" spr., 18" o.c.	109
FIC	Ficus benjamina Ficus Hedge	6' ht x 2' spr., 24" oc.	20
FiG	Ficus microcarpa Ficus Green Island	1 gal, 12" spr., 18" o.c.	2,914
HEL	Heloconia stricta Dwarf Heliconia	3 gal, 12" ht. x 12" apr., 18" o.c.	79
ILE	llex vomitoria Dwarf Taupon	3 gal, 12" ht x 12" spr., 18" oc.	928
ixn	ixora 'nora grant' Nora Grant ixora	3 gal, 24" ht. x 24" spr., 24" o.c.	248
Jas	Jansinum volubila Wax Jasmina	3 gal, 24" ht. x 24" spr., 24" o.c.	856
JUN	Juniperus ch. parsonii Parsons Juniper	i gal. 10° spr., 12° oc	6,165
LIR	Linope evergreen glant Glant Linope	1 gal, 12" spr., 12" o.c.	722
PHX	Philodendron xanadu Dwarf Philodendron	3 gai, 24" ht. x 24" spr, 24" o.c.)	279
PLE	Draceana reflexa Vareigated Draceana	15 gal, 61 ht. 3 ppp	, 12
PLU	Piumbago auriculata Piumbago	3 gal, 24" ht x 24" spr., 24" oc.	475
RUP	Rueilla brittoniana Purple Stouera	3 gal, 24" ht. x 24" spr, 24" oc.	675
SCH	Schefflera arboricola Variegated Trinette	3 gal, 24" ht. x 24" spr., 24" o.c.	665
ΛΙΒ	Viburium suspensum Viburium Hedge	3 gal, 24" ht. x 24" spr., 24" o.c.	148
6 <i>0</i> D	Stenotaphrum secundatum St. Augustine Floratam	full, Fresh soci	as reqid
	100		





SAFE SIGHT SECTION

**EXISTING INFORMATION TAKEN** FROM FINAL APPROVED PLANS PREPARED BY DAVE BODKER, DATED 7-21-04 (LAST REVISED 1-18-05), PROJECT NUMBER 5804.



PROJECT No. DRAWN BY: CHECKED BY: CAD I.D.: PLANTING PLAN-2

PROJECT:

PALM LAKES **PLAZA** 

STOCKBRIDGE PALM LAKES PLAZA LLC

CITY OF MARGATE

FLORIDA

1000 CORPORATE DRIVE, SUITE 250 FORT LAUDERDALE, FL 33334 PH: (954) 202-7000 FX: (954) 202-7070 www.ThomasEngineeringGroup.com

REGISTERED LANDSCAPE ARCHITECT FLORIDA LICENSE No. 6666871 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

PLANTING PLAN 3

**L-3** 



City of Margate 5790 Margate Boulevard Margate, FL 33063 954-972-6454 www.margatefl.com

# AGENDA ITEM FACT SHEET Item No: 3.

**TO:** Development Review Committee

**FROM:** Benjamin J. Ziskal, AICP

**DATE:** February 20, 2014

**RE:** DRC NO. 02-14-05. PETITION: Consideration of a site plan approval, for improvements

to Kaye Stevens Park.

**LOCATION:** 5825 Royal Palm Boulevard

**ZONING:** S-1 Recreational District

**LEGAL DESCRIPTION:** Lot 31, "IBEC ADDITION NO. 2," according to the plat thereof, as recorded in

Plat Book 47, Page 21 of the public records of Broward County, Florida.

**PETITIONER:** Adriane Esteban, agent for the Margate Community Redevelopment Agency.

**BACKGROUND:** Proposed improvements consist of adding a sidewalk, driveway,

irrigation, and park amenities such: as picnic table shelters, swing, park

benches, picnic tables and receptacles.



#### City of Margate DEVELOPMENT REVIEW COMMITTEE Application for Site Plan

5790 Margate Blvd., Margate, FL 33063 954-972-6454

Submittal Date (official use):

Project Name Kaye Stevens	urk Renovations	PCHO	
Address 5825 Royal Pa	n Blvd.	DRC # 02-14-05	
Acreage 1.87 Folio Number	4841 25 08 0320	Paid:	
Existing Use Passive Park			
Legal Description  1 BEC ADD	02 47-21 BLO	T 31	

Describe proposal/request in detail, including non-residential square footage and/or number of dwelling units	
Adding sidewalk, driveway and park amenities	
such as pinic table shelter, swing, park bunch, picnic table and receptacles. Also adding imagation.	
table and receptacles. Also adding imagation.	

Agent/Contact Name	Margate	Commun	city Redevel	opment	ASCNOVICE
Address 5790	Margate				
Mara	ate IFL	33063			
Phone Number 195	4) 935-53	23	Fax Number 954)	935-52	211
Email Address	craprolec	ts(a mar	aatefi-con	1	

Property Owner Name City of Margate			
Address 5790 Margate Blvd.			
Maraate, FL 33063			
Phone Number (954) 972 - 6454 Fax Number			
Email Address city manager @ margatefl. com			

OWNER'S AFFIDAVIT: I certify that I am the owner of record for the above referenced property and give authorization to file this petition. I understand that I, or a representative on my behalf, must be present at the DRC meeting. I further understand that my petition will be subject to the regulations of Chapter 16 1/2 of the Margate City Code.



Date 02/18/14



# KAYESTEVENS PARK RENOVATIONS

# CRA BOARD

Chair, Lesa Peerman
Vice-Chair, Joanne Simone
Board Member, Brian Donahue
Board Member, Tommy Ruzzano
Board Member, Frank Talerico

# CRA STAFF

Executive Director: Jerry Blough
Assistant Director: Rachel Bach
CRA Coordinator: Rita Rodi

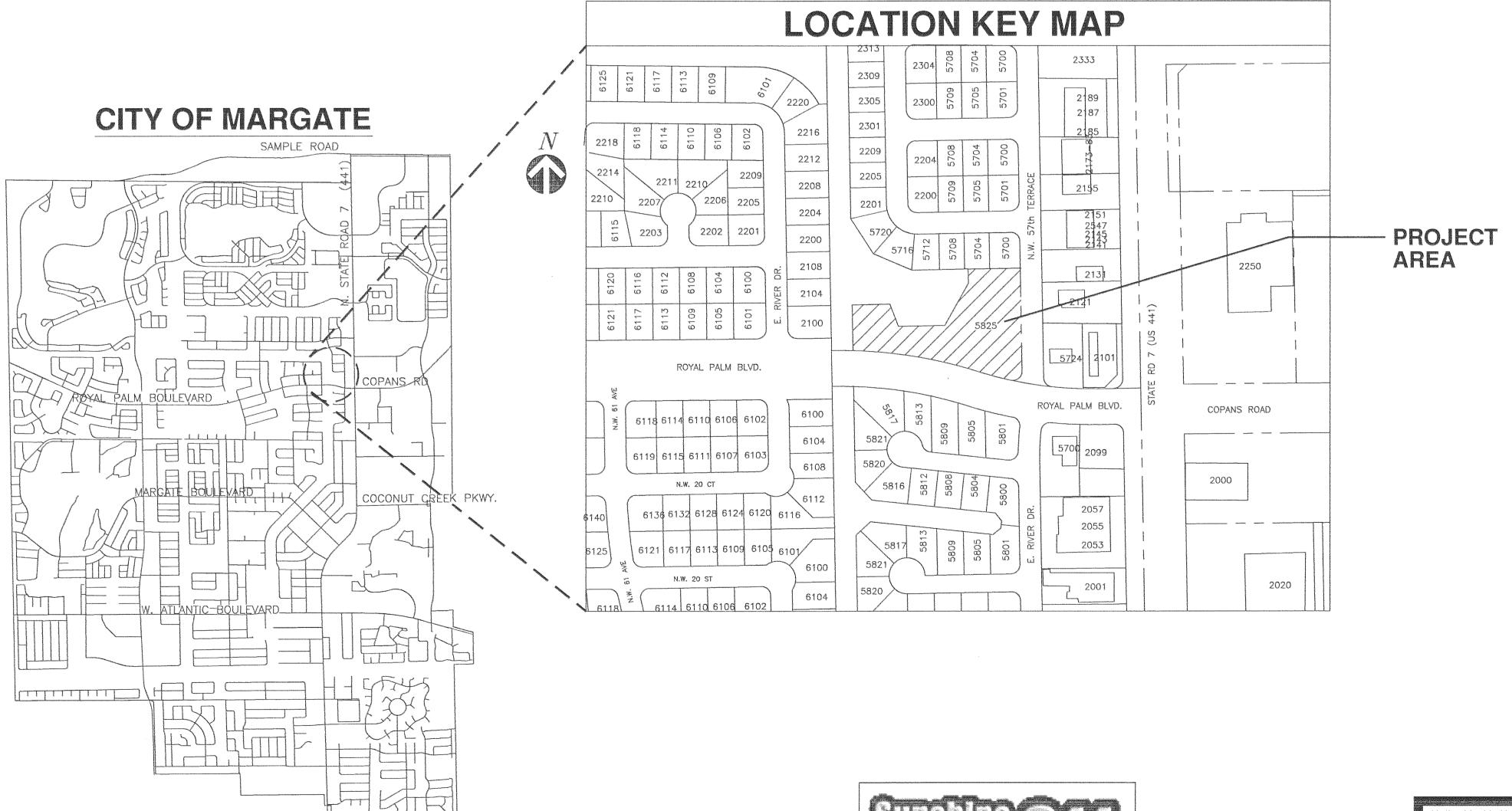
# PROJECT CONTACT

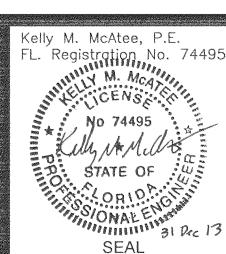
Micheal A. Jones, Director Parks and Recreation

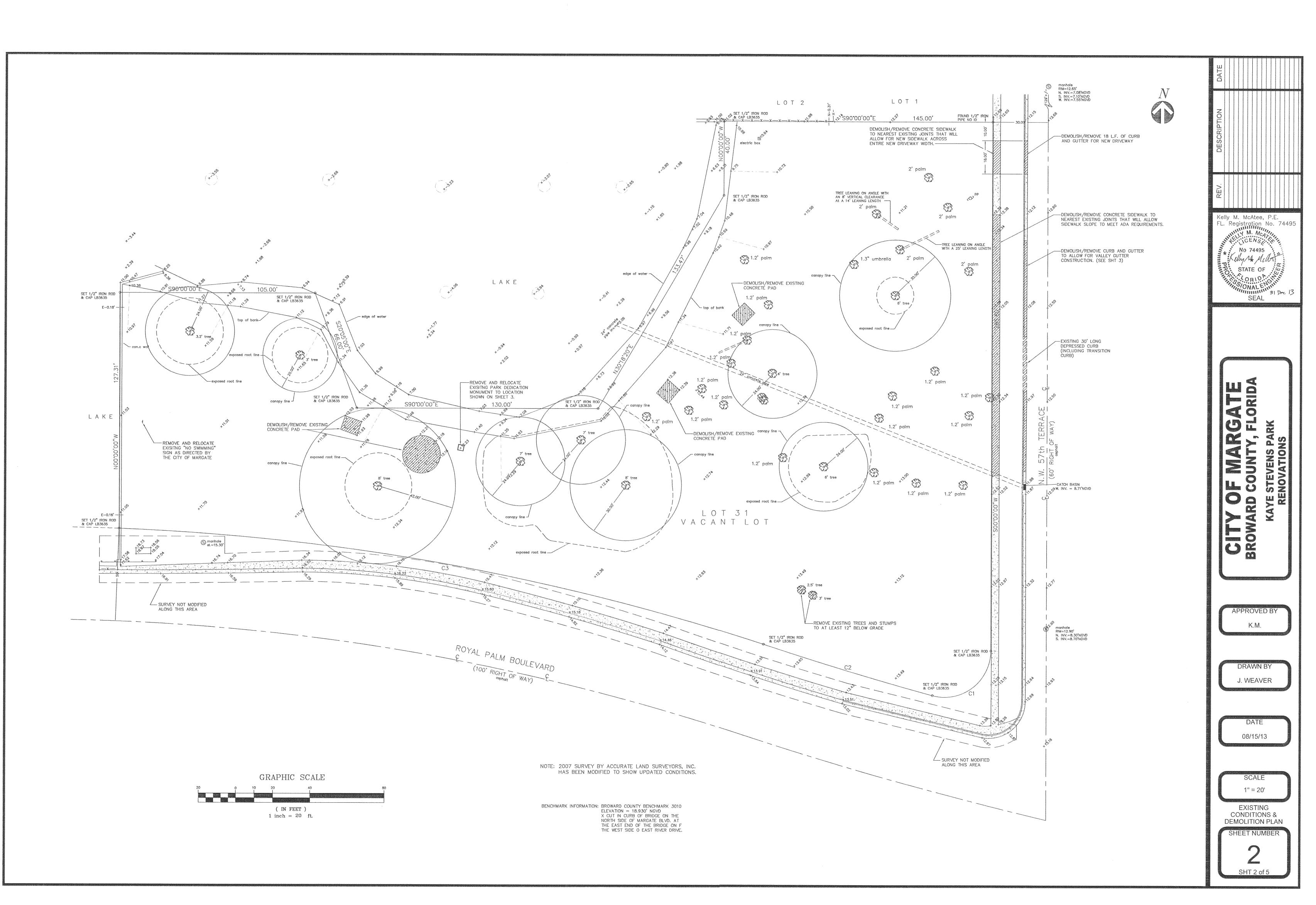
# ENGINEER OF RECORD

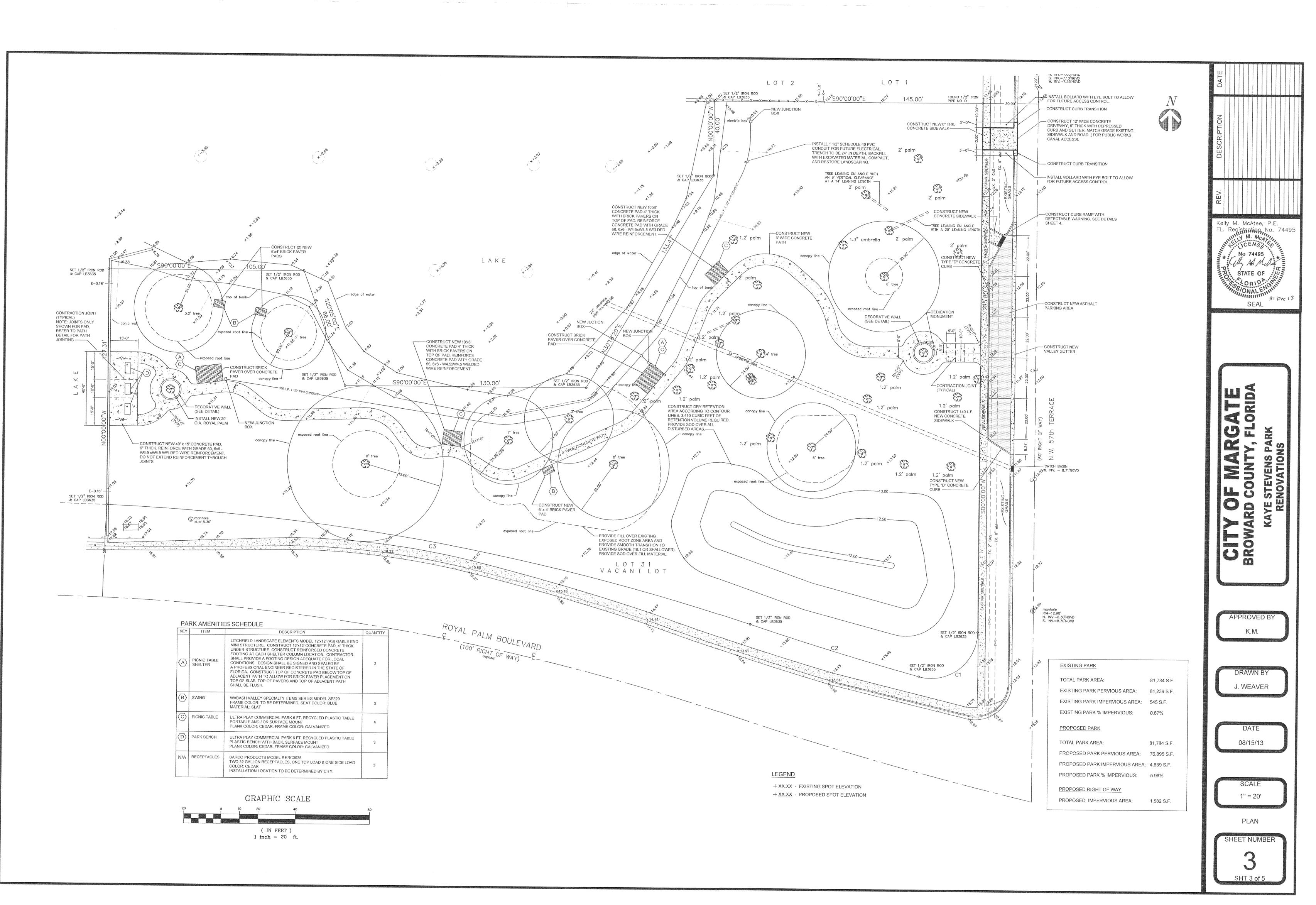
Kelly M. McAtee, P.E.

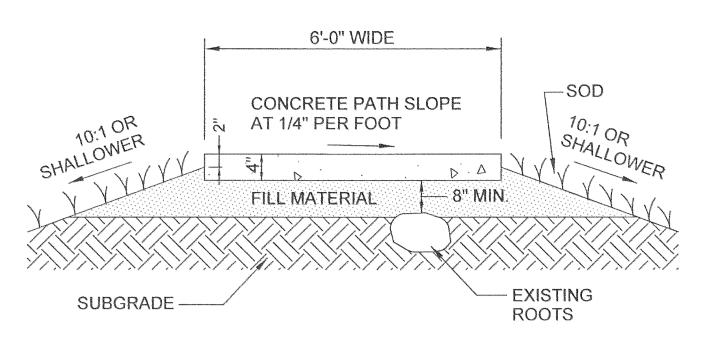
Department of Environmental & Engineering Services





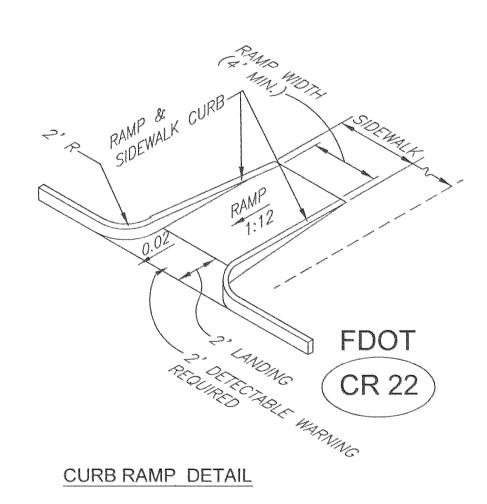


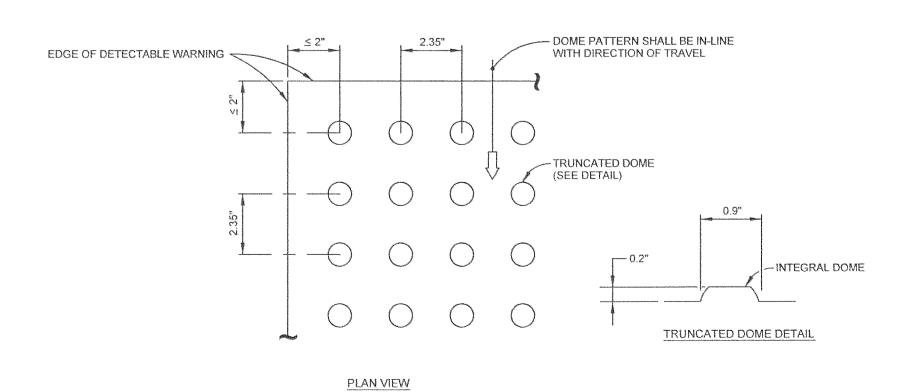




- 1. REMOVE EXISTING GRASS AND TOPSOIL AS NEEDED TO ENSURE PATH IS NOT CONSTRUCTED ON TOP OF ORGANICS.
- 2. PROVIDE SUITABLE FILL MATERIAL AS NEEDED TO MEET ADA SLOPE REQUIREMENTS AND PROVIDE REQUIRED COVER OVER EXISTING ROOTS.
- 3. PROVIDE 1/8" CONTRACTION JOINTS AT 6' C.C. WITH A MINIMUM DEPTH 1 1/2", EDGED WITH 1/2" RADIUS OR PROVIDE SAWED JOINTS 3/16" WIDE AND NOT LESS THAN 1 1/2" DEPTH WITHIN THE FOLLOWING TIME PERIODS: JOINTS AT NOT MORE THAN 30' INTERVALS WITHIN 12 HOURS AFTER FINISHING. REMAINING JOINTS WITHIN 96 HOURS AFTER FINISHING.
- 4. PROVIDE A 1/2" EXPANSION JOINT WITH NON-RISING PREFORMED JOINT FILLER AT JUNCTION OF EXISTING AND NEW SIDEWALK OR OTHER CONCRETE.
- 5. PROVIDE 4" THICK CONCRETE FOR ALL PATHS.
- 6. CONCRETE TO BE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS
- 7. ALL CONSTRUCTION SHALL CONFORM TO LOCAL CONSTRUCTION CODES AND STANDARDS.
- 8. PROVIDE SOD OVER FILL MATERIAL.

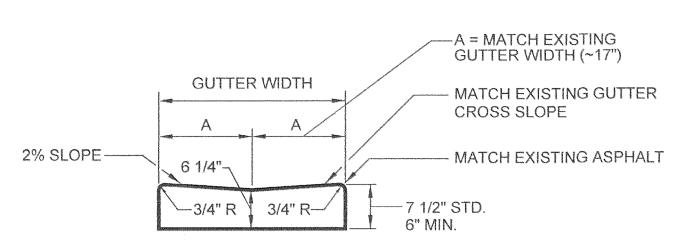
#### CONCRETE PATH DETAIL



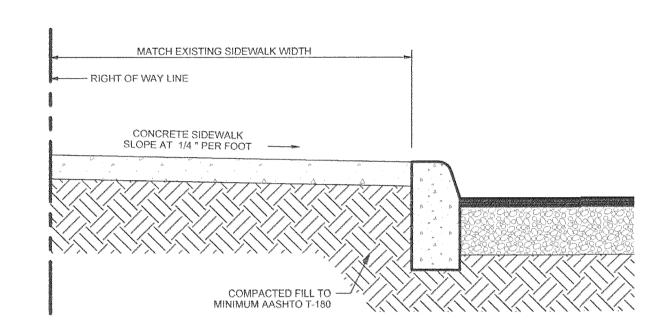


ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES (610 MM) FROM THE BACK OF CURB.

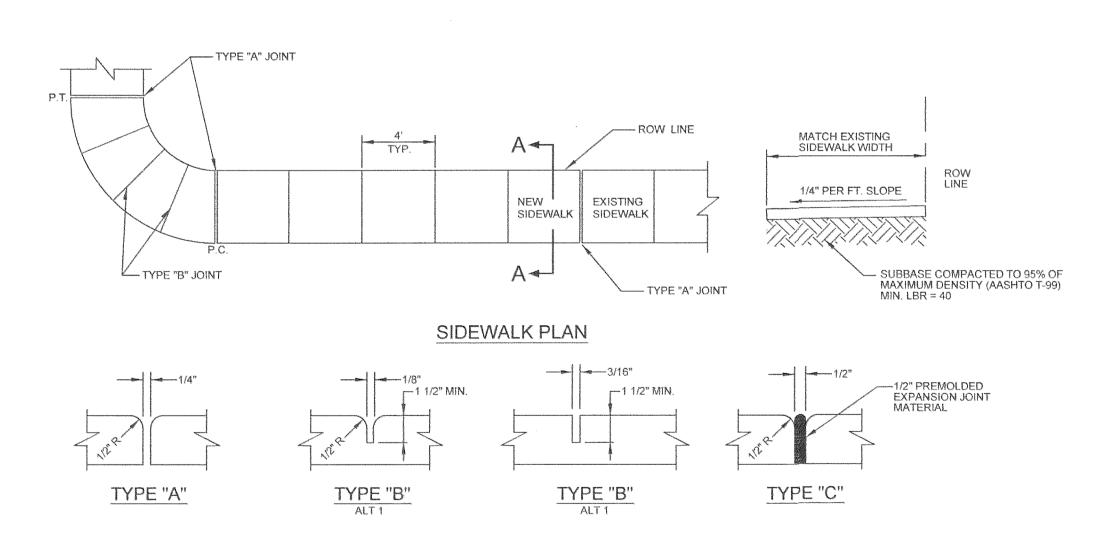
CURB RAMP DETECTABLE WARNING DETAIL



# VALLEY GUTTER DETAIL



SIDEWALK AT CURB DETAIL



CONCRETE PAVEMENT & SIDEWALK JOINTS

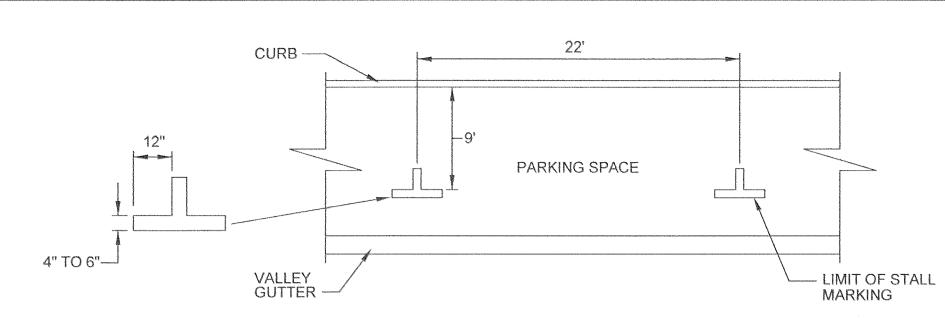
# TABLE OF SIDEWALK JOINTS LOCATION "A" P.C. AND P.T. CURVES. 4'-0" CENTER TO CENTER ON SIDEWALKS. 15' CENTER TO CENTER MAX. FOR CONCRETE PAVEMENT UNLESS OTHERWISE INDICATED. JUNCTION OF EXISTING AND NEW SIDEWALKS.

- 1. PROVIDE 1/8" CONTRACTION JOINTS AT 4' C.C. WITH A MINIMUM DEPTH 1 1/2", EDGED WITH A 1/2" RADIUS OR PROVIDE SAWED JOINTS 3/16" WIDE AND NOT LESS THAN 1 1/2" DEPTH WITHIN THE FOLLOWING TIME PERIODS: JOINTS AT NOT MORE THAN 30' INTERVALS -WITHIN 12 HOURS AFTER FINISHING. REMAINING JOINTS WITHIN 96 HOURS AFTER
- PROVIDE A 1/2" EXPANSION JOINT WITH NON-RISING PREFORMED JOINT FILLER AT JUNCTION OF EXISTING AND NEW SIDEWALKS OR OTHER CONCRETE.
- 3. PROVIDE 4" CONCRETE FOR ALL SIDEWALKS, UNLESS NOTED OTHERWISE
- 4. CONCRETE TO BE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- 5. ALL CONSTRUCTION SHALL CONFORM TO LOCAL CONSTRUCTION CODES AND STANDARDS.

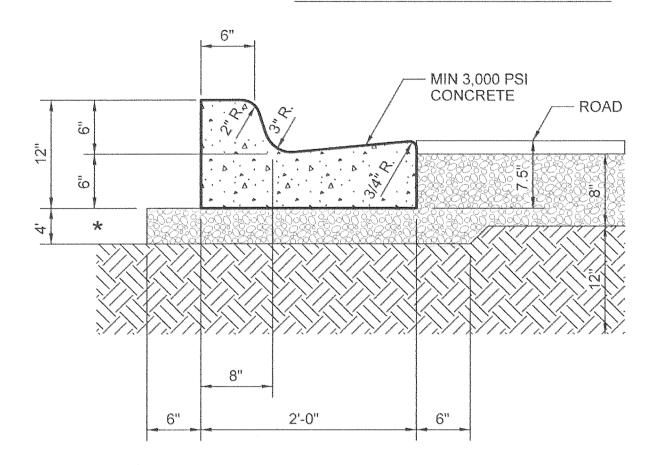
# F.D.O.T. NOTES FOR CONCRETE SIDEWALK ON CURBED ROADSWAYS:

- 1. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 522 OF THE FDOT STANDARD SPECIFICATIONS EXCEPT FOR PUBLIC SIDEWALK CURB RAMP RUNS WHICH SHALL BE FINISHED IN ACCORDANCE WITH FDOT INDEX No. 304.
- 2. BOND BREAKER MATERIAL CAN BE ANY IMPERMEABLE COATED OR SHEET MEMBRANE OR PREFORMED
- MATERIAL HAVING A THICKNESS OF NOT LESS THAN 6 MILS NOR MORE THAN 1/2". 3. FOR PUBLIC SIDEWALK CURB RAMPS SEE FDOT INDEX No. 304.

CONCRETE SIDEWALK DETAIL

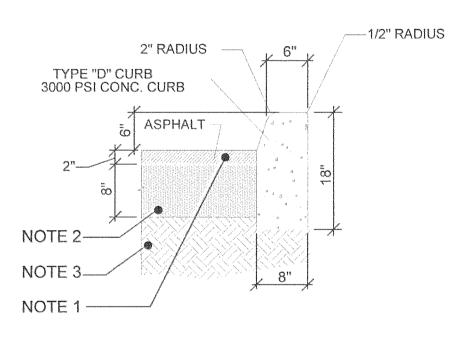


#### PARKING SPACE MARKING DETAIL



\* NEW CURB PAD REQUIRED FOR NEW INSTALLATION

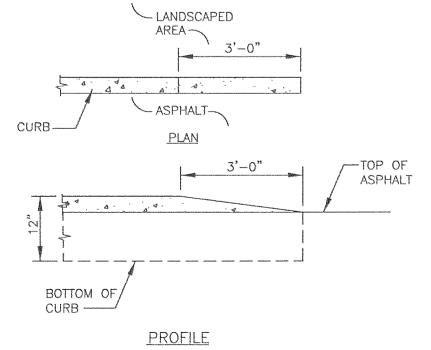
#### TYPE "F" CURB & GUTTER



# **CURBING GENERAL NOTES:**

- 1. SAWCUT EXISTING ASPHALT AS NEEDED TO INSTALL CURB. CONTRACTOR SHALL REPAIR ANY ASPHALT DAMAGE TO A MINIMUM WIDTH OF 18". ASPHALT SHALL BE FDOT TYPE SP-9.5 AND SHALL CONFORM TO FDOT STANDARD SPECIFICATION SECTION 330 AND 334.
- 2. LIMEROCK BASE SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETER-MINED BY AASHTO T-180 WITH A MAXIMUM OF 6"
- 3. SUB GRADE SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 WITH A MAXIMUM OF 6" LIFTS.
- 4. CURB SHALL CONFORM TO FDOT STANDARD SPECIFICATION SECTION 520. CONTROL JOINTS SHALL BE TOOLED OR CUT EVERY TEN (10) FEET.
- 5. ALL DISTURBED AREAS BEHIND CURBS SHALL BE BACKFILLED WITHIN 72 HOURS OF PLACEMENT. CONTRACTOR SHALL RESTORE ANY DAMAGED LANDSCAPING, INCLUDING GRASS.

# TYPE "D" CURB AND ASPHALT PARKING DETAIL



**CURB TRANSITION DETAIL** 

Kelly M. McAtee, P.E. FL. Registration No. 74495

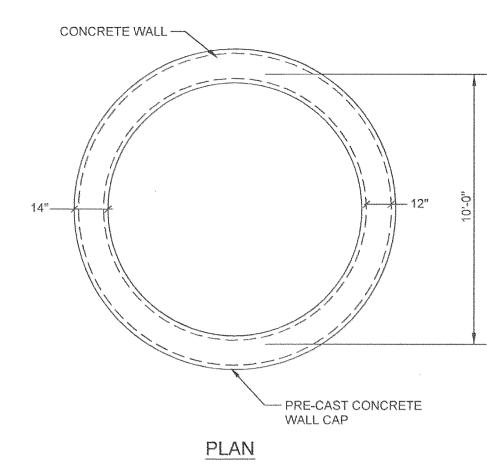
Section 1 

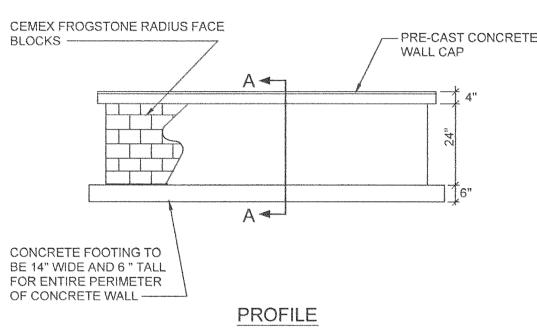
> APPROVED BY K.M.

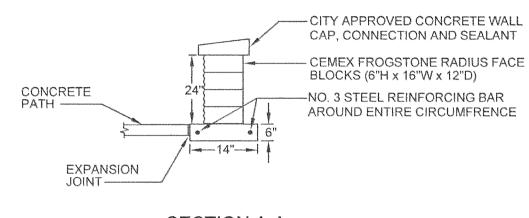
J. WEAVER

08/15/13

**DETAILS** 







# SECTION A-A

- 1. PRE-CAST CONCRETE CAP AND BLOCK COLORS SHALL BE SELECTED BY CITY.
- 2. REINFORCING STEEL BARS SHALL BE GRADE 60, DEFORMED AND SHALL CONFORM TO ASTM A615. MAINTAIN 2" MINIMUM COVER.
- 3. CONCRETE SHALL BE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. ALL CONCRETE WORK SHALL CONFORM TO ACI 318.
- 4. WALL CAP SYSTEM SHALL INCLUDE DRIP EDGES.

DECORATIVE WALL DETAIL

#### I. GENERAL NOTES

#### A. REGULATORY REQUIREMENTS:

- 1. NO CONSTRUCTION SHOULD COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL REQUIRED LOCAL, STATE AND FEDERAL AGENCIES
- 2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE CITY, COUNTY AND FDOT STANDARD SPECIFICATIONS.
- 3. CONSTRUCTION SAFETY ALL CONSTRUCTION SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS, THE TRENCH SAFETY ACT, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND OTHER APPLICABLE SAFETY CODES.
- 4. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC, NO HOLES SHALL BE LEFT OPEN OVERNIGHT. SINCE THE PROJECT SITE IS A PUBLIC RIGHT OF WAY, THE CONTRACTOR IS RESPONSIBLE TO SECURE THE SITE AT THE END OF EACH WORK DAY

#### B. PRE-CONSTRUCTION:

- 1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND HIMSELF.
- 2. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL OF FLORIDA CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF ANY EXCAVATION.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- 5. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

#### C. SHOP DRAWINGS:

- 1. THE CONTRACTOR SHALL SUBMIT (5) FIVE SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION, FOR ALL MATERIALS USED ON THE PROJECT. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER, CITY, AND/OR COUNTY.
- 2. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED,

#### D. TEMPORARY FACILITIES:

- 1. TEMPORARY UTILITIES IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.
- 2. MAINTENANCE OF TRAFFIC REGULATION MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MUTCD AND THE FDOT STANDARD SPECIFICATIONS IN ACCORDANCE WITH THE DESIGN STANDARD INDICES FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM. CONTRACTOR SHALL SUBMIT AN MOT PLAN TO THE CITY FOR APPROVAL. THE MOT CANNOT BE IMPLEMENTED UNTIL THE PLAN IS APPROVED BY THE CITY.

# E. SITE CONDITIONS:

- 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL THE ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM CLEAN.
- 2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT OF EXISTING CONDITION. APPROPRIATE MATERIALS AND CONSTRUCTION METHODS SHALL BE USED FOR SUCH RESTORATION.
- 3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE, AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF FROM TIME TO TIME DURING THE ENTIRE LENGTH OF THE PROJECT.

# F. INSPECTIONS

- 1. THE OWNER, ENGINEER, AND LOCAL PERMITTING AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME.
- 2. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE REQUIRED INSPECTION WITH THE LOCAL, COUNTY AND THE STATE PERMITTING AGENCIES.

# G. PROJECT RECORD DOCUMENTS

- THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED. INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES, FITTINGS, LENGTH OF PIPE, INVERT ELEVATIONS, FINISHED GRADE ELEVATIONS AND THE LIKE, SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR.
- 2. PRIOR TO THE PLACEMENT OF SOD, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD 'AS-BUILT' PLANS, IN BOTH HARDCOPY AND ELECTRONIC AUTOCAD FILE FORMAT, SHOWING BASE GRADES AND ALL PARK IMPROVEMENTS.

#### H. GENERAL UTILITY NOTES

- 1. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS, ANY AND ALL CONFLICTS OR DISCREPANCIES OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS OF CONSTRUCTION DRAWINGS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.
- 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES, IF APPLICABLE:
- OTILITY COMPANIES, IF AFFLICABLE.
- FLORIDA POWER AND LIGHT COMPANY
  AT&T
- LOCAL GAS COMPANY
- LOCAL WATER AND SEWER UTILITY COMPANY(S)
- LOCAL CABLE TELEVISION COMPANY(S)
  CITY OF MARGATE
- SUNSHINE STATE ONE CALL OF FLORIDA- (1-800-432-4770)
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY. THIS REPAIR SHALL BE DONE AT NO EXPENSE TO THE OWNER OF THE DAMAGED UTILITY OR PROPERTY.
- ALL PAVEMENT RESTORATION TO BE MADE IN ACCORDANCE WITH THE CITY, COUNTY OR STATE OF FLORIDA D. O. T. STANDARD SPECIFICATIONS, WHERE APPLICABLE.
- 5. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN REQUIREMENTS AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS.
- COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.

#### I. PARK SAFETY

- CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL THE REQUIRED BARRICADES TO SECURE AND SEPARATE THE CONSTRUCTION AREA FROM THE PORTIONS OF THE PARK THAT ARE IN ACTIVE USE AND/OR OPEN TO THE GENERAL PUBLIC.
- 2. CONTRACTOR SHALL SECURE THE SITE AT THE END OF EACH DAY'S WORK.

#### II. CONSTRUCTION SPECIFICATIONS

#### A. GENERAL

- 1. THE FOLLOWING IDENTIFIES THE MINIMUM ACCEPTABLE TECHNICAL REQUIREMENTS FOR THE MATERIALS AND WORKMANSHIP FOR CONSTRUCTION OF SITE IMPROVEMENTS FOR THIS PROJECT.
- 2. FLORIDA DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND FDOT LOCAL AGENCY SPECIFICATIONS FOR OFF SYSTEM PROJECTS, SHALL BE USED WHERE APPLICABLE FOR THE VARIOUS WORKS, AND THAT THESE "STANDARD SPECIFICATIONS SHALL BE THE "STANDARD SPECIFICATIONS" FOR THIS PROJECT. IF WITHIN A PARTICULAR SECTION, ANOTHER SECTION, ARTICLE OR PARAGRAPH IS REFERRED TO, IT SHALL BE PART OF THE STANDARD SPECIFICATIONS ALSO. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL AND STATE LAWS, REGULATIONS AND BUILDING CODES WHICH HAVE JURISDICTION IN THE AREA.
- 3. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE THE SITE IMPROVEMENTS SHOWN ON THE PLANS, SPECIFIED HEREIN, OR BOTH. IT IS THE INTENT TO PROVIDE A COMPLETE AND OPERATING FACILITY IN ACCORDANCE WITH THESE SPECIFICATIONS, AND THE CONSTRUCTION DRAWINGS. THE MATERIAL AND EQUIPMENT SHOWN OR SPECIFIED SHALL NOT BE TAKEN TO EXCLUDE ANY OTHER INCIDENTALS NECESSARY TO COMPLETE THE WORK.
- 4. ALL LABOR, MATERIALS, AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE PLANS AND CONSTRUCTION SPECIFICATIONS AND THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY THE UNIT OF GOVERNMENT WHICH HAS JURISDICTION AND RESPONSIBILITY FOR THE CONSTRUCTION. WHERE CONFLICTS OR OMISSIONS EXIST, THE JURISDICTIONAL GOVERNMENT ENGINEERING DEPARTMENT'S STANDARDS SHALL GOVERN, SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATION SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.
- 5. GUARANTEE ALL MATERIALS AND EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT SHALL BE GUARANTEED FOR A PERIOD OF (1) ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEFECTIVE MATERIALS, DESIGN AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE GUARANTEE EQUIPMENT OR MATERIALS, DURING THE GUARANTEE PERIOD, THE AFFECTED PART OR MATERIALS SHALL BE REPLACED PROMPTLY WITH NEW PARTS OR MATERIALS BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER. IN THE EVENT THE CONTRACTOR FAILS TO MAKE NECESSARY REPLACEMENT OR REPAIRS WITHIN (7) SEVEN DAYS AFTER NOTIFICATION BY THE OWNER, THE OWNER MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

#### 6. SPECIFIC SITE NOTES:

- CITY IN THESE NOTES REFERS TO THE CITY OF MARGATE
   COUNTY IN THESE NOTES REFERS TO BROWARD COUNTY.
- 3. STATE IN THESE NOTES REFERS TO THE STATE OF FLORIDA.
- 7. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO COVER AN INSTALLATION COMPLETE IN EVERY ASPECT. IT IS NOT INTENDED TO GIVE EVERY DETAIL ON THE DRAWINGS AND SPECIFICATIONS. OWNER WILL NOT BE RESPONSIBLE FOR ABSENCE OF ANY DETAIL WHICH CONTRACTOR MAY REQUIRE, NOR FOR ANY SPECIAL CONSTRUCTION WHICH MAY BE FOUND NECESSARY AS WORK PROGRESSES, IF AN ITEM IS EITHER INDICATED OR SPECIFIED, IT SHALL BE CONSIDERED SUFFICIENT FOR INCLUSION OF SAID ITEM IN CONTRACT. CONTRACTOR SHALL FURNISH AND INSTALL MATERIALS AND EQUIPMENT USUALLY FURNISHED WITH SUCH SYSTEMS, AND AS NEEDED TO COMPLETE AN OPERATING INSTALLATION, WHETHER MENTIONED OR NOT WHICH ARE CUSTOMARY TO ITS TRADE.
- 8. INCIDENTAL ACCESSORIES NOT USUALLY SHOWN OR SPECIFIED BUT WHICH ARE NECESSARY FOR THE PROPER INSTALLATION AND OPERATION SHALL BE INCLUDED IN WORK WITHOUT ADDITIONAL COST TO THE OWNER, THE SAME AS IF HEREIN SPECIFIED.
- 9. ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON THE DRAWINGS BUT MENTIONED IN THE SPECIFICATIONS, OR VICE-VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND READY FOR OPERATION, SHALL BE FURNISHED, DELIVERED, AND INSTALLED BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.
- 10. DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INDICATED (DO NOT SCALE THE DRAWINGS) CONSULT THE ENGINEER FOR EXACT LOCATIONS OF ITEMS WHICH ARE NOT DEFINITELY LOCATED ON THE DRAWINGS.
- 11. ENGINEER'S INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SHALL BE FINAL AND BINDING UPON CONTRACTOR.
- 12. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID, AND THOROUGHLY INVESTIGATE AND VERIFY ALL CONDITIONS UNDER WHICH WORK SHALL BE PERFORMED.
- 13. IF A DISCREPANCY OCCURS BETWEEN A DETAIL, PLAN OR SPECIFICATIONS THE MOST RESTRICTIVE DETAIL TAKES PRECEDENCE & SHALL BE IMPLEMENTED IN THE CONSTRUCTED PROJECT.

# B. EARTHWORK

- 1. ALL AREAS WITHIN THE LIMITS OF WORK SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1'. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS. ALL WORK SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION SECTION 110.
- FILL MATERIAL SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. NOT MORE THAN 10% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
- 3. ALL MATERIAL OF CONSTRUCTION SHALL BE SUBJECT TO INSPECTION AND TESTING TO ESTABLISH CONFORMANCE WITH THE SPECIFICATIONS AND SUITABLY FOR THE USES INTENDED. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO THE TIME HE WILL BE READY FOR AN INSPECTION OR TEST. THE CONTRACTOR SHALL FOLLOW CITY AND COUNTY INSPECTION PROCEDURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY PHASE OF WORK DEPENDENT ON AN INSPECTION OR TEST OF AN EARLIER PHASE OF WORK, PRIOR TO THAT TEST OR INSPECTION PASSING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUB GRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.

- 4. SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1' OF THE REQUIRED ELEVATIONS AND ALL AREAS SHALL BE GRADED TO DRAIN WITHOUT PONDING.
- 5. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, FILL, EMBANKMENT AND GRADING TO ACHIEVE THE PROPOSED PLAN GRADES INCLUDING TYPICAL ROAD SECTIONS, SIDE SLOPES AND CANAL SECTIONS. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 120 OF THE STANDARD SPECIFICATIONS. IF FILL MATERIAL IS REQUIRED IN EXCESS OF THAT GENERATED BY THE EXCAVATION, THE CONTRACTOR SHALL SUPPLY THIS MATERIAL AS REQUIRED FROM OFF-SITE SOURCES.

#### C. SIDEWALK CONSTRUCTION

- 1. CONCRETE SIDEWALK AND PATHS SHALL BE ON COMPACTED SUBGRADE, WITH ½" EXPANSION JOINTS PLACED AT A MAXIMUM OF 100'. CRACK CONTROL JOINTS PER PROVIDED DETAILS.
- 2. CONCRETE FOR SIDEWALK AND CURB SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND SHALL BE IN ACCORDANCE WITH SECTION 347 OF THE STANDARD SPECIFICATIONS.
- 3. PROPOSED SIDEWALK SHALL MATCH AND/OR FLUSH WITH EXISTING SIDEWALK OR BACK OF CURBS. SIDEWALKS IN OTHER AREAS SHALL BE AT LEAST 2" ABOVE THE EXISTING GRADE AND MAINTAIN MINIMUM REQUIRED ADA SLOPES.

4. WORK SHALL BE PERFORMED BETWEEN 8AM TO 5PM, MONDAY THROUGH

- SATURDAY. WORK ON SUNDAY IS NOT PERMITTED. CITY INSPECTIONS SHOULD BE SCHEDULED FOR MONDAY THROUGH THURSDAY ONLY.

  5. IF LANE CLOSURE ARE REQUIRED ON A TEMPORARY BASIS, CONTRACTOR
- SHALL SUBMIT A MAINTENANCE OF TRAFFIC PLAN (MOT) FOR CITY APPROVAL.
  DURING THE REPLACEMENT OF EXISTING SIDEWALK / CURB RAMPS,
  CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES FOR PEDESTRIAN
  TRAFFIC.

#### D. EROSION AND SEDIMENT CONTROL

- CONTRACTOR SHALL PROVIDE A SILT FENCE AT DRAINAGE STRUCTURES, SWALES AND WATER BODIES AT THE DIRECTION OF THE ENGINEER.
- PROTECT EXISTING CATCH BASINS ON SITE AND IN THE IMMETE VICINITY OF THE SITE WITH FILTER FABRIC, STRAW BALES, OR OTHER ACCEPTABLE BEST MANAGEMENT PRACTICES.
- INSTALL SOIL TRACKING PREVENTION DEVICE (CONSTRUCTION ENTRANCE) IF REQUIRED.
- 4. TRASH AND WASTE MATERIAL GENERATED ON SITE DURING CONSTRUCTION SHALL BE REMOVED ON A DAILY BASIS. CONTRACTOR SHALL PROVIDE TRASH RECEPTACLES ON SITE.

# E. RESTORATION

- CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ALL AREAS DISTURBED DURING CONSTRUCTION, BOTH PUBLIC AND PRIVATE, TO A MINIMUM OF THE AREAS ORIGINAL CONDITIONS.
- 2. GRADE AND SOD OVER THE ENTIRE AREA OF THE PROJECT DISTURBED DURING CONSTRUCTION. CONTRACTOR SHALL USE ST. AUGUSTINE SOD.

# F. ENVIRONMENTAL COMPLIANCE

- 1. ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE PROJECT ENGINEER, WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECT HAZARDOUS MATERIAL FROM FURTHER ACCESS. THE PROJECT ENGINEER IS TO NOTIFY THE PROPER REGULATORY AUTHORITY OF THE DISCOVERY. THE PROPER REGULATORY AUTHORITY WILL ADVISE/DIRECT THE PROJECT ENGINEER IN THE INVESTIGATION, IDENTIFICATION AND/OR REMOVAL/REMEDIATION OF THE MATERIAL IN QUESTION AS NEEDED. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF SUSPECTED CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE PROJECT ENGINEER, THE REGULATORY AUTHORITY WILL ADVISE THE PROJECT ENGINEER IN THESE MATTERS.
- 2. THE CONTRACTOR SHALL NOT BRING ANY HAZARDOUS MATERIALS ONTO THE PROJECT. SHOULD THE CONTRACTOR REQUIRE SUCH FOR PERFORMING THE CONTRACTED WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, WRITTEN PERMISSION FROM THE PROJECT ENGINEER. THE CONTRACTOR SHALL PROVIDE A COPY OF THE REQUEST TO THE CITY OF MARGATE ENGINEERING INSPECTOR. THE CONTRACTOR SHALL PROVIDE THE CITY OF MARGATE ENGINEERING INSPECTOR WITH A COPY OF THE MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH HAZARDOUS MATERIAL PROPOSED FOR USE, AND PROVIDE A DESCRIPTION OF THE SPECIFIC MANNER IN WHICH THE MATERIAL WILL BE USED. THE PROJECT ENGINEER SHALL COORDINATE WITH THE CITY OF MARGATE ENGINEERING INSPECTOR PRIOR TO ISSUING WRITTEN APPROVAL TO THE CONTRACTOR. BECAUSE STATE LAW DOES NOT TREAT PETROLEUM PRODUCTS THAT ARE PROPERLY CONTAINERIZED AS HAZARDOUS MATERIALS. SUCH PRODUCTS DO NOT REQUIRE AN MSDS SUBMITTAL. ALL BULK PETROLEUM PRODUCTS STORED ON SITE SHALL REQUIRE PROPER STORAGE WHICH INCLUDES SECONDARY CONTAINMENT.

VESCRIPTION DATE

Kelly M. McAtee, P.E.
FL. Registration No. 74495

M. McA

No. 74495

No. 74495

STATE OF

STATE OF

SEAL

WARD COUNTY, FLORENS PARK FLORE

en e

APPROVED BY

K.M.

DRAWN BY

J. WEAVER

DATE

08/15/13

SCALE NONE

DETAILS AND SPECIFICATIONS

SHEET NUMBER

SHT 5 of 5

