

Mayor
Lesla Peerman

Vice Mayor
Joanne Simone

Commissioners
Brian Donahue
Tommy Ruzzano
Frank B. Talerico



City Manager
Jerry A. Blough

City Attorney
Eugene M. Steinfeld

City Clerk
Joseph J. Kavanagh

City of Margate, Florida

DEVELOPMENT REVIEW COMMITTEE AGENDA

REGULAR MEETING

**Thursday, February 20, 2014 9:30 AM
CITY HALL, COMMISSION CHAMBERS
5790 MARGATE BOULEVARD**

ALL INTERESTED PARTIES ARE WELCOME

- 1) Approval of the January 16, 2014 and February 6, 2014 DRC meeting minutes.
- 2) **DRC NO. 02-14-03. PETITION:** Consideration of a **special exception use**, for permission to operate an animal clinic in Palm Lakes Plaza.
LOCATION: 7256 West Atlantic Boulevard
ZONING: B-2 Community Business District
LEGAL DESCRIPTION: A portion of Parcel B, of "ORIOLE-MARGATE SECTION 4," as recorded in Plat Book 78, Page 20, of the public records of Broward County, Florida.
PETITIONER: Marla Neufeld, Esq., agent for Stockbridge Palm Lakes Plaza, LLC.
- 3) **DRC NO. 02-14-05. PETITION:** Consideration of a **site plan** approval, for improvements to Kaye Stevens Park.
LOCATION: 5825 Royal Palm Boulevard
ZONING: S-1 Recreational District
LEGAL DESCRIPTION: Lot 31, "IBEC ADDITION NO. 2," according to the plat thereof, as recorded in Plat Book 47, Page 21 of the public records of Broward County, Florida.
PETITIONER: Adriane Esteban, agent for the Margate Community Redevelopment Agency.
- 4) General discussion.

A representative of the petitioner and the property owner must be present for a petition to be reviewed by the DRC. Representations made before the DRC shall be conditions of said approval. A petitioner appealing findings made by the DRC with respect to any matter considered at a meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes all of the testimony and evidence upon which the appeal the appeal is to be made.

For your convenience, DRC audio tape copies are available at the City Clerk's office.

Any person with a disability requiring auxiliary aids and services for this meeting may call the City Clerk's office at (954)972-0828, with their request at least two (2) business days prior to the meeting date.

CC: Mayor and City Commission, City Manager, City Attorney, City Clerk, Finance Director, Parks and Recreation Director, Committee Members, Petitioners, AT&T, FPL, Comcast, U.S. Postal Service, Press and Post.

5790 MARGATE BOULEVARD, MARGATE, FLORIDA 33063 • TELEPHONE (954) 972-6454 / FACSIMILE (954) 935-5304
<http://www.margatefl.com> • e-mail - citymanager@margatefl.com



City of Margate
5790 Margate Boulevard
Margate, FL 33063
954-972-6454
www.margatefl.com

AGENDA ITEM FACT SHEET
Item No: 2.

TO: Development Review Committee

FROM: Benjamin J. Ziskal, AICP

DATE: February 20, 2014

RE: DRC NO. 02-14-03. PETITION: Consideration of a special exception use, for permission to operate an animal clinic in Palm Lakes Plaza.

LOCATION: 7256 West Atlantic Boulevard

ZONING: B-2 Community Business District

LEGAL DESCRIPTION: A portion of Parcel B, of "ORIOLE-MARGATE SECTION 4," as recorded in Plat Book 78, Page 20, of the public records of Broward County, Florida.

PETITIONER: Marla Neufeld, Esq., agent for Stockbridge Palm Lakes Plaza, LLC.

BACKGROUND: The applicant is seeking permission to open a 3,500 square foot animal clinic in Palm Lakes Plaza.



City of Margate
DEVELOPMENT REVIEW COMMITTEE
Application for Special Exception (existing)

5790 Margate Blvd., Margate, FL 33063
954-972-6454

Submittal Date (official use):

01-14-14 P03:02 RCVD

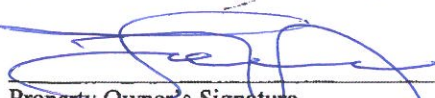
Project Name		Palm Lakes Plaza- Veterinary Clinic	DRC #	02-14-03
Address		7210-7388 W. Atlantic Blvd., Margate, FL 33063		
Acreage	Folio Number		Paid:	\$ 500
12.57	4841-35-04.3373			
Existing Use		Shopping center		
Legal Description		See attached		

Describe proposal/request in detail
<input type="checkbox"/> See attached narrative
<input type="checkbox"/>
<input type="checkbox"/>

Agent/Contact Name	
Marla Neufeld, Esq	
Address	
100 W. Cypress Creek Rd, Suite 700	
Fort Lauderdale, FL 33309	
Phone Number	Fax Number
954.761.2929	
Email Address	
marla.neufeld@gmlaw.com	

Property Owner Name	
Stockbridge Palm Lakes Plaza, LLC	
Address	
2240 NW 19 th Street, Suite 801, Boca Raton, FL 33431	
Phone Number	Fax Number
561.989.2240	561.361.8703
Email Address	

OWNER'S AFFIDAVIT: I certify that I am the owner of record for the above referenced property and give authorization to file this petition. I understand that I, or a representative on my behalf, must be present at the DRC meeting. I further understand that my petition will be subject to the regulations of Chapter 16 ½ of the Margate City Code.


Property Owner's Signature
Authorized Agent

1/9/14
Date

City of Margate
*** CUSTOMER RECEIPT ***

Batch ID: AMORALES 1/13/14 00 Receipt no: 53614

Type	SvcCd	Description	Amount
EI		ECDV SPECIAL EXCEPT. USE	
	Qty		
	1.00		\$500.00

STOCKBRIDGE PALM LAKES PLAZA
FOUR EMBARCADERO CENTER
SUITE 3330
SAN FRANCISCO, CA 94111
RE: PALM LAKES PLAZA VET CLINIC
7210-7388 W ATLANTIC BLVD
SPECIAL EXCEPTION (EXISTING)

Tender detail
CK Ref#: 1236 \$500.00
Total tendered: \$500.00
Total payment: \$500.00

Trans date: 1/15/14 Time: 12:18:40

HAVE A GREAT DAY!

City of Margate
*** CUSTOMER RECEIPT ***

Batch ID: AMORALES 1/13/14 00 Receipt no: 53616

Type	SvcCd	Description	Amount
EB		ECDV BANNERS	
	Qty		
	1.00		\$150.00

GREENSPOON MARDER
CLIENT COST ADVANCE
100 W CYPRESS CREEK RD STE 700
FORT LAUDERDALE, FL 33309
RE: WOOLBRIGHT DEVELOPMENT
DRC # 02-14-03
VET CLINIC-PALM LAKES PLAZA

Tender detail
CK Ref#: 125542 \$150.00
Total tendered: \$150.00
Total payment: \$150.00


Trans date: 1/15/14 Time: 12:21:30

HAVE A GREAT DAY!

Consent and Authorization to File Special Exception Application

Stockbridge Palm Lakes Plaza, LLC certifies that it is the Owner of the subject property subject to this Special Exception Application and hereby authorizes the law firm, **GREENSPOON MARDER, P.A.** to act as Agent and submit the Special Exception Application on the Owner's behalf.

Stockbridge Palm Lakes Plaza, LLC

By: 
Its: Authorized Agent
Date: 1/9/14



PUBLIC HEARING SIGN REMOVAL BOND AGREEMENT

In accordance with Ordinance #1500.485

I, Dylan Fonseca, petitioner of record and on behalf of the property owner, hereby agree that the subject public hearing sign shall be removed within two (2) business days following a final determination by the governing body. Further, it is understood that by complying with this section, the \$150 cash bond will be returned to the petitioner of record.

If said public hearing sign is not removed in two (2) business days, I hereby authorize the administration of the City of Margate to remove said sign, billing the costs of the removal of the sign to the owner of the property.

I understand that the \$150 (one hundred fifty dollar) cash bond shall be forfeited and applied against the cost of removal to the City of Margate if said public hearing sign is not removed in two (2) business days.

Woolbright Development, Inc
Business Name

2240 NW 19th St #801, Boca Raton, FL
Address 33431

[Signature]
Signature

1/9/14
Date

OFFICE USE ONLY

Date of Decision: _____

Tabled to date
certain? _____

Two Business Days (after
decision) _____

COMPLIED? Y N

If YES, initiate check request to Finance (603-0000-220.18-00)

If NO, inform Finance to deposit Bond (001-0000-369.90-01)

Stockbridge Palm Lakes Plaza, LLC Special Exception Narrative

Stockbridge Palm Lakes Plaza, LLC (“Applicant”) owns the Palm Lakes Plaza shopping center (“Shopping Center”) located in the City of Margate (“City”). The Applicant is proposing to bring a 3,500 square foot veterinary clinic (“Property” or “Animal Clinic”) to the Shopping Center in accordance with the Applicant’s site plan. The zoning for the Property is B-2 which does not allow for veterinary hospitals. However, according to Section 12.3(B) of the City’s Land Development Code (“Code”), an animal clinic and pet hospital area are allowed as special exception uses provided (i) adequate soundproofing is provided in any area where animals are contained or treated and (ii) all boarding activities shall be ancillary to the primary use.

Therefore, the Applicant seeks a special exception use approval from the provisions of the Code in accordance with Sections 12.10 of the Code to allow for an animal clinic and pet hospital use at the Property. The Applicant satisfies the special exception use approval conditions in Section 12.10 of the Code as follows:

(a) Compatibility of the use and site plan elements with the indigenous environment and with properties in the neighborhood, as outlined in the Margate Comprehensive Plan.

The Property is compatible with the indigenous environment and with the properties in the neighborhood as outlined in the Margate Comprehensive Plan (“Comprehensive Plan”). The Property is located within the City’s B-2 community business zoning district with a commercial land use designation. The purpose of this zoning district includes, but is not limited to, providing a full range of office, retail and services uses in the City. The proposed Animal Clinic will serve the animal and pet veterinary needs of the surrounding neighborhoods and for residents and the proposed use of the Property is in compliance with the goals and objectives of the B-2 zoning and commercial use of the Property.

(b) Substantial detrimental effects of the proposal on the property values in the neighborhood.

The operation of Animal Clinic in the Shopping Center will not have detrimental effects on the property values in the neighborhood. The Property is currently a vacant bay in the Shopping Center. The Property is surrounded by other compatible

commercial business uses such as restaurants, banks, a drug store, and a child day care center being constructed and operated by the Applicant.

(c) Substantial detrimental effects of the use on living or working conditions in the neighborhood.

The proposed Animal Clinic will not have any detrimental effects on the living or working conditions in the neighborhood. As set forth above, the Animal Clinic is surrounded by other commercial uses that are compatible with the proposed use. The plan for the proposed Animal Clinic will comply with all provisions of the Code, including the requirements to allow for a special exception use which includes (i) providing adequate soundproofing where animals are contained or treated and (ii) ensuring that all boarding activities shall be ancillary to the primary use. Further, the proposed Animal Clinic will serve the commercial use needs of the surrounding neighborhoods and for residents.

(d) Ingress and Egress to the development and proposed structures, with particular reference to automotive and pedestrian safety, control of automotive traffic, provision of services and servicing of utilities and refuse collection, and access in the case of fire, catastrophe, or emergency.

The Property is located within a Shopping Center with numerous other commercial businesses. As reflected on the survey, there is proper ingress and egress to the Property to allow for the servicing of utilities and refuse collection, and access in case of fire, catastrophe or emergency. The Property is accessible through two main roads, which include West Atlantic Boulevard and Rock Island Road. Utility companies will also be able to enter and safely drive through the Property to access any utilities as needed.

(e) Off-street parking location and relation to buildings, internal traffic safety, traffic flow and control, access in case of fire or emergencies, and screening and buffering.

As provided on the survey, the location of parking provides easy and safe access to the uses on the Property.

(f) Orientation, location size, and features of buildings, and appearance and harmony of the buildings with nearby development and land uses.

The orientation, location size and features of the existing building are in harmony with the surrounding buildings and nearby development and land uses. As set forth above, the Property is surrounded by other compatible commercial uses such as restaurants, banks, a drug store, and a child day care center being constructed and operated by the Applicant. The Property does not abut residential parcels.

(g) Sufficiency of setbacks, buffers, and general amenities to preserve internal and external harmony and compatibility with uses inside and outside the proposed development and to control adverse effects of site generated noise, lights, fumes, and other nuisances.

The plan for the proposed Animal Clinic provides setbacks and buffers that meet the Code and general amenities that preserve the harmony and compatibility with the surrounding uses. As a result, the impact of any noise, lights, fumes or other potential nuisances will be controlled.

(h) Adequacy of stormwater management with attention to the necessity for on-site retention to alleviate flooding and ground water pollution without compromising the aesthetics and maintainability of landscaping.

Stormwater management will be provided to alleviate flooding and ground water pollution. Therefore, the aesthetics and maintainability of the landscaping will not be compromised.

(i) Adequacy of landscaping an emphasis on the preservation of existing trees, the use of native species, and the use of berming along street perimeters.

Adequate berms have been provided and existing trees have been preserved to the extent possible.

(j) Compliance with applicable goals, objectives, and policies of the Margate Comprehensive Plan.

The proposed use furthers the goals, objectives, and policies of the Comprehensive Plan because the Property is located along West Atlantic Boulevard and does not abut residential parcels. In accordance with the site plan, the Applicant proposes to make improvements to the Property that will enhance the Shopping Center by taking an empty bay at the Shopping Center and developing and offering an Animal Clinic to the community.

(k) Compliance with the applicable goals, objectives and policies of the Margate Community Redevelopment Plan.

The Property is located within the Community Redevelopment Area ("CRA") . The Property is currently a vacant bay in the Shopping Center and the Applicant proposes to develop the Property as an Animal Clinic, which will include making certain improvements required for the Property to permit this use at the Property. The improvements and the use of the Property as an Animal Clinic are compatible with the surrounding uses located along West Atlantic Boulevard. The Property is not located in the City's Transit Oriented Corridor district. Therefore, the type of commercial business being proposed is in accordance with the commercial zoning and land use designations for the Property.

loucks engineering inc.

4520 ne 18 avenue, ste 400
fort lauderdale florida, 33334
TEL. (954) 938 - 1881
FAX (954) 938 - 1884

DATE: September 23, 2013

TO: Mr. Jimmy Freyman

Re: PALM LAKES PLAZA
7352 W. ATLANTIC BLVD.
MARGATE FLORIDA

The site lighting was surveyed 9/21/13, at approximately 11:00 pm, weather was clear.

We are using an Extech Heavy Duty Light Meter # 407026 for our readings.
Based on the parking lot lighting as permitted in 2004 from drawings prepared by US
Architectural Lighting dated 7/12/04, the lighting values were found to be in compliance
with the City of Margate code requirements.

Respectfully,



E. Pilhuj
file:13249

twu

LOCATION SKETCH
NOT TO SCALE

SUMMARY TABLE FOR:		
SCHEDULE B, SECTION II – EXCEPTIONS OF TITLE COMMITMENT No. FA-C-11027 (SEE SURVEYOR'S REPORT #2)		
EXCEPTION NUMBER AND RECORDING INFORMATION	AFFECTS SUBJECT PROPERTY	AFFECTED AREA
9. P.B. 78/20	YES	SHOWN
10. O.R.B. 8569/434	YES	SHOWN
12. O.R.B. 9017/983	YES	SHOWN
13. O.R.B. 10163/333	YES	SHOWN
14. O.R.B. 10163/339	YES	SHOWN
15. O.R.B. 12030/788	YES	NOT PLOTTABLE
16. O.R.B. 7761/750	YES	SHOWN
O.R.B. 38908/139	YES	SHOWN
17. O.R.B. 12472/749	YES	SHOWN
18. O.R.B. 8154/827	YES	EASEMENT PARCEL
19. O.R.B. 8542/713	YES	SHOWN
20. O.R.B. 8127/901	YES	SHOWN
21. O.R.B. 8555/223	YES	SHOWN
22. O.R.B. 40900/1453	YES	SHOWN
23. O.R.B. 41083/975	YES	SHOWN
24. O.R.B. 41372/306	YES	SHOWN
O.R.B. 41290/35	YES	SHOWN
25. O.R.B. 41841/1543	YES	SHOWN

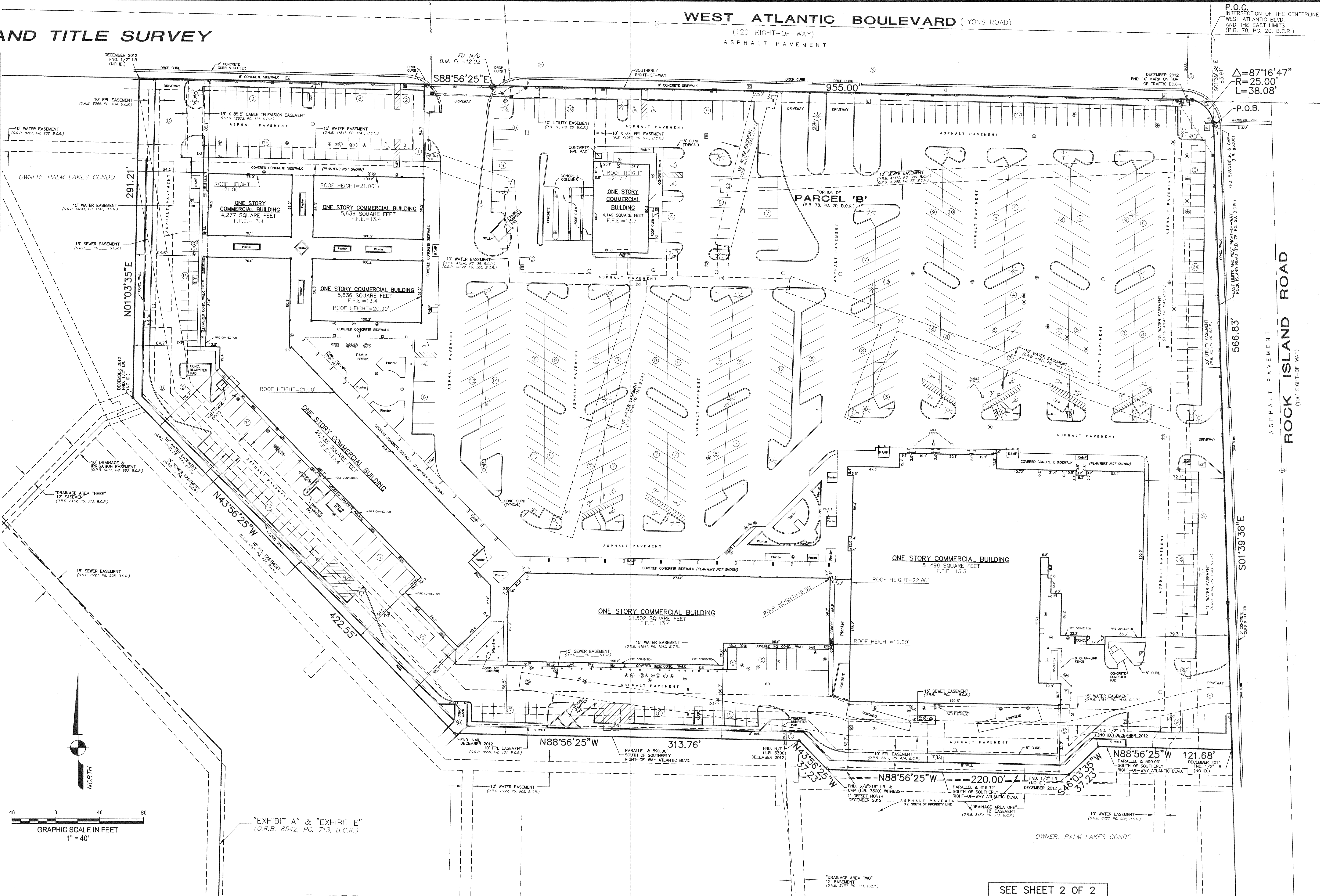
- | LEGEND: | |
|---------|--------------------------|
| | CONCRETE BOLLARD |
| | CATCH BASIN |
| | CLEAN-OUT |
| | CONCRETE SIGNAL POLE |
| | CONCRETE UTILITY POLE |
| | GUY WIRE & ANCHOR |
| | MONITORING WELL |
| | DRAINAGE MANHOLE |
| | ELECTRIC BOX |
| | FIRE HYDRANT |
| | GREASE TRAP |
| | LIGHT POLE |
| | ELECTRIC OUTLET |
| | UNKNOWN MANHOLE |
| | SIGN |
| | SANITARY MANHOLE |
| | TRAFFIC CONTROL BOX |
| | VALVE |
| | VAULT |
| | WATER METER |
| | BACKFLOW PREVENTOR |
| | WOOD UTILITY POLE |
| | ROOF DRAIN |
| | OVERHEAD WIRE |
| | NUMBER OF PARKING SPACES |
| | HANDICAP PARKING SPACES |
| | BENCHMARK |
| | IRRIGATION CONTROL VALVE |
| | TELEPHONE SERVICE BOX |

EXISTING PARKING	
HANDICAP SPACES	26
REGULAR SPACES	580

MINIMUM SETBACK REQUIREMENTS	
FRONT	25 FEET
REAR	20 FEET
SIDE	0 FEET

OBTAINED FROM CITY OF MARGATE AND
SUPPLIED BY WEINGARTEN REALTY INVESTORS

SEE SHEET 2 OF 2



SEE SHEET 2 OF 2


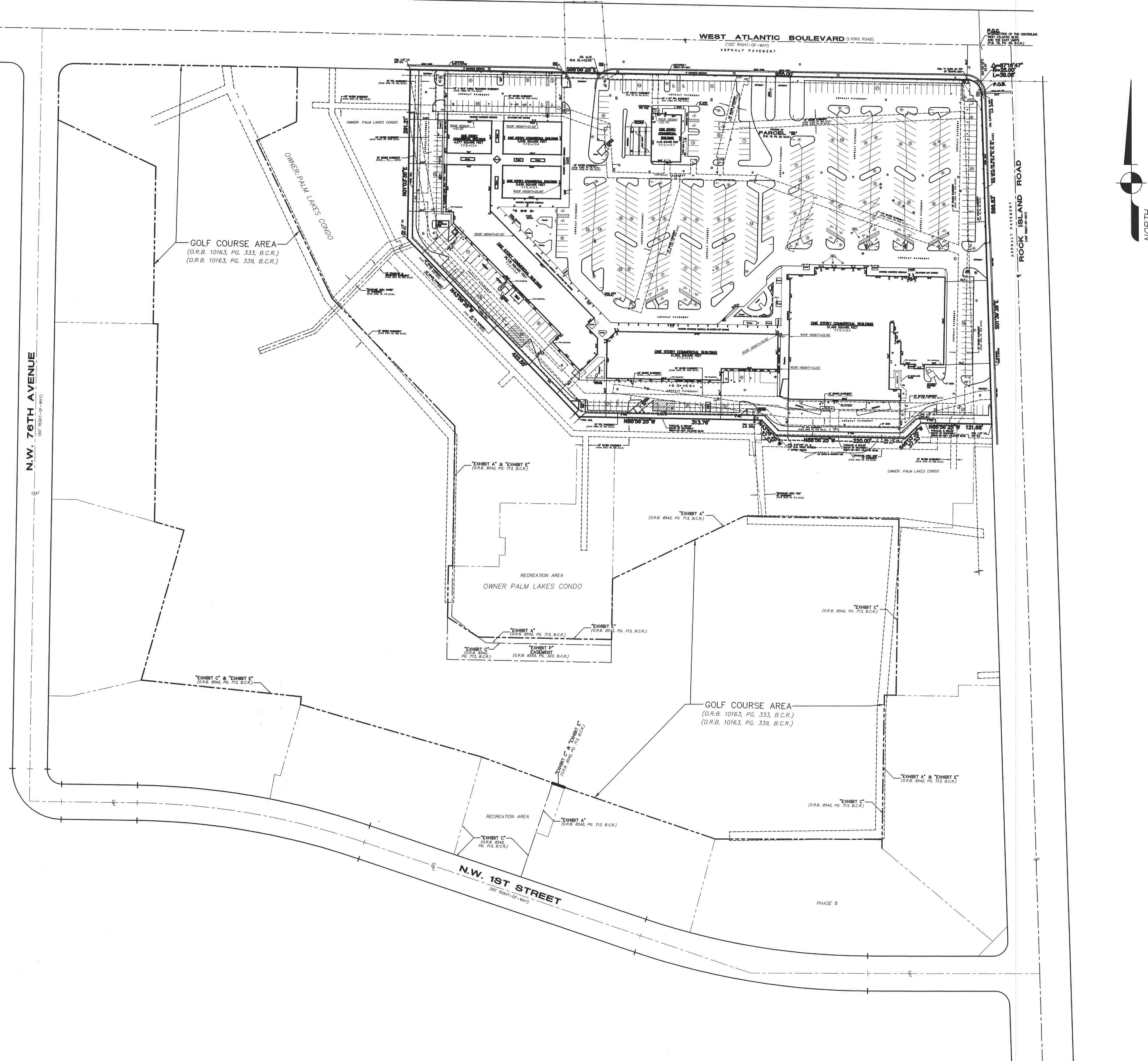
 <p>AVIROM & ASSOCIATES, INC. SURVEYING & MAPPING 50 S.W. 2ND AVENUE, SUITE 102 BOCA RATON, FLORIDA 33432 TEL. (561) 392-2594, FAX (561) 394-7125</p> <p><small>©2005 AVIROM & ASSOCIATES, INC. ALL RIGHTS RESERVED. THIS SKETCH IS THE PROPERTY OF AVIROM & ASSOCIATES, INC. AND SHOULD NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION.</small></p>	<p align="center">ALTA/ACSM LAND TITLE SURVEY PORTION OF PARCEL 'B' ORIOLE-MARGATE SECTION 4</p> <p align="center">BROWARD COUNTY FLORIDA</p>										<p align="center">SHEET 1 OF 2</p>		
	SCALE	1" = 40'	REVISIONS		DATE	BY	CK	REVISIONS		DATE		BY	CK
	DATE	09/15/05	ADD EASEMENTS PER O.R.B. 8727, PG. 908		01/24/06	J.T.D.							
	BY	C.L.P.	VERIFY BOUNDARY; UPDATE TO ALTA/ACSM; REV. TITLE COMMIT.(F.B.1345/18)		06/22/06	S.A.M.	J.T.D.						
			UPDATE BOUNDARY, TITLE COMMITMENT & RECERTIFY (SKETCH)		07/31/06	S.A.M.	J.T.D.						
			UPDATE-ADD BENCHMARK AND FLOOR ELEVATIONS (F.B. 1346/49 & SK.)		08/22/06	S.A.M.	J.T.D.						
	CK'D.	J.T.D.	UPDATE PER REVISED TITLE COMMITMENT & COMMENTS		09/13/06	S.A.M.	J.T.D.						
F.B. 1288	PG. 03	FIELD UPDATE BOUNDARY AND IMPROVEMENTS (FB 1591/80)		05/09/12	JTD								
		FIELD UPDATE BOUNDARY & REVISE TO ALTA/ACSM STANDARDS (SK.)		12/05/12	S.A.M.	J.T.D.							
JOB NO.	7901												

EXHIBIT FOR OFFSITE DOCUMENTS



SURVEYOR'S REPORT:

1. Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
2. Lands shown hereon were not abstracted by Aviom & Associates, Inc. for easements, rights-of-way, ownership or other instruments of records. Instruments of record are per Title Commitment No. FA-C-11027, prepared by First American Title Insurance Company, issued, September 20, 2006. Property shown hereon is subject to covenants, conditions, easements, restrictions and other matters contained in Title Commitment. Easements where applicable are shown on the survey. (SEE SUMMARY TABLE)
3. The land description shown hereon is per the Title Commitment.
4. No underground improvements were located.
5. Bearings shown hereon are based on the south right-of-way line of West Atlantic Boulevard, having a bearing of S88°56'25"E. (PER P.B. 78, PG. 20, B.C.R.)
6. Elevations shown hereon are based on the National Geodetic Vertical Datum of 1929.
7. Benchmark Description: Broward County Engineering Division Benchmark #1565. (EL.=12142)
8. The entire property described hereon lies within Flood Zone AH. (EL. 11) Community Panel No. 120047 #115 F, dated August 18, 1992.
9. Property Address: 7210-7388 West Atlantic Boulevard, Margate, Florida.
10. Abbreviation Legend: C = Centerline; C.B.S. = Concrete, Block & Stucco; C.C. = Concrete; Δ = Delta Angle; EL. = Elevation; FND. = Found; I.P. = Iron Pipe; I.R. = Iron Rod; L. = Arc Length; L.B. = Licensed Business; P.B. = Plat Book; B.C.R. = Broward County Records; P.G. = Page; P.L.S. = Professional Land Surveyor; P.O.B. = Point of Beginning; P.O.C. = Point of Commencement; R. = Radius; FPL = Florida Power and Light; D. = Delta; E. = Elevation; O.R.B. = Official Records Book; N/D= Nail and Disk; B.M. = Benchmark; F.F.E. = Finished Floor Elevation
11. I have no knowledge of earth moving work or building construction, changes as to street right-of-ways, street or sidewalk construction, and the observable evidence of site use as a solid waste dump, sump or sanitary landfill.

LAND DESCRIPTION:

A Portion of Parcel B, ORIOLE-MARGATE SECTION 4, according to the plat thereof, as recorded in Plat Book 78, Page 20 of the Pubic Records of Broward County, Florida, more particularly described as follows:

Commence at the intersection of the centerline of West Atlantic Boulevard and the east limit of said plat as shown on said plat; thence S01°39'38"E along said east limit a distance of 83.91 feet to the Point of Beginning; thence continue S01°39'38"E along said east limit, and along the west right-of-way of Rock Island Road, as shown on said plat a distance of 566.83 feet; thence N88°56'25"W, along a line parallel with and 590.00 feet south of the southerly right-of-way of Atlantic Boulevard, as shown on said plat, a distance of 121.68 feet; thence S46°03'35"W, a distance of 37.23 feet; thence N88°56'25"W, along a line parallel with and 616.32 feet south of the southerly right-of-way of Atlantic Boulevard, as shown on said plat, a distance of 220.00 feet; thence N43°56'25"W, a distance of 37.23 feet; thence N88°56'25"W, along a line parallel with and 590.00 feet south of the southerly right-of-way of Atlantic Boulevard, as shown on said plat, a distance of 313.76 feet; thence N43°56'25"W, a distance of 422.55 feet; thence N01°03'35"E, a distance of 291.21 feet to a point on the southerly right-of-way line of Atlantic Boulevard, as shown on said plat; thence S88°56'25"E along said line, a distance of 955.00 feet; thence southeasterly along the arc of a tangent curve, being concave to the southwest, having a radius of 25.00 feet, a delta of 87°16'47", an arc distance of 38.08 feet to the Point of Beginning.

Said lands lying in the City of Margate, Broward County, Florida, containing 12.5692 acres more or less.

TOGETHER WITH the following easement rights:

Easement for Drainage and Irrigation purposes recorded in Official Records Book 9017, Page 983; Flowage Easement recorded in Official Records Book 10163, Page 333; and Easement for drainage pipes, and water and/or sewer lines recorded in Official Records Book 10163, Page 339.

All of the Public Records of Broward County, Florida.

CERTIFICATION:

THIS IS TO CERTIFY that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17, 18 and 21 of Table A thereof. The field work was completed on December 5, 2012.

Date: 12/5/2012

JOHN T. DOOGAN, P.L.S.
Florida Registration No. 4409
AVIROM & ASSOCIATES, INC.
L.B. No. 3300

SEE SHEET 1 OF 2



AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
 50 S.W. 2ND AVENUE, SUITE 102
 BOCA RATON, FLORIDA 33432
 TEL. (561) 392-2594, FAX (561) 394-7125

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SCALE	1" = 100'	REVISIONS	DATE	BY	CK	REVISIONS	DATE	BY	CK
DATE	09/15/05	ADD EASEMENTS PER O.R.B. 8727, PG. 908	01/24/06	J.T.D.					
BY	C.L.P.	VERIFY BOUNDARY; UPDATE TO ALTA/ACSM; REV. TITLE COMMIT.(F.B.1345/18)	06/22/06	S.A.M.	J.T.D.				
CK'D.	J.T.D.	UPDATE BOUNDARY, TITLE COMMITMENT & RECERTIFY (SKETCH)	07/31/06	S.A.M.	J.T.D.				
		UPDATE--ADD BENCHMARK AND FLOOR ELEVATIONS (F.B. 1346/49 & SK.)	08/22/06	S.A.M.	J.T.D.				
		UPDATE PER REVISED TITLE COMMITMENT & COMMENTS	09/13/06	S.A.M.	J.T.D.				
		FIELD UPDATE BOUNDARY AND IMPROVEMENTS	05/09/12	JTD					
F.B. 1288	PG. 03	FIELD UPDATE BOUNDARY & REVISE TO ALTA/ACSM STANDARDS (SK.)	12/05/12	S.A.M.	J.T.D.				
JOB NO.	7901								

ALTA/ACSM LAND TITLE SURVEY
PORTION OF PARCEL 'B'
 ORIOLE-MARGATE SECTION 4

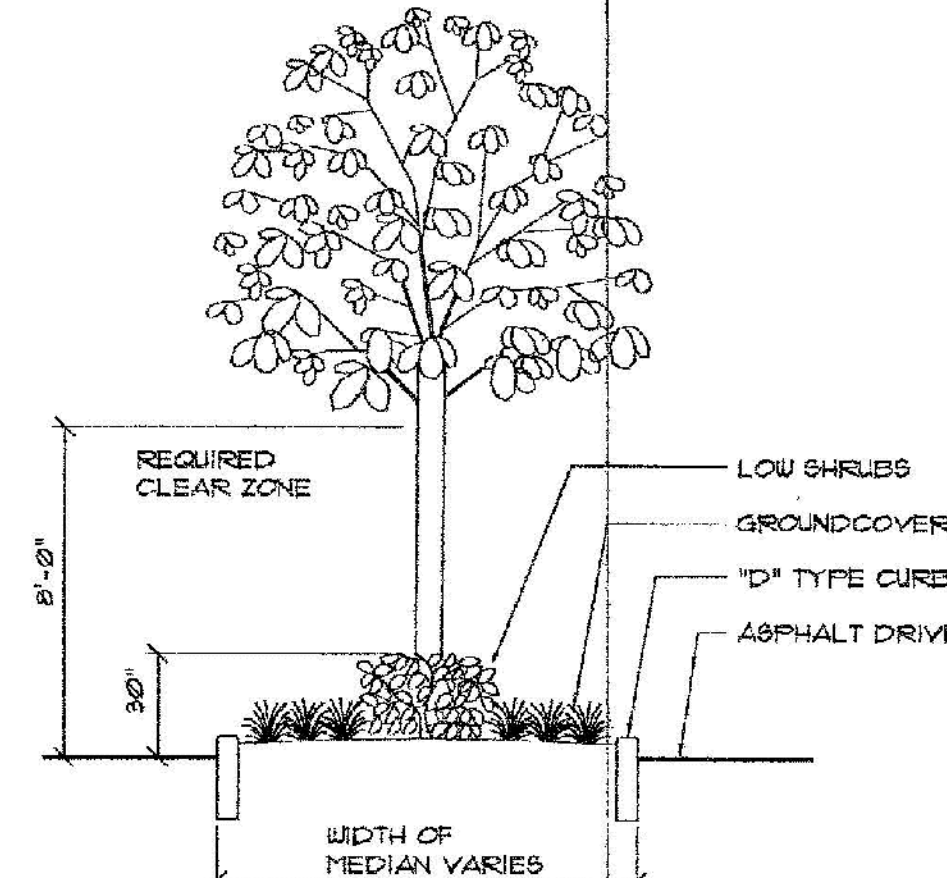
BROWARD COUNTY
FLORIDA

SHEET
2
OF
2

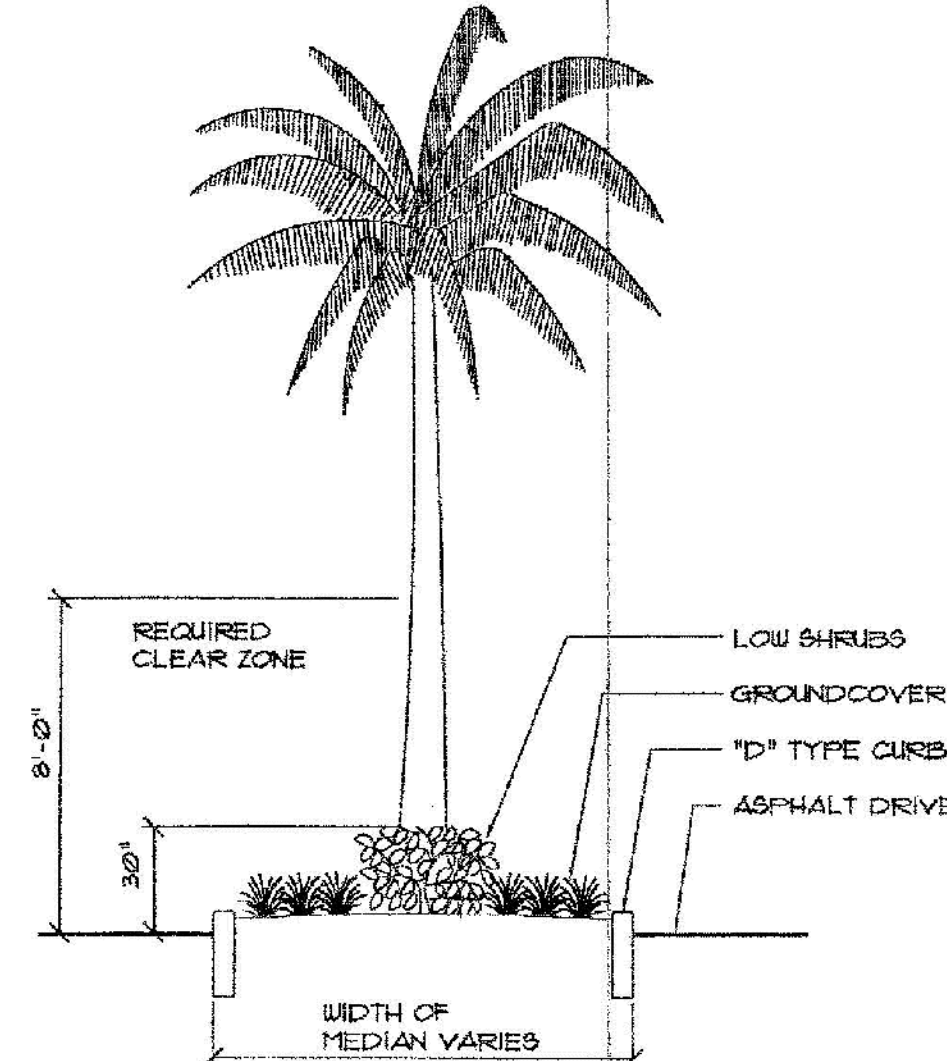
SYM	SPECIES	DESCRIPTION	STATUS
A	Washingtonia	40' ht.	remove
B	Washingtonia	40' ht.	remove
B	Washingtonia	40' ht.	remove
D	Black olive	12' cal. 40' ht. x 40' apr.	remain
E	Jacaranda	100' ht. x 30' apr.	remain
F	Footfall palm	10' o.a. ht.	relocate
F	Footfall palm	10' o.a. ht.	relocate
H	Washingtonia palm	50' o.a. ht.	remove
H	Washingtonia palm	50' o.a. ht.	remove
J	Washingtonia palm	40' o.a. ht.	remove
K	Washingtonia palm	40' o.a. ht.	remove
M	Black olive	18' cal. 40' ht. x 30' apr.	remove
M	Bottlebrush trees	14' ht. x 14' apr. multi-trunk	remove
N	Poinciana	18' cal. 30' ht. x 30' apr.	remove
N	Bottlebrush tree	17' ht. x 8' apr. 6' cal.	remove
Q	Leucaia	5' cal. 14' ht. x 9' apr. pocer	remove
Q	Poinciana	24' cal. 30' ht. x 40' apr.	remove
R	Washingtonia	25' ht. pocer	remove
R	Black olive	18' cal. x 30' apr. 12' cal.	remove
S	Live oak	12' cal. 30' ht. x 30' apr.	remove
T	Asacila	18' cal. 30' ht. x 30' apr.	remove
V	Live oak	4' cal. 18' ht. x 12' apr. pocer	remove
V	Poinciana	12' cal. 20' ht. x 20' apr.	remove
X	Poinciana	12' cal. 20' ht. x 20' apr.	remove
X	Poinciana	12' cal. 20' ht. x 20' apr.	remove
Y	Black olive	12' cal. 30' ht. x 30' apr.	remove
Y	Black olive	18' cal. 30' ht. x 35' apr.	remove
Z	Washingtonia	35' o.a. ht.	remove
AB	Washingtonia	35' o.a. ht.	remove
AB	Washingtonia	35' o.a. ht.	remove
AB	Washingtonia	35' o.a. ht.	remove
AE	Washingtonia	35' o.a. ht.	remove
AF	Bottlebrush	12' ht. x 6' apr. pocer	remove
AG	Washingtonia	40' o.a. ht.	remove
AH	Washingtonia	35' o.a. ht.	remove
AI	Washingtonia	20' o.a. ht.	remove
AI	Washingtonia	35' o.a. ht.	remove
AL	Bottlebrush	12' ht. x 6' apr. pocer	remove
AL	Bottlebrush	12' ht. x 6' apr. pocer	remove
AM	Bottlebrush	12' ht. x 6' apr. pocer	remove
AN	Black olive	18' cal. 30' ht. x 20' apr.	remove
AP	Black olive	12' cal. 30' ht. x 30' apr.	remove
AP	Poinciana	12' cal. 20' ht. x 20' apr. pocer	remove
AP	Poinciana	12' cal. 20' ht. x 20' apr. pocer	remove
AS	Live oak	12' cal. 20' ht. x 20' apr.	remove
AS	Live oak	12' cal. 25' ht. x 25' apr.	remove
AT	Poinciana	24' cal. 25' ht. x 40' apr.	remove
AV	Asacila trees	30' cal. 50' ht. x 40' apr.	remove
AV	Live oak	14' cal. 30' ht. x 30' apr.	remove
AW	Live oak	14' cal. 30' ht. x 30' apr.	remove
AX	Live oak	14' cal. 30' ht. x 30' apr.	remove
AT	Bottlebrush	12' cal. 14' ht. x 18' apr.	remove
AZ	Bottlebrush	12' cal. 14' ht. x 18' apr.	remove

BA	Schefflera	17' cal. 30" ht. x 30" apr.	remove
BB	Black olive	12' cal. 30" ht. x 30" apr.	remove
BC	Black olive	24' cal. 40" ht. x 40" apr.	remove
BD	Black olive	12' cal. 40" ht. x 40" apr.	remove
BE	Foxtail palm	10' oct. ht.	relocate
BF	Foxtail palm	10' oct. ht.	remove
BG	Black olive	16" cal. 40" ht. x 40" apr.	remove
BH	Black olive	12' cal. 40" ht. x 40" apr.	remove
BI	Black olive	12' cal. 30" ht. x 30" apr.	remove
BJ	Black olive	14" cal. 35" ht. x 35" apr.	remove
BK	Black olive	12' cal. 30" ht. x 30" apr.	remove
BL	Bottlebrush	20" ht. x 20" apr. multi	remove
BN	Bottlebrush	20" ht. x 20" apr. multi	remove
BO	Bottlebrush	Poor condition	remove
BP	Bottlebrush	8' cal. 18" ht. x 16" apr.	remove
BQ	Bottlebrush	40" oct. ht.	remove
BR	Washingtonia	40" oct. ht.	remove
BS	Washingtonia	40" oct. ht.	remove
BT	Washingtonia	40" oct. ht.	remove
BU	Bottlebrush	Multi trunk 20" ht. x 20" apr.	remove
BV	Bottlebrush	Multi trunk 20" ht. x 20" apr.	remove
BW	Arceut palm	5 trunks 20" oct. ht.	remain
BX	Arceut palm	18" cal. 50" ht. x 40" apr.	remain
DY	Jacaranda	50" ht. x 50" apr.	remain
HT	Jacaranda	40" ht. x 40" apr.	remain
CA	Bischofia	6' cal 30" ht. x 30" apr.	remain
CB	Bischofia	6' cal 30" ht. x 30" apr.	remain
CC	Jacaranda	40" ht. x 40" apr.	remain
CD	Jacaranda	40" ht. x 40" apr.	remain
CE	Jacaranda	40" ht. x 50" apr.	remain
CF	Bischofia	40" ht. x 40" apr.	remain
CG	Acacia	12" ht. x 40" apr.	remain
CH	Bischofia	30" ht. x 20" apr. 10' cal	remain
CI	Bischofia	28" cal 40" ht. x 28" apr.	remain
CJ	Live oak	10" cal 30" ht. x 20" apr.	remain
CK	Gumbo Limbo	10" ht. x 30" apr.	remain
CL	Gumbo Limbo	10" ht. x 30" apr.	remain
CM	Gumbo Limbo	40" ht. x 30" apr.	remain
CN	Gumbo Limbo	10" ht. x 30" apr.	remain
CO	Bischofia	14" cal 40" ht. x 30" apr.	remain
CP	Bischofia	14" cal 40" ht. x 30" apr.	remain
CQ	Poinciana	5' cal 30" ht. x 30" apr.	remain
CR	Locust	5' cal 30" ht. x 30" apr.	remain
CS	Poinciana	12" cal 30" ht. x 20" apr.	remain
CT	Jacaranda	40" ht. x 30" apr.	remain
CU	Locust	12' cal 30" ht. x 20" apr. poor	remove
CV	Locust	12" ht. x 12" apr. poor	remove
CW	Bottlebrush	Poor condition	remove
CX	Dracena	Poor condition	remove
CY	Foxtail palm	12' oct. ht.	relocate
CZ	Foxtail palm	12' oct. ht.	relocate
DA	Foxtail palm	10' oct. ht.	relocate
DB	Foxtail palm	10' oct. ht.	relocate
DC	Foxtail palm	12' oct. ht.	relocate
DD	Foxtail palm	12' oct. ht.	relocate
DE	Foxtail palm	12' oct. ht.	relocate
DF	Black olive	8' cal. 20" ht. x 20" apr.	remove
DG	Black olive	8' cal. 20" ht. x 20" apr.	remove
DH	Washingtonia palm	35' oct. ht. x 30" apr.	remove
DI	Washingtonia palm	35' oct. ht.	remove
DJ	Washingtonia palm	35' oct. ht.	remove
DK	Bottlebrush	Multi trunk 25" ht. x 35" apr.	remove
DL	Washingtonia palm	35' oct. ht.	remove
DM	Washingtonia palm	35' oct. ht.	remove
DN	Washingtonia palm	35' oct. ht.	remove
DO	Washingtonia palm	35' oct. ht.	remove
DP	Acacia	15" cal. 40" ht. x 40" apr.	remove
DQ	Acacia	12" cal. 30" ht. x 30" apr.	remove
DR	Schefflera	24" cal. 30" ht. x 30" apr.	remove
DS	Black olive	8' cal. 20" ht. x 30" apr.	remove
DT	Black olive	8' cal. 20" ht. x 30" apr.	remove
DU	Schefflera	12" cal. 20" ht. x 20" apr.	remove
DV	Bottlebrush	18" cal. 20" ht. x 20" apr.	remove
DW	Bottlebrush	18" cal. 20" ht. x 20" apr.	remove
DX	Foxtail palm	10" oct. ht.	remove
DY	Foxtail palm	10" oct. ht.	remove
DZ	Schefflera	12" cal. 20" ht. x 30" apr.	remove
DZ	Foxtail palm	12" oct. ht.	relocate

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY
BN	Bismarckia nobilis Bismarck Palm	16' od. ht., specimen	3
H9	Hibiscus spp. Hibiscus Standard	5' ht. x 3' spr., standard	14
FE	Psychosperma elegans Alexander Palm	16' od. ht., single trunk	20
FE ²	Psychosperma elegans Double Alexander Palm	16' od. ht., double trunk	7
FE ³	Psychosperma elegans Triplic Alexander Palm	16' od. ht., triple trunk	1
FM	Phoenix medjool Medjool Date Palm	10' ct., specimen	2
QV	Quercus virginiana Live Oak	12' ht. x 6' apr, 2 1/2" cal., container grown, 1' ct.	54
RE	Roystonia elata Florida Royal Palm	25' od. ht.	59
RI	Raphiolepis indica Std. Indian Hawthorn	5' ht. x 3' spr., standard	11
SS	Senna aurantialis Glaucous Cassia	12' ht. x 5' spr., 2" cal.	15
GG ¹	Laegerstromia indica Crepe Myrtle	12' ht. x 6' apr., 8" ct., single trunk	30
ACP	Acalypha pandula Trailing Chenille	1 gal, 18" apr., 12" o.c.	330
AGL	Aglaonema silver queen Silver Queen	1 gal, 10" ht. x 10" apr., 18" o.c.	36
ALV	Alphita variegata Variegated Ginger	3 gal, 24" ht. x 24" apr., 24" o.c.	32
ANN	Annula to be selected by Landscape Architect	4' pots, 12" o.c.	216
ASP	Asparagus dens, rigens Foxtail Asparagus	1 gal, 10" apr., 18" o.c.	27
CHA	Chamaedorea cataractarum Cat Palm	4' ht. x 4' apr.	94
CHE	Chamaedorea elegans Parlor Palm	6' ht. x 4' apr.	20
CHR	Chrysobalanus icaco Cocoplum Hedge	3 gal, 24" ht. x 24" apr., 24" o.c.	75
COD	Codiaeum variegatum Mamey Croton	3 gal, 24" ht. x 24" apr., 24" o.c.	123
CRI	Crinum amabile Purple Crinum Lily	10 gal, 3' ht. x 3' apr.	5
CYR	Cytisium falcatum Holly Fern	1 gal, 12" apr., 18" o.c.	102
FIC	Ficus benjamina Ficus Hedge	6' ht. x 2' apr., 24" o.c.	20
FIS	Ficus microcarpa Ficus Green Island	1 gal, 12" apr., 18" o.c.	2374
HEL	Heliconia stricta Dwarf Heliconia	3 gal, 12" ht. x 12" apr., 18" o.c.	79
ILE	Ilex vomitoria Dwarf Yaupon	3 gal, 12" ht. x 12" apr., 18" o.c.	928
IXO	Ixora 'nora grant' Nora Grant Ixora	3 gal, 24" ht. x 24" apr., 24" o.c.	240
JAS	Jasminum volubile Wax Jasmine	3 gal, 24" ht. x 24" apr., 24" o.c.	886
JUN	Juniperus ch. parsonii Parsons Juniper	1 gal, 10" apr., 12" o.c.	6165
LIR	Liriodendron evergreen giant Giant Liriodendron	1 gal, 12" apr., 12" o.c.	722
PHX	Philodendron xanadu Dwarf Philodendron	3 gal, 24" ht. x 24" apr., 24" o.c.	279
PLE	Platycodon reflexa Variegated Dracaena	15 gal, 6' ht., 3 ppp	12
PLU	Plumbago auriculata Plumbago	3 gal, 24" ht. x 24" apr., 24" o.c.	415
RUP	Ruellia brittoniana Purple Showers	3 gal, 24" ht. x 24" apr., 24" o.c.	675
SCH	Schefflera arboricola Variegated Trinitet	3 gal, 24" ht. x 24" apr., 24" o.c.	665
VIB	Viburnum suspensum Viburnum Hedge	3 gal, 24" ht. x 24" apr., 24" o.c.	148
SOD	Stenotaphrum secundatum St. Augustine Flacidan	full, fresh sod	as req'd



SAFE SIGHT SECTION



SAFE SIGHT SECTION

(b) Required Landscaping Abutting ROW's
Rock Island Road
 (1) trees/40' = 13 trees required
 500' ÷ 40' = 12.5/40' = 13 trees provided or existing
 Minimum of 20% must be palms
 3 palms = 1 tree
 2 palms required
 2 palms provided
 hedge required
 hedge provided

Atlantic Blvd
 380' ÷ 17' = 22.3/17 = 22 trees required
 22 trees provided or existing
 22 x 20' = 440' ÷ 10' = 44 palms required
 44 palms provided
 hedge required
 hedge provided

Parking Area Interior Landscaping
 (a) 10 sq. ft. of interior landscaping/parking space, excluding spaces abutting perimeter.
 452 parking spaces x 10' = 4,520 sq. ft. Int. landscape area required
 4,520 sq. ft. Int. landscape area provided
 (b) 1 tree required/300 sq. ft. of landscape required
 Required sq. ft. 4,520/150 = 30 trees required
 30 trees provided

**EXISTING INFORMATION TAKEN
FROM FINAL APPROVED PLANS
PREPARED BY DAVE BODKER,
DATED 7-21-04 (LAST REVISED
1-18-05), PROJECT NUMBER 5804.**



City of Margate
5790 Margate Boulevard
Margate, FL 33063
954-972-6454
www.margatefl.com

AGENDA ITEM FACT SHEET
Item No: 3.

TO: Development Review Committee

FROM: Benjamin J. Ziskal, AICP

DATE: February 20, 2014

RE: DRC NO. 02-14-05. PETITION: Consideration of a site plan approval, for improvements to Kaye Stevens Park.

LOCATION: 5825 Royal Palm Boulevard

ZONING: S-1 Recreational District

LEGAL DESCRIPTION: Lot 31, "IBEC ADDITION NO. 2," according to the plat thereof, as recorded in Plat Book 47, Page 21 of the public records of Broward County, Florida.

PETITIONER: Adriane Esteban, agent for the Margate Community Redevelopment Agency.

BACKGROUND: Proposed improvements consist of adding a sidewalk, driveway, irrigation, and park amenities such: as picnic table shelters, swing, park benches, picnic tables and receptacles.



City of Margate
DEVELOPMENT REVIEW COMMITTEE
Application for Site Plan

5790 Margate Blvd., Margate, FL 33063
954-972-6454

Submittal Date (official use):

02-13-14 P03:35 RCVD

Project Name		Kaye Stevens Park Renovations
Address		5825 Royal Palm Blvd.
Acreage	Folio Number	1.87 4841 25 08 0320
Existing Use		Passive Park
Legal Description		IBEC ADD NO 2 47-21 B LOT 31

Describe proposal/request in detail, including non-residential square footage and/or number of dwelling units

Adding sidewalk, driveway and park amenities such as picnic table shelter, swing, park bench, picnic table and receptacles. Also adding irrigation.

Agent/Contact Name		Margate Community Redevelopment Agency/CRA
Address		5790 Margate Blvd.
		Margate, FL 33063
Phone Number	Fax Number	(954) 935-5323 (954) 935-5211
Email Address		craprojects@margatefl.com

Property Owner Name		City of Margate
Address		5790 Margate Blvd.
		Margate, FL 33063
Phone Number	Fax Number	(954) 972-0454
Email Address		citymanager@margatefl.com

OWNER'S AFFIDAVIT: I certify that I am the owner of record for the above referenced property and give authorization to file this petition. I understand that I, or a representative on my behalf, must be present at the DRC meeting. I further understand that my petition will be subject to the regulations of Chapter 16 ½ of the Margate City Code.

 EX. DIRECTOR
MARGATE
Property Owner's Signature

02/13/14
Date



KAYE STEVENS PARK RENOVATIONS

CRA BOARD

Chair, Lesa Peerman

Vice-Chair, Joanne Simone

Board Member, Brian Donahue

Board Member, Tommy Ruzzano

Board Member, Frank Talerico

CRA STAFF

Executive Director : Jerry Blough

Assistant Director : Rachel Bach

CRA Coordinator : Rita Rodi

PROJECT CONTACT

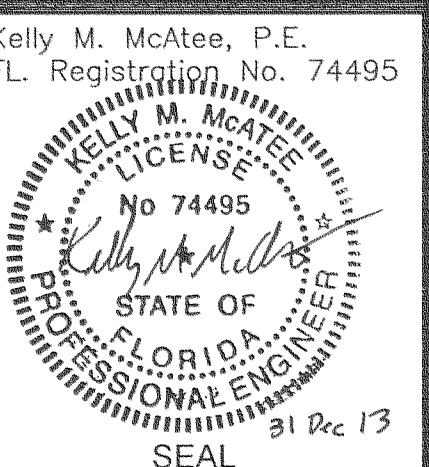
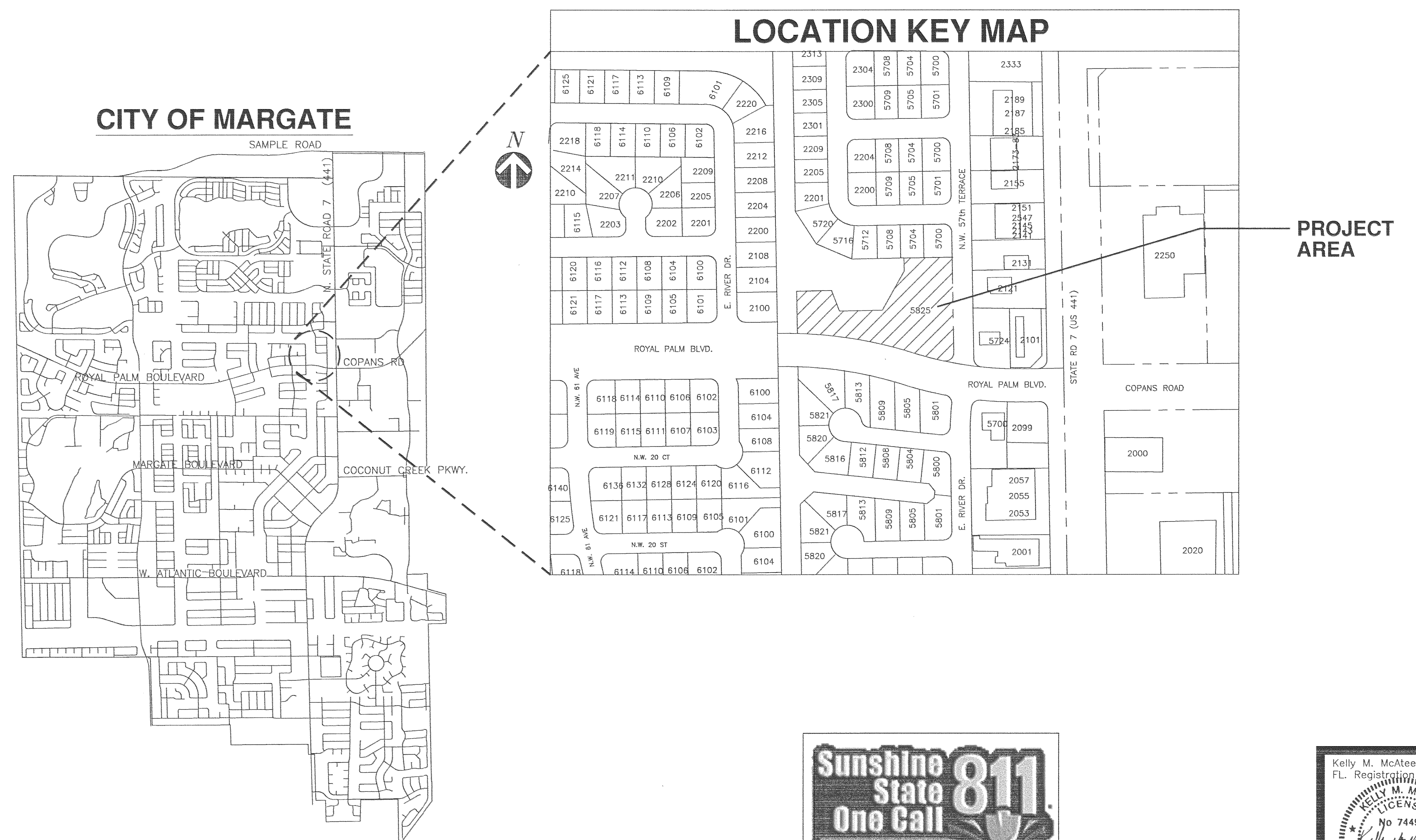
Micheal A. Jones, Director

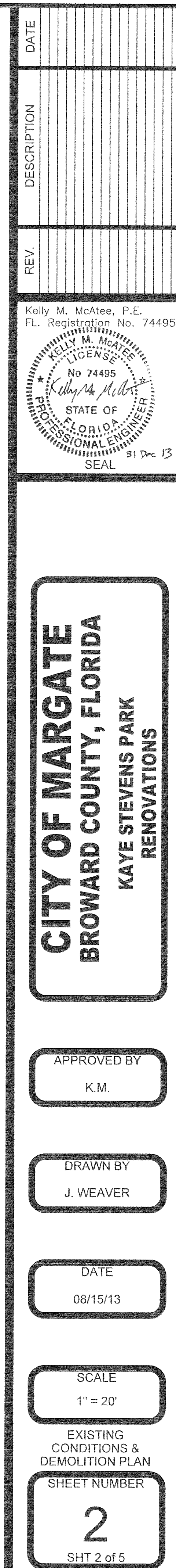
Parks and Recreation

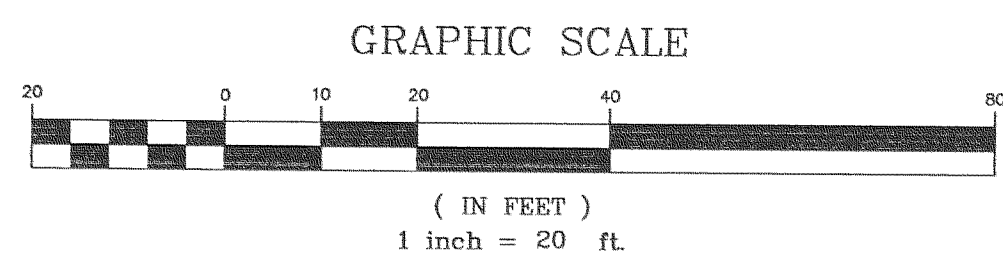
ENGINEER OF RECORD

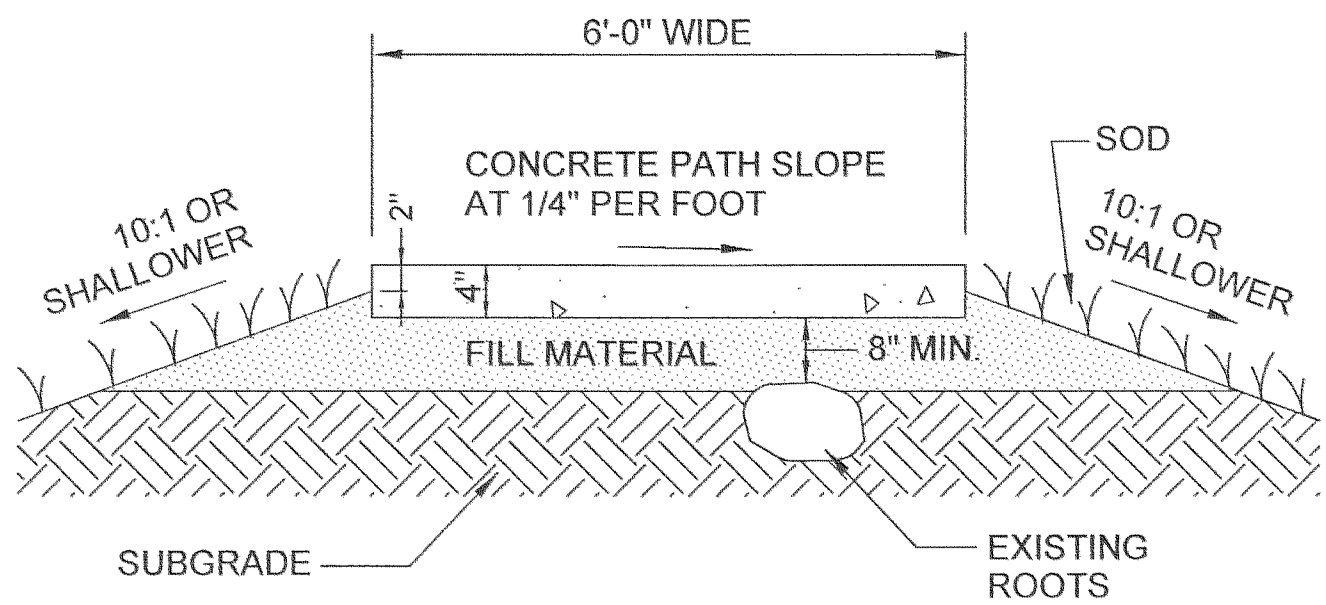
Kelly M. McAtee, P.E.

Department of Environmental & Engineering Services



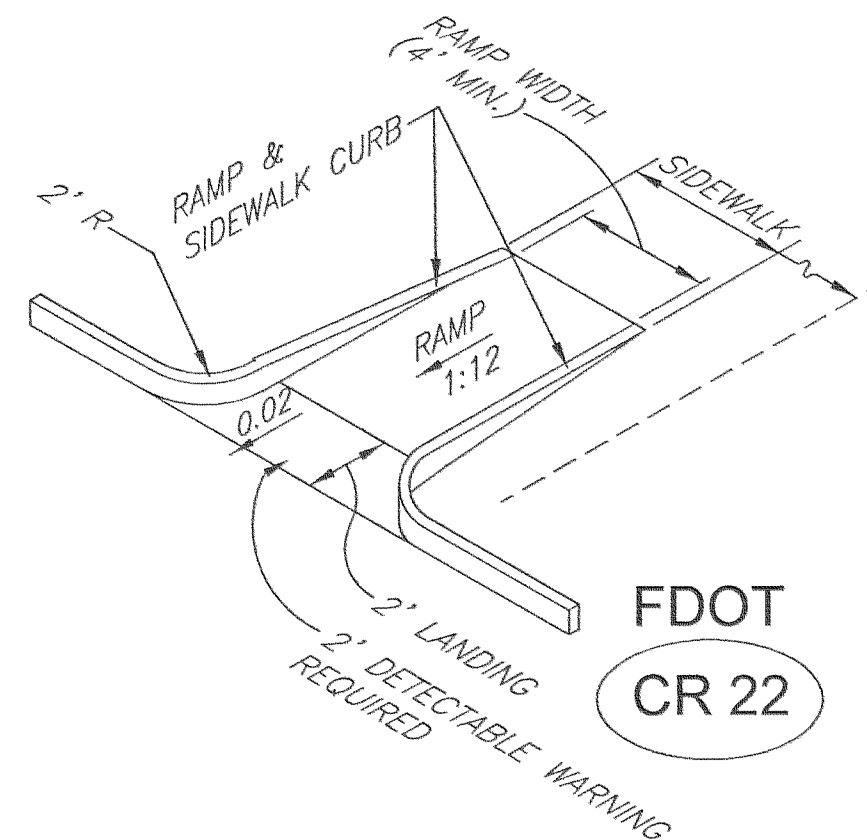


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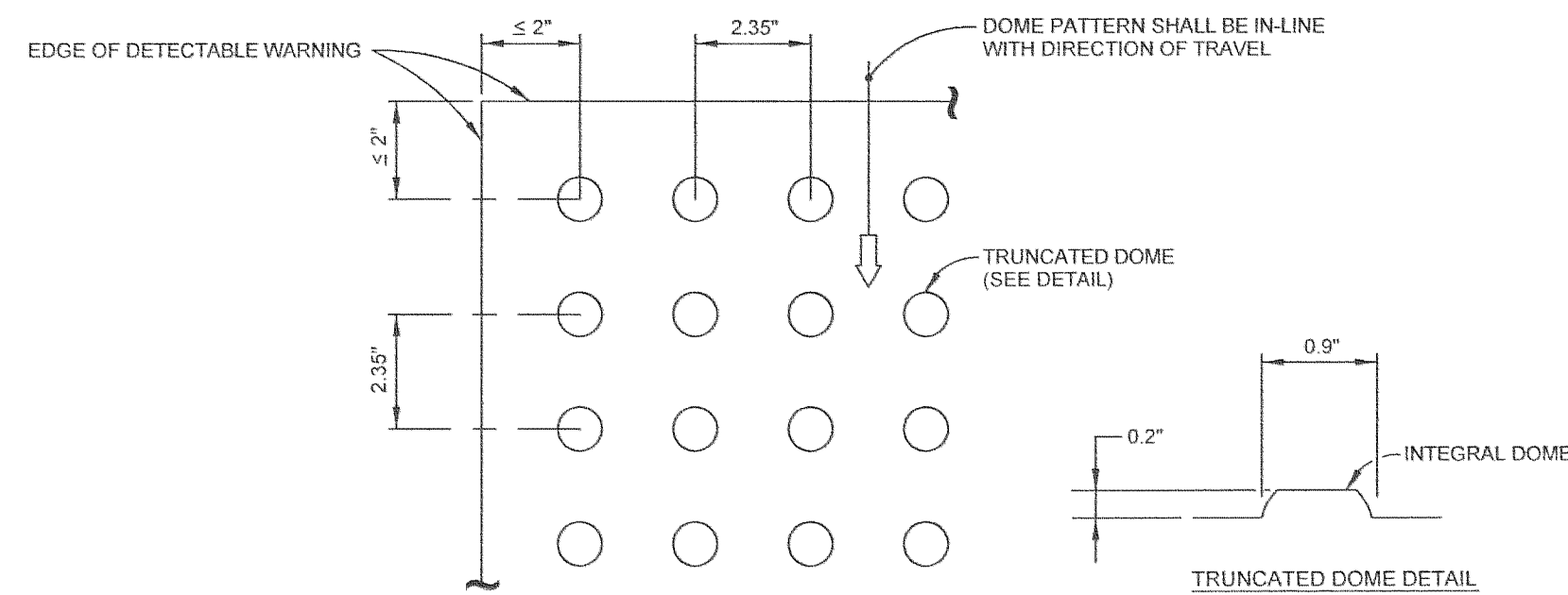


- NOTES:**
1. REMOVE EXISTING GRASS AND TOPSOIL AS NEEDED TO ENSURE PATH IS NOT CONSTRUCTED ON TOP OF ORGANICS.
 2. PROVIDE SUITABLE FILL MATERIAL AS NEEDED TO MEET ADA SLOPE REQUIREMENTS AND PROVIDE REQUIRED COVER OVER EXISTING ROOTS.
 3. PROVIDE 1/8" CONTRACTION JOINTS AT 6' C.C. WITH A MINIMUM DEPTH 1 1/2", EDGED WITH 1/2" RADIUS OR PROVIDE SAWED JOINTS 3/16" WIDE AND NOT LESS THAN 1 1/2" DEPTH WITHIN THE FOLLOWING TIME PERIODS: JOINTS AT NOT MORE THAN 30' INTERVALS WITHIN 12 HOURS AFTER FINISHING. REMAINING JOINTS WITHIN 96 HOURS AFTER FINISHING.
 4. PROVIDE A 1/2" EXPANSION JOINT WITH NON-RISING PREFORMED JOINT FILLER AT JUNCTION OF EXISTING AND NEW SIDEWALK OR OTHER CONCRETE.
 5. PROVIDE 4" THICK CONCRETE FOR ALL PATHS.
 6. CONCRETE TO BE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS
 7. ALL CONSTRUCTION SHALL CONFORM TO LOCAL CONSTRUCTION CODES AND STANDARDS.
 8. PROVIDE SOD OVER FILL MATERIAL.

CONCRETE PATH DETAIL

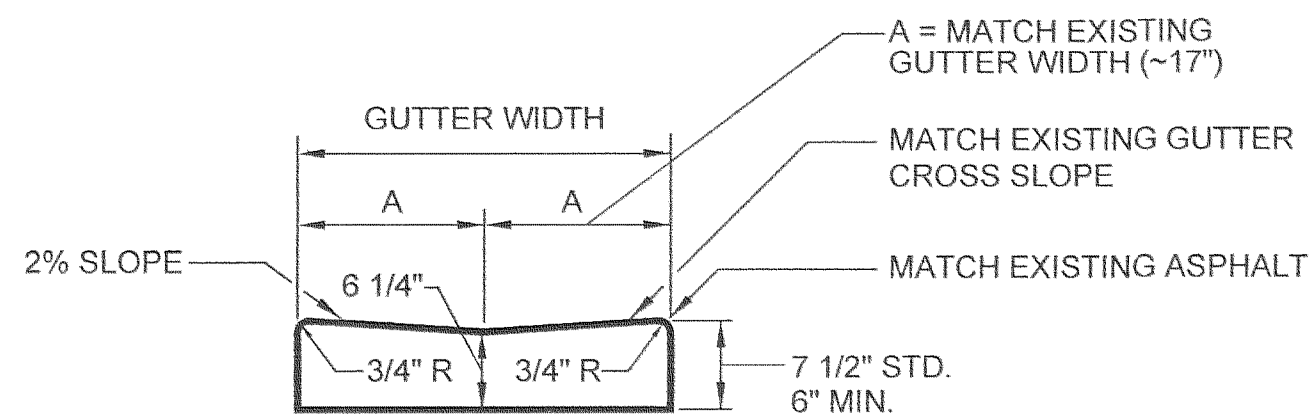


CURB RAMP DETAIL

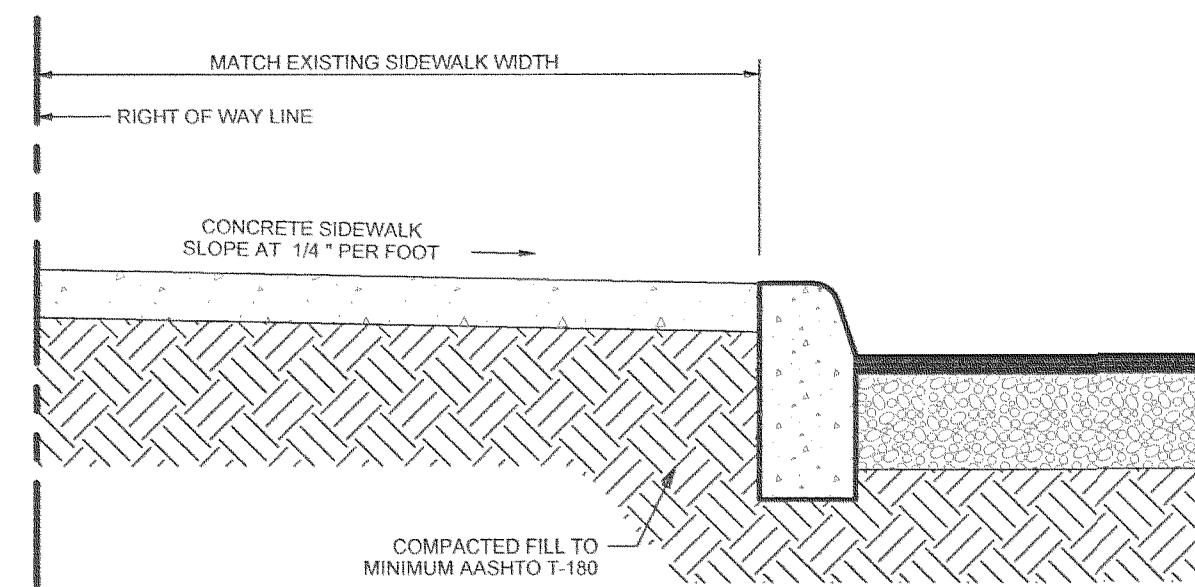


ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES (610 MM) FROM THE BACK OF CURB.

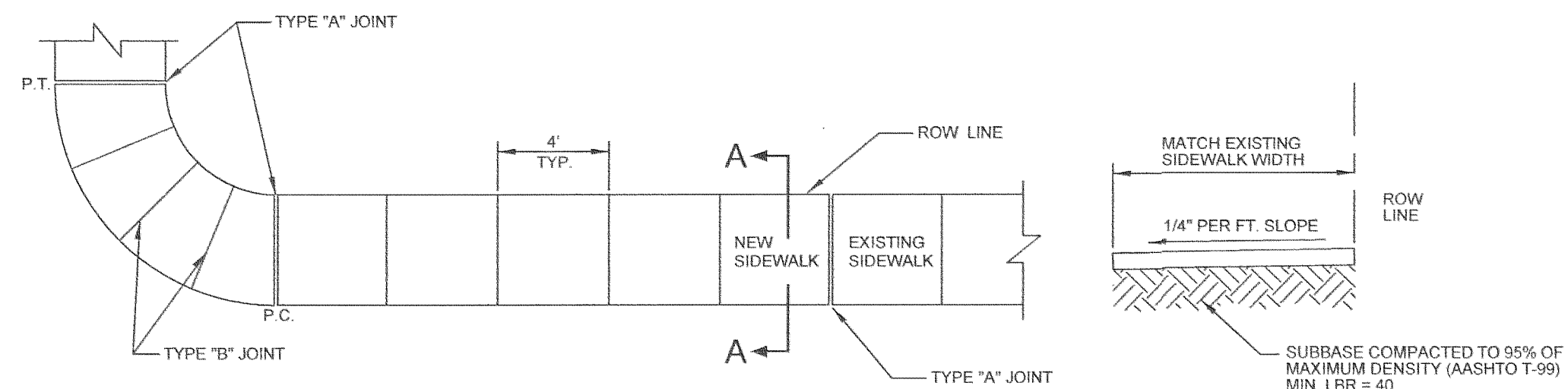
CURB RAMP DETECTABLE WARNING DETAIL



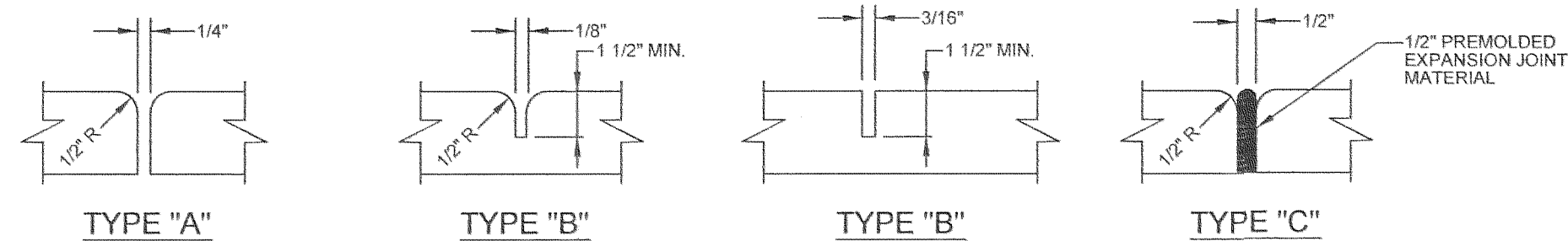
VALLEY GUTTER DETAIL



SIDEWALK AT CURB DETAIL



SIDEWALK PLAN



CONCRETE PAVEMENT & SIDEWALK JOINTS

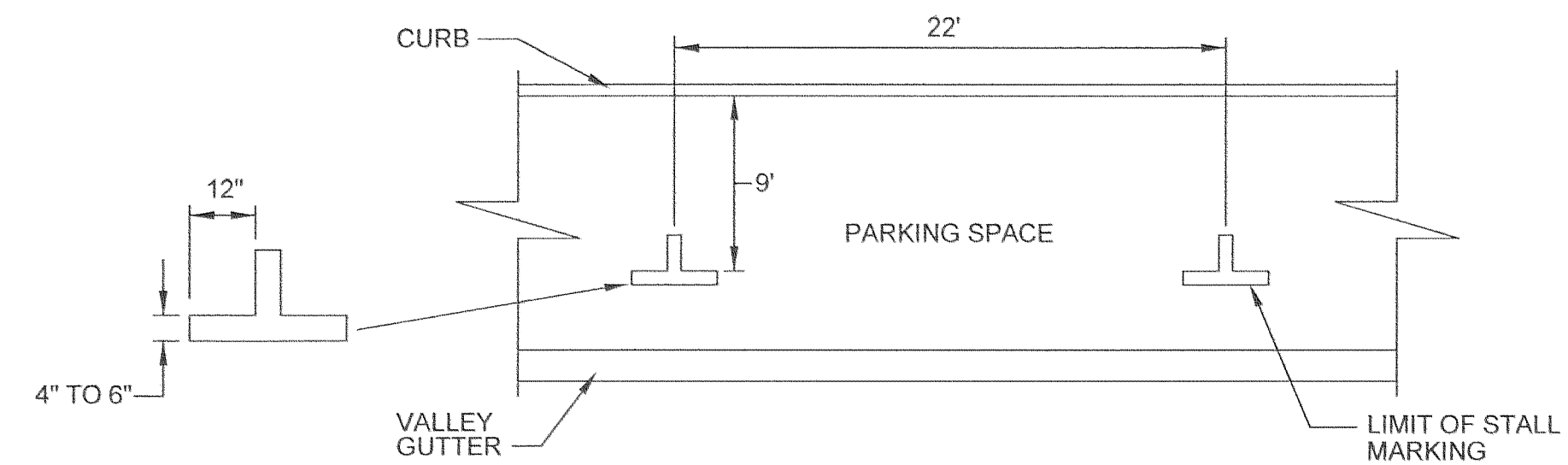
TYPE	LOCATION
"A"	P.C. AND P.T. CURVES.
"B"	4'-0" CENTER TO CENTER ON SIDEWALKS. 15' CENTER TO CENTER MAX. FOR CONCRETE PAVEMENT UNLESS OTHERWISE INDICATED.
"C"	JUNCTION OF EXISTING AND NEW SIDEWALKS.

1. PROVIDE 1/8" CONTRACTION JOINTS AT 4' C.C. WITH A MINIMUM DEPTH 1 1/2", EDGED WITH A 1/2" RADIUS OR PROVIDE SAWED JOINTS 3/16" WIDE AND NOT LESS THAN 1 1/2" DEPTH WITHIN THE FOLLOWING TIME PERIODS: JOINTS AT NOT MORE THAN 30' INTERVALS WITHIN 12 HOURS AFTER FINISHING. REMAINING JOINTS WITHIN 96 HOURS AFTER FINISHING.
2. PROVIDE A 1/2" EXPANSION JOINT WITH NON-RISING PREFORMED JOINT FILLER AT JUNCTION OF EXISTING AND NEW SIDEWALKS OR OTHER CONCRETE.
3. PROVIDE 4" CONCRETE FOR ALL SIDEWALKS, UNLESS NOTED OTHERWISE.
4. CONCRETE TO BE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
5. ALL CONSTRUCTION SHALL CONFORM TO LOCAL CONSTRUCTION CODES AND STANDARDS.

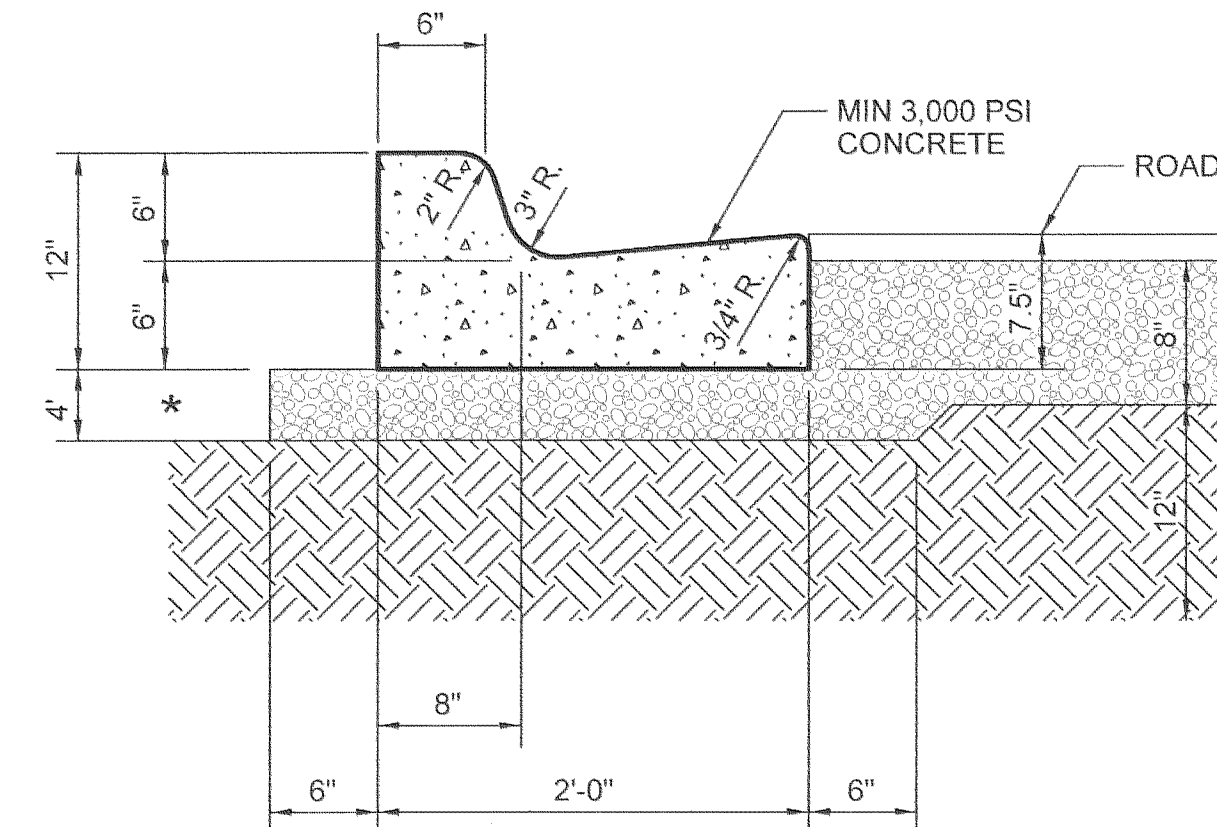
F.D.O.T. NOTES FOR CONCRETE SIDEWALK ON CURBED ROADSWAYS:

1. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 522 OF THE FDOT STANDARD SPECIFICATIONS EXCEPT FOR PUBLIC SIDEWALK CURB RAMP RUNS WHICH SHALL BE FINISHED IN ACCORDANCE WITH FDOT INDEX No. 304.
2. BOND BREAKER MATERIAL CAN BE ANY IMPERMEABLE COATED OR SHEET MEMBRANE OR PREFORMED MATERIAL HAVING A THICKNESS OF NOT LESS THAN 6 MILS NOR MORE THAN 1/2".
3. FOR PUBLIC SIDEWALK CURB RAMPS SEE FDOT INDEX No. 304.

CONCRETE SIDEWALK DETAIL

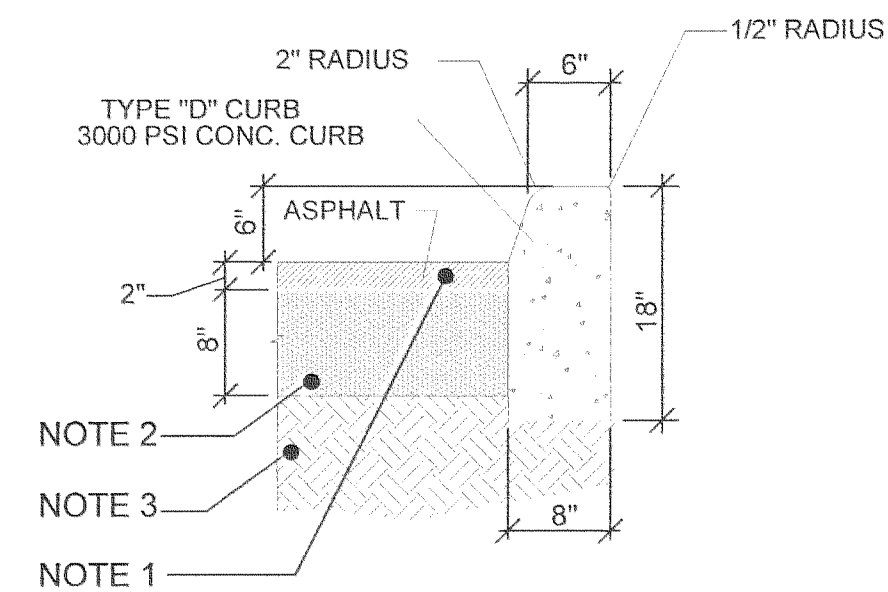


PARKING SPACE MARKING DETAIL



* NEW CURB PAD REQUIRED FOR NEW INSTALLATION

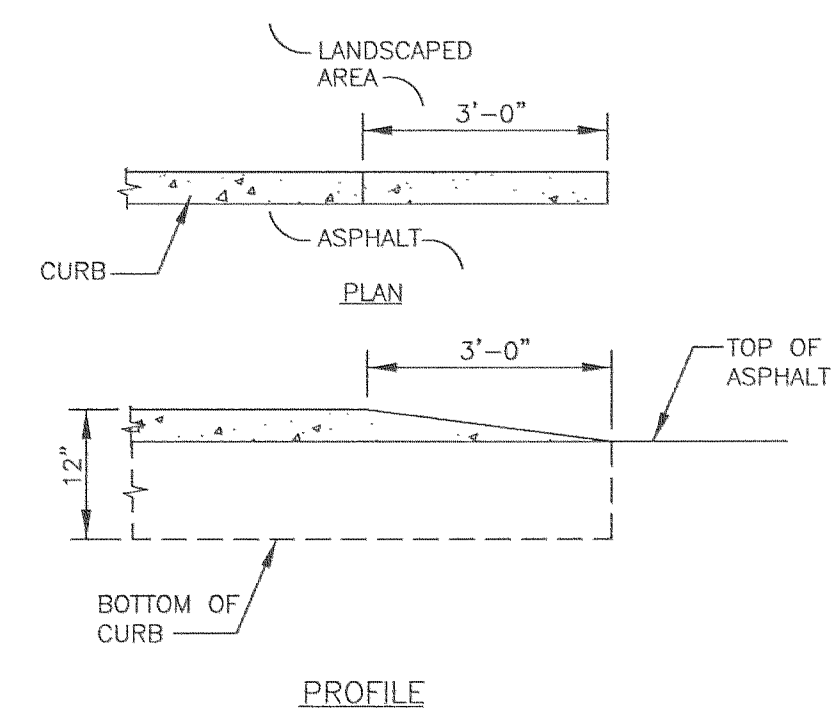
TYPE "F" CURB & GUTTER



CURBING GENERAL NOTES:

1. SAWCUT EXISTING ASPHALT AS NEEDED TO INSTALL CURB. CONTRACTOR SHALL REPAIR ANY ASPHALT DAMAGE TO A MINIMUM WIDTH OF 18". ASPHALT SHALL BE FDOT TYPE SP-9.5 AND SHALL CONFORM TO FDOT STANDARD SPECIFICATION SECTION 330 AND 334.
2. LIMEROCK BASE SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 WITH A MAXIMUM OF 6" LIFTS.
3. SUB GRADE SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 WITH A MAXIMUM OF 6" LIFTS.
4. CURB SHALL CONFORM TO FDOT STANDARD SPECIFICATION SECTION 520. CONTROL JOINTS SHALL BE TOOLED OR CUT EVERY TEN (10) FEET.
5. ALL DISTURBED AREAS BEHIND CURBS SHALL BE BACKFILLED WITHIN 72 HOURS OF PLACEMENT. CONTRACTOR SHALL RESTORE ANY DAMAGED LANDSCAPING, INCLUDING GRASS.

TYPE "D" CURB AND ASPHALT PARKING DETAIL



CURB TRANSITION DETAIL

DATE	
DESCRIPTION	
REV.	
Kelly M. McAtee, P.E. FL. Registration No. 74495 	

CITY OF MARGATE
BROWARD COUNTY, FLORIDA
KAYE STEVENS PARK
RENOVATIONS

APPROVED BY

K.M.

DRAWN BY

J. WEAVER

DATE

08/15/13

SCALE

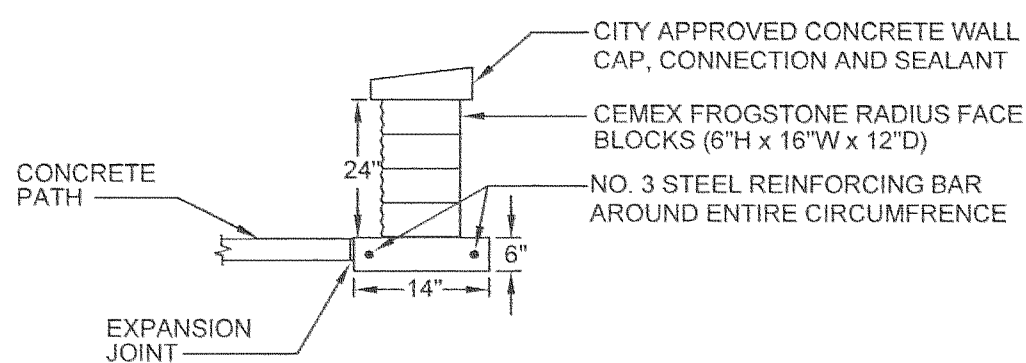
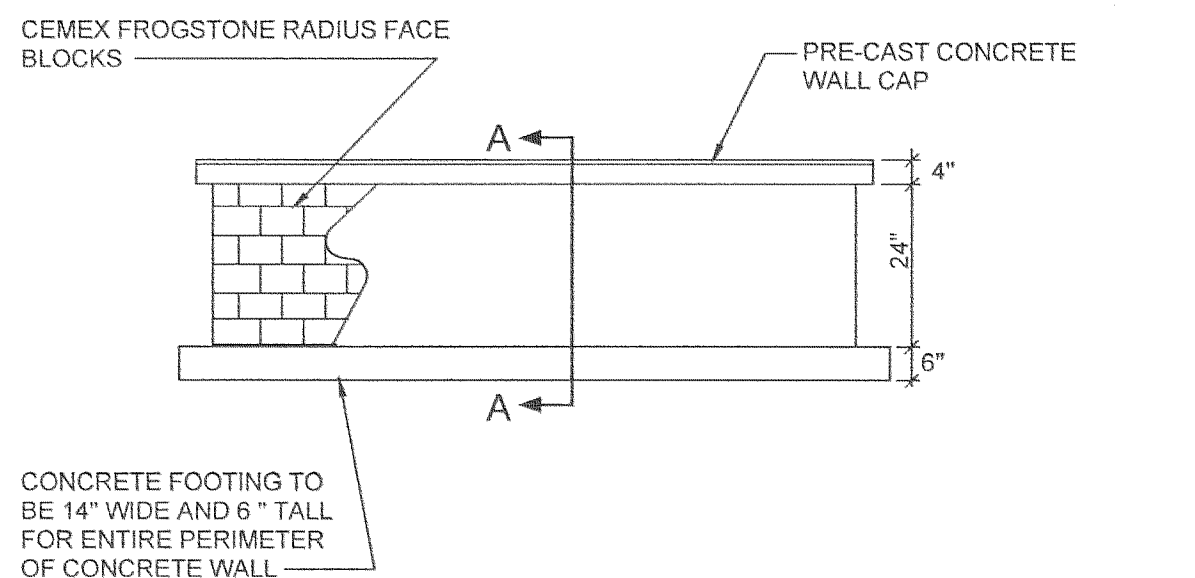
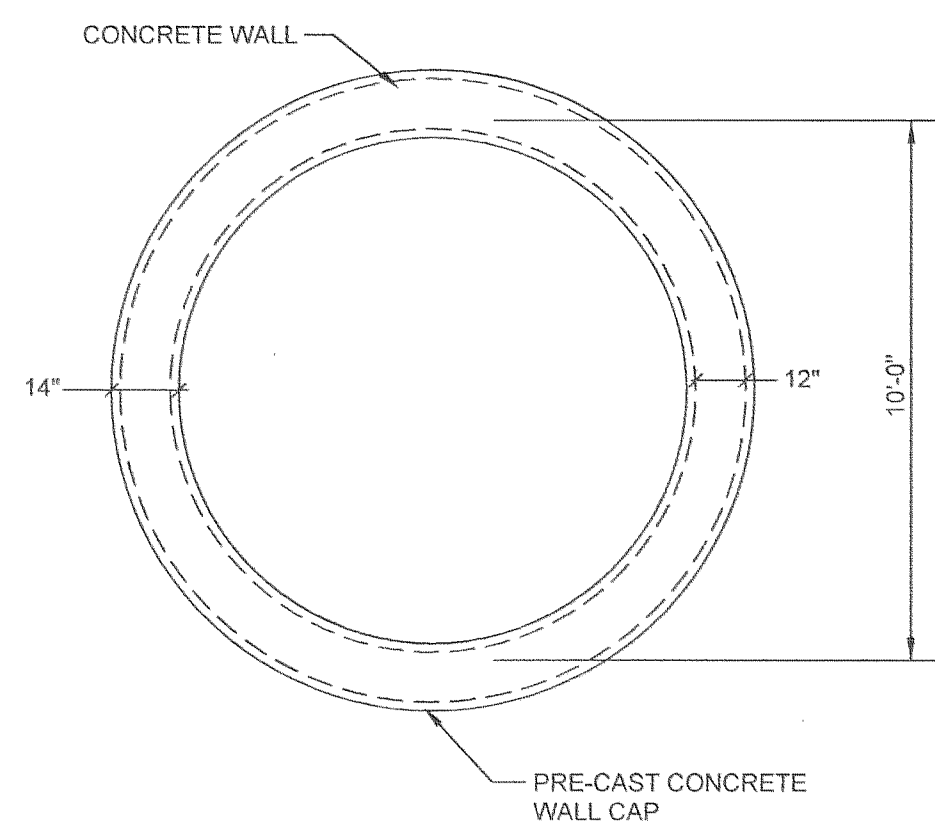
NONE

DETAILS

SHEET NUMBER

4

SHT 4 of 5



NOTES:

1. PRE-CAST CONCRETE CAP AND BLOCK COLORS SHALL BE SELECTED BY CITY.
2. REINFORCING STEEL BARS SHALL BE GRADE 60, DEFORMED AND SHALL CONFORM TO ASTM A615. MAINTAIN 2" MINIMUM COVER.
3. CONCRETE SHALL BE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. ALL CONCRETE WORK SHALL CONFORM TO ACI 318.
4. WALL CAP SYSTEM SHALL INCLUDE DRIP EDGES.

I. GENERAL NOTES

A. REGULATORY REQUIREMENTS:

1. NO CONSTRUCTION SHOULD COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL REQUIRED LOCAL, STATE AND FEDERAL AGENCIES.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE CITY, COUNTY AND FDOT STANDARD SPECIFICATIONS.
3. CONSTRUCTION SAFETY - ALL CONSTRUCTION SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS, THE TRENCH SAFETY ACT, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND OTHER APPLICABLE SAFETY CODES.
4. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC, NO HOLES SHALL BE LEFT OPEN OVERNIGHT. SINCE THE PROJECT SITE IS A PUBLIC RIGHT OF WAY, THE CONTRACTOR IS RESPONSIBLE TO SECURE THE SITE AT THE END OF EACH WORK DAY.

B. PRE-CONSTRUCTION:

1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND HIMSELF.
2. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL OF FLORIDA CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF ANY EXCAVATION.
3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
5. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

C. SHOP DRAWINGS:

1. THE CONTRACTOR SHALL SUBMIT (5) FIVE SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION, FOR ALL MATERIALS USED ON THE PROJECT. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER, CITY, AND/OR COUNTY.
 2. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED,
- D. TEMPORARY FACILITIES:**
1. TEMPORARY UTILITIES - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.
 2. MAINTENANCE OF TRAFFIC REGULATION - MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MUTCD AND THE FDOT STANDARD SPECIFICATIONS IN ACCORDANCE WITH THE DESIGN STANDARD INDICES FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE-HIGHWAY SYSTEM. CONTRACTOR SHALL SUBMIT AN MOT PLAN TO THE CITY FOR APPROVAL. THE MOT CANNOT BE IMPLEMENTED UNTIL THE PLAN IS APPROVED BY THE CITY.

E. SITE CONDITIONS:

1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL THE ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT OF EXISTING CONDITION. APPROPRIATE MATERIALS AND CONSTRUCTION METHODS SHALL BE USED FOR SUCH RESTORATION.
3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE, AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF FROM TIME TO TIME DURING THE ENTIRE LENGTH OF THE PROJECT.

H. GENERAL UTILITY NOTES

1. THE LOCATION

- ENGINEER, THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OR DISCREPANCIES BETWEEN EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS OF CONSTRUCTION DRAWINGS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES, IF APPLICABLE:

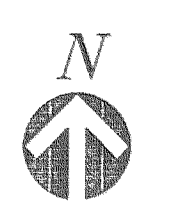
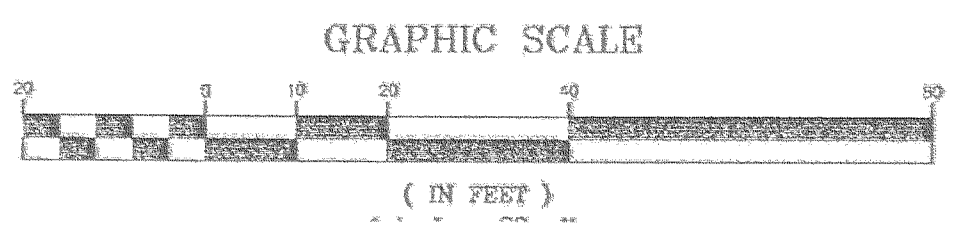
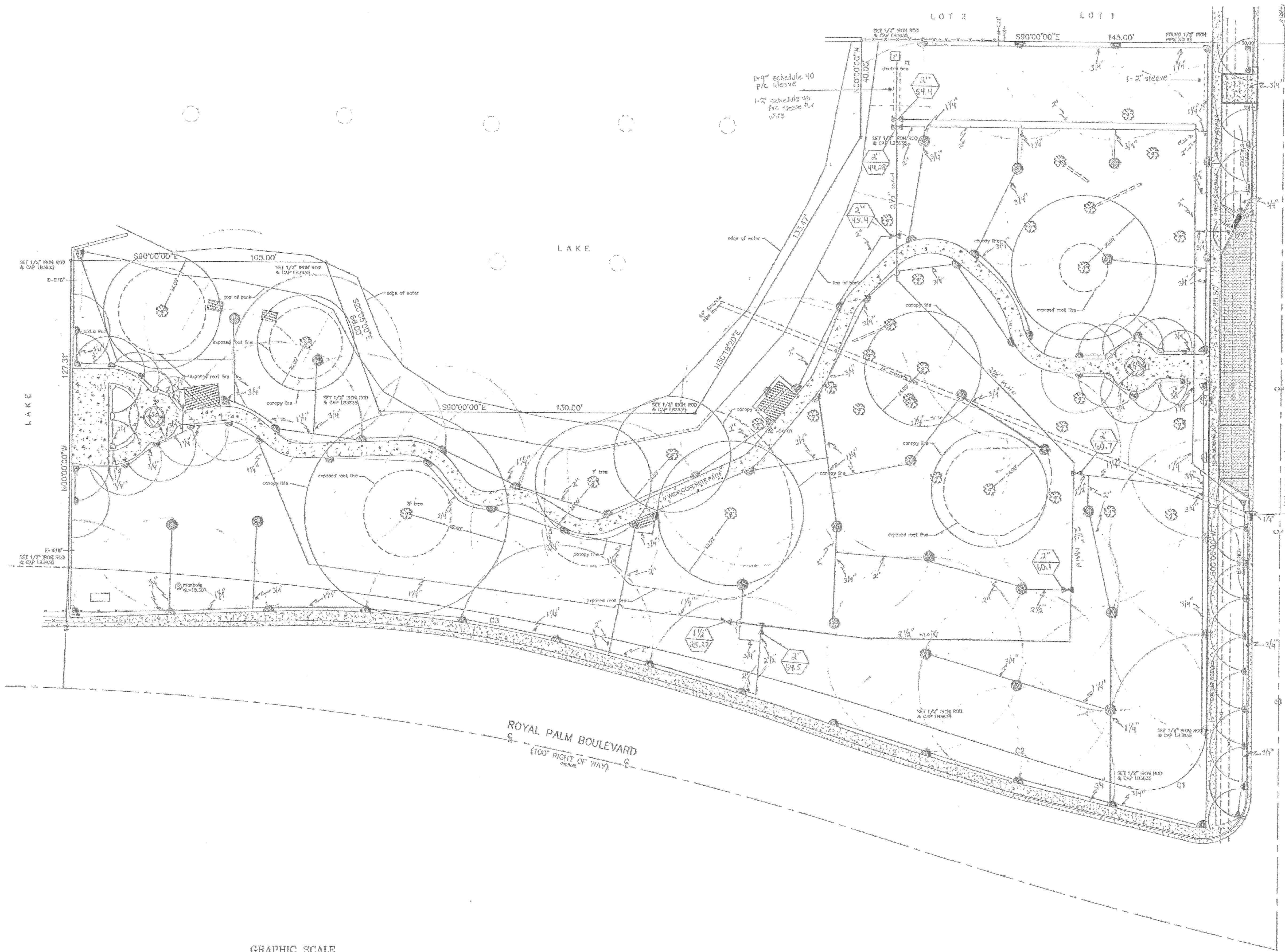
- FLORIDA POWER AND LIGHT COMPANY
- AT&T
- LOCAL GAS COMPANY
- LOCAL WATER AND SEWER UTILITY COMPANY(S)
- LOCAL CABLE TELEVISION COMPANY(S)
- CITY OF MARGATE
- SUNSHINE STATE ONE CALL OF FLORIDA- (1-800-432-4770)

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY. THIS REPAIR SHALL BE DONE AT NO EXPENSE TO THE OWNER OF THE DAMAGED UTILITY OR PROPERTY.

4. ALL PAVEMENT RESTORATION TO BE MADE IN ACCORDANCE WITH THE CITY, COUNTY OR STATE OF FLORIDA D. O. T. STANDARD SPECIFICATIONS, WHERE APPLICABLE.
5. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT THE CONSTRUCTION MATERIALS MEET OR EXCEEDS THE DESIGN REQUIREMENTS AND HAS BEEN INSPECTED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS.

6 COORDINATE

- UTILITY COMPANIES.
- I. PARK SAFETY**
1. CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL THE REQUIRED BARRICADES TO SECURE AND SEPARATE THE CONSTRUCTION AREA FROM THE PORTIONS OF THE PARK THAT ARE IN ACTIVE USE AND/OR OPEN TO THE GENERAL PUBLIC.
2. CONTRACTOR SHALL SECURE THE SITE AT THE END OF EACH DAY'S WORK.



TORO 570Z SERIES 4" POP-UP		
SYMBOL	QUANTITY	DESCRIPTION
◆	4	5' QUARTER NOZZLE
▼	2	8' QUARTER NOZZLE
□	2	8' HALF NOZZLE
■	1	10' QUARTER NOZZLE
■	3	10' HALF NOZZLE
○	2	12' QUARTER NOZZLE
▼	2	12' THIRD NOZZLE
○	5	12' HALF NOZZLE
●	2	12' TWO THIRD NOZZLE
●	5	15' QUARTER NOZZLE
●	20	15' HALF NOZZLE
TOTAL		48

TORO TR50 ROTOR		
SYMBOL	QUANTITY	DESCRIPTION
◆	11	1.5 NOZZLE
●	40	3.0 NOZZLE
●	21	6.0 NOZZLE
TOTAL		72

DIRECT BURIAL 14 AWG WIRE	
WHITE	= COMMON
BLACK	= ZONE
RED	= SPARE



[P] = 7.5 H.P. MOTOR WITH
3" INLET/DISCHARGE
TORO CC-P9, 9-STATION CONTROLLER
TORO TWRS WIRELESS RAIN SENSOR

- NOTES:
- ALL 1 1/4", 2" AND 2 1/2" PVC PIPE SHALL BE CLASS 160.
 - ALL 3/4" PVC PIPE SHALL BE CLASS 200.
 - ALL SLEEVES SHALL BE SCHEDULE 40 PVC PIPE.
 - 2 1/2" PIPE SHALL HAVE A 4" SLEEVE. ALL OTHER PIPE SIZES SHALL HAVE A 2" SLEEVE AS SHOWN ON THIS SHEET AND UNDER ANY CONCRETE SIDEWALK AND PATH.

DATE	
DESCRIPTION	
REV.	

CITY OF MARGATE
BROWARD COUNTY, FLORIDA
KAYE STEVENS PARK
RENOVATIONS

APPROVED BY	M.J.
DRAWN BY	K.T.
DATE	08/15/13
SCALE	NTS
PLAN	
SHEET NUMBER	IR-1
	SHT 1 of 1