

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FILE NO.: 1062-4597472, WITH AN EFFECTIVE DATE OF JANUARY 10, 2020 AT 8:00 A.M.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

LOTS 1, 2, 3, 4, 5 AND 6, BLOCK 2 OF CENTRAL PARK OF COMMERCE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 119, PAGE(S) 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

9) - RESTRICTIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS CONTAINED ON THE PLAT OF CENTRAL PARK OF COMMERCE, AS RECORDED IN PLAT BOOK 119, PAGE 271, AS AFFECTED BY AGREEMENTS FOR AMENDMENT OF NOTATION ON PLAT RECORDED IN O.R. BOOK 19315, PAGE 957 AND O.R. BOOK 45398, PAGE 703.
(AFFECTS, AS SHOWN.)

10) - TERMS AND CONDITIONS OF CITY OF MARGATE DEVELOPERS AGREEMENT DATED JUNE 28, 1983 AND FILED JULY 16, 1984 IN O.R. BOOK 11858, PAGE 489, AND AS AMENDED MARCH 14, 1988 IN THAT CERTAIN ASSIGNMENT OF DEVELOPER RIGHTS RECORDED IN O.R. BOOK 15441, PAGE 476, AND AS FURTHER ASSIGNED IN THAT CERTAIN ASSIGNMENT OF DEVELOPER RIGHTS DATED NOVEMBER 13, 1991 AND RECORDED ON FEBRUARY 1, 1992 IN O.R. BOOK 19133, PAGE 482
(AFFECTS, BLANKET IN NATURE OVER ALL LOTS.)

11) - EASEMENT GIVEN TO FLORIDA POWER & LIGHT RECORDED ON OCTOBER 18, 1984 IN O.R. BOOK 12069, PAGE 14.
(AFFECTS, AS SHOWN.)

12) - EASEMENT GIVEN TO FLORIDA POWER & LIGHT RECORDED DECEMBER 31, 1985 IN O.R. BOOK 13080, PAGE 9.
(AFFECTS, AS SHOWN.)

13) - UTILITY EASEMENT FROM MARGATE REALTY CORPORATION TO THE CITY OF MARGATE DATED AUGUST 7, 1978 AND RECORDED SEPTEMBER 19, 1978 IN O.R. BOOK 7773, PAGE 778.
(UNABLE TO PLOT, REQUIRES PALM BEACH FARMS CO., PLAT #3, AS RECORDED IN PLAT BOOK 2, PAGES 45-54.)

14) - EASEMENT TO FLORIDA POWER & LIGHT DATED SEPTEMBER 14, 1989 AND RECORDED ON OCTOBER 9, 1989 IN O.R. BOOK 16827, PAGE 917.
(UNABLE TO PLOT, INSUFFICIENT LEGAL DESCRIPTION.)

15) - WATER EASEMENT TO MUNICIPALITY OF MARGATE DATED FEBRUARY 22, 1990 AND RECORDED APRIL 11, 1990 IN A.R. BOOK 17324, PAGE 59.
(AFFECTS, AS SHOWN.)

16) - AGREEMENT BY AND BETWEEN BROWARD COUNTY AND ABUNDANT LIFE CHRISTIAN CENTRE, INC. DATED MARCH 3, 1992 AND RECORDED MARCH 30, 1992 IN O.R. BOOK 19315, PAGE 59.
(AFFECTS, CONTAINS NO PLOTTABLE ITEMS.)

17) - EASEMENT TO FLORIDA POWER & LIGHT DATED APRIL 28, 1992 AND RECORDED MAY 19, 1992 IN O.R. BOOK 19497, PAGE 739.
(AFFECTS, AS SHOWN.)

△ FENCE APPEARS TO ENCROACH OVER PROPERTY LINE BY AS MUCH AS 8.8'.

SURVEYED BY:
BLEW & ASSOCIATES, P.A.
3825 N SHILOH DRIVE
FAYETTEVILLE, AR 72703.
SURVEY@BLEWINC.COM

508,571± SQUARE FEET
11.675± ACRES

REGULAR= 302
HANDICAP= 9
TOTAL= 311

FLOOD NOTE: BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.MSC.FEMA.GOV, AND BY GRAPHIC PLOTTING ONLINE, THIS PROPERTY IS PARTIALLY LOCATED IN ZONE "X" (SHADED) AND IN ZONE "AE" ON FLOOD INSURANCE RATE MAP NUMBER 120110C0355H, WHICH BEARS AN EFFECTIVE DATE OF 08/18/2014 AND IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA. BY REVIEWING FLOOD MAPS PROVIDED BY THE NATIONAL FLOOD INSURANCE PROGRAM WE HAVE LEARNED THIS COMMUNITY DOES PARTICIPATE IN THE PROGRAM.

THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTHERLY BOUNDARY LINE WHICH BEARS S 89°40'09" W PER GPS COORDINATE OBSERVATIONS FLORIDA STATE PLANE, EAST ZONE NAD83.
LATITUDE = 26°14'54.7491" LONGITUDE = -80°11'34.2243"
CONVERGENCE ANGLE = 00°21'25.19491"

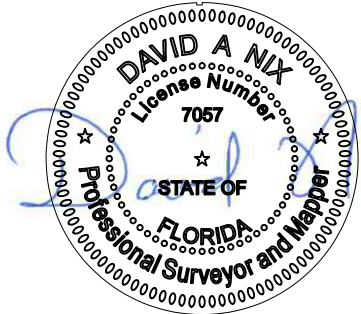
1. NO UNDERGROUND UTILITIES ARE SHOWN ON THIS SURVEY, ONLY ABOVE GROUND EVIDENCE OF UTILITIES ARE SHOWN.
2. THERE IS NO EVIDENCE OF ANY ENCROACHMENT, VIOLATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS.
3. THERE IS NO EVIDENCE OF ANY ENCROACHMENT OR VIOLATION, OR ANY OTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
4. THIS SURVEY MEETS OR EXCEEDS THE SURVEY STANDARDS/STANDARDS OF CARE AS SET FORTH IN SECTION 3 OF THE 2016 ALA/NPS/S SURVEY REQUIREMENTS, AND THE SURVEY MEETS THE NECESSARY PHYSICAL ACCESS TO NW 15TH STREET, A DEDICATED PUBLIC STREET OR HIGHWAY.
5. THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
6. THERE IS NO OBSERVABLE EVIDENCE OF CONSTRUCTION OR BUILDING CONSTRUCTION OF BUILDING ADDITIONS WITHIN RECENT MONTHS.
7. THE PARCELS CONTAINED IN THE LEGAL DESCRIPTION ARE CONTIGUOUS WITHOUT INTERFERENCE FROM ANY OTHER PARTY.
8. BUILDING AREAS SHOWN HEREON ARE FOR THE FOOTPRINT OF THE BUILDING ONLY.
9. NO APPARENT CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION, NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
10. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED SURVEYOR, THIS SURVEY IS NOT VALID WITHOUT REFERENCE TO SURVEY MAPS, SKETCHES, OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
11. THIS SURVEY HAS BEEN MADE TO DETERMINE WETLANDS OR OTHER ENVIRONMENTAL ISSUES, UNLESS OTHERWISE NOTED.
12. THE NEAREST INTERSECTING STREET IS THE INTERSECTION OF NW 15TH STREET AND BANKS ROAD, WHICH ABUTS THE MIDWEST PROPERTY CORNER TO THE SURVEY.
13. THE DISTANCE SHOWN ON PLAT ARE GRID COMBINED SCALE GRID TO GRID (GTD) = 0.999978570.

AEI JOB #417611
ABUNDANT LIFE CHRISTIAN ACADEMY
1490 NORTH BANKS ROAD
BROWARD COUNTY MARGATE, FLORIDA



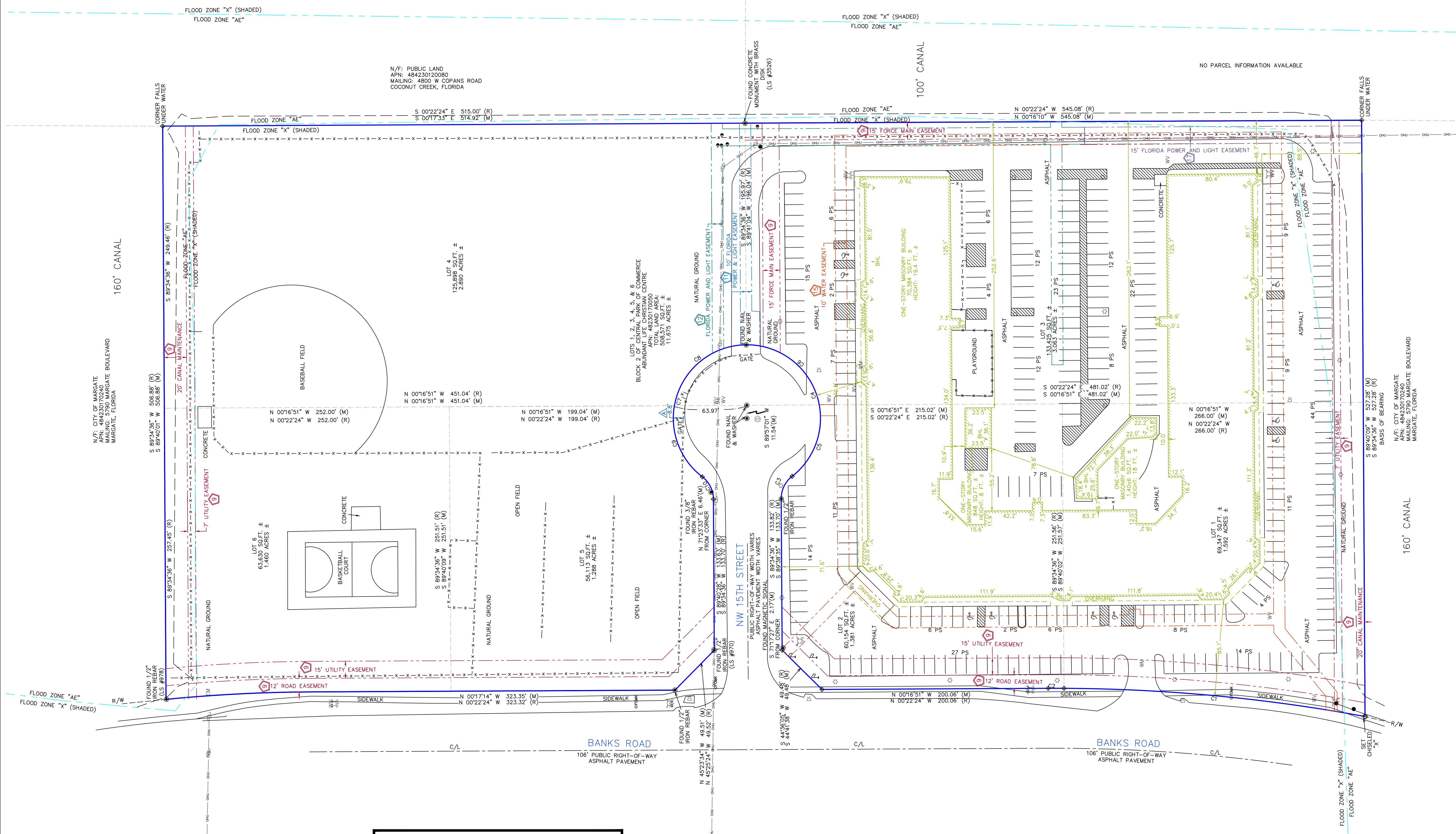
AEI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA, 94597
TELEPHONE: 925.746.6000
MAIL: SURVEYS@AEICONSULTANTS.COM

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, AND 17 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 1/30/2020. DATE OF PLAT OR MAP: 02/05/2020.



SURVEYOR: DAVID A. NIX
PROFESSIONAL LAND SURVEYOR NO.: 7057
STATE OF FLORIDA

DATE	REVISION HISTORY	BY	SURVEYOR JOB NUMBER: 20-390
			SCALE: 1" = 40'
			DRAWN BY: LQ
			APPROVED BY: TS



MEASURED CURVE TABLE:

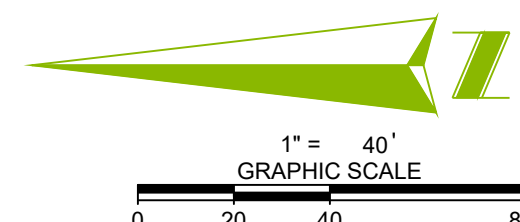
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1503.00' (M)	267.67' (M)	101°12'14"	S 05°21'14" W	267.32' (M)
C2	1503.00' (M)	13.97' (M)	0°31'57"	N 00°00'52" W	13.97' (M)
C3	25.00' (M)	22.98' (M)	52°39'45"	N 64°09'46" W	22.18' (M)
C4	65.00' (M)	161.68' (M)	142°31'00"	S 70°47'07" W	123.11' (M)
C7	65.00' (M)	161.62' (M)	142°17'24"	S 71°33'03" E	123.02' (M)
C10	25.00' (M)	22.83' (M)	52°39'21"	N 63°50'29" E	22.04' (M)

RECORD CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1503.00' (R)	267.67' (R)	101°12'14"	N/A	N/A
C2	1503.00' (R)	11.37' (R)	0°01'48"	N/A	N/A
C3	25.00' (R)	22.83' (R)	52°19'48"	N/A	N/A
C5	65.00' (R)	70.87' (R)	62°28'11"	N/A	N/A
C6	65.00' (R)	22.83' (R)	79°51'37"	N/A	N/A
C8	65.00' (R)	90.47' (R)	79°45'02"	N/A	N/A
C9	65.00' (R)	70.99' (R)	62°34'47"	N/A	N/A

LEGEND

SO.FT.	SQUARE FEET	CM	GAS METER
	NO PARKING AREA	DI	DRAINAGE INLET
	HANDICAP PARKING SPACE	WV	WATER VALVE
PS	PARKING SPACE(S)	EL	ELECTRIC BOX
BHL	BUILDING HEIGHT LOCATION	U	MANHOLE
(M)	MEASURED	①	STORM MANHOLE
(R)	RECORD	②	SANITARY MANHOLE
N/F	NOW OR FORMERLY	③	UTILITY POLE
R/W	RIGHT OF WAY	④	GUY ANCHOR
C/L	CENTERLINE OF ROAD	☆	LIGHT POLE
CO	CLEAN OUT	☼	FIRE HYDRANT
WM	WATER METER	☼	SIGN
EM	ELECTRIC METER	●	BOLLARD
		OFMK	FIBER OPTIC UTILITY MARKER
●	FOUND MONUMENT (AS FOUND)		FLAGPOLE
○	SET MONUMENT (AS FOUND)	OW	OVERHEAD UTILITY LINE
		x — x — x	CHAINLINK FENCE
			BOUNDARY LINE
			EASEMENT LINE
			FLOOD ZONE LINE



SURVEYED BY:

BLEW & ASSOCIATES, P.A.
3825 N SHILOH DRIVE
FAYETTEVILLE, AR 72703.
SURVEY@BLEWINC.COM

COORDINATED BY:



AEI Consultants

TELEPHONE: 925.746.6000
MAIL: SURVEYS@AEICONCONSULTANTS.COM

ALTA/NSPS LAND TITLE SURVEY

AEI JOB #417611
ABUNDANT LIFE CHRISTIAN ACADEMY
1490 NORTH BANKS ROAD

BROWARD COUNTY MARGATE, FLORIDA

DATE

REVISION HISTORY

	RY
--	----

SURVEYOR JOB NUMBER

SCALE:

1" = 40'

LQ

APPROVED BY
TS