



CITY OF
MARGATE
Together We Make It Great

City of Margate
DEVELOPMENT REVIEW COMMITTEE
Application for Change of Occupancy

5790 Margate Blvd., Margate, FL 33063
954-972-6454

Submittal Date (official use):

03-30-15 A08:15 IN

Project Name Hard Exercise Works		DRC # 04-15-03
Address 5438 W Sample Road #5684 & #5686, Margate, FL 33073		
Acreage 26.894	Folio Number 4842 19 24 0010	Paid: \$500.00
Existing Use Retail		
Legal Description See attached Legal Description		

Describe proposal/request in detail	Change to assembly use for 4,993 square feet for a proposed gym/workout facility

Agent/Contact Name Michael Troxell / Thomas Engineering Group, LLC	
Address 1000 Corporate Drive Suite 250, Fort Lauderdale, FL 33334	
Phone Number 954-202-7000	Fax Number 954-202-7070
Email Address mtroxell@thomaseg.com	

Property Owner Name LSREF3 PEPPERTREE LLC		By: Woolbright Development Inc., Authorized Agent
Address 2711 N HASKELL AVE STE 1700 DALLAS TX 75204-2911		
Phone Number	Fax Number	
Email Address		

OWNER'S AFFIDAVIT: I certify that I am the owner of record for the above referenced property and give authorization to file this petition. I understand that I, or a representative on my behalf, must be present at the DRC meeting. I further understand that my petition will be subject to the regulations of Chapter 16 1/2 of the Margate City Code.

Property Owner's Signature

Date

2-4-15

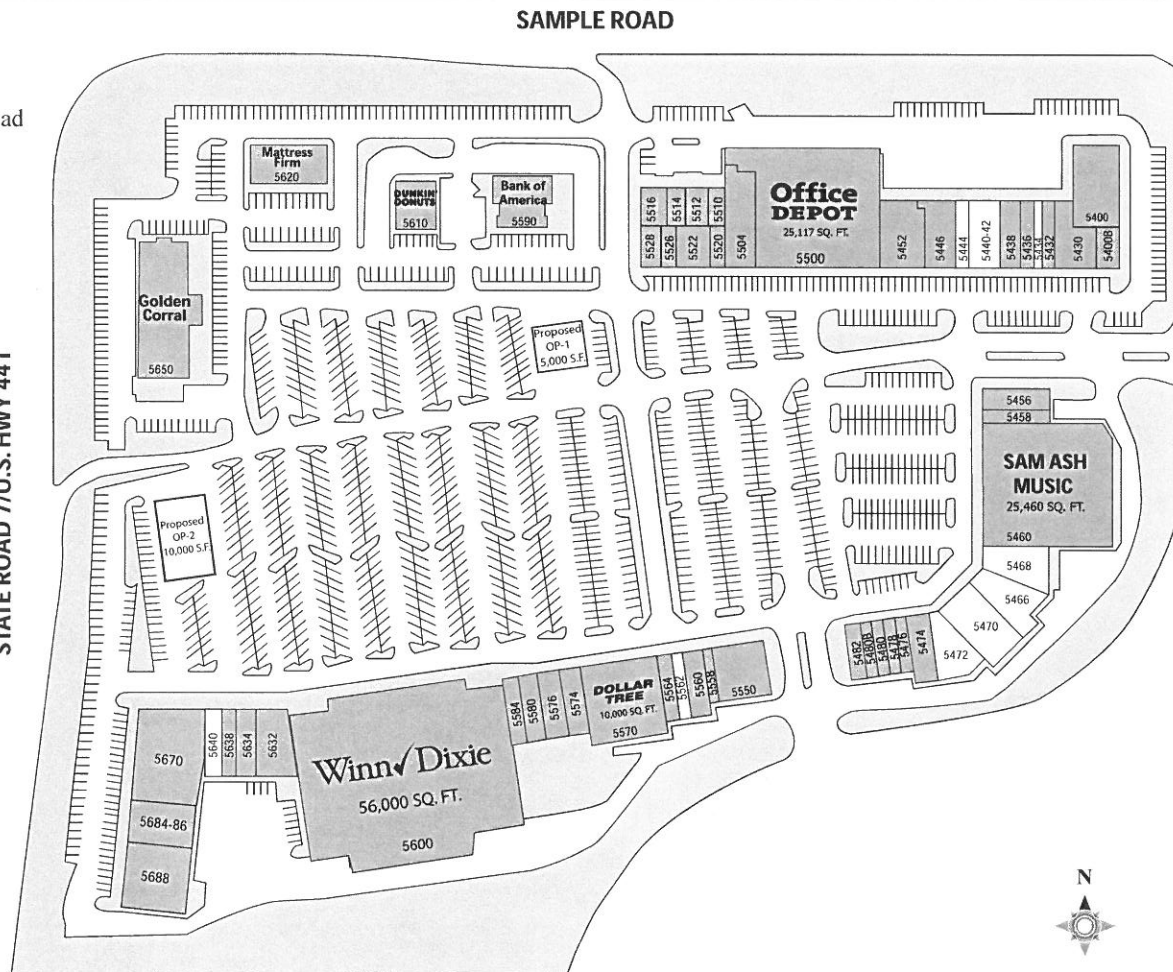
Legal Description

ALL OF TRACT "A", "PEPPERTREE PLAZA", ACCORDING TO THE PLAT THEREOF,
AS RECORDED IN PLAT BOOK 132, PAGE 23, OF THE PUBLIC RECORDS OF
BROWARD COUNTY, FLORIDA.

Peppertree Plaza Margate, Florida

5400 - 5688 W. Sample Road
Margate, Florida 33073

STATE ROAD 7/U.S. HWY 441



This site plan is attached for informational purposes only and is not a warranty, representation or agreement that the Shopping Center or the parking areas, roadways, access points, sidewalks, buildings or other improvements will be as shown hereon, or that the occupants shown hereon will be in the Shopping Center.

BAY #	TENANT	S.F.
5688	Paladium Night Club	7,225
5684-86	Hard Exercise Works	5,100
5670	Ace Educational Supplies	9,100
5640	Available	1,550
5638	Lovely Nails II	1,681
5634	Gordo's Grill	2,250
5632	La Pizzeria	4,151
5600	Winn Dixie	56,000
5584	Stylewear 4 Less	1,700
5580	Classic Salon & Spa	2,125
5576	The Acupuncturists	2,550
5574	Lucky City Restaurant	2,125
5570	Dollar Tree	10,000
5564	Gold Reef Goldbuyers	1,700
5562	Available	1,275
5560	Peppertree Bagel & Deli	2,125
5558	All Cellular South Florida	1,050
5550	Cato Fashions	4,416
5482	RadioShack	1,750
5480B	Time-Out Sports	1,050
5480	Male Image Barber Shop	1,050
5478	Vogue Opticians	1,050
5476	Logica Computer Professionals	700
5474	Regional Acceptance Corp.	2,458
5472	Available	3,030
5470	Available	4,060
5466	Available	3,930
5468	Available	5,369
5460	Sam Ash Music	25,460
5458	Pad Thai Restaurant	1,700
5456	It's All Greek To Me	2,125
5400B	Physicians Weight Loss	1,500
5400	Century 21 Richards Realty	6,700
5430	Broward Health Physicians Group	3,100
5432	Plaza Podiatry	1,275
5434	Available	1,275
5436	Red Wing Shoes	1,410
5438	Precious Moments Jewelers	2,000
5440-42	Available	3,750
5444	Available	1,250
5446	Cinema Sound	2,757
5452	La Bamba Restaurant	5,453
5500	Office Depot	25,117
5504	Elegant Beauty Supplies	4,883
5510	Leone Dental	1,100
5512	Contractors Cabinets Co.	1,400
5514	Vapor Shark E-Cigarettes	1,334
5516	Firehouse Subs	1,666
5520	H & R Block	1,000
5522	Crescent Dental	2,250
5526	Hair On Fire	1,000
5528	One Price Cleaners	1,250
5590	Bank Of America	3,600
5610	Dunkin Donuts	2,442
5620	Mattress Firm	5,000
5650	Golden Corral Buffet & Grill	12,000
OP-1	Available	5,000
OP-2	Available	10,000

TOTAL SQUARE FOOTAGE 279,367

City of Margate
*** CUSTOMER RECEIPT ***

Batch ID: AMORALES 3/17/15 00 Receipt no: 90714

Type	SvcCd	Description	Amount
EJ		ECDV CHANGE OF OCCUP. USE	
	Qty	1.00	\$500.00

LSREF3 PEPPERTREE, LLC
2240 NW 19TH STREET, SUITE 801
BOCA RATON, FL 33431
RE: CHANGE OF OCCUPANCY FOR
HARD EXERCISE WORKS
5438 W SAMPLE ROAD (5684-5686)
EXPEDITED FEE INCLUDED

Tender detail
CK Ref#: 207 \$250.00
CK Ref#: 146 \$250.00
Total tendered: \$500.00
Total payment: \$500.00

Trans date: 3/30/15 Time: 8:21:22

HAVE A GREAT DAY!

GENERAL PLAN NOTES:

1. THE GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL POSSIBLE EXISTING CONDITIONS PRIOR TO CONSTRUCTION. G.C. SHALL IMMEDIATELY INFORM THE DESIGN PROFESSIONAL OF ANY CONFLICTS WITH THE WORK PROPOSED IN THESE PLANS. G.C. SHALL IMMEDIATELY INFORM THE DESIGN PROFESSIONAL OF ANY DISCREPANCIES HE/SHE DISCOVERS WITHIN THESE PLANS.

2. DO NOT SCALE THESE DRAWINGS. USE FIGURED DIMENSIONS FOR NEW CONSTRUCTION. FIXTURES (LIGHTS, ETC) ARE NOT DIMENSIONED SO THEY CAN BE COORDINATED WITH FURNITURE AND INTERIOR DESIGNER.

3. IT IS THE G.C.'S RESPONSIBILITY THAT ALL CONSTRUCTION (AND DEMOLITION) IS TO PROCEED ONLY IN STRICT ACCORDANCE WITH ALL CURRENT, APPLICABLE LOCAL CODES & ORDINANCES.

4. THESE PLANS & SPECIFICATIONS ARE TO BE USED IN THEIR ENTIRETY. IT SHALL BE THE RESPONSIBILITY OF THE G.C. TO COORDINATE BETWEEN ALL SYSTEMS & TRADES SO AS TO AVOID CONFLICTS.

5. THE G.C. SHALL SUBMIT TO THE DESIGNER PROFESSIONAL SHOP DRAWINGS, CUT-SHEETS AND/OR SAMPLES OF ALL MATERIALS, FINISHES, FIXTURES, & EQUIPMENT FOR APPROVAL PRIOR TO ANY ORDERING, FABRICATION OR INSTALLATION. G.C. SHALL ALLOW (2) WEEKS MIN. FOR THESE REVIEWS AND THEIR RETURN.

6. G.C. SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS (INCLUDING TIE-IN ELEVATIONS) & COORDINATE WITH ALL PROPOSED WORK.

7. ANY PIPING IN OPEN PLENUM CEILING SHALL BE WRAPPED WITH 1 HOUR FIRE RATED TAPE.

8. G.C. TO COORDINATE MECHANICAL, PLUMBING & ELECTRICAL CONTRACTORS WITH SHELL CONTRACTOR TO VERIFY ALL SPACE REQUIREMENTS PRIOR TO SETTING OF STRUCTURAL ITEMS.

9. G.C. TO COORDINATE THESE PLANS WITH ANY INTERIOR DESIGN PLANS INCLUDING SPECIAL WALL OR CEILING FINISHES, MOULDING OR WOODWORK, FIXTURES, BUILD-OUT & CABINETY WHICH HAS INTERIOR DESIGNER & DESIGN PROFESSIONALS APPROVAL.

10. G.C. SHALL BE RESPONSIBLE TO PROVIDE ALL MATERIALS AND LABOR AS NECESSARY TO CONSTRUCT THE FACILITY DEPICTED ON THESE PLANS. CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS, LICENSES, INSPECTIONS AND ALL OTHER REQUIRED FEES. THIS CONSTRUCTION SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND GOVERNMENTAL REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION. G.C. SHALL TURN OVER TO THE OWNER A CLEAN FACILITY, WITH A CERTIFICATE OF OCCUPANCY, RECORD DOCUMENTS, INSPECTION CERTIFICATES, WARRANTIES AND BONDS, EVIDENCE OF PAYMENT AND RELEASE OF LIENS, AND OPERATION AND MAINTENANCE MANUALS.

11. UPON SUBSTANTIAL COMPLETION OF CONSTRUCTION, G.C. SHALL WALK THE FACILITY WITH THE OWNER AND DEMONSTRATE OPERATION OF EQUIPMENT, RECORD ITEMS OWNER ARE DISSATISFIED WITH AND COORDINATE SUBCONTRACTORS CORRECTION OF SAME.

12. G.C. SHALL TAKE FIELD MEASUREMENTS AND SUBMIT SHOP DRAWINGS WHICH ILLUSTRATE EXACT PRODUCT PROPOSED, DIMENSIONS, FABRICATION, LAYOUT, SETTING OR ERECTION DETAILS AS NECESSARY TO CLEARLY DEPICT TO THE DESIGN PROFESSIONAL THE INTENDED MATERIALS AND METHODS OF CONSTRUCTION. SUBMIT CUT SHEETS, BROCHURES, PERFORMANCE CHARTS, AND PALETTE OF AVAILABLE PATTERNS AND COLORS WHERE DESIGN PROFESSIONALS SELECTION IS REQUIRED. IDENTIFY ANY DEVIATIONS FROM CONTRACT DOCUMENTS.

13. PRODUCT MANUFACTURERS SHALL BE COMPANIES SPECIALIZING IN THE PRODUCTION OF THEIR SPECIFIC PRODUCT WITH A MINIMUM THREE YEARS DOCUMENTED EXPERIENCE. COMPLY FULLY WITH MANUFACTURER'S INSTRUCTIONS, AND INDUSTRY STANDARDS. INSURE THAT WORK IS ONLY PERFORMED BY PERSONS PROPERLY TRAINED AND QUALIFIED TO PERFORM WORK TO INDUSTRY STANDARDS. AS A RULE OF TOLERANCE, ALL WORK SHALL BE WITHIN 1/8" TO 10" OF FLAT, LEVEL AND TRUE.

14. OCCUPANCY SENSORS ARE REQUIRED IN SPACE FOR ANY BUILDING (NOT TENANT) THAT IS OVER 5,000 S.F.

15. ALL MATERIALS USED IN CONSTRUCTION SHALL BE NEW AND IN ORIGINAL WRAPPER WHEN DELIVERED TO THE SITE. G.C. SHALL BE RESPONSIBLE TO PROTECT MATERIALS FROM SOILING, MOISTURE DISFIGUREMENT, OR DAMAGE.

16. ALL SUBSTITUTIONS SHALL BE APPROVED BY DESIGN PROFESSIONAL.

17. ALL DIMENSIONS SHOWN ON THIS PLAN ARE NOMINAL AND SHOW DESIGN IN TEST ONLY. THE G.C. SHALL BE RESPONSIBLE TO ADJUST ACTUAL CONSTRUCTION DIMENSIONS SLIGHTLY TO ALL FOR EXACT MATERIAL THICKNESSES. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

18. THESE DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW DESIGN INTENT ONLY. THEY DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION. IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO CALL FOR FINISHED WORK, TESTED AND READY FOR OPERATION. ALL TRADES ARE RESPONSIBLE FOR FURNISHING COMPLETE BUILDING SYSTEMS AND ALL ITEMS THAT WOULD NORMAL BE CONSIDERED INCIDENTAL T THEIR INSTALLATION. ANY APPARATUS, APPLIANCE, MATERIAL, OR WORK NOT SHOWN ON THE DRAWINGS BUT MENTIONED IN THE SPECIFICATIONS, OR VICE VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE IN ALL RESPECTS AND READY FOR OPERATION SHALL BE FURNISHED AN INSTALLED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER. ALL SYSTEMS AND THEIR ASSOCIATED CONTROLS MUST BE COMPLETELY INSTALLED, CONNECTED AND OPERATING TO THE SATISFACTION OF THE OWNER.

19. KEEP ONE (1) SET OF RECORD DRAWINGS FOR AS-BUILTS AT THE JOB SITE. NEATLY MAKE CHANGES WITH RED PENCIL. SHOW ACTUAL LOCATIONS OF ITEMS AS INSTALLED. MARKUP SCHEDULES TO SHOW CORRECT DATA. AT COMPLETION OF PROJECT, SIGN SETS OF PRINTS CERTIFYING THAT THESE PRINTS ARE ACTUAL AS-BUILT CONDITIONS AND TURN OVER TO DESIGN PROFESSIONAL.

20. CUTTING OF STEEL, WOOD, OR OTHER MAIN STRUCTURAL MEMBERS IS NOT ALLOWED WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER PRIOR TO CUTTING.

21. THE G.C. AND ALL SUBCONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND NOTIFY THE DESIGN PROFESSIONAL OF ANY OBSERVED DISCREPANCIES PRIOR TO SUBMISSION OF BIDS.

22. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

23. ANY WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

24. ALL EXPOSED METAL TO BE PAINTED. COLOR AS SELECTED BY THE DESIGN PROFESSIONAL.

25. ALL FIRE RATED WALLS AND PARTITIONS AND PARTITIONS INSULATED FOR SOUND TRANSMISSION ARE TO RUN CONTINUOUS FROM FLOOR TO UNDERSIDE OF ROOM DECK AND ABOVE. ALL JOINTS TO BE TAPED AND SPACKLED AND ANY DUCT PENETRATIONS TO BE FIRE DAMPERED AS REQUIRED BY CODE.

26. ALL CEMENT PLASTER OR PORTLAND CEMENT BOARD ABUTTING OTHER MATERIAL TO BE FURNISHED WITH METAL EDGE STRIPS. ALL PIPING, DUCT WORK, AND CONDUIT TO BE CONCEALED. WALLS AND/OR PARTITIONS TO BE FURRED OUT AS REQUIRED TO PROVIDE MINIMUM COVER.

27. ALL ELECTRICAL CABINETS, FIRE EXTINGUISHERS, CABINETS AND OTHER RECESSED EQUIPMENT IN FIRE RATED WALLS SHALL BE BACKED WITH 5/8" TYPE X GYPSUM BOARD OR AS REQUIRED TO MAINTAIN THE RATING. PROVIDE DOUBLE STUDS OR BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED EQUIPMENT, ALL WOODS BLOCKING SHALL BE FIRE RETARDANT TREATED. METAL STUDS MAY BE USED IN LIEU OF WOOD BLOCKING.

28. ALL INTERIOR FINISH CLASSIFICATIONS SHALL BE TESTED AND BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 AND THIER USE SHALL IN ACCORDANCE WITH NFPA 101 – SECTION 10.2

DEMOLITION NOTES

1. THE DEMOLITION PLAN REPRESENTS THE GENERAL DEMOLITION AND DOES NOT COVER ALL ASPECTS OF THE DEMOLITION REQUIRED TO COMPLETE THIS PROJECT. IT IS THE RESPONSIBILITY OF THE G.C. TO CO-ORDINATE BETWEEN ALL TRADES, TYP.

2. EACH SUB-CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO OR DURING DEMOLITION TO CO-ORDINATE THE REQUIRED DEMOLITION FOR THEIR TRADE. ADDITIONAL DEMOLITION NOT CO-ORDINATED WILL BE THE RESPONSIBILITY OF THE G.C.AND HIS SUB-CONTRACTOR, TYP.

3. THE G.C. AND HIS SUB-CONTRACTORS ARE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR THE DEMOLITION INCLUDING BUT NOT LIMITED TO SHORING, STAGING, TEMPORARY BRACING AND THE CONSTRUCTION OF NEW SUPPORT SYSTEMS REQUIRED PRIOR TO ANY DEMOLITION, TYP.

SITE SPECIFIC NOTES

IMPORTANT NOTE: ALL FIRE WALLS AND PENETRATIONS ARE EXISTING AND NO ALTERATIONS/PENTRACTIONS ARE PROPOSED. IF APPLICABLE, WALL WILL BE PROTECTED BY A APPROVED FIRESTOPPING SYSTEM WITH A "F" RATING OF 2 HOURS IN ACCORDANCE TO SECTION 713 OF 2010 FBC – EXISTING

SCOPE OF WORK: A NEW EXERCISE FACILITY IS PROPOSED CONSISTING OF A EXERCISE AREAS AND RESTROOMS.

SLAB/FOUNDATION NOTE: CUT SLAB AS NEEDED FOR RELOCATION OF PLUMBING. DO NO CUT STRUCTURAL FOOTER WITHOUGHT WRITTEN CONSENT FROM STRUCTURAL ENGINEER. FILL CUT AREAS WITH 4" THICK 2500 PSI CONCRETE WITH 10 X 10 – 6X6 W.W.F. OVER 6 MIL VAPOR BARRIOR OVER TERMITE TREATED CLEAN COMPACTED SOIL. #3 DOWELS @ 24" OC ARE NOT REQUIRED IF CUT IS LESS THAN 24" WDE. PROVIDE CONTROL JOINTS AT 15' O.C. IF REQUIRED

NOTE:

- NA
- G.C. SHALL SUBMIT SEPERATE FIRE ALARM AND FIRE SPRINKLER APPLICATION AND SHALL NOT BE PART OF THIS PERMIT IF APPLICABLE
- .
- SEE DRAWING THIS PAGE FOR SPECIFIC USE OCCUPANCY COUNT CALCULATION – SIGN SHALL BE POSTED
- ALL EMERGENCY LIGHTING SHALL BE TIED TO LIGHTING CIRCUITS IN SAME ROOM OR AREA AND WIRED AHEAD OF SWITCHES – NO SEPERATE CIRCUITS
- ALL WORK SHALL BE IN FULL COMPLIANCE 2010 FLORIDA FIRE PREVENTION CODE
- N/A
- DUCT DETECTION SHALL BE PLACED ON SUPPLY SIDE OF ALL EXIST. AND PROP. A/C OF UNITS LARGER THAN 2000 CFM AND ACTIVATION OR TROUBLE SHALL CAUSE A VISUAL AND AUDIBLE SIGNAL IN A NORMALLY OCCUPIED AREA
- AFTER THE INSTALLATION OF THE SPRINKLER SYSTEM – THE FANS SHALL BE LOCATED SO THAT THERE ARE NO CONFLICTS BETWEEN FAN COVERAGE AREA VS SPRINKLERS. SPRINKLERS GOVERN.
- .
- ALL FITNESS EQUIPT AND FURNISHINGS SHALL BE PROVIDED AND INSTALLED BY OWNER (N.I.C.)
- .
- .

CODE/PROJECT INFORMATION

PROPERTY ADDRESS:

5438 WEST SAMPLE ROAD #5684 AND #5686
MARGATE, FL 33073
BROWARD COUNTY

CODES:

- 2010 FLORIDA BUILDING CODE – BUILDING
- 2010 FLORIDA BUILDING CODE – EXISTING BUILDING
- 2010 FLORIDA BUILDING CODE – ACCESSIBILITY
- 2010 FLORIDA BUILDING CODE – ENERGY CONSERVATION
- 2010 FLORIDA BUILDING CODE – FUEL GAS
- 2010 FLORIDA BUILDING CODE – MECHANICAL
- 2010 FLORIDA BUILDING CODE – PLUMBING
- 2010 FLORIDA FIRE PREVENTION CODE
- 2008 NATIONAL ELECTRIC CODE

BUILDING INFORMATION:

BUILDING CRITERIA		CODE PROVISION
1.	SITE REQUIREMENTS	N/A
2.	PROPOSED OCCUPANCY USE	GROUP A3 – ASSEMBLY
3.	TYPE OF CONSTRUCTION	TYPE 3 PROTECTED – EXISTING
4.	ALLOWABLE BUILDING HEIGHT	EXISTING
5.	NUMBER OF STORIES	EXISTING (1)
6.	GROSS LEASE AREA	4993 GROSS S.F.
7.	FIRE RESISTANT CONSTR. REQ.	EXISTING SPRINKLERED BUILDING
8.	FIRE SUPPRESSION SYSTEMS	N/A
9.	OCCUPANCY SEPERATION REQ.	2 HOUR (EXISTING)
10.	OCCUPANT LOAD	103 – SEE DRAWING BELOW
11.	NUMBER OF EXITS PROVIDED	2 PROVIDED
12.	MAXIMUM ALLOWABLE DEAD END	20’–0”
13.	MAXIMUM TRAVEL DISTANCE	300’–0”
15.	MINIMUM EXIT AISLE / CORRIDOR WIDTH	44”
16.	MINIMUM CLEAR OPENING @ EXIT DOOR	32” PER FBC 1008.1.1
17.	MINIMUM INTERIOR FINISH CLASSIFICATION	(NFPA)
	LOCATION	CLASS
	EXITS	A (IF OCCUPANCY IS < 300)
	EXIT ACCESS CORRIDORS	A OR B
	OTHER SPACES	A, B OR C
18.	PLUMBING FIXTURE COUNT/REQ.	103 OCCUPANTS
19.	MINIMUM INTERIOR WALL & CEILING FINISH REQ. BY OCCUPANCY (FBC)	
	OCCUPANCY	LOCATION CLASS
	A3 SPRINKLERED	(EXITS AND EXIT ACCESS CORRIDORS PER FBC TBL 803.9)
		EXIT ENCLOSURES AND EXIT PASSAGEWAY B
		CORRIDORS B
		ROOMS AND ENCLOSED SPACES C
9.	LEVEL OF ALTERATION	2
	PLUMBING FIXTURE COUNT	

	DRINKING FOUNTAIN		LAV	SERVICE SINK
REQUIRED	1 PER 500	MEN	1 WC PER 125	1 LAV PER 200
		WOMEN	1 WC PER 65	1 LAV PER 200

	DRINKING FOUNTAIN		WC	LAV	SERVICE SINK
PROVIDED	1	WOMEN		1	1 PROPOSED
		MEN	1	1	

MEATHOD OF COMPLIANCE SHALL CONFORM WITH THE WORK AREA COMPLIANCE MEATHOD PER THE PROVISIONS OF THE 2010 FBC – EXISTING BUILDING CODE SECTION 101.5.2
REPAIRS, ALTERATIONS, ADDITIONS, CHANGES IN OCCUPANCY AND RELOCATED BUILDINGS COMPLYING WITH THE APPLICABLE REQUIREMENTS OF CHAPTERS 4 THROUGH 12 OF THIS CODE SHALL BE CONSIDERED IN COMPLIANCE WITH THE PROVISIONS OF THIS CODE.

FIRE DOOR CAPACITY (NOT OCC. CALC)

SEE NOTE #4 – SITE SPECIFIC NOTES

DOOR # 1 (72" DOUBLE DOOR)

68"/0.2 = 340 OCCUPANTS

DOOR # 2 (36" DOUBLE DOOR)

34"/0.2 = 170 OCCUPANTS

FIRE CAPACITY = 510 OCCUPANTS (NOT OCC. CALC)
PASS

CLEAR OPENING MUST BE MEASURED IN ACCORDANCE WITH FBCB 1008.1.1

PER F.A.C. 61G15–32.003 THE FIRE SPRINKLER PERMIT SHALL BY OTHERS. THIS OFFICE HAS PREFORMED A STUDY REGARDING THE FUTURE FIRE SPRINKLER DESIGN AND DETERMINED THAT THE COST FOR MODIFICATION TO THE EXISTING SPRKINLER SYSTEM WILL BE LESS THAN \$5,000 AND WILL CONTAIN LESS THAN 49 SPRINKLER HEADS IN SPACE

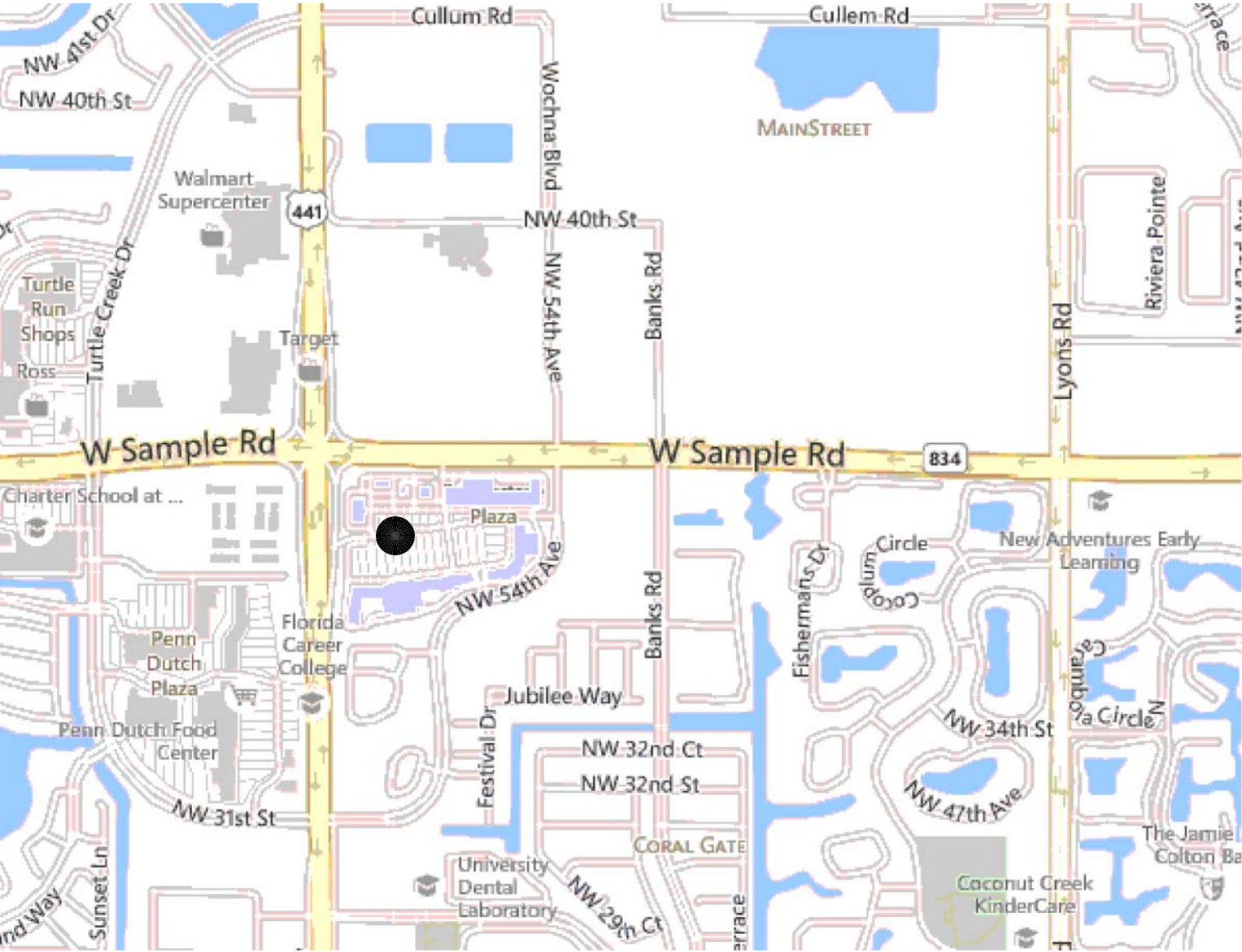
INDEX OF DRAWINGS

PLAN SHEETS

- C1 – GENERAL INFORMATION
- HC1 – HANDICAP DETAILS
- D1– DEMO PLAN
- A1– FLOOR PLAN
- A2.0 – ENLARGED BATH PLANS
- A2.1 – INTERIOR ELEVATIONS
- A3 – SCHEDULES/WALL TYPES
- A4 – REFLECTED CEILING PLAN
- A5 – LIFE SAFTEY PLAN

MECHANICAL ELECTRICAL PLUMBING

- E1 ELECTRICAL PLAN
- E2 NOTES / CALCULATIONS
- PI1 PLUMBING PLAN / NOTES / DETAILS
- M1 MECHANICAL PLAN



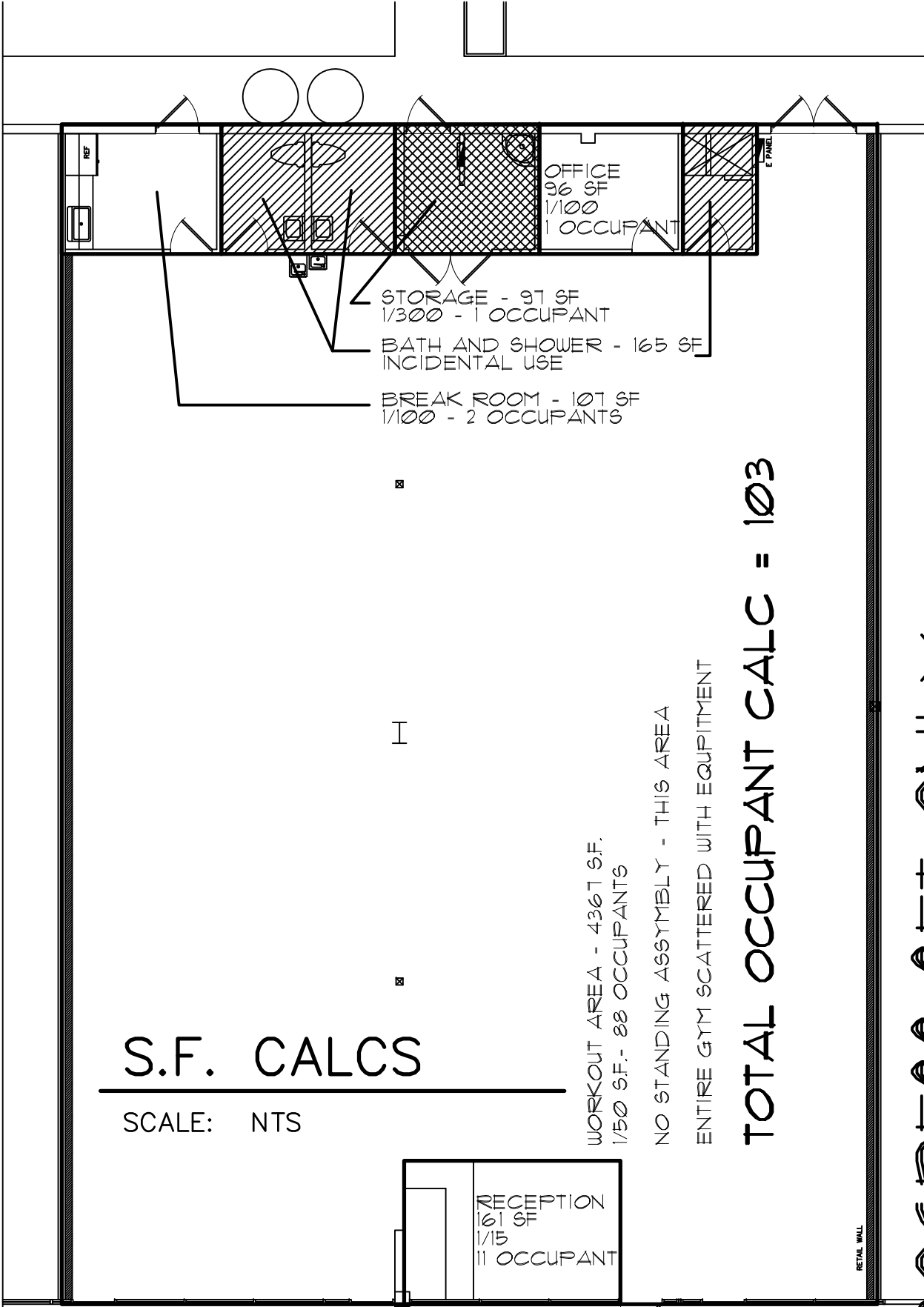
LOCATION PLAN

SCALE: NTS



AREA OF WORK

SCALE: NTS



PROGRESS SET ONLY

ARCHITECTURE BY:
PRISM
ARCHITECTURE
LLC
CERT. OF AUTH. AA #26002852

JAMES G. CENTANNI, JR
AR #0015973

1101 BRICKELL AVE
8TH FLOOR, SOUTH TOWER
MIAMI, FL 33131

CLIENT:
RECICAR

ADDRESS:
771 GOUCHESTER STREET
BOCA RATON, FL 33487

A INTERIOR IMPROVEMENT PLAN FOR:
HARD EXERCISE WORKS

FOR SITE LOCATED AT
PEPPER TREE PLAZA, SUITES #5684 AND #5686
5438 W SAMPLE RD, MARGATE, FL 33073

REVISIONS/SUBMITTALS:		
ID	DESC	DATE

DRAWN BY: MSG
CHECKED BY: JC
PROJECT #: ...
DATE: NOVEMBER 2014

C1

CHANGE OF OCCUPANCY SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF 2010 FBC–EXISTING BUILDING CODE. EXISTING SPACE IS NON OCCUPIED VANILLA SHELL

DOOR SCHEDULE

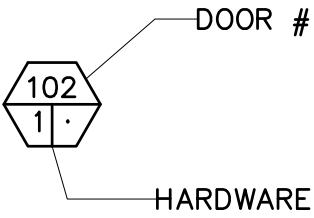
MARK	DOOR SIZE (W.X.H.X.T.)	MAT'L	TYPE	LABEL	NOTES
101	36" WIDE	MTL	EXIST		EXISTING DOOR - NOT MEANS OF EGRESS - PROVIDE LOCKING HARDWARE ONLY
102	36" WIDE	MTL	EXIST	-	EXISTING EXIT DOOR - VERIFY/PROVIDE PUSH HARDWARE
103	PAIR 36" WIDE	ALUM	EXIST		EXISTING EXIT DOOR - VERIFY/PROVIDE PUSH HARDWARE
104	3'-0" X 7'-0"x1.75"	WD	SC	-	SOLID CORE FLUSH PANEL DOOR W/METAL FRAME - ADA LEVER AND CLOSER REQUIRED
105	PAIR 3'-0" X 7'-0"x1.75"	WD	SC	-	SOLID CORE FLUSH PANEL DOOR W/METAL FRAME - ADA LEVER AND CLOSER REQUIRED

LEGEND:

AL	ALUMINUM
AL/GL	ALUMINUM & GLASS
DBL	DOUBLE DOORS
HM	HOLLOW METAL
WD	WOOD
FG	FIBERGLASS

DOOR NOTES

- ALL GLASS SHALL BE TEMPERED
- EXTERIOR H.M. DOORS TO A/C SPACES SHALL BE INSULATED
- STOREFRONT DOOR AND WINDOWS SHALL MATCH BUILDING GLASS IF APPLICABLE
- ALL EXIT HARDWARE SHALL CONFORM TO NFPA REQUIREMENTS - EXTERIOR DOORS SHALL HAVE MAX 8.5 LB EFFORT AND INTERIOR DOORS SHALL HAVE 15 LB EFFORT TO OPEN - ALL HARDWARE SHALL BE LEVER TYPE MOUNTED AT 36" A.F.F. - PROVIDE 10" HIGH KICKPLATE ALL DOORS TYP
- ALL STOREFRONT (INT AND EXT) DOORS AND WINDOWS FRAMES SHALL MATCH EXIST. BLDG.



HARDWARE SCHEDULE

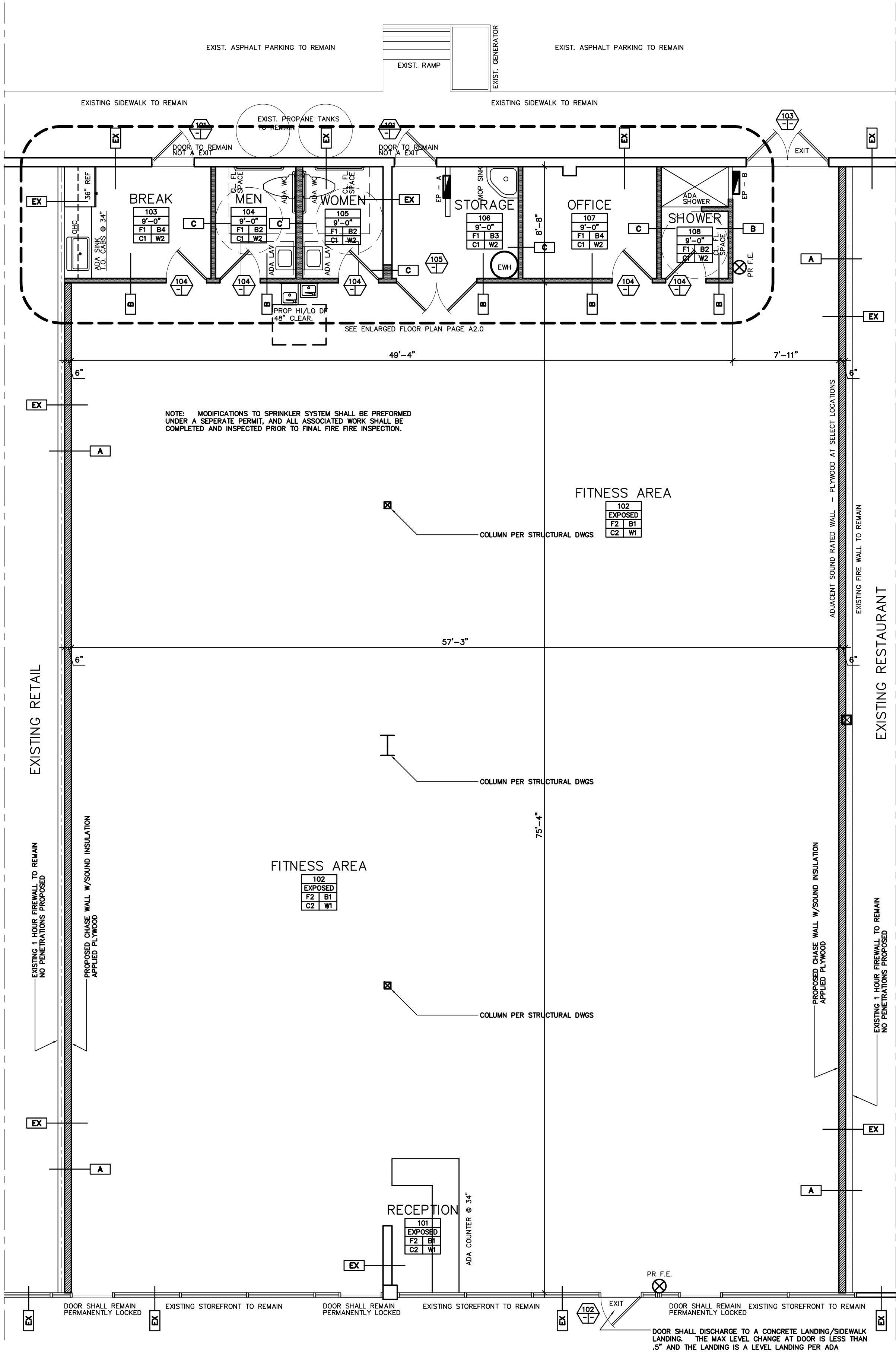
HARDWARE SET	PANIC HARDWARE	OFFICE LOCKSET	PASSAGE SET	KEYED DEAD BOLT	BATHROOM LOCKSET	STOPS F = FLOOR W = WALL	CLOSER	PUSH/PULL SET	COAT HOOK	HEAD AND FOOT BOLTS	HINGES (3)	REMARKS
1					X	W	X		X		X	Ⓢ BATH/SHOWER
2			X			W	X				X	Ⓢ STORAGE
3	X			X		W	X	X			EXIST	Ⓢ EXIT DOOR
4						W	X				X	Ⓢ BREAK ROOM
5		X				W	X		X		X	Ⓢ OFFICE

PRIVACY LOCKSET
LOCATION: RESTROOM AND SHOWER ROOMS
MANUF: SCHLAGE
FINISH: SATIN CHROME
PASSAGE LOCKSET
LOCATION: OFFICE, STORAGE/JANITOR
MANUF: SCHLAGE
FINISH: SATIN CHROME
PUSH PLATE
LOCATION: WOOD DOOR IN FRAMED WALL BETWEEN WORKOUT/NON WORKOUT AREA
MANUF: IVES
FINISH: SATIN STAINLESS STEEL
PULL HANDLE
LOCATION: WOOD DOOR IN FRAMED WALL BETWEEN WORKOUT/NON WORKOUT AREA
MANUF: IVES
FINISH: SATIN STAINLESS STEEL
KICK PLATE
LOCATION: WOOD DOOR IN FRAMED WALL BETWEEN WORKOUT/NON WORKOUT AREA
MANUF: IVES
FINISH: SATIN STAINLESS STEEL
WALL STOP
MANUF: IVES
FINISH: SATIN STAINLESS STEEL
HINGES
MANUF: IVES
FINISH: SATIN CHROME
SILENCERS
MANUF: IVES
FINISH: BLACK
SURFACE CLOSERS
MANUF: LCN
FINISH: PAINTED ALUMINUM

- NOTE:
- ALL HARDWARE SHALL BE LEVER TYPE AND SHALL MEET THE REQUIREMENTS OF THE 2010 FBC - ACCESSIBILITY CODE. CONTRACTOR TO FAMILIARIZE THEMSELVES WITH THE PROVISIONS OF THIS CODE.
 - NO LOCKING DEADBOLTS ARE ALLOWED ON DOORS WITH PANIC HARDWARE
 - ANY LOCKSET SHALL BE UNLOCKED WITH A SINGLE OPERATION SUCH AS A PULL OF A LEVER

FINISH SCHEDULE

SEE DESIGN MANUAL FOR PREFERRED VENDORS		ROOM NAME	
ROOM #	101	CEILING HEIGHT	
FLOOR	F2 B3	BASE	
CEILING	C1 W2	WALLS	
F FLOOR	B BASE		
1	PORCELAIN TILE - 12X12 MIN. NON SLIP TEXTURE AT SHOWER FULL HEIGHT WALL TILE AT SHOWER		
2	RUBBER FLOORING - NO UNDERLAYMENT		
	3 WHITE PLASTIC FRP PANEL TO 7' A.F.F.		
	4 4" MIN. MATCHING TILE BASE		
	C CEILING		
	1 2'X2' SUSPENDED CEILING. MANUF: ARMSTRONG. SIZE: 2'X2'. STYLE: FINE FISSURED TEGULAR. COLOR: WHITE. GRID: GALVANIZED WITH ALUM CAP PAINTED WHITE		
	2 EXPOSED CEILING		
	3		
	W WALLS/VERTICAL SURFACES		
	1 DRYWALL - PAINTED - PROVIDE CORNER GUARD MANUF: ACROVYN DESCIPT: 4000 MODEL #SSM20AN SIZE: 2'X2'X.25" NOSE RADIUS COLOR: ALUMINUM RETAINER WITH CAPS COLOR BLACK. LOCATION THROUGHT		
	2 MOISTURE RESITANT GYPSUM WALL BOARD FULL HEIGHT -- PAINTED		



PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

ARCHITECTURE BY:

PRISM
ARCHITECTURE
LLC

CERT. OF AUTH. AA #26002852

JAMES G. CENTANNI, JR
AR #0015973

1101 BRICKELL AVE
8TH FLOOR, SOUTH TOWER
MIAMI, FL 33131

CLIENT:

RECICAR

ADDRESS:

771 GOUCHESTER STREET
BOCA RATON, FL 33487

A INTERIOR IMPROVEMENT PLAN FOR:

HARD EXERCISE WORKS

FOR SITE LOCATED AT
PEPPERTREE PLAZA SUITES #5684 AND #5686
5438 W SAMPLE RD, MARGATE, FL 33073

REVISIONS/SUBMITTALS:

ID	DESC	DATE

DRAWN BY:

MSG

CHECKED BY:

JC

PROJECT #:

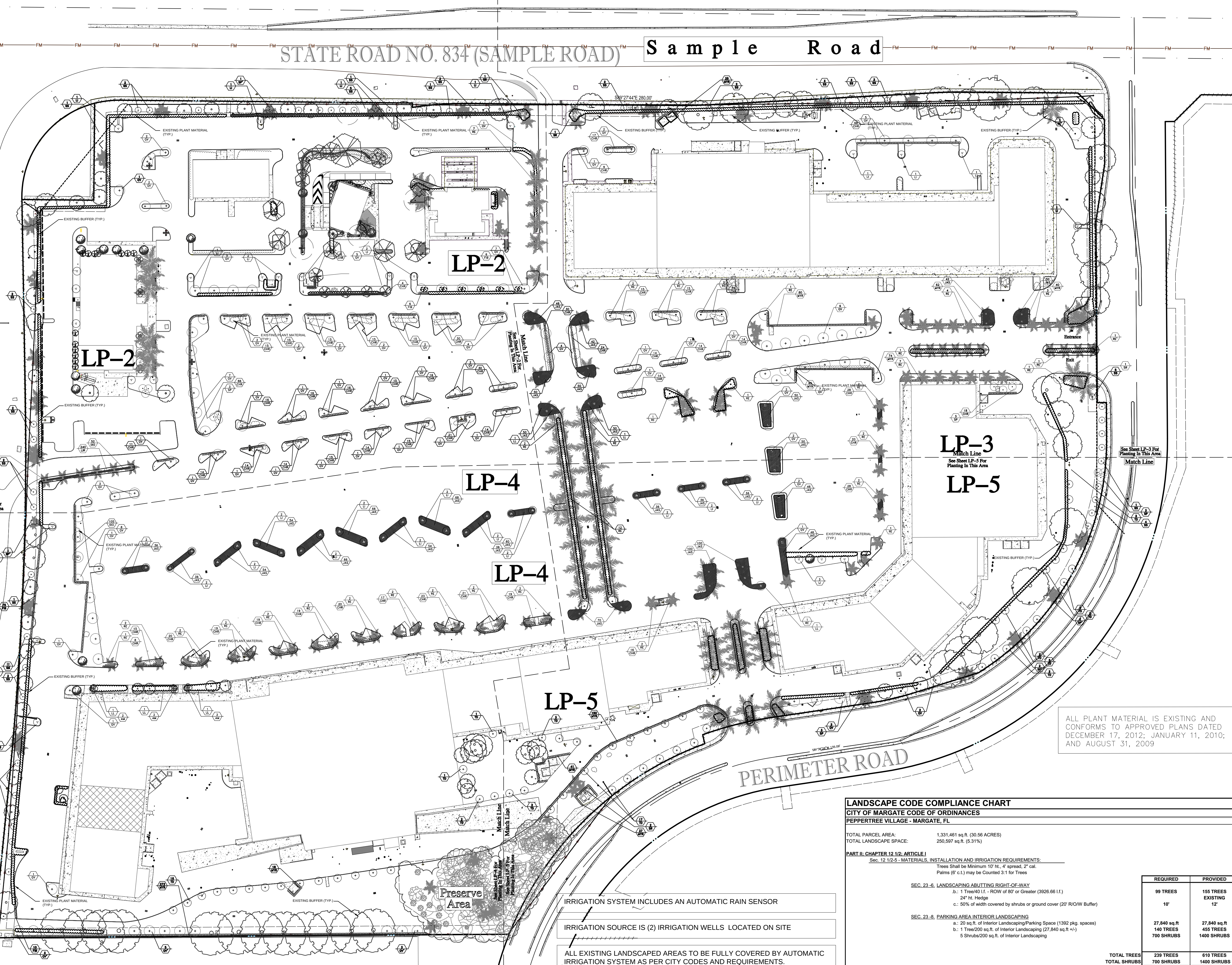
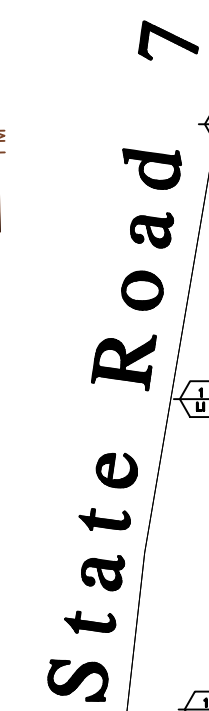
...

DATE:

NOVEMBER 2014

A1

4 of 12



LANDSCAPE CODE COMPLIANCE CHART CITY OF MARGATE CODE OF ORDINANCES PEPPERTREE VILLAGE - MARGATE, FL									
TOTAL PARCEL AREA:	1,331,461 sq.ft. (30.56 ACRES)								
TOTAL LANDSCAPE SPACE:	250,597 sq.ft. (5.31%)								
PART II: CHAPTER 12 I/2: ARTICLE I <u>Sec. 12 I/2-5 - MATERIALS, INSTALLATION AND IRRIGATION REQUIREMENTS:</u>									
Trees Shall be Minimum 10" H., 4" spread, 2 cal. Palms (6" c.t.) may be Counted 3:1 for Trees									
SEC. 23-6. LANDSCAPING ABOUTING RIGHT-OF-WAY a.: 1 Tree/40 L.F. - ROW of 90' or Greater (3926.66 L.F.) 24" ht. Hedge c.: 50% of width covered by shrubs or ground cover (20' ROW Buffer)	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="padding: 5px;">REQUIRED</th> <th style="padding: 5px;">PROVIDED</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;">99 TREES</td> <td style="padding: 5px;">155 TREES EXISTING</td> </tr> <tr> <td style="padding: 5px;">10'</td> <td style="padding: 5px;">12'</td> </tr> </tbody> </table>	REQUIRED	PROVIDED	99 TREES	155 TREES EXISTING	10'	12'		
REQUIRED	PROVIDED								
99 TREES	155 TREES EXISTING								
10'	12'								
SEC. 23-8. PARKING AREA/INTERIOR LANDSCAPING a.: 20 sq.ft. of Interior Landscaping/Parking Space (1392 pkl. spaces) b.: 1 Tree/200 sq.ft. of Interior Landscaping (27,840 sq.ft +/-) 5 Shrub/200 sq.ft. of Interior Landscaping	<table border="1" style="width: 100%; border-collapse: collapse;"> <tbody> <tr> <td style="padding: 5px;">27,840 sq.ft</td> <td style="padding: 5px;">27,840 sq.ft</td> </tr> <tr> <td style="padding: 5px;">140 TREES</td> <td style="padding: 5px;">465 TREES</td> </tr> <tr> <td style="padding: 5px;">700 SHRUBS</td> <td style="padding: 5px;">1400 SHRUBS</td> </tr> </tbody> </table>	27,840 sq.ft	27,840 sq.ft	140 TREES	465 TREES	700 SHRUBS	1400 SHRUBS		
27,840 sq.ft	27,840 sq.ft								
140 TREES	465 TREES								
700 SHRUBS	1400 SHRUBS								
TOTAL TREES TOTAL SHRUBS 50% NATIVE TREES 50% NATIVE SHRUBS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tbody> <tr> <td style="padding: 5px;">239 TREES</td> <td style="padding: 5px;">610 TREES</td> </tr> <tr> <td style="padding: 5px;">700 SHRUBS</td> <td style="padding: 5px;">1400 SHRUBS</td> </tr> <tr> <td style="padding: 5px;">305 TREES</td> <td style="padding: 5px;">610 TREES (100%)</td> </tr> <tr> <td style="padding: 5px;">700 SHRUBS</td> <td style="padding: 5px;">1400 SHRUBS (100%)</td> </tr> </tbody> </table>	239 TREES	610 TREES	700 SHRUBS	1400 SHRUBS	305 TREES	610 TREES (100%)	700 SHRUBS	1400 SHRUBS (100%)
239 TREES	610 TREES								
700 SHRUBS	1400 SHRUBS								
305 TREES	610 TREES (100%)								
700 SHRUBS	1400 SHRUBS (100%)								

ALL PLANT MATERIAL IS EXISTING AND
CONFORMS TO APPROVED PLANS DATED
DECEMBER 17, 2012; JANUARY 11, 2010;
AND AUGUST 31, 2009

IRRIGATION SYSTEM INCLUDES AN AUTOMATIC RAIN SENSOR

IRRIGATION SOURCE IS (2) IRRIGATION WELLS LOCATED ON SITE

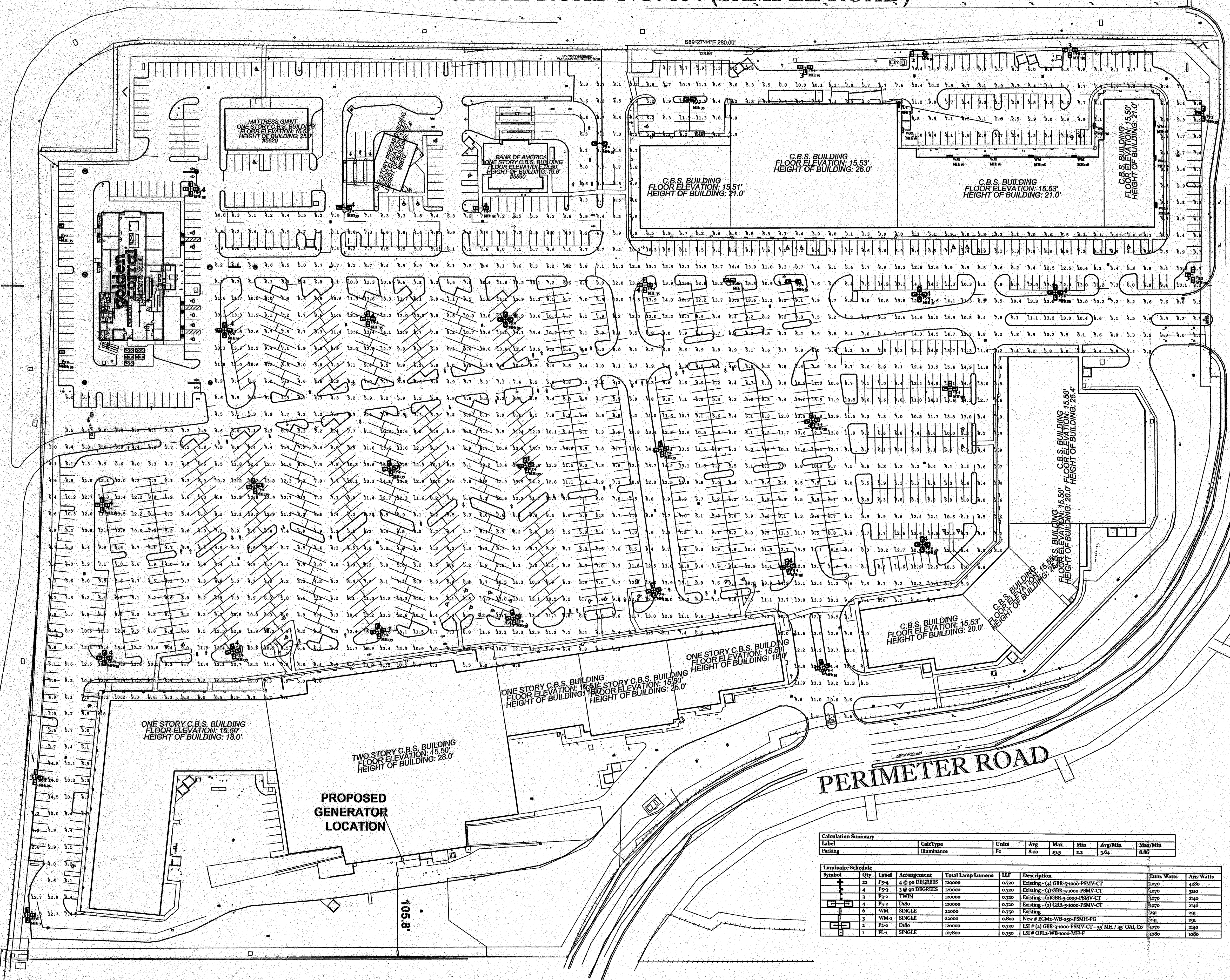
ALL EXISTING LANDSCAPED AREAS TO BE FULLY COVERED BY AUTOMATIC IRRIGATION SYSTEM AS PER CITY CODES AND REQUIREMENTS.

LP-1

Printed on Friday, March 27, 2015, 3:39 PM by Ryan King
WOOLBRIGHT20141140221 -- PERPERTREE VILLAGE\DWG\LANDSCAPE\T140221 -- PERPERTREE VILLAGE -- LANDSCAPE PLAN ----->LAYOUT: LP-1

STATE ROAD NO. 7
(U.S. HIGHWAY NO. 441)

STATE ROAD NO. 834 (SAMPLE ROAD)

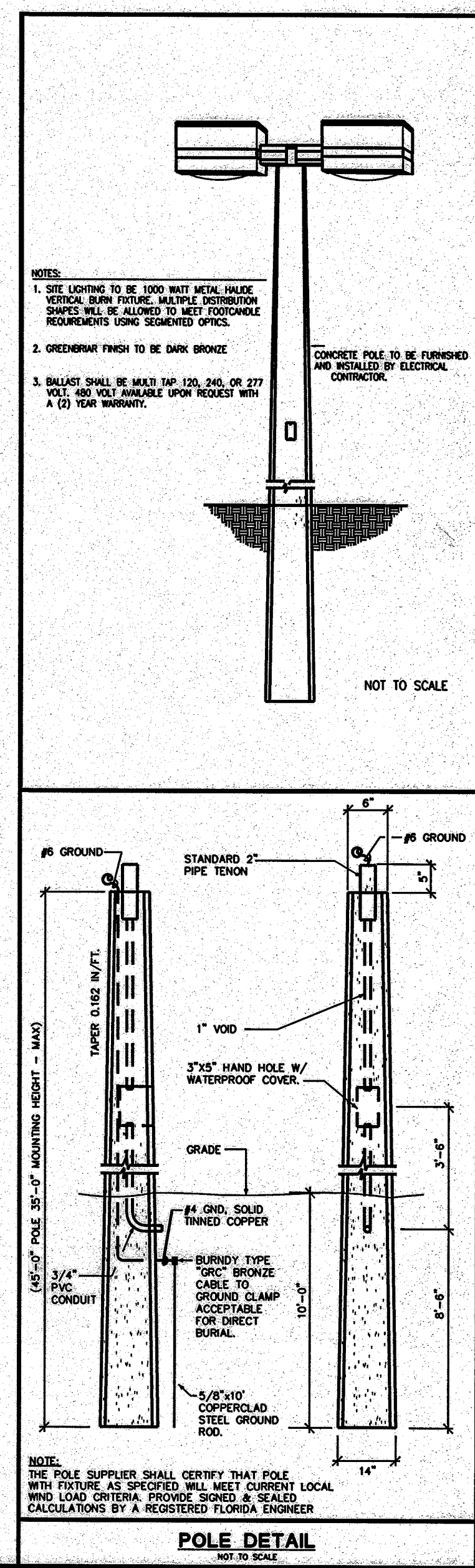


SITE PLAN

SCALE: 1"= 60'-0"

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking	illumination	Fc	19.5	3.4	3.4	3.4

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
1	24	P2-4	4 @ 90 DEGREES	120000	0.720	Existing - (a) GBR-4-1000-PSMV-CT
2	4	P2-3	3 @ 90 DEGREES	120000	0.720	Existing - (a) GBR-3-1000-PSMV-CT
3	3	P2-2	TWIN	120000	0.720	Existing - (a) GBR-2-1000-PSMV-CT
4	4	P2-1	D80	120000	0.720	Existing - (a) GBR-1-1000-PSMV-CT
5	6	WM	SINGLE	24000	0.720	Existing
6	3	WM-1	SINGLE	24000	0.800	New # EGM-WB-250-PSMH-PG
7	2	P2-2	D80	120000	0.720	LSI # (a) GBR-3-1000-PSMV-CT - 3' MH / 42 OAL CG
8	1	FL-1	SINGLE	107800	0.720	LSI # OFLA-WB-1000-MH-F



PEPERTREE PLAZA
SAMPLE ROAD & 441

REVISIONS

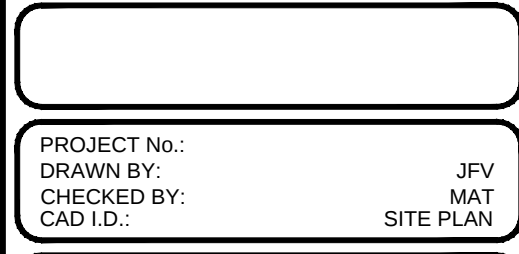
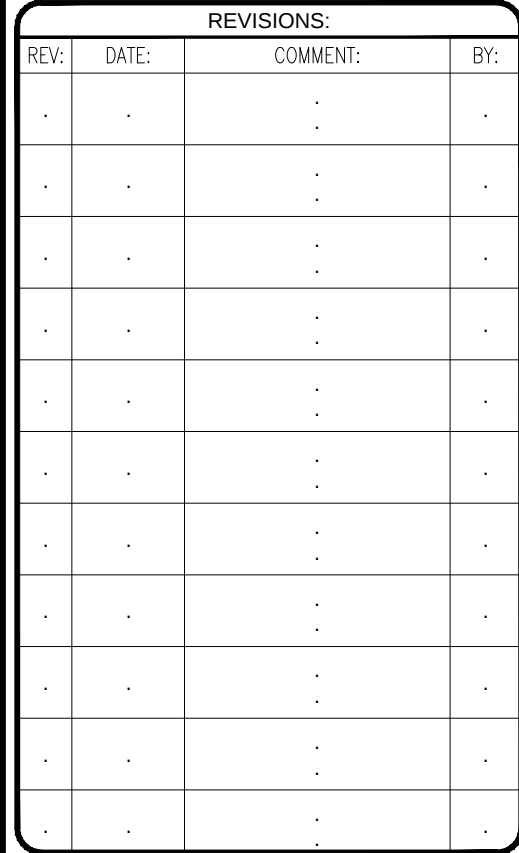
JOB NO. 1559
DRAWN
CHECK
SCALE
DATE

SHEET NO.

SITE PLAN

OF

LUCKS engineering inc.
CONSULTING ENGINEERS
F. P. LUKS, P.E., F. L. REED, P.E.
F. DEBORA, P.E., F. L. REED, P.E.
4520 NE 18TH AVE. STE. 400, MIAMI, FL 33134
TEL: (305) 593-1881 FAX: (305) 593-1882

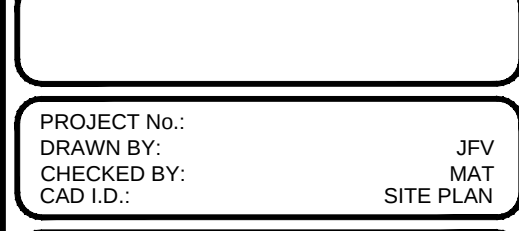
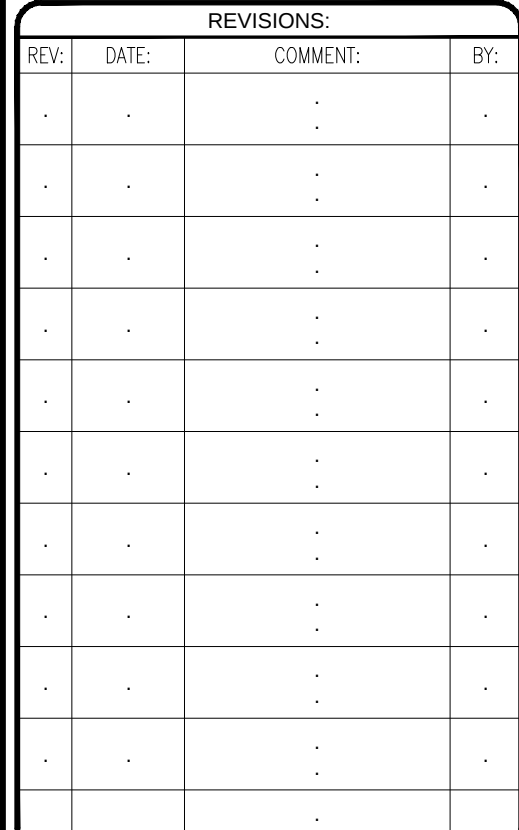


SHEET NUMBER:
SP-1

CURRENT USE:	SHOPPING CENTER
PROPOSED USE:	SHOPPING CENTER
LAND USE DESIGNATION:	TOC (TRANSIT ORIENTED CORRIDOR)
ZONING DESIGNATION:	TOC-G (TRANSIT ORIENTED CORRIDOR - GATEWAY)
WATER/WASTEWATER SERVICE PROVIDER:	CITY OF MARGATE
SITE AREA:	30.56 AC or (1,331.461 SF)

DISTRICT REQUIREMENT:	
	PER CODE
MAX. HEIGHT	96' OR 6 FLOORS
MIN. LOT SIZE	10,000 SF
MIN. STREET FRONTAGE	100'
SETBACKS	
FRONT	25'
SIDE STREET	25'
REAR	38'
	PROVIDED
	40'
	30.56 AC
	N/A
	N/A
	53.65'
	N/A

BUILDING DATA (S.F.):	
	AREA
RETAIL	
IN-LINE	226,225
OUT PARCEL	11,349
TOTAL	237,574
ASSEMBLY USES	
#XXX RESTAURANT	11,922
#5688 NIGHT CLUB	7,725
#5452 RESTAURANT	5,453
#5632 RESTAURANT	4,151
#5686 GYM	4,993
TOTALS	33,744
TOTAL BUILDING AREA	271,318



— FOR —
WOOLBRIGHT



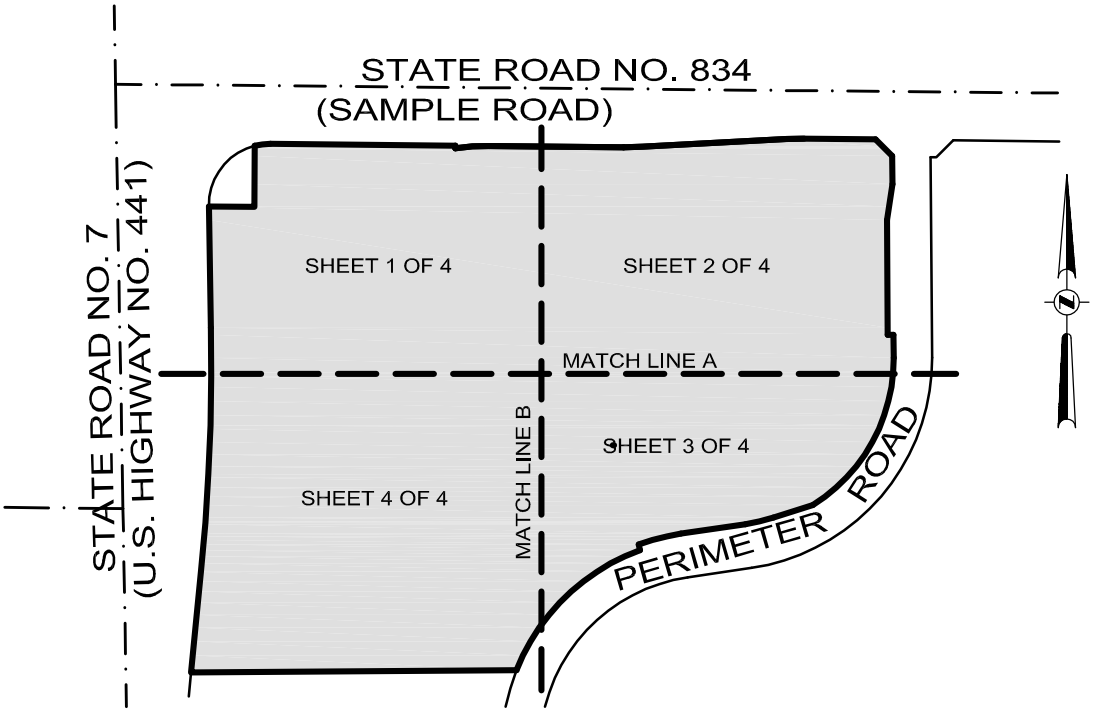
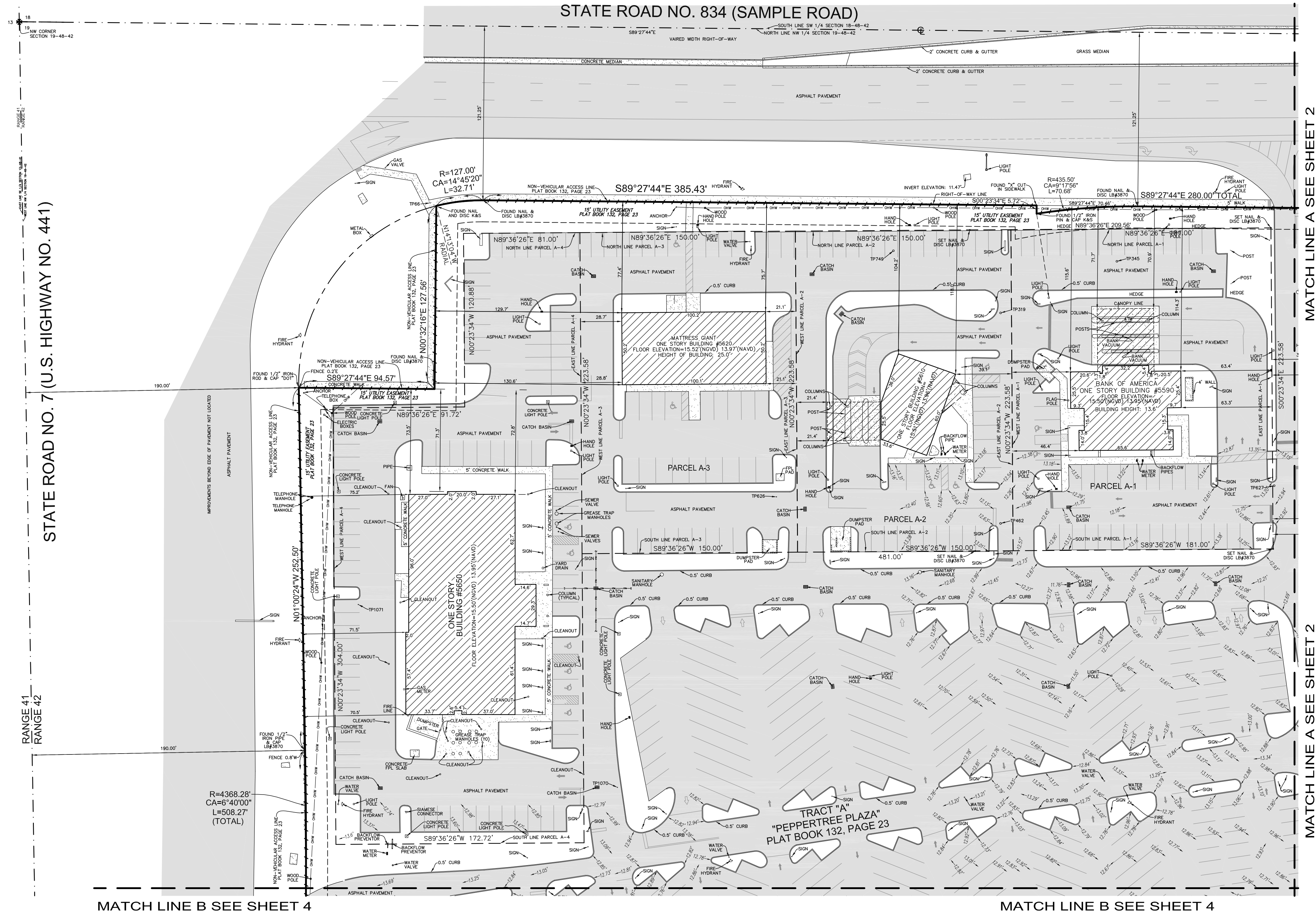
MICHAEL A. TROXELL

PROFESSIONAL ENGINEER
March 24, 2015
FLORIDA LICENSE No. 50572
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

OVERALL SITE PLAN

LEGEND

	CONCRETE
	ASPHALT PAVEMENT
	OVERHEAD WIRES
	UNDERGROUND GAS LINE
	NON-VEHICULAR ACCESS LINE
	CENTERLINE
	RADIUS
	CENTRAL ANGLE
	ARC LENGTH
	FLORIDA POWER & LIGHT
	OFFICIAL RECORDS BOOK
	TRAVERSE POINT FOR FIELD INFORMATION ONLY



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:
ALL OF TRACT "A", "PEPPERTREE PLAZA", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 132, PAGE 23, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

- NOTES:**
- THIS SITE CONTAINS 1,331,461 SQUARE FEET (30.5661 ACRES).
 - ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK: 2731, ELEVATION: 13.410'
 - FLOOD ZONE: AH & X; BASE FLOOD ELEVATION: 14 FEET & NONE; PANEL #120047 0165H; MAP DATE: 08/18/14
 - THIS SITE LIES IN SECTION 19, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
 - BEARINGS ARE BASED ON THE NORTH LINE OF THE NW 1/4 OF SECTION 19-48-42 BEING S89°27'44"E AS SHOWN ON THE PLAT OF "PEPPERTREE PLAZA", PLAT BOOK 132, PAGE 23, BROWARD COUNTY RECORDS.
 - REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
 - THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: THOMAS ENGINEERING GROUP.
 - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'.
 - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF TITLE COMMITMENT.

CERTIFICATION:
I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES ("DOACS") CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
☐ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
STATE OF FLORIDA

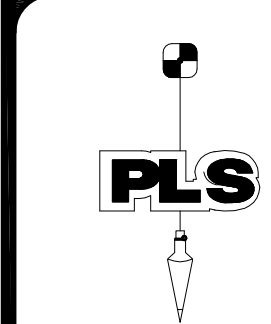
THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 THROUGH 4 INCLUSIVE

SHEET 1 OF 4

5		
4		
3		
2		
1		
NO.	REVISIONS	BY

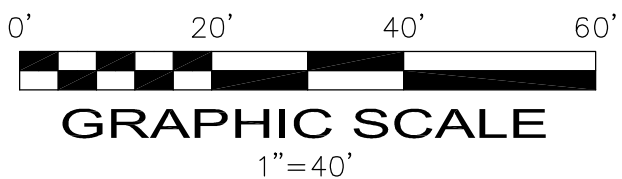
PEPPERTREE PLAZA
SAMPLE ROAD AND STATE ROAD NO. 7
MARGATE, BROWARD COUNTY
FLORIDA 33073

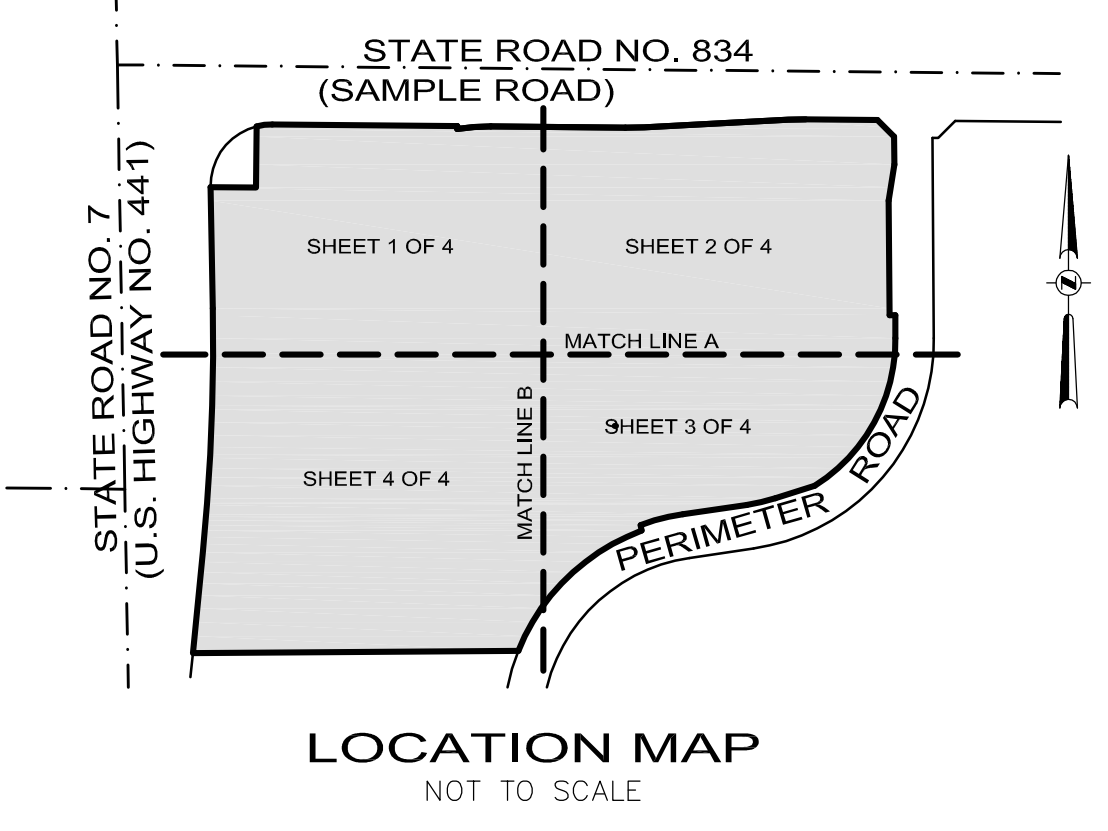
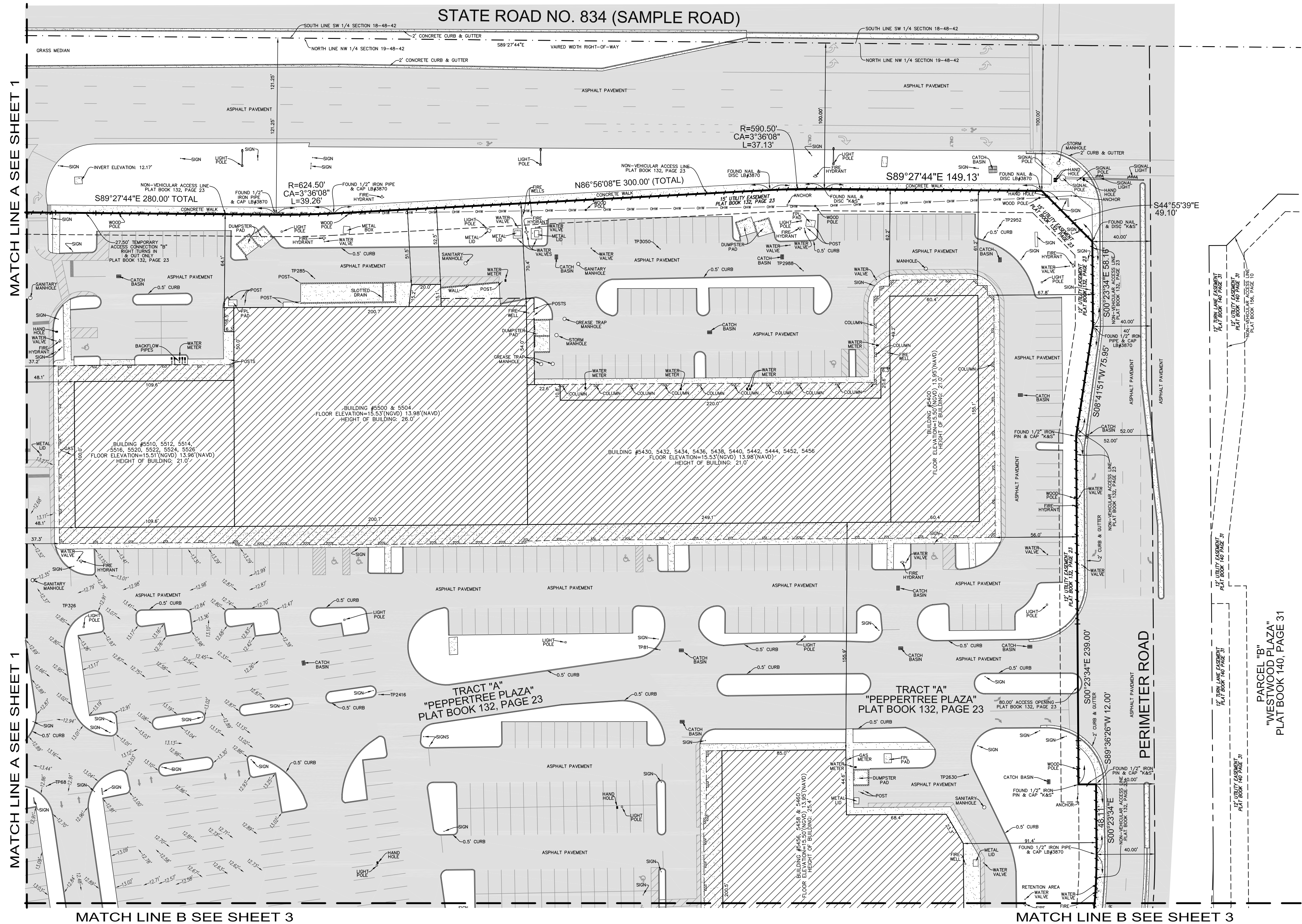
BOUNDARY SURVEY



PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: B.E. SCALE: 1" = 40' FILE: THOMAS ENGINEERING GROUP
CHECKED BY: J.F.P. SURVEY DATE: 02/10/15 ORDER NO.: 58566



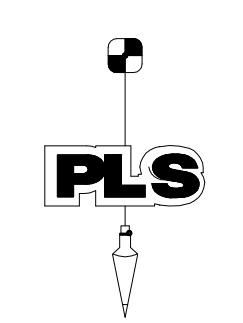


- LEGEND**
- CONCRETE
 - ASPHALT PAVEMENT
 - OVERHEAD WIRES
 - UNDERGROUND GAS LINE
 - NON-VEHICULAR ACCESS LINE
 - CENTERLINE
 - RADIUS
 - CA CENTRAL ANGLE
 - L ARC LENGTH
 - FPL FLORIDA POWER & LIGHT
 - O.R.B. OFFICIAL RECORDS BOOK
 - TP TRAVERSE POINT FOR FIELD INFORMATION ONLY

SHEET 2 OF 4

PEPPERTREE PLAZA
SAMPLE ROAD AND STATE ROAD NO. 7
MARGATE, BROWARD COUNTY
FLORIDA 33073

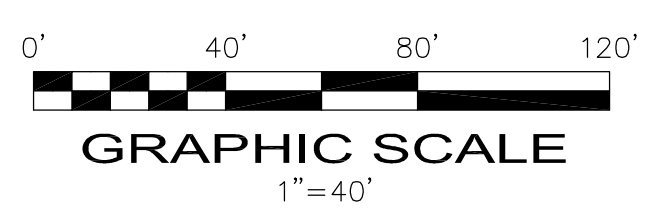
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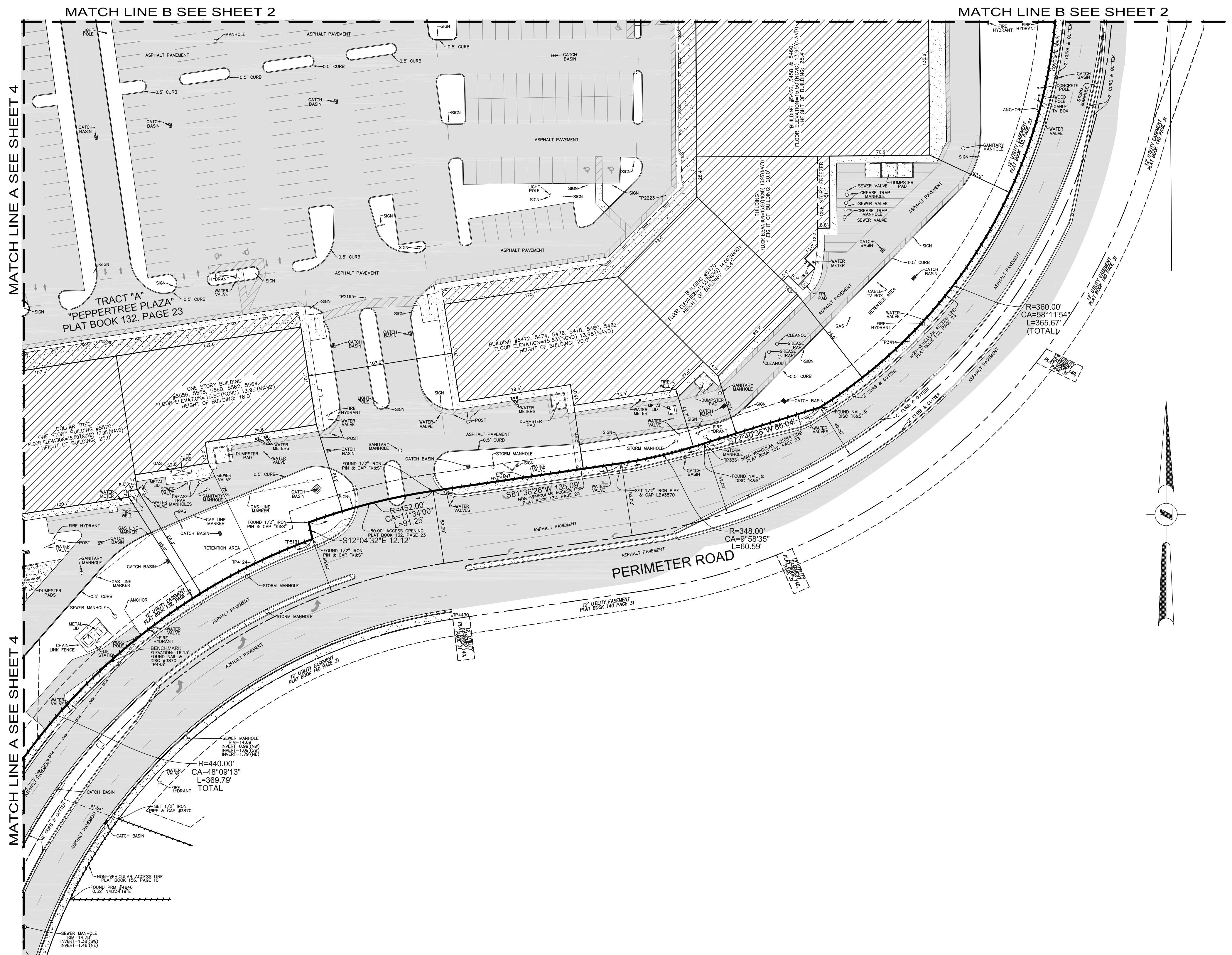
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CHECKED BY: J.F.P. SURVEY DATE: 02/10/15 ORDER NO.: 58566

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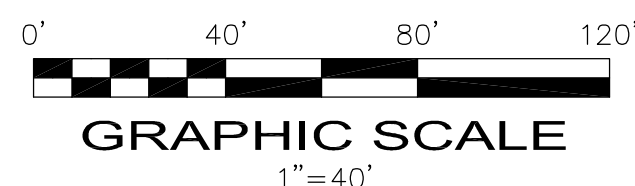


LEGEND

- CONCRETE
ASPHALT PAVEMENT
OVERHEAD WIRES
UNDERGROUND GAS LINE
NON-VEHICULAR ACCESS LINE
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STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441)

EAST LINE SE 1/4 SECTION 13-48-41
WEST LINE NW 1/4 SECTION 14-48-42

SE CORNER
SECTION 13-48-41
NE CORNER
SECTION 24-48-41

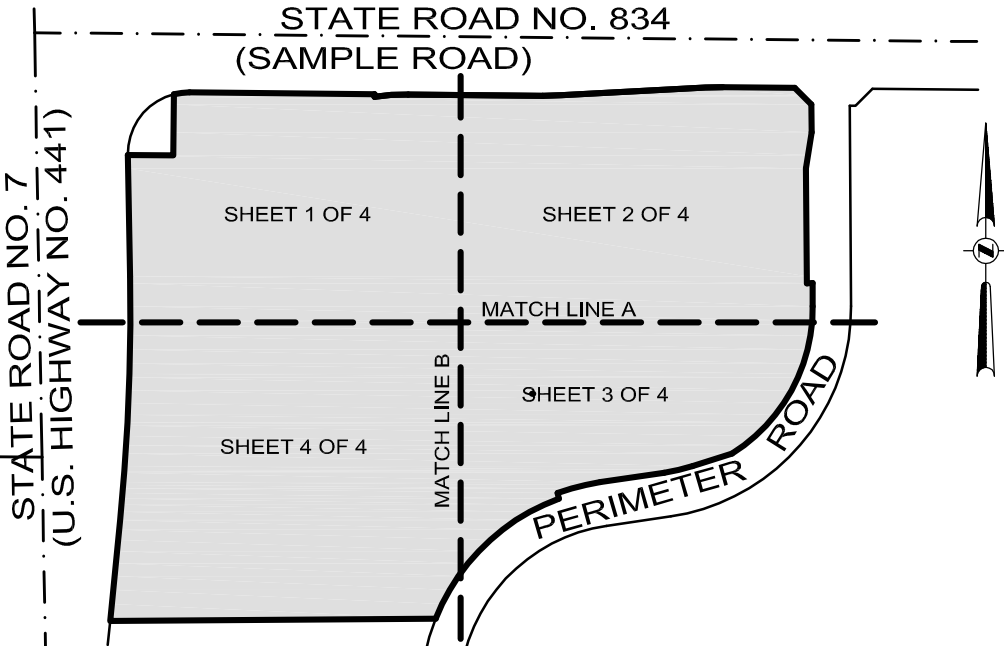
RANGE 41
RANGE 42
EAST LINE NE 1/4 SECTION 24-48-41
WEST LINE NW 1/4 SECTION 19-48-42

MATCH LINE B SEE SHEET 1

MATCH LINE B SEE SHEET 1

MATCH LINE A SEE SHEET 3

MATCH LINE A SEE SHEET 3



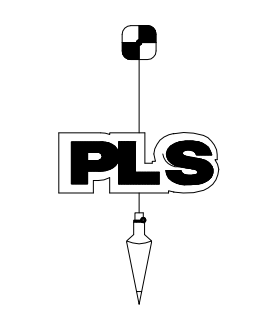
LOCATION MAP
NOT TO SCALE

- LEGEND**
- CONCRETE
 - ASPHALT PAVEMENT
 - OVERHEAD WIRES
 - UNDERGROUND GAS LINE
 - NON-VEHICULAR ACCESS LINE
 - CENTERLINE
 - R RADIUS
 - CA CENTRAL ANGLE
 - L ARC LENGTH
 - FPL FLORIDA POWER & LIGHT
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SHEET 4 OF 4

PEPPERTREE PLAZA
SAMPLE ROAD AND STATE ROAD NO. 7
MARGATE, BROWARD COUNTY
FLORIDA 33073

BOUNDARY SURVEY



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CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: B.E. SCALE: 1" = 40' FILE: THOMAS ENGINEERING GROUP
CHECKED BY: J.F.P. SURVEY DATE: 02/10/15 ORDER NO.: 58566

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