



City of Margate
DEVELOPMENT REVIEW COMMITTEE
Application for Special Exception (new construction)

5790 Margate Blvd., Margate, FL 33063
954-972-6454

Submittal Date (official use):

06-15-14

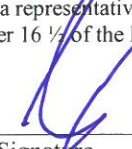
Project Name Rising Tide Car Wash		
Address 2970 North State Road 7		DRC # 08-15-05
Acreage 1.485	Folio Number 484219260010	Paid: 41,562.34
Existing Use Vacant		
Legal Description A portion of Parcel "A" of the PLATTS PLAT, Plat Book 138, page 48.		

Describe proposal/request in detail, including non-residential square footage and/or number of dwelling units
☐ Construction of a 7029 s.f. car wash with 3 reservoir details spaces.
☐
☐

Agent/Contact Name Jay Huebner - HSQ Group, Inc.	
Address 1489 W. Palmetto Park Road, Suite 340, Boca Raton, FL 33486	
Phone Number 561-392-0221	Fax Number 561-392-6458
Email Address Jay@hsqgroup.net	

Property Owner Name 2970 N. SR7, LLC	
Address 4755 Technology Way, Suite 203, Boca Raton, FL 33431	
Phone Number 561-807-2770	Fax Number 561-995-9181
Email Address smleder@ledergroup.com	

OWNER'S AFFIDAVIT: I certify that I am the owner of record for the above referenced property and give authorization to file this petition. I understand that I, or a representative on my behalf, must be present at the DRC meeting. I further understand that my petition will be subject to the regulations of Chapter 16 1/2 of the Margate City Code.


Property Owner's Signature

7.23.15
Date

Application submissions will be considered incomplete without all of the following required materials:

1. Completed DRC application form.
2. Application fee.
3. Survey of subject property that is no less than one year old.
4. Complete site plan set (see attached "DRC SITE PLAN CHECKLIST")
5. Walkway cafés larger than 400sqft are a special exception. Applicants must submit the "WALKWAY CAFÉ SUPPLEMENT" if applying for a sidewalk café larger than 400sqft.

NOTES:

1. 3 paper sets of back up material (1 original + 2 copies) and 1 compact disc in pdf format must be submitted to the Department of Economic Development by appropriate deadline with application forms and required fee. Late submissions may be subject to Expedited Review Fee.
2. The applicant or a representative must be present in order for a submission to be reviewed by the committee.
3. All required forms/materials must be typewritten or printed neatly. Illegible documents will not be accepted.
4. All surveys and/or plans must be folded into quarters, and then in half with the application visible.
5. Completed "PUBLIC HEARING SIGN REMOVAL BOND" (p.7) and **\$150** must be submitted to the City Clerk's Office.

DRC APPLICATION FEE(S):

1) Special Exception Use: \$500

2) Applicable site plan fee:

a) Non-residential: \$500 + \$1 per 25 sqft of new construction

b) Residential: \$500 + \$5 per dwelling unit

3) Expedited review: fees doubled

City of Margate
*** CUSTOMER RECEIPT ***

Batch ID: RR0DI 8/10/15 00 Receipt no: 158840

Type	SvcCd	Description	Amount
EI		ECDV SPECIAL EXECPT. USE	
	Qty	1.00	\$1562.34

RT P & B CORP
7201 N STATE RD 7
PARKLAND, FL 33073
RE; RISING TIDE CAR WASH
2970 N STATE RD 7
MARGATE, FL

Tender detail
CK Ref#: 1044 \$1562.34
Total tendered: \$1562.34
Total payment: \$1562.34

Trans date: 8/10/15 Time: 10:22:09

HAVE A GREAT DAY!

RISING TIDE CAR WASH

CITY OF MARGATE, BROWARD COUNTY, FLORIDA

RISING TIDE @ P&B CORP.

INDEX OF PLANS

SHEET NO.	SHEET DESCRIPTION
CS-1	COVER SHEET
SP-1	SITE PLAN
	BOUNDARY SURVEY
CE-1	CONCEPTUAL ENGINEERING PLAN
CE-2	CONCEPTUAL ENGINEERING DETAILS
A2.1	BUILDING FLOOR PLAN
A3.2	BUILDING ELEVATIONS
L-1	LANDSCAPE PLAN
PH-1	PHOTOMETRIC PLAN AND DETAILS

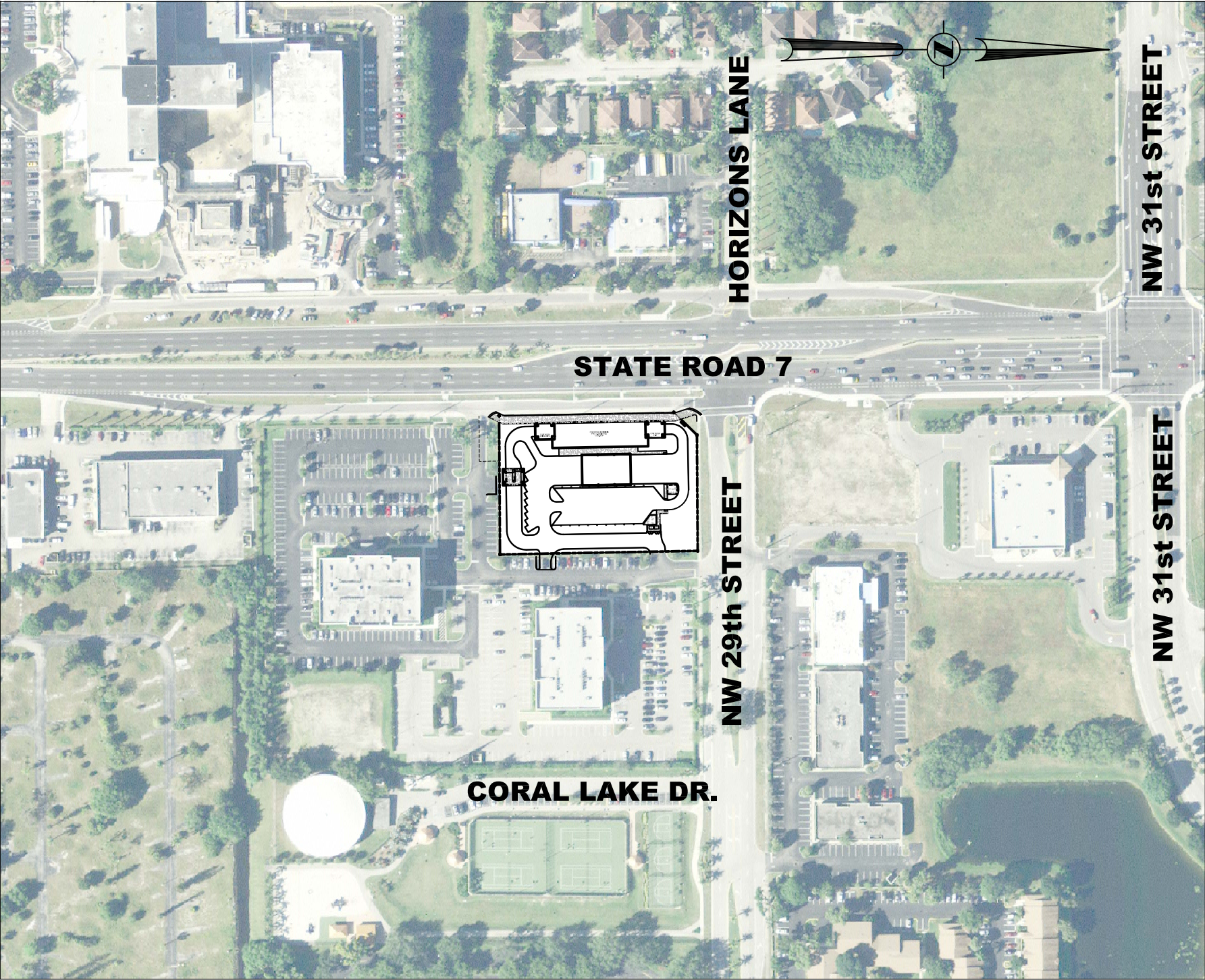
LEGAL DESCRIPTION:

PARCEL 1
A portion of PARCEL "A", of PLATTS PLAT, according to the plat thereof as recorded in Plat Book 138, Page 48 of the public records of Broward County, Florida, and being more fully described as follows:

Beginning at the most Northerly Northwest corner of said Parcel "A"; thence North 89°38'02" East on said North line, a distance of 178.83 feet; thence South 01°02'32" East, a distance of 305.00 feet; thence South 89°38'02" West, a distance of 214.25 feet to a point on the West line of said Parcel "A"; thence North 01°02'32" West, on said West line, a distance of 269.58 feet; thence North 44°17'45" East, on the Northwesterly line of said Parcel "A", a distance of 49.79 feet to the Point of Beginning.

PARCEL 2
A non-exclusive easement for the benefit of Parcel 1 for the purpose of pedestrian and vehicular ingress, egress and access to and from over the lands shown on Exhibit "C" of Easement Agreement between Northwest Medical Center, Inc. and The Platts Family Limited Partnership recorded June 25, 2002 in Official Records Book 33340, Page 1880, of the Public Records of Broward County, Florida. Located Approximately on Survey (no legal description contained on Exhibit "C").

Said lands situate lying and being in the City of Margate, Broward County, Florida and containing 64,713 square feet or 1.4856 acres more or less.



LOCATION MAP

SCALE: 1" = 200'
SECTION 19 / TOWNSHIP 48 S / RANGE 42 E

SITE PLAN



HSQ GROUP, INC.

Engineers · Planners · Surveyors

1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
CA26258 · LB7924

DEVELOPER:

RISING TIDE CAR WASH
RISING TIDE @ P&B CORP.
301 NE 65th COURT
FORT LAUDERDALE, FL 33308
(954) 482-0732

PLANNER:

HSQ GROUP, INC.
1489 WEST PALMETTO PARK ROAD
SUITE 340
BOCA RATON, FL 33486
(561) 392-0221

ARCHITECT:

A PLUS DESIGN GROUP
TRENT CLARK ARCHITECT
2653 SAGEBRUSH DRIVE,
SUITE 200
FLOWER MOUND, TX 75028
(972) 724-4440

CIVIL ENGINEER:

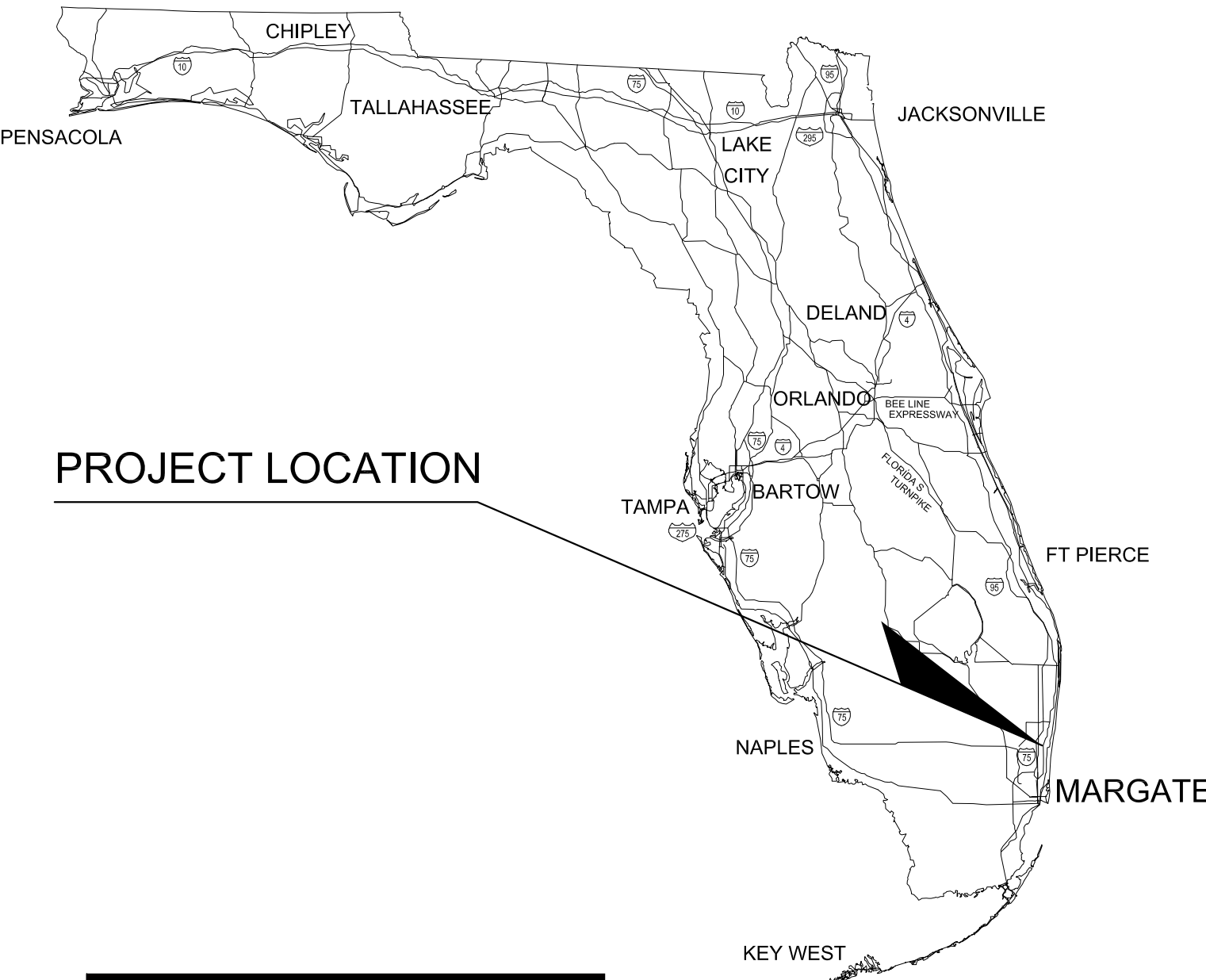
HSQ GROUP, INC.
1489 WEST PALMETTO PARK ROAD
SUITE 340
BOCA RATON, FL 33486
(561) 392-0221

LANDSCAPE ARCHITECT:

MICHAEL J. PETROW AND
ASSOCIATES, INC.
P.O. BOX 8601
CORAL SPRINGS, FL 33075
(954) 448-0659

SURVEYOR:

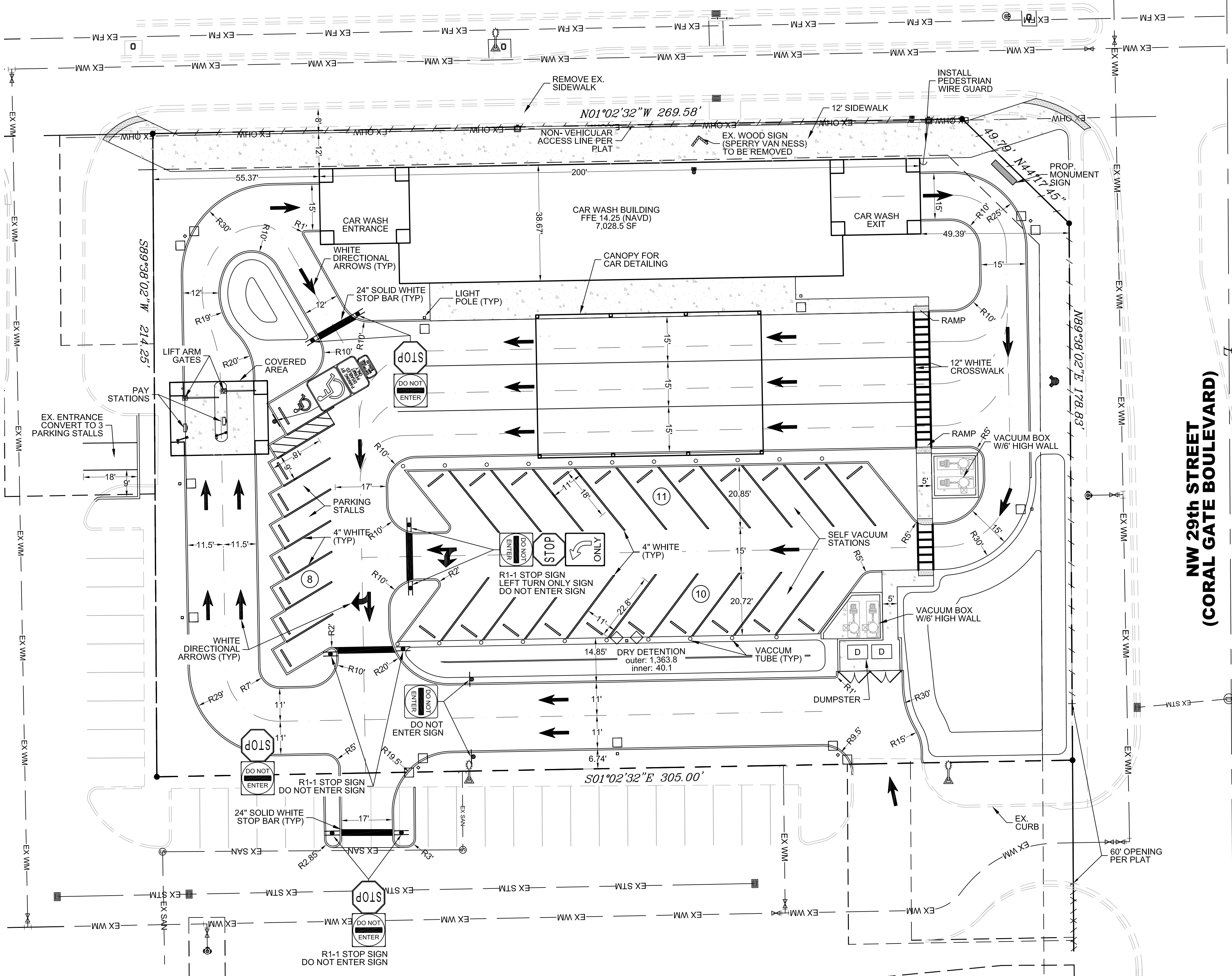
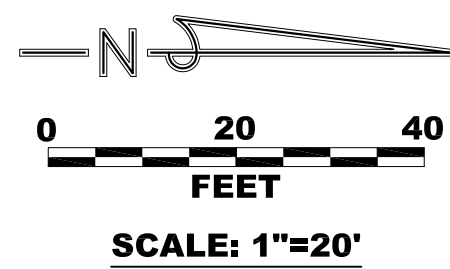
McLAUGHLIN ENGINEERING COMPANY
400 N.E. 3rd AVENUE,
FORT LAUDERDALE, FL 33301
(954) 763-7611



ENGINEER'S CERTIFICATION
THESE PLANS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.

Date: 8/6/15 Seal
Approved by: JAY HUEBNER
Registered Engineer Number: 54615
State of Florida

STATE ROAD NO.7 (U.S. 441)



NW 29th STREET
(CORAL GATE BOULEVARD)

SITE DATA

LAND USE CLASSIFICATION: COMMERCIAL			ZONING CLASSIFICATION: TOC-C		
SITE AREA:			DENSITY CALCULATIONS:		
NET SITE AREA:	1.486 AC.	100.0%	NET SITE AREA:	1.486 AC.	
BUILDING COVERAGE AREA:	0.161 AC.	10.9%	FLOOR AREA RATIO (FAR)	0.10	
CONCRETE AREA:	0.158 AC.	10.6%	SETBACK REQUIREMENTS:		
PAVED AREA:	0.790 AC.	53.2%			
GREEN AREA:	0.376 AC.	25.3%			
PARKING REQUIREMENTS:					
1,150 SF / 500 OFFICE	REQUIRED: 3	PROVIDED: 8			
PROVIDED:					
STANDARD SPACES:	7	SPACES			
HANDICAP SPACES (2% OF TOTAL)	1	SPACES			
TOTAL PROVIDED:	8	SPACES			
			CODE REQUIREMENTS		
			BUILDING MAX HEIGHT	100'	PROVIDED 29.5'
			PLOT SIZE MIN	10,000	PROVIDED 64,900

GENERAL NOTES:

- WATER SERVICE WILL BE PROVIDED BY THE CITY OF MARGATE
- SEWER SERVICE WILL BE PROVIDED BY THE CITY OF MARGATE

NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: J.H. Date: 08/15
Drawn by: J.L.S. Date: 08/15
Checked by: J.H. Date: 08/15



HSQ GROUP, INC.
Engineers · Planners · Surveyors
1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
C26258 · LB7924

RIISING TIDE CAR WASH
SITE PLAN

SCALE: 1" = 20'
PROJECT NUMBER: 1412-60
SHEET NUMBER: SP-1

Date: 8/6/15
Approved by: JAY HUEBNER, P.E.
Registered Engineer No: 54619
State of Florida

prepared by:
McLAUGHLIN ENGINEERING COMPANY (LB#285)
400 N.E. 3rd AVENUE, FORT LAUDERDALE, FLORIDA 33301
PHONE: (954) 763-7611
FAX: (954) 763-7615



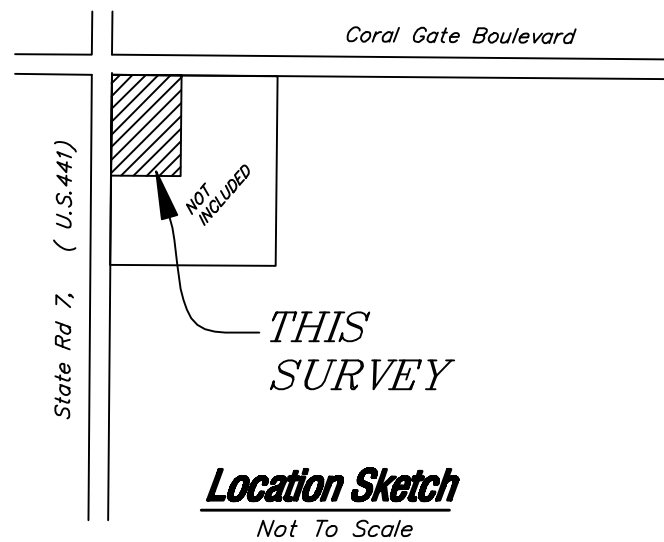
GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

RECORD LAND SURVEY

A portion of PARCEL "A", PLATTS PLAT P.B. 138, PG. 48, B.C.R.

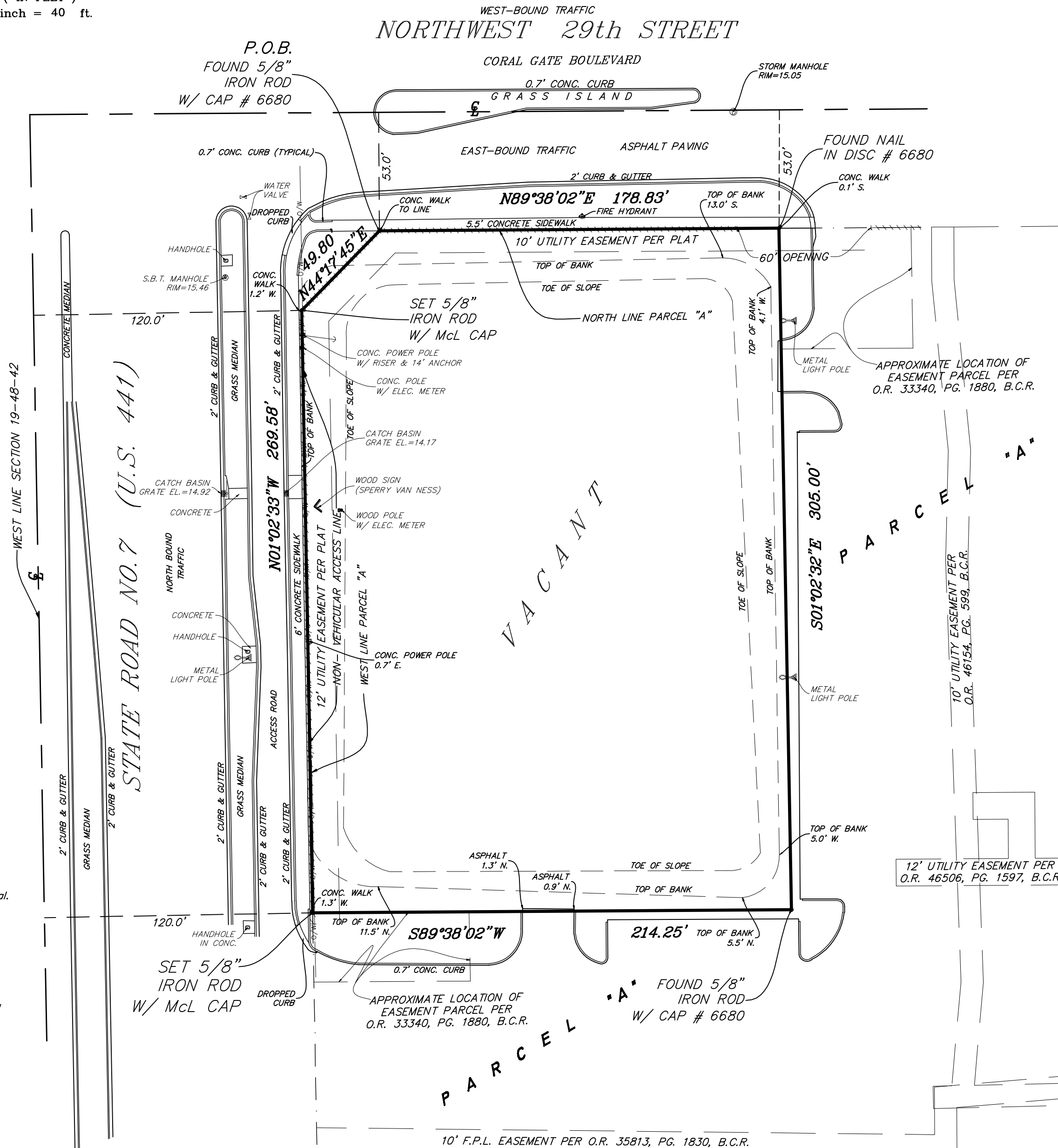


LEGEND

Δ = CENTRAL ANGLE (DELTA)
R = RADIUS
A OR L = ARC LENGTH
CH.BRG. = CHORD BEARING
TAN.BRG. = TANGENT BEARING
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
W/McL CAP = WITH McLAUGHLIN ENGINEERING CO. CAP
P.R.M. = PERMANENT REFERENCE MONUMENT
CONC. = CONCRETE
C.B.S. = CONCRETE, BLOCK AND STUCCO
I.C.V. = IRRIGATION CONTROL VALVE
W.M. = WATER METER
B.F.P. = BACK FLOW PREVENTOR
ELEV. = ELEVATION
O/S = OFFSET
A/C = AIR CONDITIONING
CL = CENTERLINE OF RIGHT-OF-WAY
F.P.L. = FLORIDA POWER AND LIGHT CO.
S.B.T. = SOUTHERN BELL TELEPHONE
B.C.R. = BROWARD COUNTY RECORDS
D.C.R. = DADE COUNTY RECORDS
P.B.R. = PALM BEACH COUNTY RECORDS
O.R. = OFFICIAL RECORDS BOOK
PG. = PAGE
R/W = RIGHT-OF-WAY
C.O. = CLEAN OUT
C.L.F. = CHAIN LINK FENCE

NOTES:

- This survey reflects any easements, road reservations or rights of way of record affecting this property per Chicago Title Insurance Company, Commitment Order No. 4304405, dated March 18th, 2013 at 11:00 P.M.
- Underground improvements if any not located.
- This drawing is not valid unless sealed with an embossed surveyors seal.
- Boundary survey information does not infer Title or Ownership.
- All iron rods 5/8", unless otherwise noted.
- Reference Bench Mark: Broward County Bench Mark #475
ELEVATION = 12.37
- Elevations shown refer to National Geodetic Vertical Datum (1929), and are indicated thus: δ , Elev. = 9.87
- This property lies in Flood Zone "AH", Elev.=14.0 Per Flood Insurance Rate Map No. 12011C0115F Dated: August 18, 1992. Community Panel No. 120047 Index Map Dated: October 2, 1997.
- Bearings shown hereon refer to Bearing from the Traverse Mercator Grid System, Florida East Zone per Miscellaneous Plat Book 3, Page 44, B.C.R.
- Platts Plat, P.B. 138, Page 48, B.C.R. is Restricted to 125,304 square Feet Commercial per O.R. 25716, Page 0234, Broward County, Records.
- The real property legally described herein has access to and from a paved and dedicated public road known as Northwest 29th Street per easement recorded in O.R. 33340, Page 1880, B.C.R.



Legal Description

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Located Approximately on Survey (no legal description contained on Exhibit "C").

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Survey Notes

This survey reflects any easements, road reservations or rights of way of record affecting this property per Chicago Title Insurance Company, Commitment Order No. 4304405, dated March 18th, 2013 at 11:00 P.M.

Notes corresponding to Schedule B II, of the above referenced title commitment:

- AS TO PARCELS 1 and 2: Easements per Plat Book 138, Pg. 48, B.C.R. affect this property as shown hereon. Amendment per O.R. 25716, Page 234, B.C.R. restricts all of Parcel "A" to 125,304 square feet of commercial use.
- AS TO PARCELS 1 and 2: Agreement per O.R. 13235, Page 322, B.C.R. affects this property. (nothing plottable).
- AS TO PARCELS 1 and 2: Agreement per O.R. 25716, Pg. 183 B.C.R. affects this property, (transfers 500 Committed Trips from overall Parcel and leaves 8604 Committed Trips remaining for the benefit of all of Parcel "A").
- AS TO PARCELS 1 and 2: Restrictive Covenants per O.R. 33340, Page 1871 of the Publics Records of Broward County, Florida, affects this property (Nothing Plottable).
- AS TO PARCELS 1 and 2: Easement per O.R. Book 33340, Page 1880 of the Publics Records of Broward County, Florida, affects this property as shown (approximate no Legal or Dimensions on Sketch).
- AS TO PARCELS 1 and 2: Easement per O.R. Book 35813, Page 1830 of the Publics Records of Broward County, Florida, affects this property as shown.
- AS TO PARCEL 2: Declaration per O.R. Book 34380, Page 1456 of the Publics Records of Broward County, Florida, and amendment per O.R. Book 38207, Page 566 of the Publics Records of Broward County, Florida, affects this property (Blanket Easements).
- AS TO PARCEL 2: Declaration per O.R. Book 45827, Page 302 of the Publics Records of Broward County, Florida, affects this property (Nothing Plottable).
- AS TO PARCEL 2: As to Parcel 2, Lease per O.R. Book 45827, Page 317 of the Public Records of Broward County, Florida, does not affect this property.
- AS TO PARCEL 2: As to Parcel 2, Agreement per O.R. Book 45827, Page 321 of the Public Records of Broward County, Florida, does not affect this property.
- AS TO PARCEL 2: As to Parcel 2, Assignment per O.R. Book 45827, Page of the Public Records of Broward County, Florida, does not affect this property.
- AS TO PARCEL 2: As to Parcel 2, Statement per O.R. Book 45737, Page 1257 of the Public Records of Broward County, Florida, does not affect this property.
- AS TO PARCEL 2: As to Parcel 2, Lease per O.R. Book 34380, Page 1452 of the Public Records of Broward County, Florida and Subsequent Amendments does not affect this property.
- AS TO PARCEL 2: Easement per O.R. Book 46154, Page 599 of the Public Records of Broward County, Florida, is not contained in this Parcel (as shown).
- AS TO PARCEL 2: Resolution per O.R. Book 46506, Page 1597 of the Public Records of Broward County, Florida, affects this property and as shown.

LEGAL DESCRIPTION:

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Located Approximately on Survey (no legal description contained on Exhibit "C").

CERTIFICATION

We hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 24th day of April, 2000.
Resurveyed this 1st day of April, 2013.
General revisions added this 2nd day of May, 2013.

McLAUGHLIN ENGINEERING COMPANY

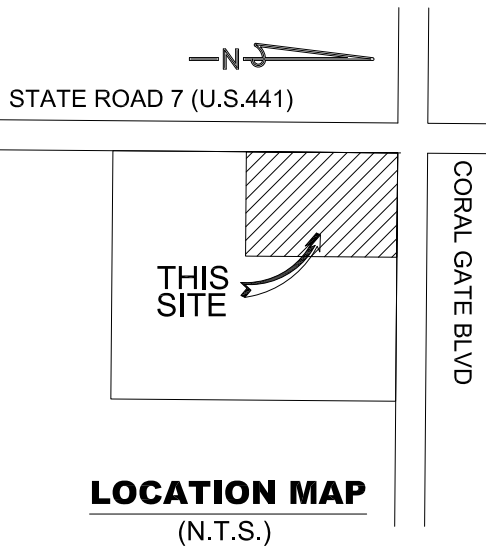
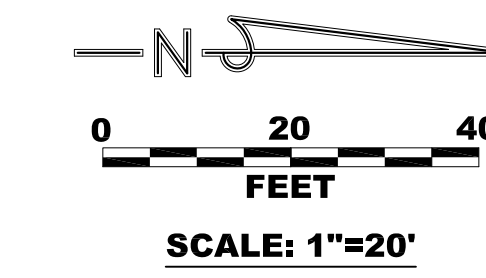
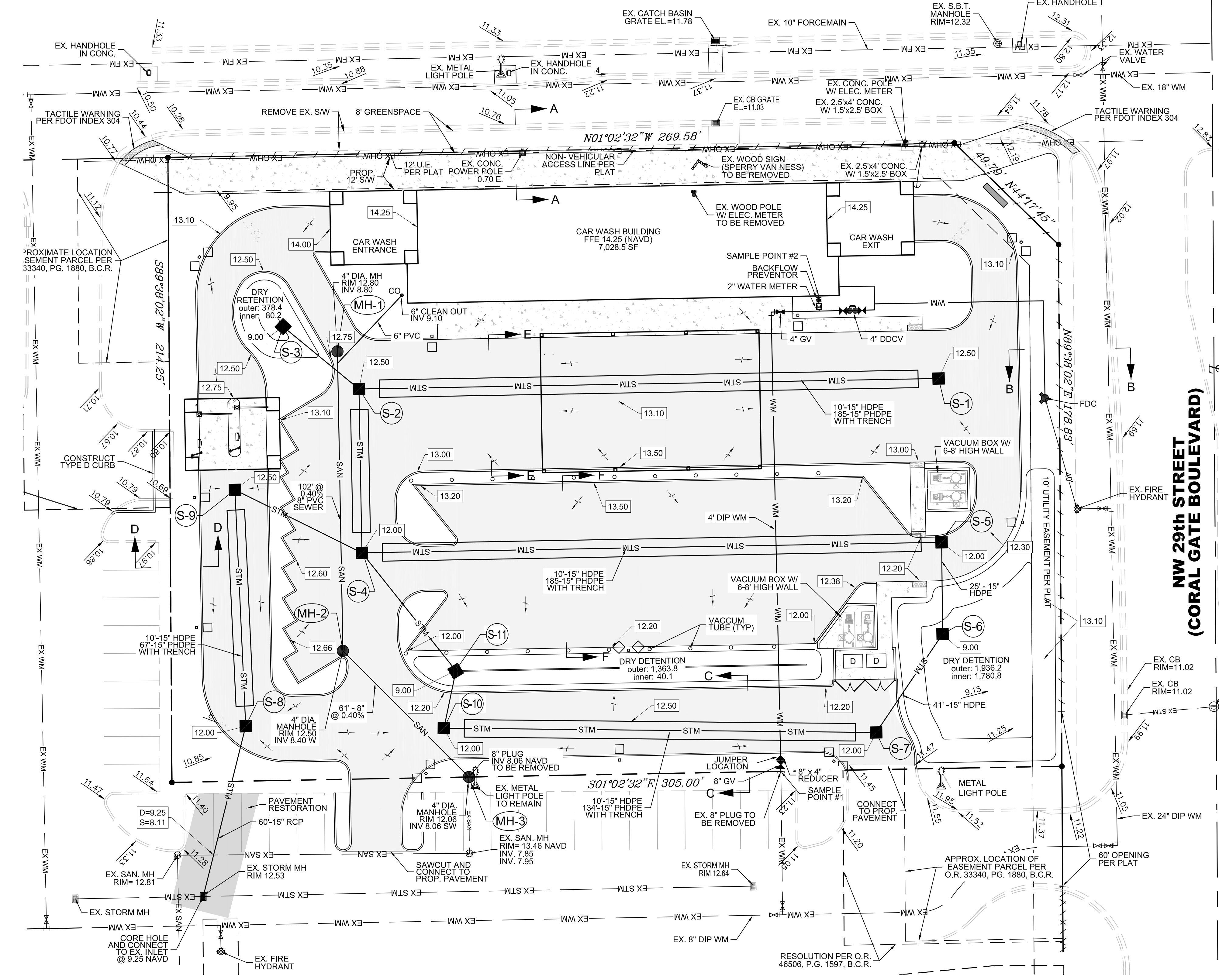
JERALD A. McLAUGHLIN
Registered Land Surveyor No. 5269
State of Florida.

CERTIFIED TO:

Stearns Weaver Miller Weissler Alhadeff & Sitterson, P.A.;
Leder Holdings, LLC, a Florida limited liability company;
Chicago Title Insurance Company;
The Platts Family Limited Partnership, a Florida limited partnership

"NOT VALID UNLESS SEALED WITH
AN EMBOSSED SURVEYOR'S SEAL"

STATE ROAD NO.7 (U.S. 441)



LEGEND	
100'-24" R.C.P.	LENGTH - SIZE - MATERIAL
—	PAVEMENT FLOW LINE
—	PAVEMENT RIDGE LINE
0.60%	PAVEMENT SLOPE & DIRECTION
+	FLOW DIRECTION
(15.00)	PROPOSED GRADE
(15.00)	EXISTING GRADE
F.F. = +12.00	FINISHED FLOOR ELEVATION
⊗	SEWER / DRAINAGE MANHOLE
⊗	DRAINAGE INLET
⊗	CURB INLET
⊗	YARD DRAIN BASIN
⊗	DOUBLE SEWER SERVICE
⊗	SINGLE SEWER SERVICE
⊗	FIRE HYDRANT
⊗	TAPPING SLEEVE & VALVE
⊗	DOUBLE WATER METER
⊗	SINGLE WATER METER
⊗	GATE VALVE
⊗	EXISTING VALVE
⊗	EXISTING FIRE HYDRANT
⊗	BACTERIOLOGICAL SAMPLING POINT
R.C.P.	REINFORCED CONCRETE PIPE
H.D.P.E.	HIGH DENSITY POLYETHYLENE PIPE
C.A.P.	CORRUGATED ALUMINUM PIPE
W.M.	WATER MAIN
G.V.	GATE VALVE
F.H.	FIRE HYDRANT
R.E.	RIM ELEVATION
I.E.	INVERT ELEVATION
E.O.P.	EDGE OF PAVEMENT
P.R.B.	POLLUTION RETARDANT BAFFLE
D.W.E.	DESIGN WATER ELEVATION
⊗	SAWCUT & WIDENING

DRAINAGE INLET SCHEDULE

S-1	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 12.50 INV 8.00 S	S-2	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 12.50 INV 8.00 N INV 8.00 E INV 8.00 SW
S-3	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 9.00 INV 5.00 NE	S-4	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 12.00 INV 8.00 N INV 8.00 W INV 8.00 SE INV 6.00 NW
S-5	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 12.00 INV 8.00 E INV 8.00 S	S-6	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 9.00 INV 5.00 W INV 5.00 SE
S-7	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 12.00 INV 8.00 NW INV 8.00 S	S-8	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 12.00 INV 8.00 N INV 8.00 W INV 9.25 W
S-9	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 12.50 INV 6.00 SE INV 8.00 E	S-10	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 9.00 INV 8.00 N INV 7.00 SW
S-11	TYPE 'D' INLET W/ U.S.F. 4155-6210 FRAME AND GRATE RIM 9.00 INV 5.50 SW INV 5.50 E		

SEWER STRUCTURE SCHEDULE

MH-1	SANITARY MANHOLE RIM 12.80 INV 8.80 E	MH-2	SANITARY MANHOLE RIM 12.0 INV 8.40 W INV NE
MH-3	SANITARY MANHOLE RIM 12.06 INV 8.06 SW		

CONFLICT DESIGN INFORMATION

15" D = +15.00	SIZE & BOTTOM OF PIPE ELEV.
8" S = +13.50	SIZE & TOP OF PIPE ELEVATION
W = WATER MAIN	
S = SANITARY SEWER MAIN	
D = STORM DRAINAGE LINE	

ELEVATION NOTE:

ALL ELEVATIONS ARE IN NAVD 1988

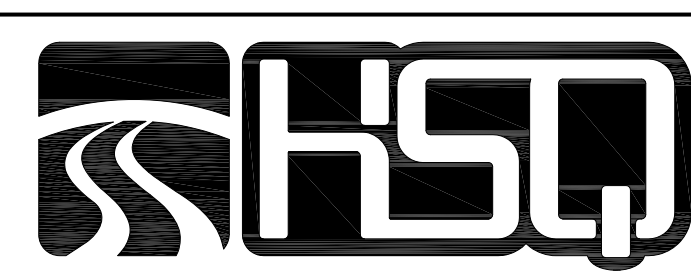
DUMPSTER ENCLOSURE NOTE:

BOLLARDS TO BE INSTALLED PER SEC. 47-19.4

NO.	DATE	BY	REVISIONS

NO.	DATE	BY	REVISIONS

Designed by: J.H. Date: 08/15
Drawn by: J.L.S. Date: 08/15
Checked by: J.H. Date: 08/15

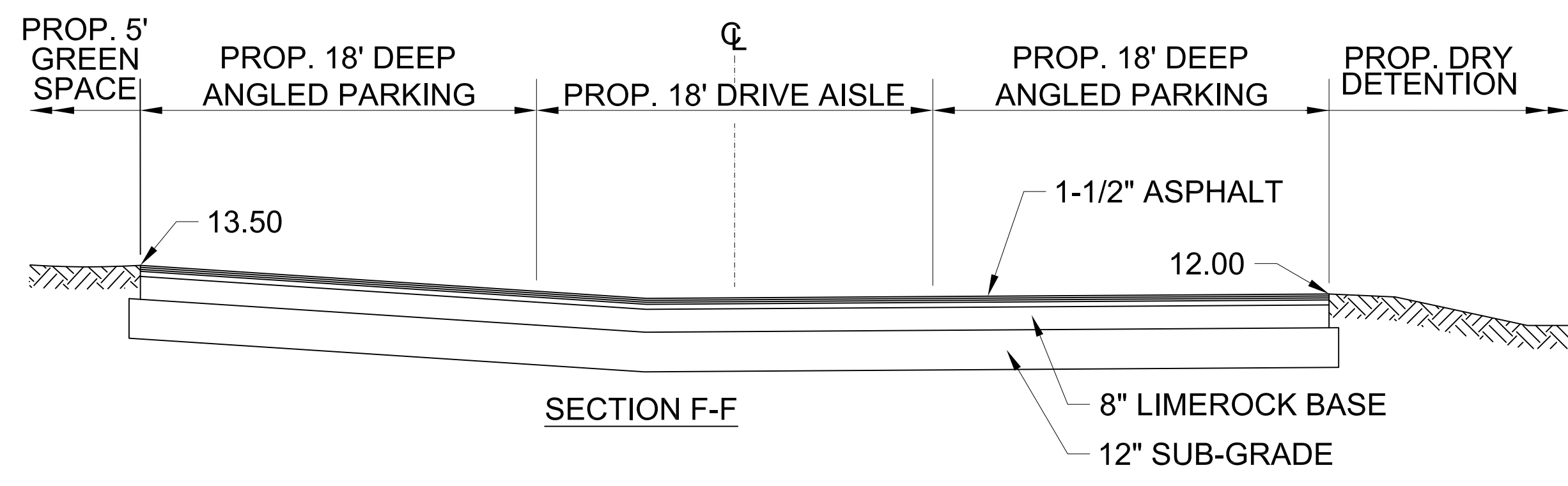
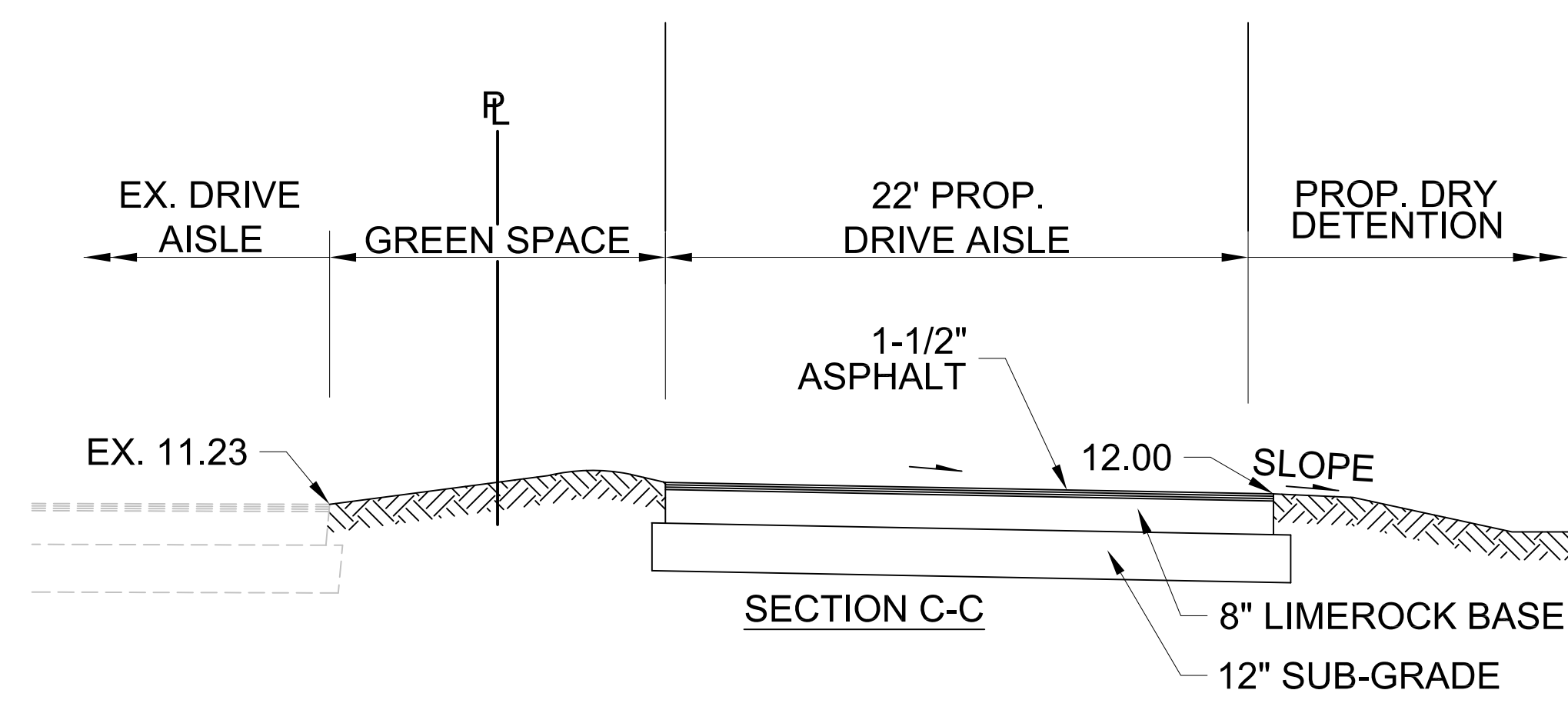
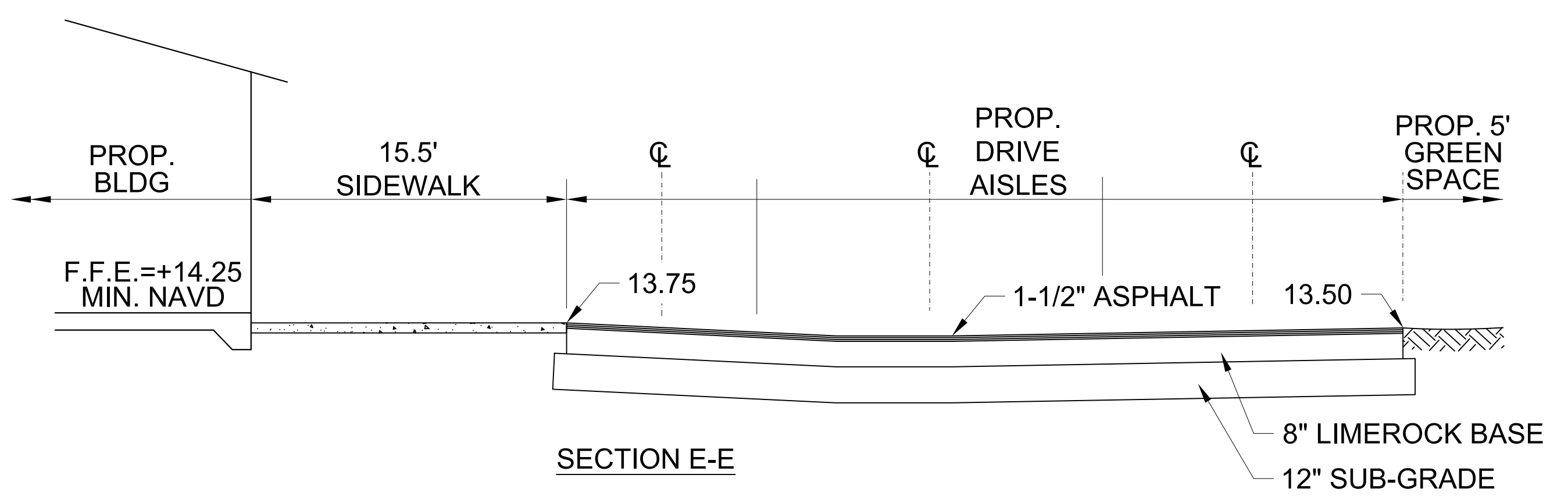
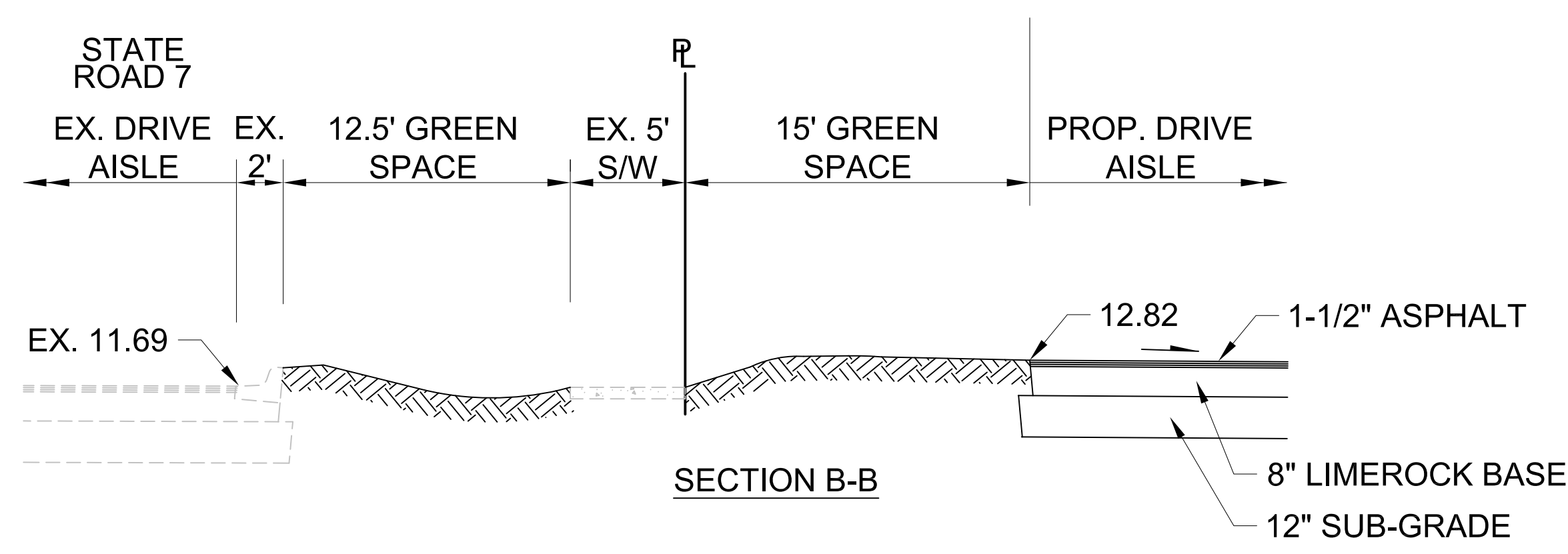
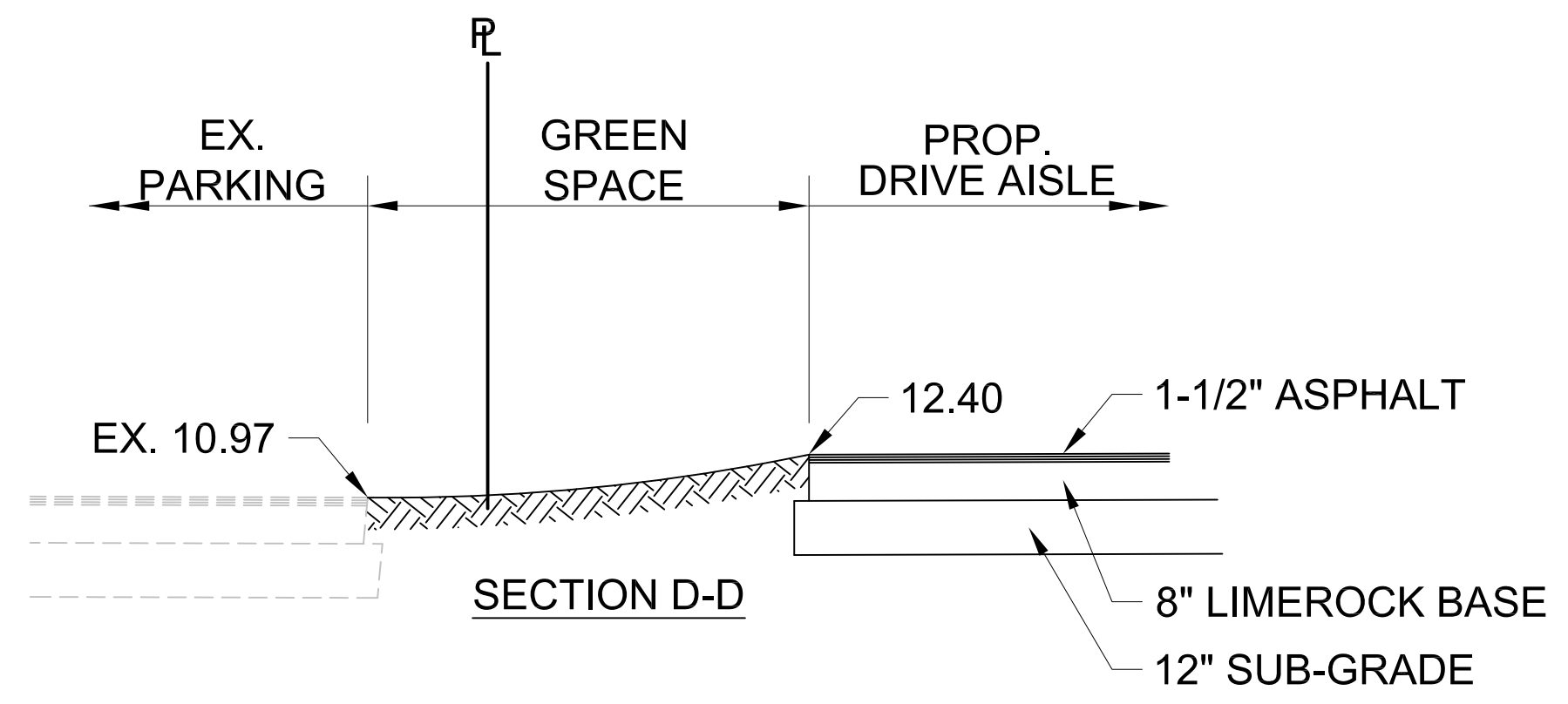
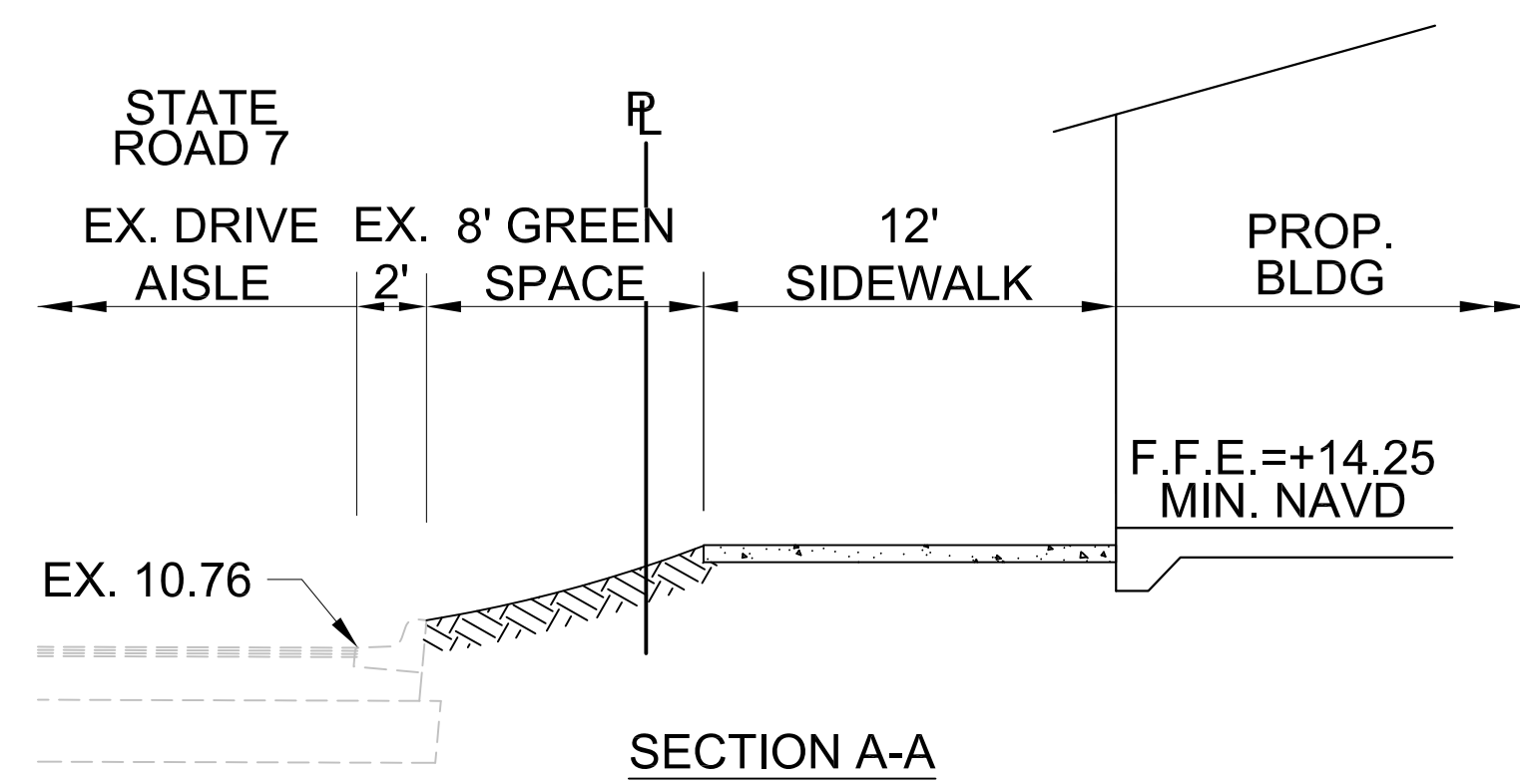


HSQ GROUP, INC.
Engineers · Planners · Surveyors
1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
C26258 · LB7924

RISEING TIDE CAR WASH
CONCEPTUAL ENGINEERING PLAN

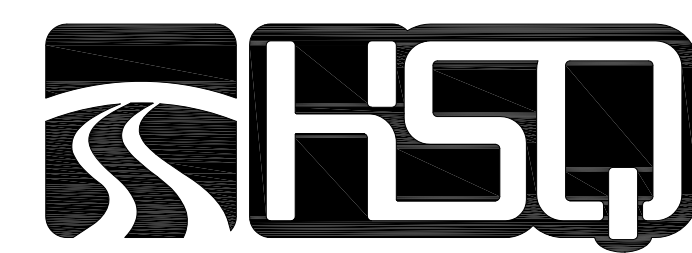
SCALE: 1" = 20'
PROJECT NUMBER: 1412-60
SHEET NUMBER: CE-1

Date: 8/6/15
Approved by: JAY HUEBNER, P.E.
Registered Engineer No. 54615
State of Florida



NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: J.H. Date: 08/15
 Drawn by: J.L.S. Date: 08/15
 Checked by: J.H. Date: 08/15

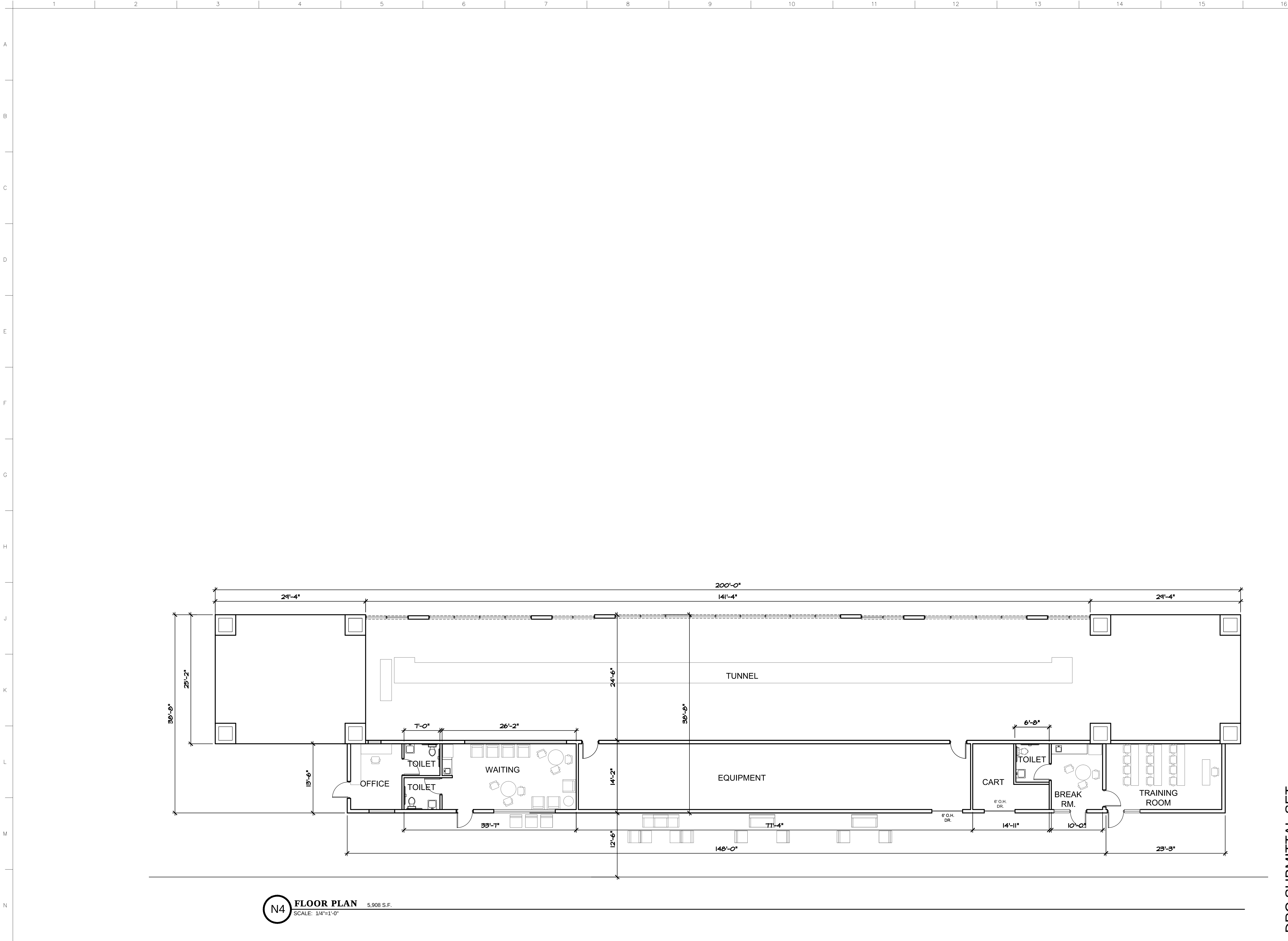


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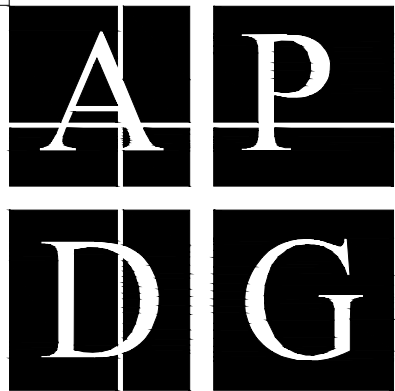
RISING TIDE CAR WASH CONCEPTUAL ENGINEERING DETAILS

SCALE:
 N.T.S.
 PROJECT NUMBER:
 1412-60
 SHEET NUMBER:
 CE-2

Date: 8/6/15
 Approved by: JAY HUEBNER, P.E.
 Registered Engineer No.: 54615
 State of Florida



N4 FLOOR PLAN 5,908 S.F.
SCALE: 1/4"=1'-0"



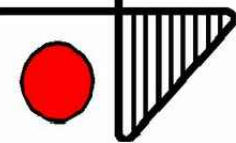
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CAR WASH DESIGNERS

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Julian J. Garcia
Architect • Engineer • Planner

737 West Central Avenue
Winter Haven, Florida 33880
Phone: (863) 294-4780



RISING TIDE CAR WASH

A NEW CAR WASH FOR:

MARGATE, FLORIDA

REVISIONS

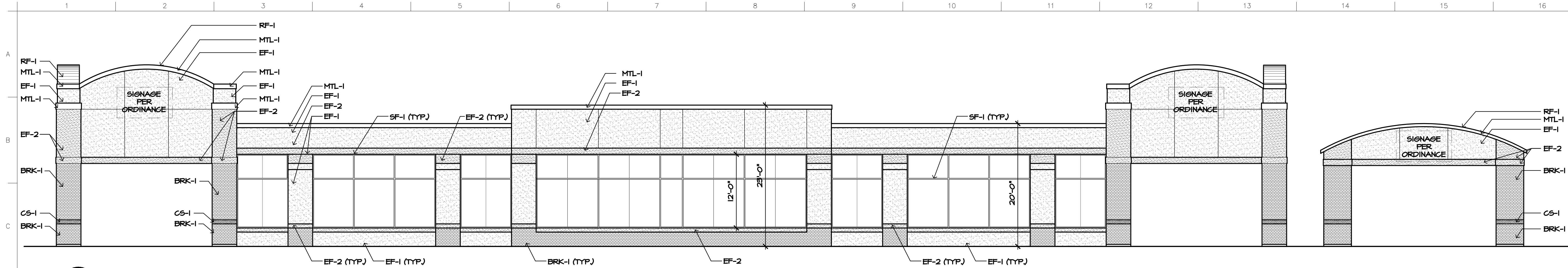
No.	DATE	NOTE

Drawn by: J.E.,
Checked by: T.C.,
Project No. 15-0529
Date 08/05/15

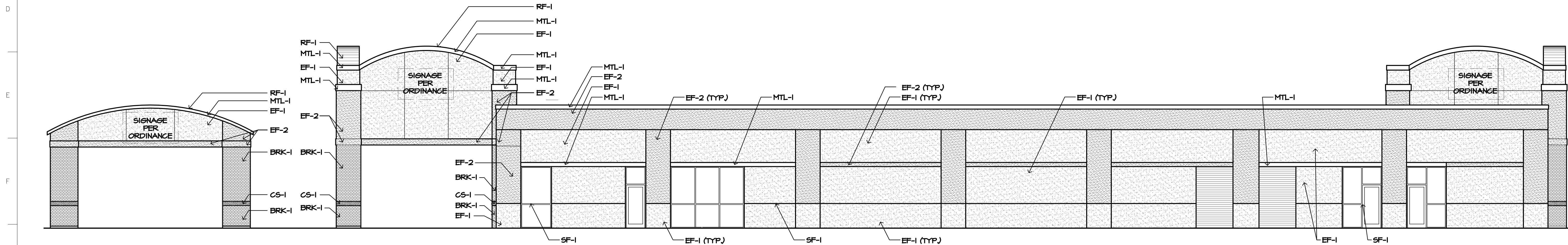
FLOOR PLAN

A2.1

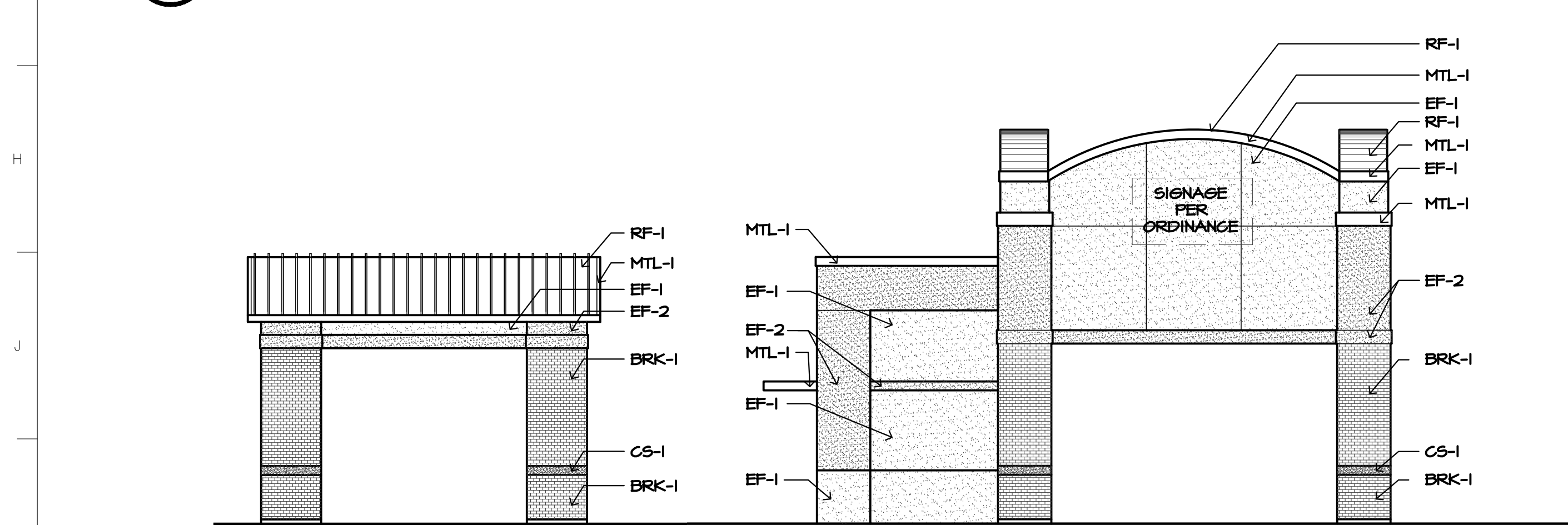
DRC SUBMITTAL SET
NOT FOR CONSTRUCTION



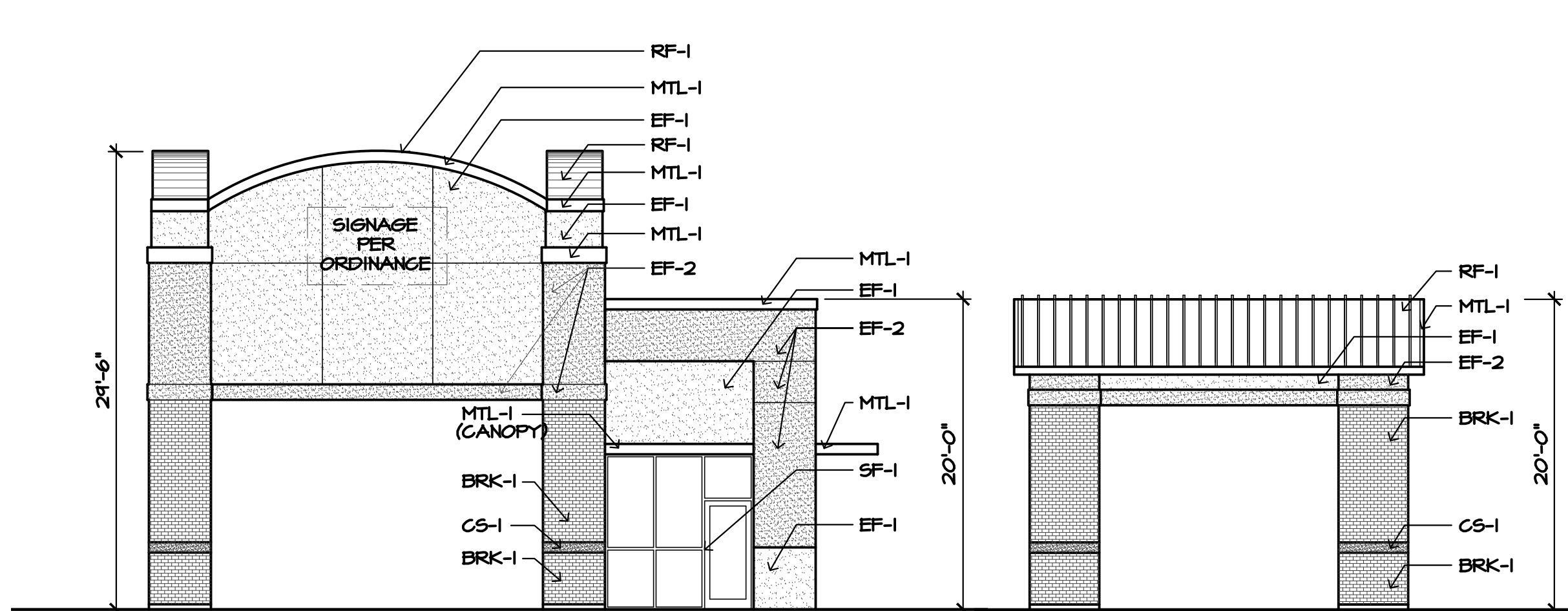
D1 WEST ELEVATION
SCALE: 1/8"=1'-0"



G1 EAST ELEVATION
SCALE: 1/8"=1'-0"



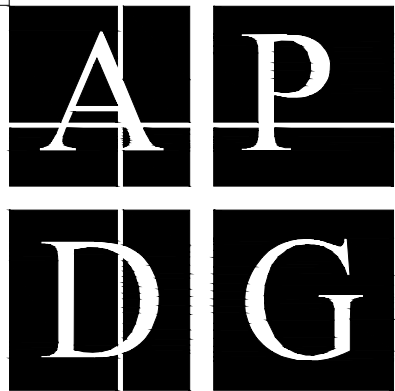
K1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



K9 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

EXTERIOR FINISH SELECTIONS		
BRICK	BRK-1	COLOR TO BE SELECTED
CAST STONE	CS-1	CAST STONE MASONRY
METAL COMPONENT	MTL-1	PARAPET COPINGS, FASCIAS, FLASHING, GUTTERS & DOWNSPOUTS
ROOFING SYSTEM	RF-1	STANDING SEAM METAL ROOF
STUCCO SYSTEM	EF-1	EIFS SYSTEM, DRYVIT, (COLOR TO BE SELECTED)
	EF-2	EIFS SYSTEM, DRYVIT, (COLOR TO BE SELECTED)
STOREFRONT SYSTEM	SF-1	ALUMINUM STOREFRONT SYSTEM, RE: DOOR & WINDOW ELEVATIONS

GENERAL FINISH NOTES:
A. ALL EXTERIOR FINISHES, MATERIALS, AND SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

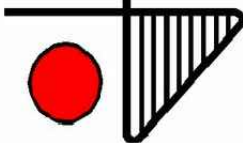


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Julian J. Garcia
Architect • Engineer • Planner



737 West Central Avenue
Winter Haven, Florida 33880
Phone: (863) 294-4780

A NEW CAR WASH FOR:

RISING TIDE
CAR WASH

MARGATE, FLORIDA

REVISIONS		
No.	DATE	NOTE

Drawn by: J.E.
Checked by: T.C.
Project No. 15-0529
Date 08/05/15

EXTERIOR
ELEVATIONS

A3.1

DRC SUBMITTAL SET
NOT FOR CONSTRUCTION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

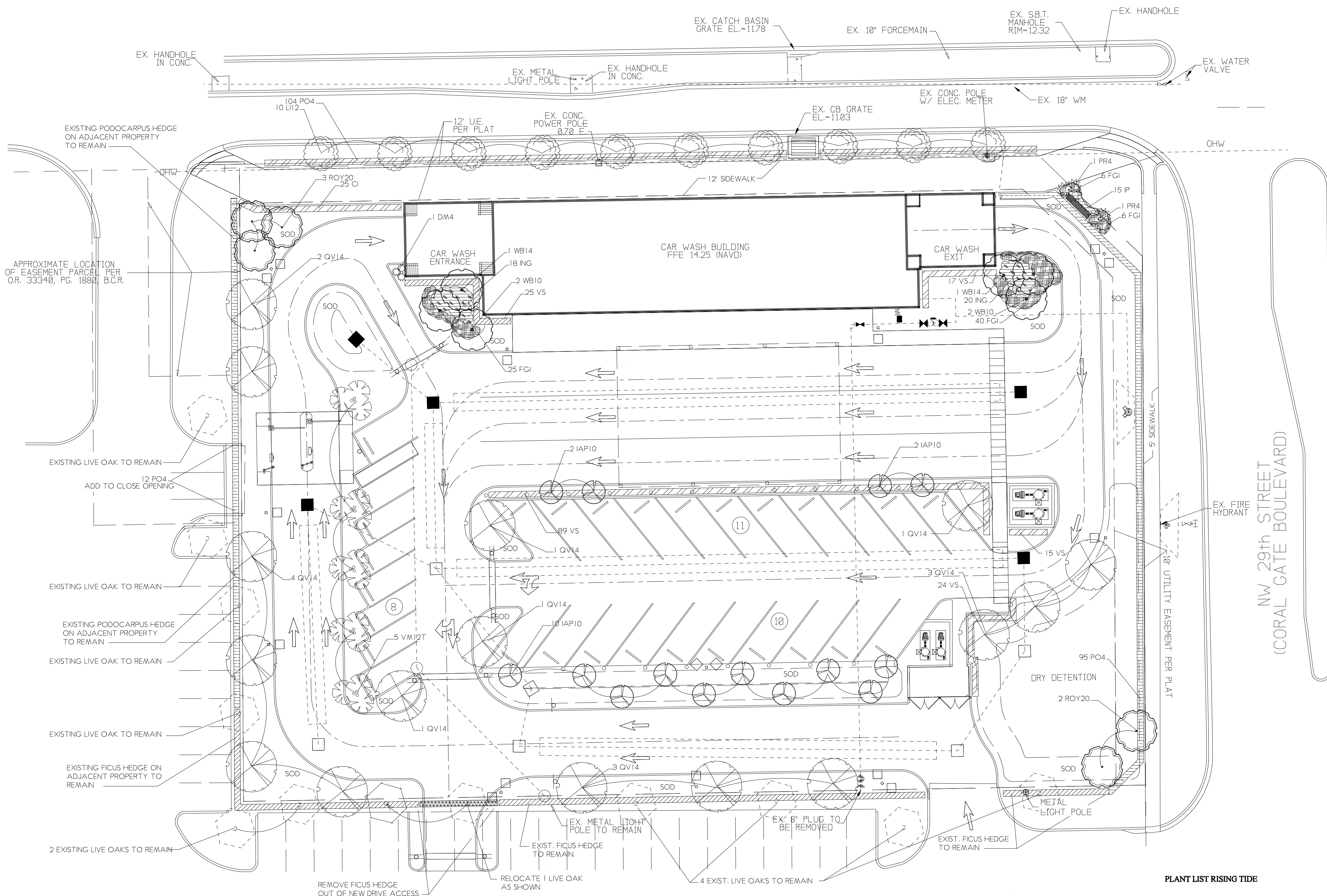


VIEW FROM THE NORTH WEST



VIEW FROM THE SOUTH WEST

STATE ROAD NO.7 (U.S. 441)



PLANT LIST RISING TIDE

NOTE: The quantities on this plant list are to be used as a guide only. Bidder shall do independent takeoff for bidding purposes. * Denotes native plants.

CTB=CLEAN TRUNK GW=GREY WOOD DBH=DIAMETER BREAIST HEIGHT (4 1/2) OA=OVERALL HEIGHT
FTB=FULL TO BASE HVV=HEAVY TRUNK CAL=CALIPER G/G 1/2" PER GRADES & STD. SING= SINGLE TRUNK
DBL= DOUBLE TRUNK TRP= TRIPLE TRUNK STD= TREE STANDARD MULT= MULTI-TRUNK
STAG= STAGGERED HEIGHTS B&B= BALLED AND BURLAPPED FG= FIELD GROWN
ALL PLANT MATERIALS MUST ADHERE TO CURRENT GRADES AND STANDARDS FOR FLORIDA NUMBER ONE QUALITY
OR BETTER. CONTAINER SIZE, WHEN LISTED, IS THE MINIMUM CONTAINER SIZE ACCEPTABLE FOR THE PLANT SPEC.
ALL PLANT MATERIAL WILL BE ACCEPTED BY THE PLANT SIZE SPECIFICATION AND NOT THE CONTAINER SIZE.

<u>SYM</u>	<u>QNT</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>OA</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>TRUNK</u>	<u>TRUNK</u>	<u>COMMENTS</u>
							<u>SPECS.</u>	<u>DIA.</u>	
CI	25	Chrysobalanus icaco	*Cocoplum	24"	18"				Full
DM4	1	Dracaena marginata	Dracaena	4'	2'				4 Hds. Min.
FGI	77	Ficus microcarpa	Green Island Ficus	18"	18"				
LAP10	10	Ilex alternata 'East Palatka'	*East Palatka Holly	10'	5'		3CT	1.5"dbh	
ING	38	Ixora 'Nora Grant'	Nora Grant Ixora	24"	18"				Full
IP	15	Ixora 'Petite'	Red Taiwan Dwarf Ixora	18"	18"				Full
LJ12	10	Lagerstroemia indica	Crape Myrtle	12'	5'		3'-4.5CT		Full
PO4	211	Podocarpus makii	Yew Podocarpus	4'	24"				Full
PR4	1	Phoenix roebellenii	Pygmy Date Palm	4'					Triple Hd.
QV14	16	Quercus virginiana	*Live Oak	14'	7'		4.5CT	3"dbh	
ROY20	5	Roystonia elata	*Florida Royal Palm				20' GW		
VM127	5	Vetchia montgomeryana	Montgomery Palm	18"			12CT		TRIPLE
VS	170	Viburnum suspensum	Sandankwa Viburnum	24"	18"				
WB10	4	Wodyetia bifurcata	Foxtail Palm				10' GW		
WB14	2	Wodyetia bifurcata	Foxtail Palm				14' GW		

OTHER LANDSCAPE MATERIALS:

MUL	Mulch (in Bags)
SOIL	Planting Soil (Cubic Yards)
SOD	TO BE MEASURED IN FIELD

LOCATION AS SHOWN ON PLAN & GENERAL SPECIFICATIONS

GENERAL SPECIFICATIONS

1. All plant material shall be Florida No. 1 or better as set forth by the Florida Department of Agriculture, Grades and Standards for Nursery Plants, current edition.
2. All plants to be graded shall comply with the general requirements listed herein.
3. Certification that all plant materials installed are Florida No. 1 or better shall be the sole responsibility of the contractor. Said certification shall be provided to the Owner or his authorized representative at the time of delivery of the plant material to the job site. Any dispute regarding plant material grade shall be determined by a representative of the Division of Forestry of the State of Florida.
4. All rules and guidelines set by the State for the purposes of grading plant material shall be followed.
5. 2' Pines shall be planted so that all heads are clear of building walls and windows at mature spread.
6. All Salt Pines, Queen Palms, Washingtonia Palms, Phoenix varieties and all other single trunk trees with a trunk diameter six foot (6') of clear trunk or greater shall be staked as detailed.
7. All trees shall be planted so that heads will be clear of building walls, roof lines and windows at mature spread. Shade trees shall not be located closer than fifteen feet (15') from project light poles.
8. Medium and large trees shall be planted closer than seven and one half feet (7 1/2') from project light poles.
9. Florida Power and Light tree location guidelines shall be followed in all cases relating to FPL power pole or easement locations.
10. When Obstacle, location or clearance of trees is in conflict with Rights-Of-Way or utility easements shall be confirmed by the landscape contractor with the City or County Engineer before installation.
11. All trunk calipers shall be measured at 4" above top of root ball.
12. All trees that are designated as single - trunk trees shall have a single, dominant leader and a relatively straight trunk.
13. All trees that are designated as multi-trunk trees shall have three or more trunks with a minimum spacing of 12" between the bases of the trees, and with angles no greater than 45 degrees.
14. Trees with bark inclusion or codominant trunks will not be accepted.
15. All Trees and Palms inclusion to be kept in an upright position.
16. Under no circumstances shall any support method involve the employ the driving of nails or other mechanical devices of any kind into the bark of any tree or palm.
17. All staking equipment, Terra Torgue shall be removed approximately 6 months after planting or at the time of establishment of the tree.
18. Any exposed Terra Torgue strapping shall be cut and removed after the wood supports have decomposed.
19. All synthetic burlap, synthetic tree guards shall be removed before any trees are planted. All synthetic burlap (ie. sagging burlap, netting) shall be removed from trunks, branches, etc. before nursery plant. The one exception is any synthetic burlap shall be removed before the trees are backfilled. All wire baskets shall be removed from the top and sides of the rootball to a depth of 3' and all remaining wire shall be cut to prevent girdling.
20. All trees, palms and shrubs shall be planted with the top of their rootballs 2" (+/-) above the final grade surrounding the planting area as detailed.
21. Pines shall be planted with the top of the rootball flush with the surrounding area.
22. All trees, palms or cormages shall be planted with a clear trunk high enough to allow unobstructed pedestrian movement under or around trees.
23. Sight distance concerns must be maintained for clear sight visibility from any (8) intersections severely impacted by trees, shrubs excluded.
24. All hedges shall be planted with twelve inches (12") clear space between outer branches and building walls, fences or pavement edges and three feet (3') back from edge of parking spaces at the time of planting. Spacing of shrubs center to center shall be as specified by the municipality for screening requirements.
25. All mechanical equipment, air conditioning, irrigation, pumps, FPL transformers, pool pumps, etc., must be screened on three (3) sides by shrubs.

8. Irrigation shall be by underground, automatic, rust free system with 50% coverage and a minimum of 50% overlap of spray. Irrigation rain sensor shall be installed. Irrigation water shall not be dropped onto or over any exposed surface.
9. Irrigation systems other than City water shall require a South Florida Water Management District water use permit prior to the issuance of the required irrigation permit from the City and/or the expiration of the City's water use permit. Irrigation permits shall be required from the City prior to installation.
9. Planting soil shall be at least 30% mud and 70% sand pulverized and weed free, to be mixed with existing soil free from roots and debris and backfilled into planting pits by washing.
10. Planting for Sales Plants shall be clear and Existing soil may be used as planting soil if approved by the Landscape Architect.
10. Fertilizer for trees and shrubs shall be a general purpose 50% organic fertilizer low in phosphorus, with minor elements, iron and manganese and shall be mixed with the planting soil at the time of backfilling.
11. Fertilizer for palms shall be a palm specific plant to include manganese and magnesium sulfate.
- Application rates for all fertilizers at the time of planting shall be 1/2 the manufacturers recommendations for established plants.
11. Mulch shall be shredded cypress/ or other clean hardwood species grade 1" or better set at a 3" minimum depth and wet down to prevent wind displacement.
- Cypress, red or dyed mulch shall not be accepted. All mulch shall be certified to be Non-Invasive Tree Free.
- All trees shall have a water ring with a minimum depth of two inches, maximum of three inches, and a diameter of 3 feet to 4 feet around the base. No mulch shall be placed over the rootball of any tree.
- All mulch shall be kept two inches from the stems of all shrub plant material.

2. Sod shall be *Stenotaphrum secundatum* "Florimant" or "Palmetto" solid sod, weed free and set with staggered joints. Sod shall be placed on all areas not used for buildings, vehicular use areas, walks, site structures or planting beds and shall extend to any abutting street, pavement, easement and to the minimum required setback line, lake or waterway. Sod shall be placed no closer than three (3) feet from the trunk of any tree.

Sod placed adjacent to pavement and curbs shall be set with top of sidewalk set flush with the top of the adjacent pavement and/or curb.

3. Planting plans shall precede over plant lists.

The Landscape Contractor shall be responsible for doing his own takeoff. The Landscape Contractor shall familiarize himself with the municipal code and deed restrictions of the municipality in which the project is located. The Landscape Contractor and deed restrictions pertaining to the municipality in which the project is located shall apply and may supersede these General Specifications. The more stringent requirement shall prevail.

4. The Landscape Contractor shall be aware of the locations of all easements and utilities above and below ground and shall call for utility stakeout forty eight (48) hours before any digging operation.

5. All plant pits located in easements shall be hand dug.

6. The Landscape Contractor shall provide a written guarantee to the Owner for all plant materials and workmanship for a period no less than one year from the time of final inspection and acceptance by the Owner.

7. At the end of the guarantee period, all plant materials shall be inspected by the Landscape Contractor and the Owner. All plants that are in a healthy, growing condition at the time of the inspection shall be free from further guarantee and shall be the Owners responsibility. All plants that are in questionable condition due to transplant shock shall continue under the guarantee until recovery or if a disease seriously related to growth or dead, shall be replaced. Replaced plant material shall be guaranteed for the same time period and under the same conditions as the original plant material. This guarantee does not apply if the plant materials have not been maintained by the Owner as instructed by the Landscape Contractor. This includes, but is not limited to, watering, fertilizing, pruning, and protection from storms, vandalism, insect or freeze damage or acts of God beyond the Landscape Contractors control. All plants shall be free from harmful plant pests at the time of planting.

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RIGHT OF OWNERSHIP: The drawings, designs, arrangements and ideas represented by these plans are an instrument of service for this project only and are owned by and remain the property of the Landscape Architect. None of such drawings, designs, arrangements and ideas may be used for any purpose whatsoever without the express written permission of the Landscape Architect.

To the best of our knowledge, the plans and specifications submitted herewith comply with all existing interpretations and provisions of the applicable building codes at the time of the plan preparation. No warranty either expressed or implied is hereby given.

[illegible]

SCALE: 1"=20'
DATE: AUGUST 4, 2015
DRAWN BY: M.J.P.

LANDSCAPE PLAN FOR RISING TIDE CAR WASH
STATE ROAD 7
MARGATE, FLORIDA

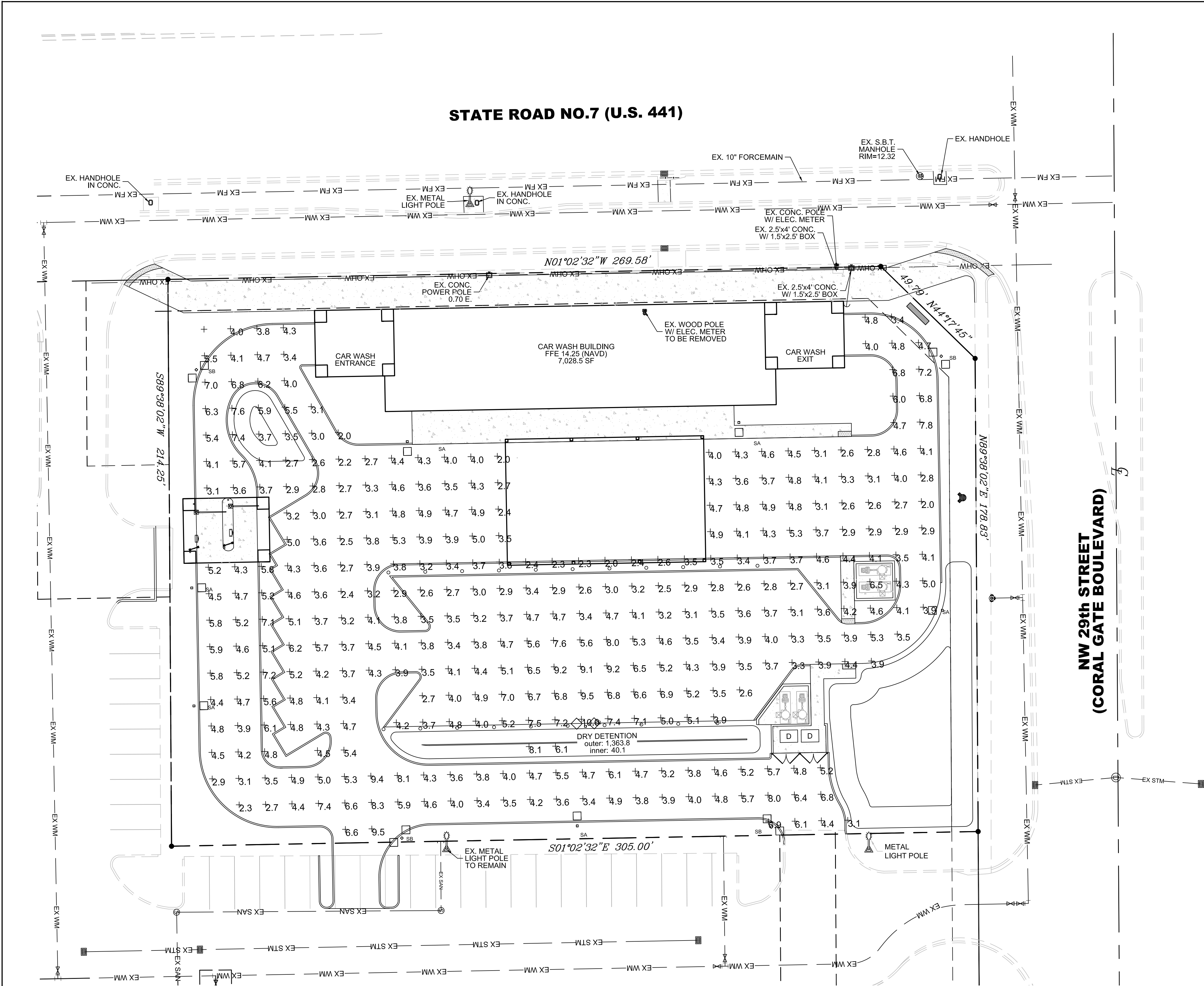
Michael J. Petrow
and
Associates, Inc.

Landscape Architecture
P.O. Box 8801, Coral Springs, FL 33075
Phone: (954) 448-0659 FL Reg. #382

Landscape Architecture
P.O. Box 8801, Coral Springs, FL 33075
Phone: (954) 448-0659 FL Reg. #392

SHEET NO: L-1
OF: ONE

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CLIENT IN-HOUSE PURPOSES & BIDDING ONLY.



LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	File	Lumens	LLF
	SA	6	SPAULDING LIGHTING RCS A10 P40 H4P F Q DB L (POLE MT @ 27 FT AFG - 25 FT SQ STRAIGHT STEEL POLE ON A 2 FT AFG CONCRETE BASE)	RCS-P40-H4P.Jes	40000	0.75
	SB	5	SPAULDING LIGHTING RCS A10 P40 H4P F Q DB L (POLE MT @ 27 FT AFG - 25 FT SQ STRAIGHT STEEL POLE ON A 2 FT AFG CONCRETE BASE)	RCS-P40-H4P.Jes	40000	0.75

STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	4.4 fc	10.0 fc	2.0 fc	5.0:1	2.2:1

RAVEN
SMALL RCS
SERIES

Col.#
Job
Type
Approve

INTENDED USES

- Providing a superior lighting solution for a wide array of area/landscape lighting applications

CONSTRUCTION

- Lightweight, rugged, one-piece die formed and welded low copper aluminum extrusion housing
- Pre-drilled for mounting. Confined corner welds for seamless one-piece enclosure
- Optional decorative embossed band and reveal colors available

ASSEMBLY

- Door assembly recessed completely within luminaire creating evenly spaced reveal and floating door appearance
- Corrosion resistant extruded and anodized aluminum door frame has 45 degree milke out corners with internal corner key rods for rigid support and die-cast zinc latches for full free entry
- Door assembly hinges forward (slight and backward) away from panel and remains captive to the luminaire housing when only two latches are released. Complete removal of door is achievable without tools
- Extruded silicone gasket positively seals around tempered glass lens to doorframe and doorframe to housing ensuring a contaminant free environment. Tempered glass lens includes internal coating of temperature resistant black silk coating to hide electrical components

FINISH

- Housing attaches to all mounting via two 3/8" diameter bolt/nuts. Mounting options include rigid arm assemblies, knuckle arm assemblies for flat surfaces, knuckle arm assemblies for 3-36" OD hewn, wall bracket adapter and round pole adapters ensuring maximum luminaire versatility. All mounting accessories provided with gasket between the housing and accessory

OPTICS

- Available hydroformed and high performance segmented reflectors available in ES Type II, III, IV and V distributions. H2/H3/H4 (hydroformed), H2P (multifaceted hydroformed), H2P/H4P/H5P (segmented)
- Optional battery or ball installed internal house side shield available with H2, H3, H4P, H5P and H4
- Factory installed internal house side shield included with H4P reflector assembly
- High precision, smooth, polished, with spring loaded, nickel-plated center contact and reinforced lamp grip screw shell. Medium base socket for E17 lamp

ORDERING INFORMATION

ORDERING EXAMPLE: RCS-A4-P40-H5-F-Q-DB-L

SERIES	SOURCE/MOUNTAGE	LAMP ORIENT./DISTR.	LENS	COLOR	OPTIONS
RCS	PULSE START	H2	F	DB	WXX
RCS	MOUNT	H3	F	DB	WXX
RCS	MOUNT	H4	F	DB	WXX
RCS	MOUNT	H5	F	DB	WXX
RCS	MOUNT	H6	F	DB	WXX
RCS	MOUNT	H7	F	DB	WXX
RCS	MOUNT	H8	F	DB	WXX
RCS	MOUNT	H9	F	DB	WXX
RCS	MOUNT	H10	F	DB	WXX
RCS	MOUNT	H11	F	DB	WXX
RCS	MOUNT	H12	F	DB	WXX
RCS	MOUNT	H13	F	DB	WXX
RCS	MOUNT	H14	F	DB	WXX
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RCS	MOUNT	H71	F	DB	WXX
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RCS	MOUNT	H96	F	DB	WXX
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RCS	MOUNT	H98	F	DB	WXX
RCS	MOUNT	H99	F	DB	WXX
RCS	MOUNT	H100	F	DB	WXX

SPaulding Lighting

Spaulding Lighting • 721 Millennium Boulevard • Orem, UT 84057 • Phone: 801-225-1000 • Fax: 801-225-1001 • Email: sales@spauldinglighting.com • Website: www.spauldinglighting.com • 1995-2015

NO.	DATE	BY	REVISIONS

NO.	DATE	BY	REVISIONS

Designed by: J.H. Date: 08/15
Drawn by: J.L.S. Date: 08/15
Checked by: J.H. Date: 08/15

HSQ GROUP, INC.
Engineers · Planners · Surveyors
1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
C26258 · LB7924

RISEING TIDE CAR WASH
PHOTOMETRIC PLAN

SCALE:
1" = 20'
PROJECT NUMBER:
1412-60
SHEET NUMBER:
PH-1

Date: 8/6/15
Approved by: JAY HUEBNER, P.E.
Registered Engineer No. 54619
State of Florida

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