



City of Margate  
DEVELOPMENT REVIEW COMMITTEE  
Application for Site Plan

5790 Margate Blvd., Margate, FL 33063  
954-972-6454

Submittal Date (official use):

08-15-14

Project Name  
Rising Tide Car Wash

Address  
2970 North State Road 7

DRC # 08-15-06

Acreage 1.485 Folio Number 484219260010

Paid: \$1,000.00

Existing Use  
Vacant

Legal Description  
A portion of Parcel "A" of PLATTS PLAT, Plat Book 138, Page 48.

Describe proposal/request in detail, including non-residential square footage and/or number of dwelling units

Agent/Contact Name  
Jay Huebner - HSQ Group, Inc.

Address  
1489 W. Palmetto Park Road, Suite 340, Boca Raton, FL 33486

Phone Number  
561-392-0221

Fax Number  
561-392-6458

Email Address  
Jay@hsqgroup.net

Property Owner Name  
2970 N. SR7, LLC

Address  
4755 Technology Way Suite 203, Boca Raton, FL 33431

Phone Number  
561-807-2770

Fax Number  
561-995-9181

Email Address  
smleder@ledergroup.com

OWNER'S AFFIDAVIT: I certify that I am the owner of record for the above referenced property and give authorization to file this petition. I understand that I, or a representative on my behalf, must be present at the DRC meeting. I further understand that my petition will be subject to the regulations of Chapter 16 1/2 of the Margate City Code.

Property Owner's Signature

Date

7/21/15

## **Application submissions will be considered incomplete without all of the following required materials:**

1. Completed DRC application form.
2. Application fee.
3. Survey of subject property depicting current conditions and that is no more than five years old.
4. Complete site plan set (see attached site plan checklist)
5. Letter of approval from Waste Management regarding any proposed dumpster enclosures.

## **NOTES:**

1. 3 paper sets of back up material (1 original + 2 copies) and 1 compact disc in pdf format must be submitted to the Department of Economic Development by appropriate deadline with a completed application form and the required fee. Late submissions are subject to the Expedited Review Fee.
2. The applicant, or a representative, must be present in order for a submission to be reviewed by the committee.
3. All required forms/materials must be typewritten or printed neatly. Illegible documents will not be accepted.
4. Large (24" x 36") surveys and/or plans must be folded into quarters, and then in half with the application visible.

## **DRC APPLICATION FEE(S):**

1. Non-residential site plan: \$500 + \$1 per 25sqft of new construction
2. Residential site plan: \$500 + \$5 per dwelling unit
3. Amended site plan: \$250
4. Expedited review: fees doubled

$7029/25=281.16+500= \$781.16$
--------------------------------

City of Margate  
\*\*\* CUSTOMER RECEIPT \*\*\*

Batch ID: RR0DI      8/10/15 00      Receipt no: 158877

Type	SvcCd	Description	Amount
EL		ECDV SITE PLAN NON RESID.	
	Qty	1.00	\$1000.00

RT P & B CORP  
7201 N STATE ROAD 7  
MARGATE, FL 33073  
RE: RISING TIDE CAR WASH  
2970 N STATE ROAD 7  
MARGATE, FL

Tender detail  
CK Ref#: 1044      \$1000.00  
Total tendered: \$1000.00  
Total payment: \$1000.00

Trans date: 8/10/15      Time: 10:28:02

HAVE A GREAT DAY!



# RISING TIDE CAR WASH

## CITY OF MARGATE, BROWARD COUNTY, FLORIDA

### RISING TIDE @ P&B CORP.

#### INDEX OF PLANS

SHEET NO.	SHEET DESCRIPTION
CS-1	COVER SHEET
SP-1	SITE PLAN
	BOUNDARY SURVEY
CE-1	CONCEPTUAL ENGINEERING PLAN
CE-2	CONCEPTUAL ENGINEERING DETAILS
A2.1	BUILDING FLOOR PLAN
A3.2	BUILDING ELEVATIONS
L-1	LANDSCAPE PLAN
PH-1	PHOTOMETRIC PLAN AND DETAILS

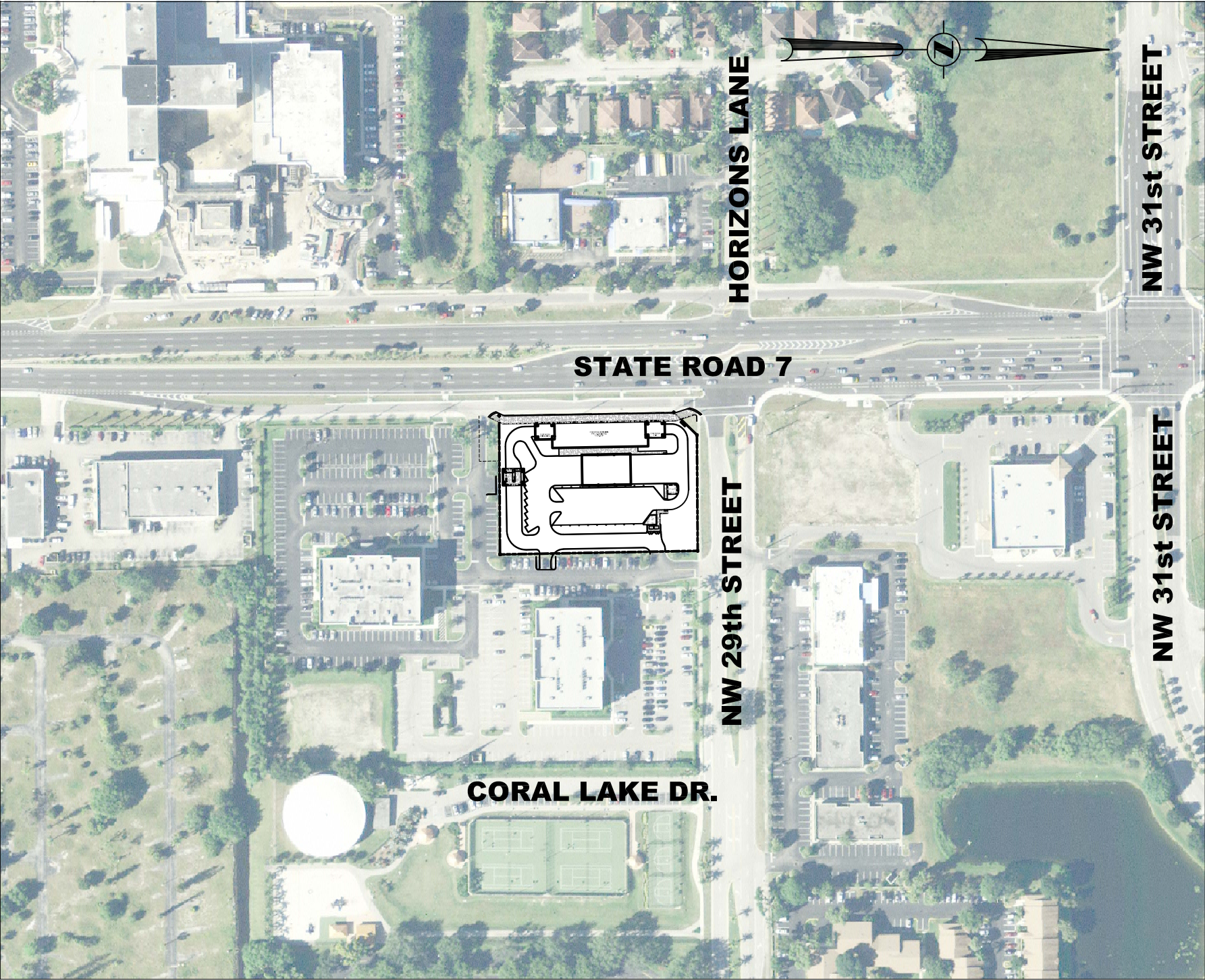
#### LEGAL DESCRIPTION:

PARCEL 1  
A portion of PARCEL "A", of PLATTS PLAT, according to the plat thereof as recorded in Plat Book 138, Page 48 of the public records of Broward County, Florida, and being more fully described as follows:

Beginning at the most Northerly Northwest corner of said Parcel "A"; thence North 89°38'02" East on said North line, a distance of 178.83 feet; thence South 01°02'32" East, a distance of 305.00 feet; thence South 89°38'02" West, a distance of 214.25 feet to a point on the West line of said Parcel "A"; thence North 01°02'32" West, on said West line, a distance of 269.58 feet; thence North 44°17'45" East, on the Northwesterly line of said Parcel "A", a distance of 49.79 feet to the Point of Beginning.

PARCEL 2  
A non-exclusive easement for the benefit of Parcel 1 for the purpose of pedestrian and vehicular ingress, egress and access to and from over the lands shown on Exhibit "C" of Easement Agreement between Northwest Medical Center, Inc. and The Platts Family Limited Partnership recorded June 25, 2002 in Official Records Book 33340, Page 1880, of the Public Records of Broward County, Florida. Located Approximately on Survey (no legal description contained on Exhibit "C").

Said lands situate lying and being in the City of Margate, Broward County, Florida and containing 64,713 square feet or 1.4856 acres more or less.



#### LOCATION MAP

SCALE: 1" = 200'  
SECTION 19 / TOWNSHIP 48 S / RANGE 42 E

## SITE PLAN



#### HSQ GROUP, INC.

Engineers · Planners · Surveyors

1489 West Palmetto Park Road, Suite 340  
Boca Raton, Florida 33486 · 561.392.0221  
CA26258 · LB7924

#### DEVELOPER:

RISING TIDE CAR WASH  
RISING TIDE @ P&B CORP.  
301 NE 65th COURT  
FORT LAUDERDALE, FL 33308  
(954) 482-0732

#### PLANNER:

HSQ GROUP, INC.  
1489 WEST PALMETTO PARK ROAD  
SUITE 340  
BOCA RATON, FL 33486  
(561) 392-0221

#### ARCHITECT:

A PLUS DESIGN GROUP  
TRENT CLARK ARCHITECT  
2653 SAGEBRUSH DRIVE,  
SUITE 200  
FLOWER MOUND, TX 75028  
(972) 724-4440

#### CIVIL ENGINEER:

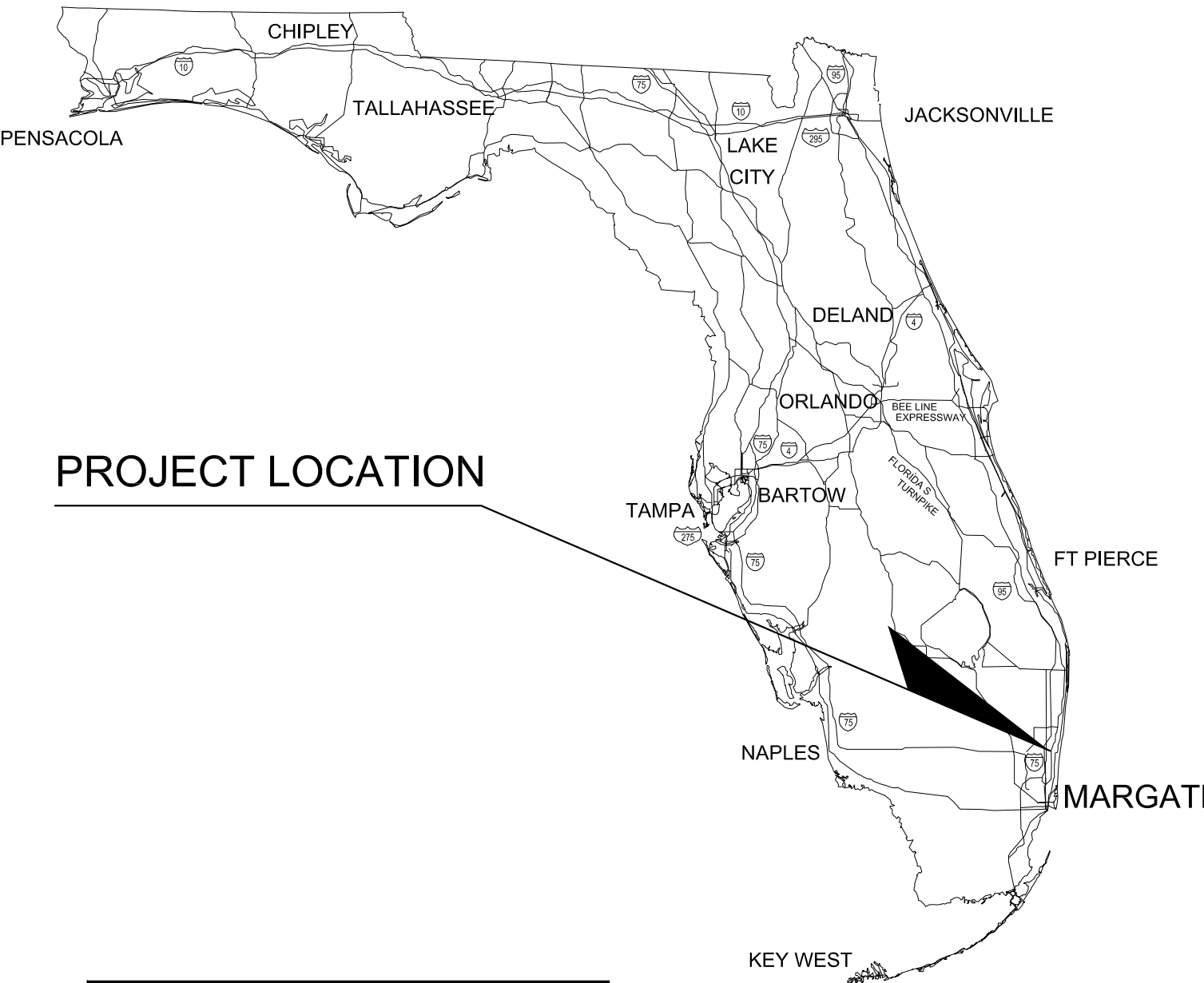
HSQ GROUP, INC.  
1489 WEST PALMETTO PARK ROAD  
SUITE 340  
BOCA RATON, FL 33486  
(561) 392-0221

#### LANDSCAPE ARCHITECT:

MICHAEL J. PETROW AND  
ASSOCIATES, INC.  
P.O. BOX 8601  
CORAL SPRINGS, FL 33075  
(954) 448-0659

#### SURVEYOR:

McLAUGHLIN ENGINEERING COMPANY  
400 N.E. 3rd AVENUE,  
FORT LAUDERDALE, FL 33301  
(954) 763-7611



#### PROJECT LOCATION

Always call 811 two full business days before you dig



#### ENGINEER'S CERTIFICATION

THESE PLANS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.

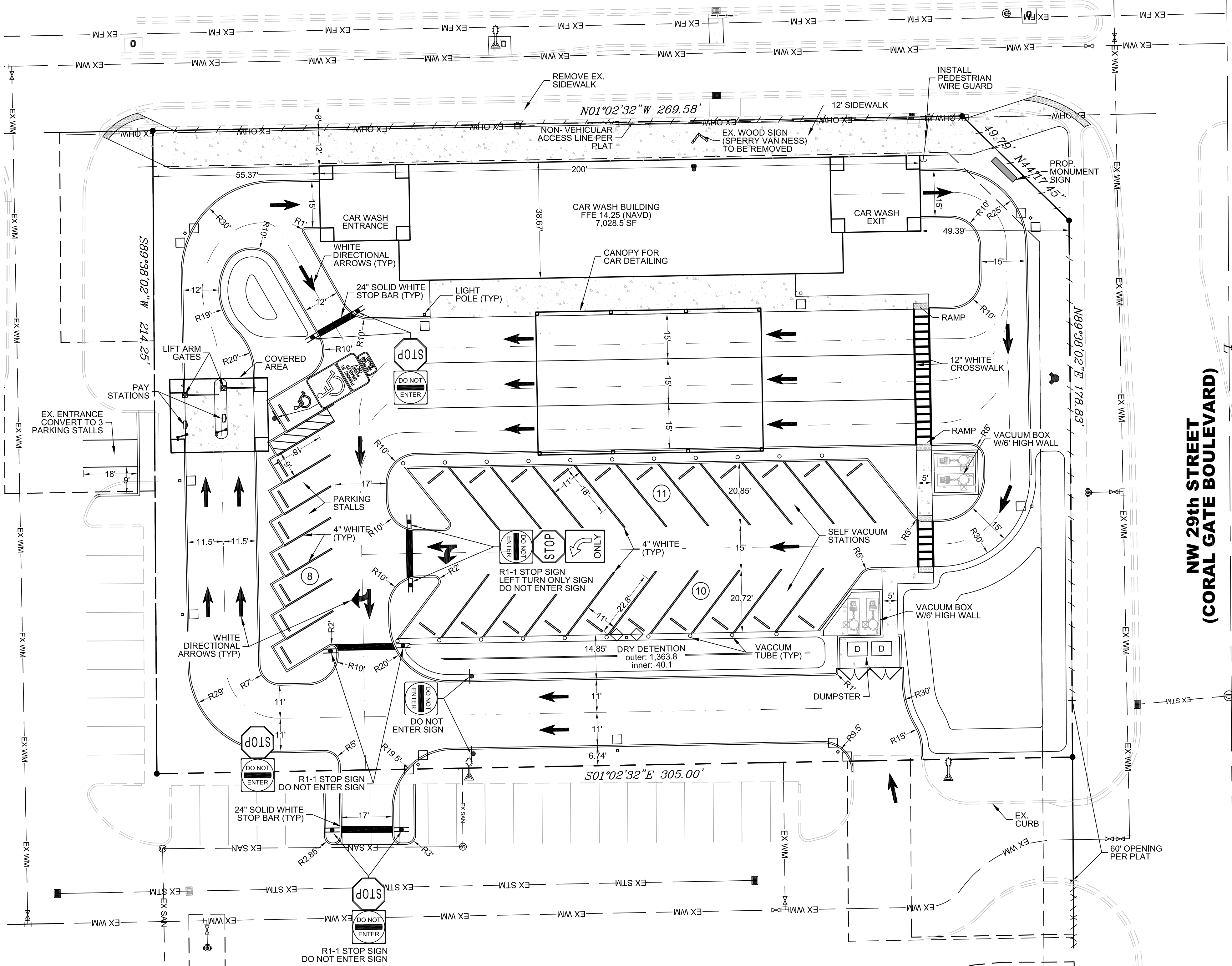
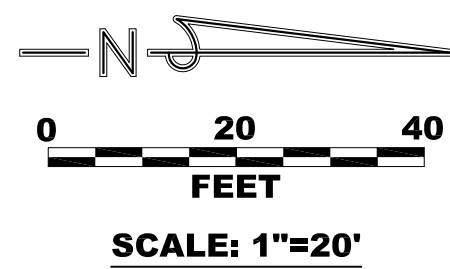
Date: 8/6/15

Seal

Approved by: JAY HUEBNER  
Registered Engineer Number: 54615  
State of Florida



STATE ROAD NO.7 (U.S. 441)



NW 29th STREET  
(CORAL GATE BOULEVARD)

SITE DATA

LAND USE CLASSIFICATION: COMMERCIAL			ZONING CLASSIFICATION: TOC-C		
SITE AREA:			DENSITY CALCULATIONS:		
NET SITE AREA:	1.486 AC.	100.0%	NET SITE AREA:	1.486 AC.	
BUILDING COVERAGE AREA:	0.161 AC.	10.9%	FLOOR AREA RATIO (FAR)	0.10	
CONCRETE AREA:	0.158 AC.	10.6%	SETBACK REQUIREMENTS:		
PAVED AREA:	0.790 AC.	53.2%			
GREEN AREA:	0.376 AC.	25.3%			
PARKING REQUIREMENTS:					
1,150 SF / 500 OFFICE	REQUIRED: 3	PROVIDED: 8			
PROVIDED:			CODE REQUIREMENTS		
STANDARD SPACES:	7	SPACES	BUILDING MAX HEIGHT	100'	PROVIDED 29.5'
HANDICAP SPACES (2% OF TOTAL)	1	SPACES	PLOT SIZE MIN	10,000	PROVIDED 64,900
TOTAL PROVIDED:	8	SPACES			

GENERAL NOTES:

- WATER SERVICE WILL BE PROVIDED BY THE CITY OF MARGATE
- SEWER SERVICE WILL BE PROVIDED BY THE CITY OF MARGATE

NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: J.H. Date: 08/15  
Drawn by: J.L.S. Date: 08/15  
Checked by: J.H. Date: 08/15



**HSQ GROUP, INC.**  
Engineers · Planners · Surveyors  
1489 West Palmetto Park Road, Suite 340  
Boca Raton, Florida 33486 · 561.392.0221  
C26258 · LB7924

**RIISING TIDE CAR WASH**  
SITE PLAN

SCALE:  
1" = 20'  
PROJECT NUMBER:  
1412-60  
SHEET NUMBER:  
SP-1

Date: 8/6/15  
Approved by: JAY HUEBNER, P.E.  
Registered Engineer No: 54619  
State of Florida

prepared by:  
**McLAUGHLIN ENGINEERING COMPANY (LB#285)**  
400 N.E. 3rd AVENUE, FORT LAUDERDALE, FLORIDA 33301  
PHONE: (954) 763-7611  
FAX: (954) 763-7615



GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.

# RECORD LAND SURVEY

## A portion of PARCEL "A", PLATTS PLAT P.B. 138, PG. 48, B.C.R.

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Located Approximately on Survey (no legal description contained on Exhibit "C").

Said lands situate lying and being in the City of Margate, Broward County, Florida and containing 64,713 square feet or 1.4856 acres more or less.

### Survey Notes

This survey reflects any easements, road reservations or rights of way of record affecting this property per Chicago Title Insurance Company, Commitment Order No. 4304405, dated March 18th, 2013 at 11:00 P.M.

Notes corresponding to Schedule B II, of the above referenced title commitment:

6. AS TO PARCELS 1 and 2: Easements per Plat Book 138, Pg. 48, B.C.R. affect this property as shown hereon. Amendment per O.R. 25716, Page 234, B.C.R. restricts all of Parcel "A" to 125,304 square feet of commercial use.
7. AS TO PARCELS 1 and 2: Agreement per O.R. 13235, Page 322, B.C.R. affects this property. ( nothing plottable).
8. AS TO PARCELS 1 and 2: Agreement per O.R. 25716, Pg. 183 B.C.R. affects this property, (transfers 500 Committed Trips from overall Parcel and leaves 8604 Committed Trips remaining for the benefit of all of Parcel "A").
9. AS TO PARCELS 1 and 2: Restrictive Covenants per O.R. 33340, Page 1871 of the Publics Records of Broward County, Florida, affects this property (Nothing Plottable).
10. AS TO PARCELS 1 and 2: Easement per O.R. Book 33340, Page 1880 of the Publics Records of Broward County, Florida, affects this property as shown (approximate no Legal or Dimensions on Sketch).
11. AS TO PARCELS 1 and 2: Easement per O.R. Book 35813, Page 1830 of the Publics Records of Broward County, Florida, affects this property as shown.
12. AS TO PARCEL 2: Declaration per O.R. Book 34380, Page 1456 of the Publics Records of Broward County, Florida, and amendment per O.R. Book 38207, Page 566 of the Publics Records of Broward County, Florida, affects this property (Blanket Easements).
13. AS TO PARCEL 2: Declaration per O.R. Book 45827, Page 302 of the Publics Records of Broward County, Florida, affects this property (Nothing Plottable).
14. AS TO PARCEL 2: As to Parcel 2, Lease per O.R. Book 45827, Page 317 of the Public Records of Broward County, Florida, does not affect this property.
15. AS TO PARCEL 2: As to Parcel 2, Agreement per O.R. Book 45827, Page 321 of the Public Records of Broward County, Florida, does not affect this property.
16. AS TO PARCEL 2: As to Parcel 2, Assignment per O.R. Book 45827, Page of the Public Records of Broward County, Florida, does not affect this property.
17. AS TO PARCEL 2: As to Parcel 2, Statement per O.R. Book 45737, Page 1257 of the Public Records of Broward County, Florida, does not affect this property.
18. AS TO PARCEL 2: As to Parcel 2, Lease per O.R. Book 34380, Page 1452 of the Public Records of Broward County, Florida and Subsequent Amendments does not affect this property.
19. AS TO PARCEL 2: Easement per O.R. Book 46154, Page 599 of the Public Records of Broward County, Florida, is not contained in this Parcel (as shown).
20. AS TO PARCEL 2: Resolution per O.R. Book 46506, Page 1597 of the Public Records of Broward County, Florida, affects this property and as shown.

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Located Approximately on Survey (no legal description contained on Exhibit "C").

### CERTIFICATION

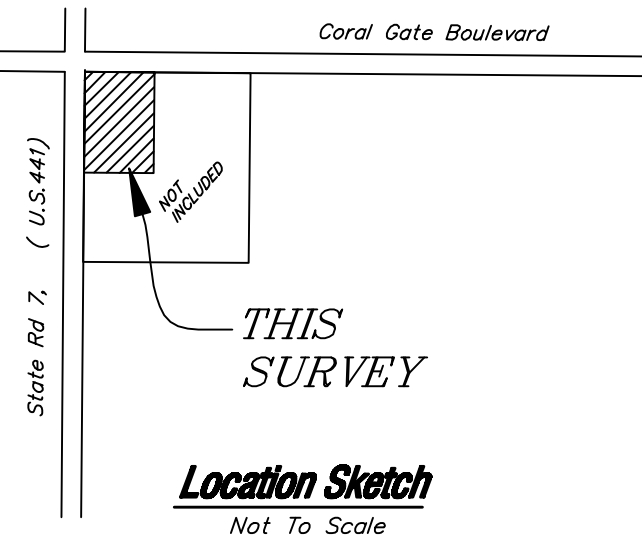
We hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 24th day of April, 2000.  
Resurveyed this 1st day of April, 2013.  
General revisions added this 2nd day of May, 2013.

**McLAUGHLIN ENGINEERING COMPANY**

JERALD A. McLAUGHLIN  
Registered Land Surveyor No. 5269  
State of Florida.

CHECKED BY: \_\_\_\_\_  
DRAWN BY: E.P, EJJ3, RDR



**Location Sketch**  
Not To Scale

### LEGEND

- Δ = CENTRAL ANGLE (DELTA)  
R = RADIUS  
A OR L = ARC LENGTH  
CH.BRG. = CHORD BEARING  
TAN.BRG. = TANGENT BEARING  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
W/McL CAP = WITH McLAUGHLIN ENGINEERING CO. CAP  
P.R.M. = PERMANENT REFERENCE MONUMENT  
CONC. = CONCRETE  
C.B.S. = CONCRETE, BLOCK AND STUCCO  
I.C.V. = IRRIGATION CONTROL VALVE  
W.M. = WATER METER  
B.F.P. = BACK FLOW PREVENTOR  
ELEV. = ELEVATION  
O/S = OFFSET  
A/C = AIR CONDITIONING  
CL = CENTERLINE OF RIGHT-OF-WAY  
F.P.L. = FLORIDA POWER AND LIGHT CO.  
S.B.T. = SOUTHERN BELL TELEPHONE  
B.C.R. = BROWARD COUNTY RECORDS  
D.C.R. = DADE COUNTY RECORDS  
P.B.R. = PALM BEACH COUNTY RECORDS  
O.R. = OFFICIAL RECORDS BOOK  
PG. = PAGE  
R/W = RIGHT-OF-WAY  
C.O. = CLEAN OUT  
C.L.F. = CHAIN LINK FENCE

### NOTES:

- 1) This survey reflects any easements, road reservations or rights of way of record affecting this property per Chicago Title Insurance Company, Commitment Order No. 4304405, dated March 18th, 2013 at 11:00 P.M.
- 2) Underground improvements if any not located.
- 3) This drawing is not valid unless sealed with an embossed surveyors seal.
- 4) Boundary survey information does not infer Title or Ownership.
- 5) All iron rods 5/8", unless otherwise noted.
- 6) Reference Bench Mark: Broward County Bench Mark #475 ELEVATION = 12.37
- 7) Elevations shown refer to National Geodetic Vertical Datum (1929), and are indicated thus:  $\nabla$ , Elev. = 9.87
- 8) This property lies in Flood Zone "AH", Elev.=14.0 Per Flood Insurance Rate Map No. 12011C0115F Dated: August 18, 1992. Community Panel No. 120047 Index Map Dated: October 2, 1997.
- 9) Bearings shown hereon refer to Bearing from the Traverse Mercator Grid System, Florida East Zone per Miscellaneous Plat Book 3, Page 44, B.C.R.
- 10) Platts Plat, P.B. 138, Page 48, B.C.R. is Restricted to 125,304 square Feet Commercial per O.R. 25716, Page 0234, Broward County, Records.
- 11) The real property legally described herein has access to and from a paved and dedicated public road known as Northwest 29th Street per easement recorded in O.R. 33340, Page 1880, B.C.R.

FIELD BOOK NO. 944/67, CS 52/12, LB# 225/49, EFB, Print, TDS  
JOB ORDER NO. L-7713, P-1978, T-6445, U-8045

FILE NO: 13-2-

**"NOT VALID UNLESS SEALED WITH  
AN EMBOSSED SURVEYOR'S SEAL"**

### CERTIFIED TO:

Stearns Weaver Miller Weissler Alhadeff & Sitterson, P.A.;  
Leder Holdings, LLC, a Florida limited liability company;  
Chicago Title Insurance Company;  
The Platts Family Limited Partnership, a Florida limited partnership

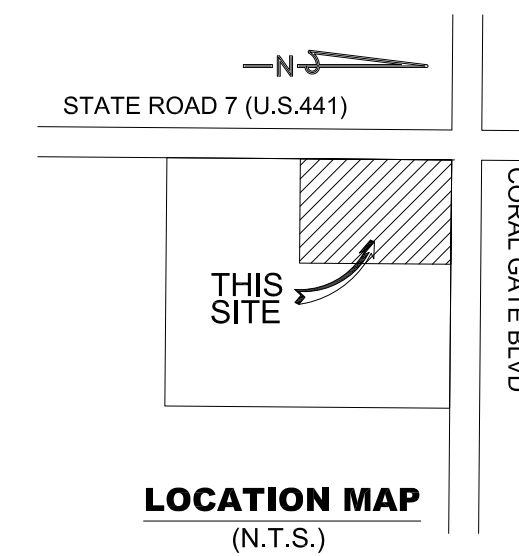
FILE NO: 13-2-

C:\RUDY\2013\U8045\dwg\U8045.dwg 5/3/2013 10:23:11 AM EDT



PROXIMATE LOCATION SEMENT PARCEL PER 33340, PG. 1880, B.C.R.

RESOLUTION PER O.R. 46506, P.G. 1597, B.C.R.



100'-24" R.C.P.	LENGTH - SIZE - MATERIAL
	PAVEMENT FLOW LINE
	PAVEMENT RIDGE LINE
0.60%	PAVEMENT SLOPE & DIRECTION
	FLOW DIRECTION
	PROPOSED GRADE
	EXISTING GRADE
F.F. = +12.00	FINISHED FLOOR ELEVATION
	SEWER / DRAINAGE MANHOLE
	DRAINAGE INLET
	CURB INLET
	YARD DRAIN BASIN
	DOUBLE SEWER SERVICE
	SINGLE SEWER SERVICE
	FIRE HYDRANT
	TAPPING SLEEVE & VALVE
	DOUBLE WATER METER
	SINGLE WATER METER
	GATE VALVE
	EXISTING VALVE
	EXISTING FIRE HYDRANT
	BACTERIOLOGICAL SAMPLING POINT
R.C.P.	REINFORCED CONCRETE PIPE
H.D.P.E.	HIGH DENSITY POLYETHYLENE PIPE
C.A.P.	CORRUGATED ALUMINUM PIPE
W.M.	WATER MAIN
G.V.	GATE VALVE
F.H.	FIRE HYDRANT
R.E.	RIM ELEVATION
I.E.	INVERT ELEVATION
E.O.P.	EDGE OF PAVEMENT
P.R.B.	POLLUTION RETARDANT BAFFLE
D.W.E.	DESIGN WATER ELEVATION
	SAWCUT & WIDENING

**S-1** TYPE 'D' INLET  
W/ U.S.F. 4155-6210  
FRAME AND GRATE  
RIM 12.50  
INV 8.00 S

**S-2** TYPE 'D' INLET  
W/ U.S.F. 4155-6210  
FRAME AND GRATE  
RIM 12.50  
INV 8.00 N  
INV 8.00 E  
INV 8.00 SW

**S-3** TYPE 'D' INLET  
W/ U.S.F. 4155-6210  
FRAME AND GRATE  
RIM 9.00  
INV 5.00 NE

**S-4** TYPE 'D' INLET  
W/ U.S.F. 4155-6210  
FRAME AND GRATE  
RIM 12.00  
INV 8.00 N  
INV 8.00 W  
INV 8.00 SE  
INV 6.00 NW

**S-5** TYPE 'D' INLET  
W/ U.S.F. 4155-6210  
FRAME AND GRATE  
RIM 12.00  
INV 8.00 E  
INV 8.00 S

**S-6** TYPE 'D' INLET  
W/ U.S.F. 4155-6210  
FRAME AND GRATE  
RIM 9.00  
INV 5.00 W  
INV 5.00 SE

(MH-1)	SANITARY MANHOLE	(MH-2)	SANITARY MANHOLE
	RIM 12.80		RIM 12.0
	INV 8.80 E		INV 8.40 W
			INV NE
(MH-3)	SANITARY MANHOLE		
	RIM 12.06		
	INV 8.06 SW		

15" D = +15.00	SIZE & BOTTOM OF PIPE ELEV.
8" S = +13.50	SIZE & TOP OF PIPE ELEVATION
	W = WATER MAIN
	S = SANITARY SEWER MAIN
	D = STORM DRAINAGE LINE

ALL ELEVATIONS ARE IN NAVD 1988

BOLLARDS TO BE INSTALLED PER SEC. 47-19.4

NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: J.H. Date: 08/15  
 Drawn by: J.L.S. Date: 08/15  
 Checked by: J.H. Date: 08/15



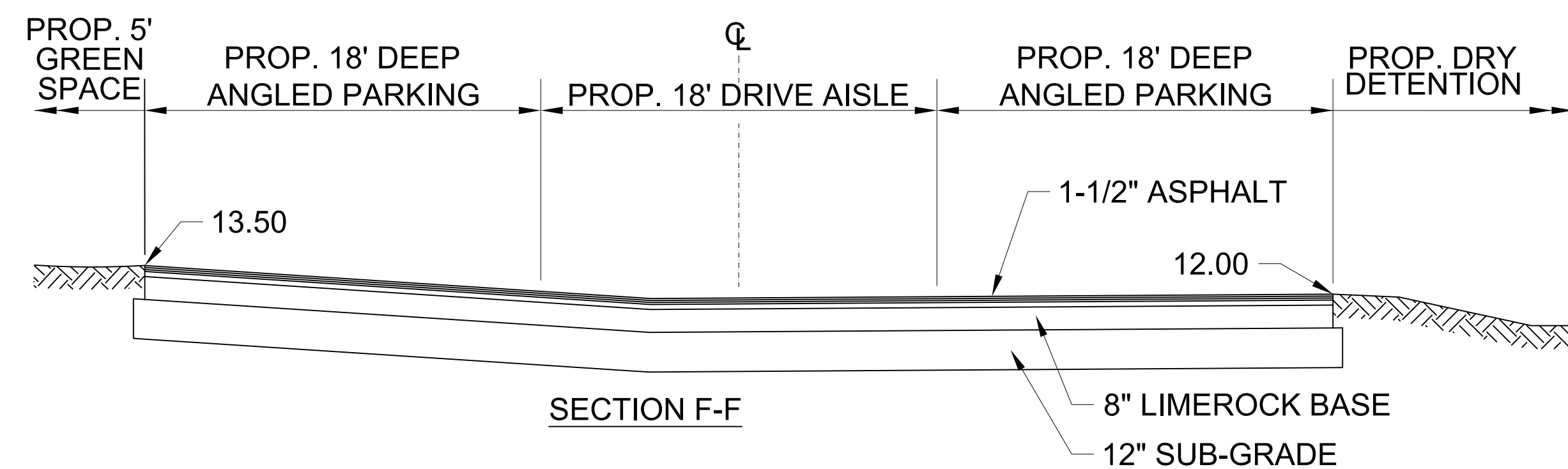
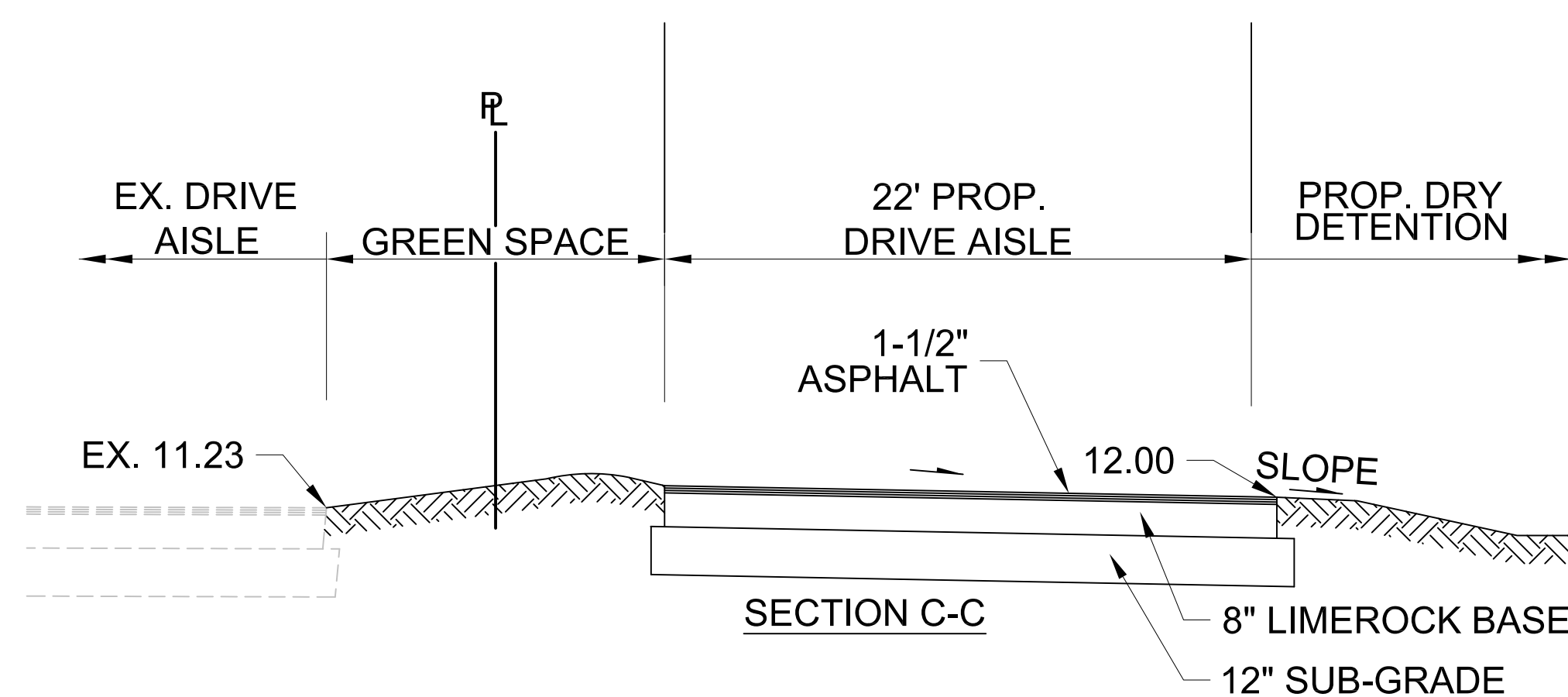
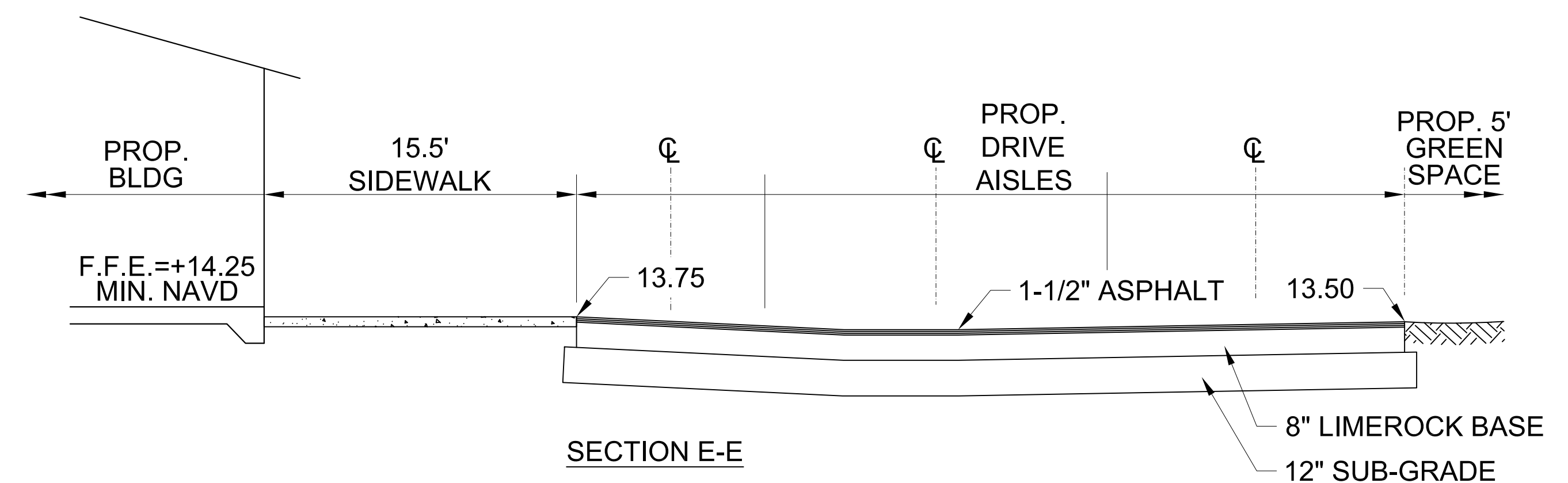
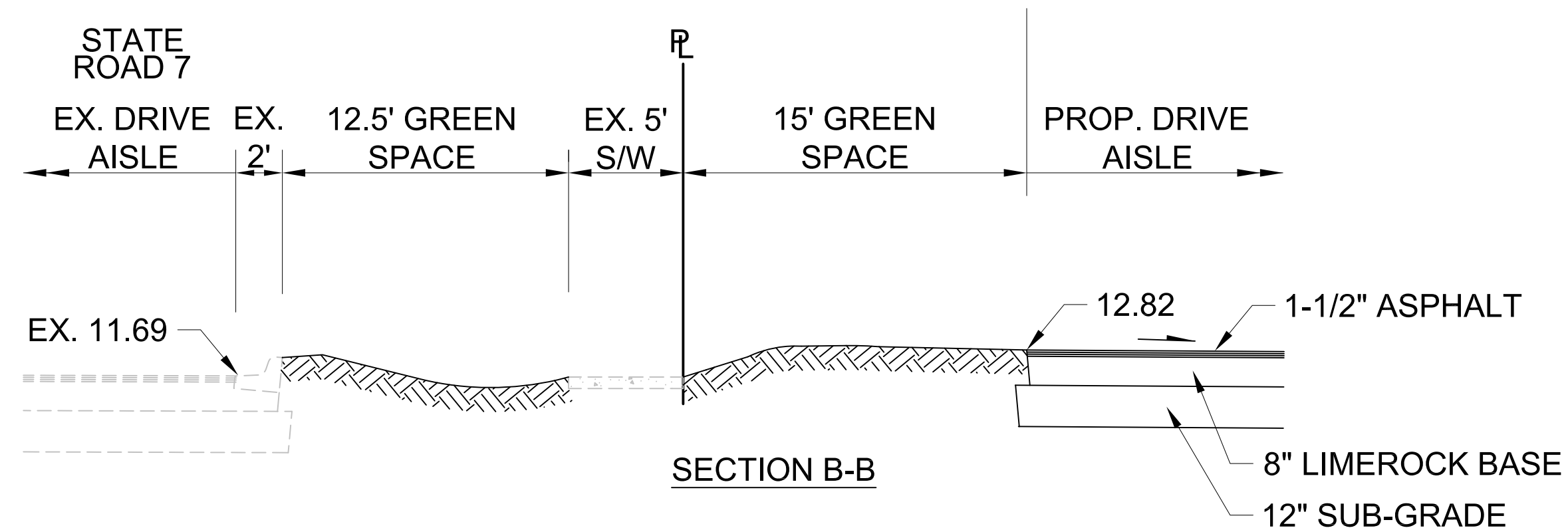
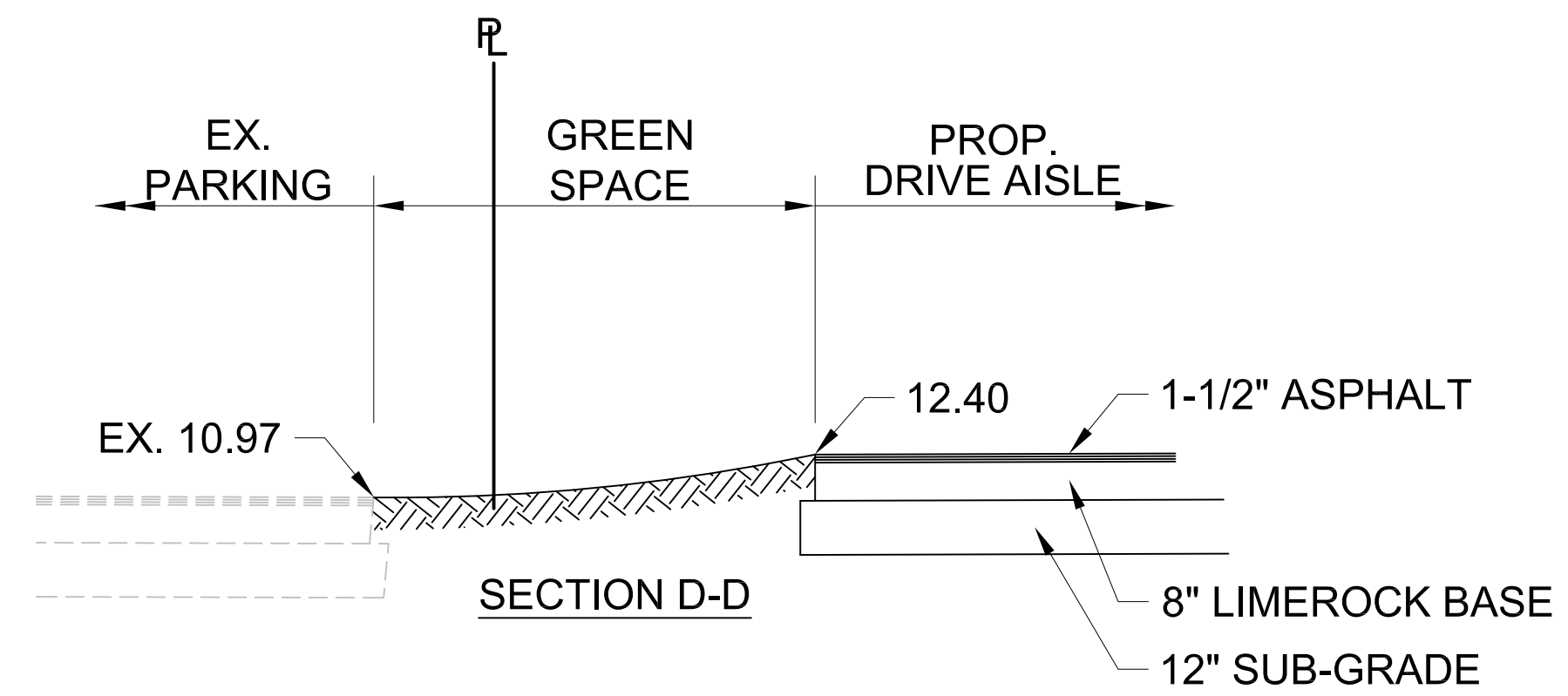
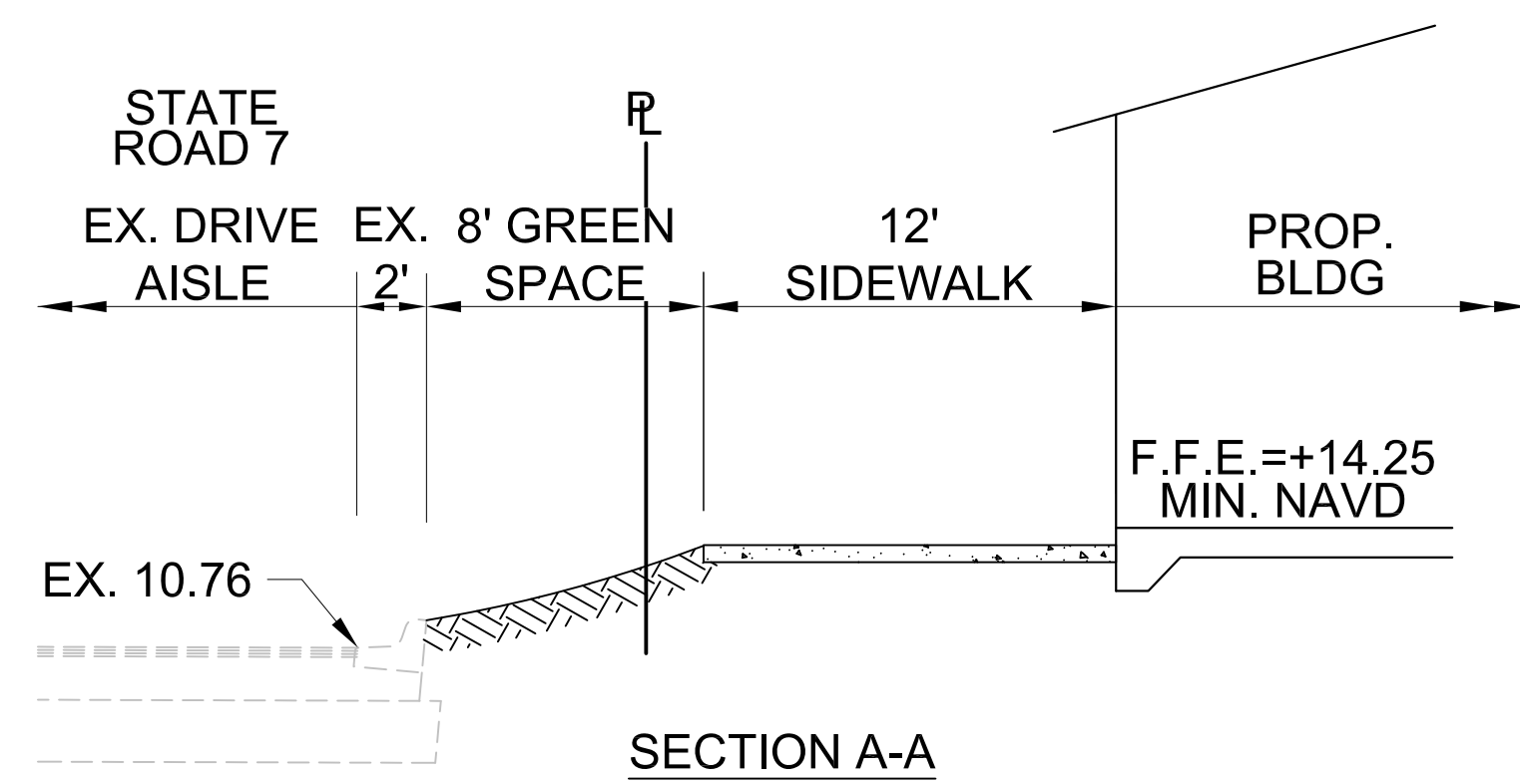
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C26258 · LB7924

# RISING TIDE CAR WASH

## CONCEPTURAL ENGINEERING PLAN

SCALE:	1" = 20'
PROJECT NUMBER:	1412-60
SHEET NUMBER:	CE-1

Date: 8/6/15  
Approved by: JAY HUEBNER, P.E.  
Registered Engineer No: 54615  
State of Florida



NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: J.H. Date: 08/15  
 Drawn by: J.L.S. Date: 08/15  
 Checked by: J.H. Date: 08/15



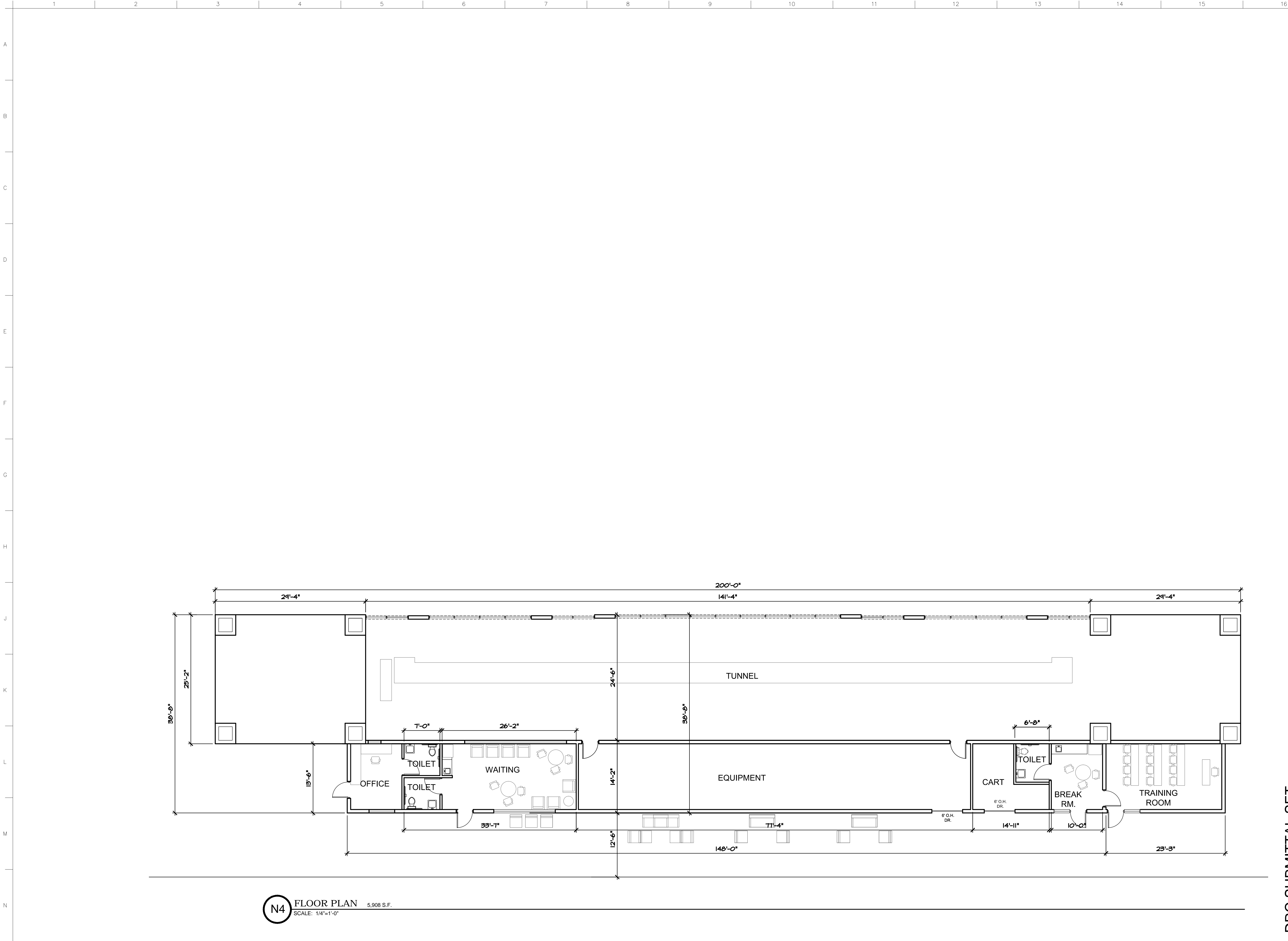
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 C26258 · LB7924

## **RISEING TIDE CAR WASH** CONCEPTUAL ENGINEERING DETAILS

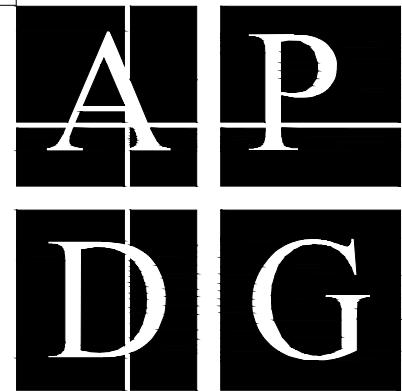
SCALE:  
 N.T.S.  
 PROJECT NUMBER:  
 1412-60  
 SHEET NUMBER:  
 CE-2

Date: 8/6/15  
 Approved by: JAY HUEBNER, P.E.  
 Registered Engineer No.: 54615  
 State of Florida





**N4** FLOOR PLAN 5,908 S.F.  
SCALE: 1/4"=1'-0"



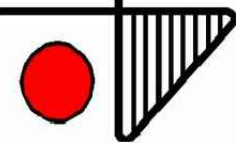
A PLUS DESIGN GROUP  
CAR WASH DESIGNERS

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737 West Central Avenue  
Winter Haven, Florida 33880  
Phone: (863) 294-4780



## RISING TIDE CAR WASH

A NEW CAR WASH FOR:

MARGATE, FLORIDA

### REVISIONS

No.	DATE	NOTE

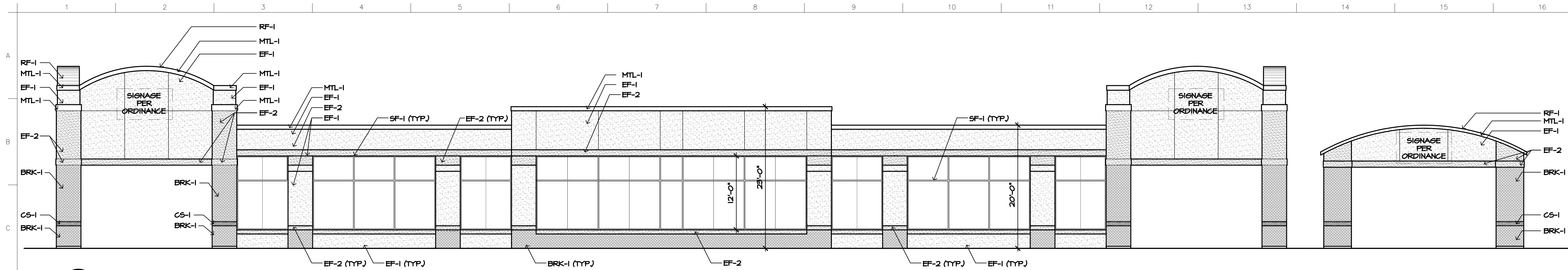
Drawn by: J.E.  
Checked by: T.C.  
Project No. 15-0529  
Date 08/05/15

FLOOR PLAN

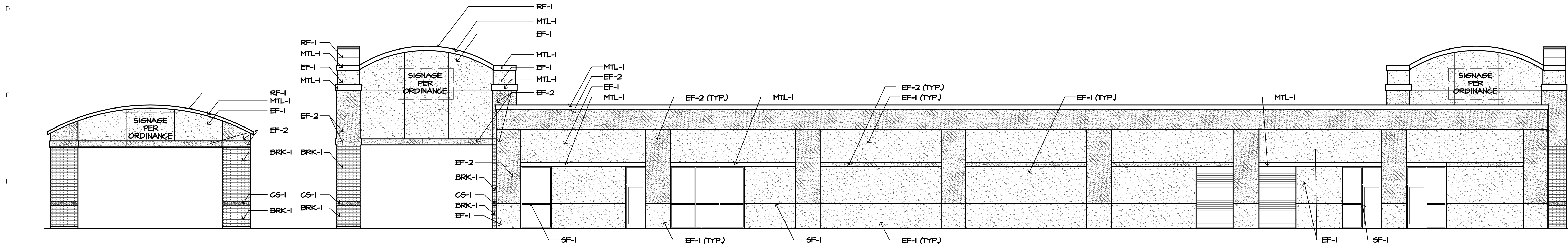
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DRC SUBMITTAL SET  
NOT FOR CONSTRUCTION

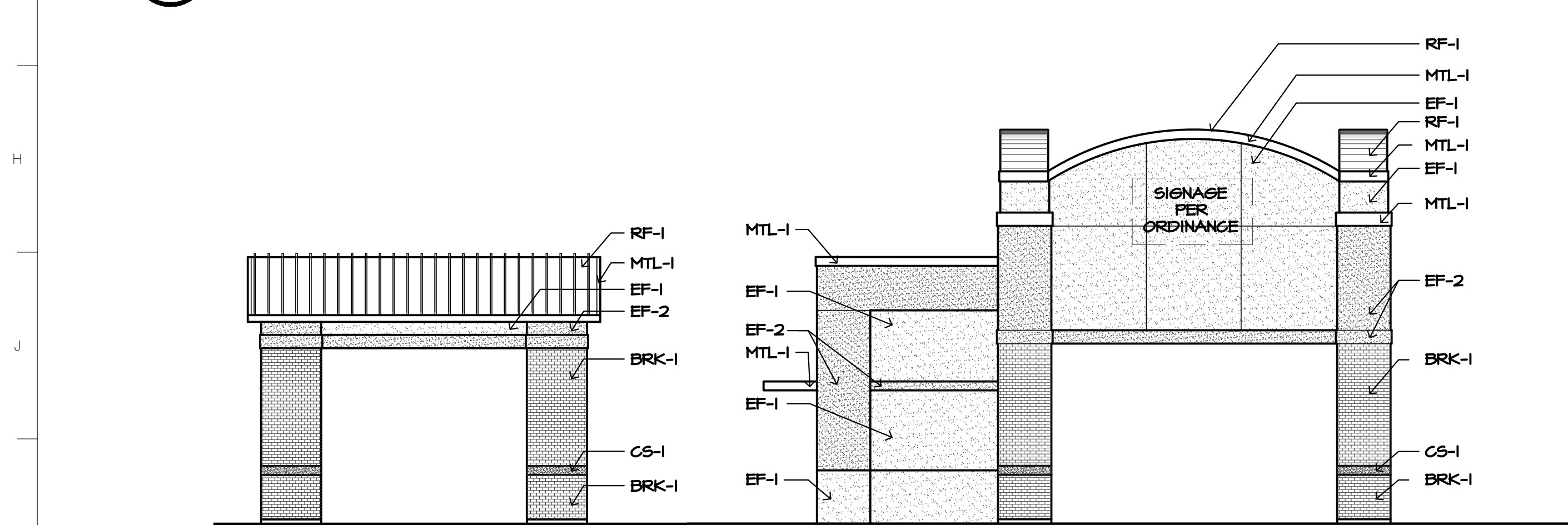




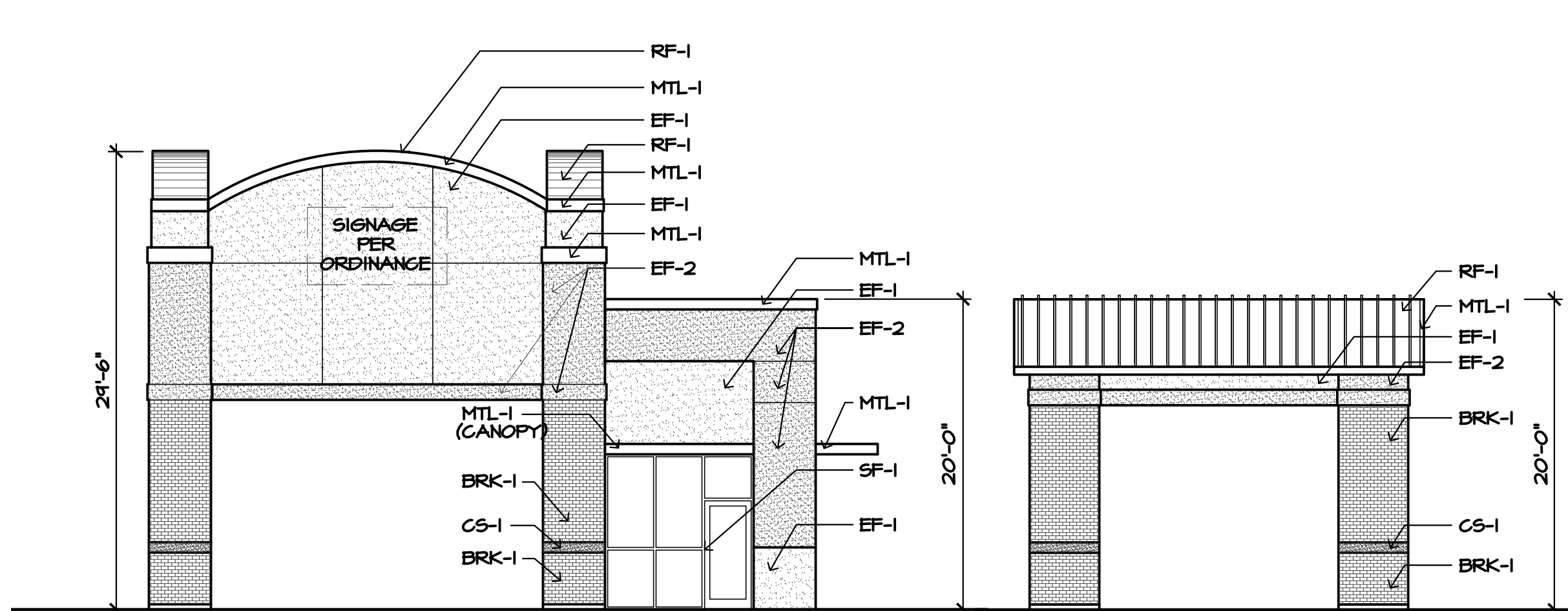
**D1 WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**G1 EAST ELEVATION**  
SCALE: 1/8"=1'-0"



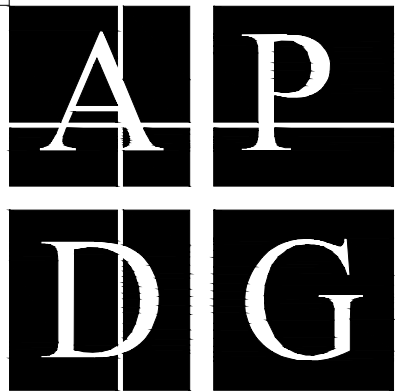
**K1 NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**K9 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXTERIOR FINISH SELECTIONS		
BRICK	BRK-1	COLOR TO BE SELECTED
CAST STONE	CS-1	CAST STONE MASONRY
METAL COMPONENT	MTL-1	PARAPET COPINGS, FASCIAS, FLASHING, GUTTERS & DOWNSPOUTS
ROOFING SYSTEM	RF-1	STANDING SEAM METAL ROOF
STUCCO SYSTEM	EF-1	EIFS SYSTEM, DRYVIT, (COLOR TO BE SELECTED)
	EF-2	EIFS SYSTEM, DRYVIT, (COLOR TO BE SELECTED)
STOREFRONT SYSTEM	SF-1	ALUMINUM STOREFRONT SYSTEM, RE: DOOR & WINDOW ELEVATIONS

GENERAL FINISH NOTES:  
A. ALL EXTERIOR FINISHES, MATERIALS, AND SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

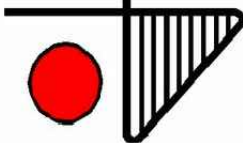


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RISING TIDE  
CAR WASH

A NEW CAR WASH FOR:

MARGATE, FLORIDA

REVISIONS		
No.	DATE	NOTE
Drawn by: J.E.		
Checked by: T.C.		
Project No. 15-0524		
Date 08/05/15		

EXTERIOR ELEVATIONS

A3.1

DRC SUBMITTAL SET  
NOT FOR CONSTRUCTION





WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



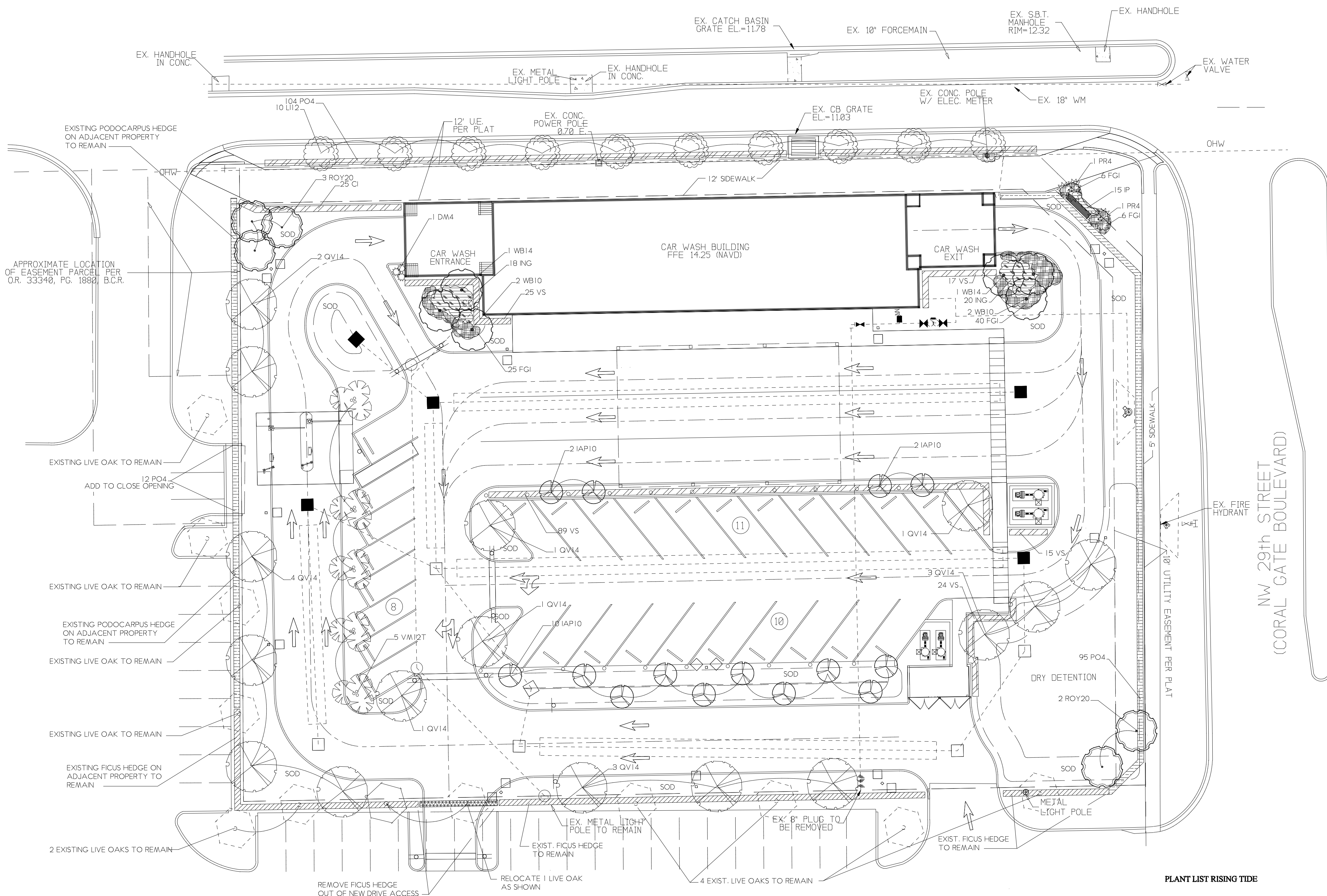
VIEW FROM THE NORTH WEST



VIEW FROM THE SOUTH WEST



## STATE ROAD NO.7 (U.S. 441)



PLANT LIST RISING TIDE

NOTE: The quantities on this plant list are to be used as a guide only. Bidder shall do independent takeoff for bidding purposes. \* Denotes native plants.

CT= CLEAR TRUNK GW= GREY WOOD DBH= DIAMETER BREAST HEIGHT (4 1/2") QA= OVERALL HEIGHT  
FTB= FULL TO BASE HV= HEAVY TRUNK CAL= CALIPER @ 6 1/2" PER GRADES & STDS. SING.= SINGLE TRUNK  
DBL= DOUBLE TRUNK TRP.= TRIPLE TRUNK STD.= TREE STANDARD MULT.= MULTI-TRUNK  
STAG= STAGGERED HEIGHTS B&B= BALLED AND BURLAPPED PG= FIELD GROWN  
ALL PLANT MATERIALS MUST ADHERE TO CURRENT GRADES AND STANDARDS FOR FLORIDA NUMBER ONE QUALITY  
OR BETTER. CONTAINER SIZE, WHEN LISTED, IS THE MINIMUM CONTAINER SIZE ACCEPTABLE FOR THE PLANT SPEC.  
ALL PLANT MATERIAL WILL BE ACCEPTED BY THE PLANT SIZE SPECIFICATION AND NOT THE CONTAINER SIZE.

SYM	ONT	BOTANICAL NAME	COMMON NAME	OA		TRUNK	TRUNK	COMMENTS
				HEIGHT	SPREAD	SPECS.	DIA.	
CI	25	Chrysobalanus icaco	*Cocoplum	24"	18"			Full
DM4	1	Dracaena marginata	Dracaena	4'	2'			4 Hds. Min.
FGI	77	Ficus microcarpa	Green Island Ficus	18"	18"			
IAP10	14	Ilex attenuata 'East Palatka'	*East Palatka Holly	10'	5'	3'CT	1.5"dbh	
ING	38	Ixora 'Nora Grant'	Nora Grant Ixora	24"	18"			Full
IP	15	Ixora 'Petite'	Red Taiwan Dwarf Ixora	18"	18"			Full
LI12	10	Lagerstroemia indica	Crape Myrtle	12'	5'	3'-4.5'CT		
PO4	211	Podocarpus makii	Yew Podocarpus	4'	24"			Full
PR4	1	Phoenix roebellenii	Pygmy Date Palm	4'				Triple Hd.
QV14	16	Quercus virginiana	*Live Oak	14'	7'	4.5'CT	3"dbh	
ROY20	5	Roystonea elata	*Florida Royal Palm			20' GW		
VM12T	5	Vetchia montgomeryana	Montgomery Palm	18"		12'CT		TRIPLE
VS	170	Viburnum suspensum	Sandankwa Viburnum	24"	18"			
WB10	4	Wodyetia bifurcata	Foxtail Palm			10' GW		
WB14	2	Wodyetia bifurcata	Foxtail Palm			14' GW		

OTHER LANDSCAPE MATERIALS:

MUL	Mulch (in Bags)
SOIL	Planting Soil (Cubic Yards)
SOD	TO BE MEASURED IN FIELD

LOCATION AS SHOWN ON PLAN &amp; GENERAL SPECIFICATIONS

## GENERAL SPECIFICATIONS

All plant materials shall be Florida No. 1 or better as set forth by the Florida Department of Agriculture, Grades and Standards for Nursery Plants, current edition.

All plants to be graded shall comply with the general requirements listed here:

Certification that all plant materials installed are Florida No. 1 or better shall be the sole responsibility of the Landscape Contractor. Such certification shall be provided by the Contractor, authorized representative at the time of delivery of the plant material to the job site. Any dispute regarding plant material grade shall be resolved by a representative of the Division of Plant Industry of the State of Florida.

All rules and guidelines set by the State for the purposes of grading plant materials shall be followed.

2. Plants shall be planted so that all heads are clear of buildings walls and windows at mature spread.

3. All Sabal Palms, Queen Palms, Washingtonia Palms, Phoenix varieties and all other single trunk, upright varieties with less than 6" (six) feet of clear trunk or greater shall be staked as detailed.

4. All plants shall be planted with their heads within six (6) feet of buildings walls, roof lines and windows at mature spread. Shade trees shall not be located closer than fifteen feet (15') from power light poles. Medium and small trees and palms shall not be planted closer than seven and one half feet (7 1/2') from power light poles.

Florida Power and Light tree clearance guidelines shall be followed in all cases relating to overhead power or easement locations.

Where trees require, locations of all trees planted in Rights-Of-Way or utility easements shall be confirmed by the landscape contractor with the City or County Engineering Department for installation.

5. All trees shall be planted with a minimum of 4" (four) above top of root ball. All trees that are designated as single - trunk trees shall have a single dominant leader and a relatively straight trunk. All trees that are designated as multi-trunk trees shall be staked to have at least three trunks with equal calibers originating from the base of the trunk, and with angles no greater than 45 degrees.

6. Trees with bark inclusion or codominant trunks will not be accepted.

7. Trees and Palms shall be planted with the following:

Under no circumstances shall any support method used employ the driving of nails or other mechanical devices of any kind into the bark of any tree or palm.

All staking equipment, frame "loggie" shall be removed approximately 10 days after planting or at the time of establishment of the tree. Any exposed frame "loggie" staking shall be cut and removed after the wood supports have decomposed.

All synthetic burlap, synthetic staking or cords shall be removed before trees are planted. All synthetic burlap (e.g. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top one-third of any natural burlap shall be removed from the trunk and the remaining two-thirds of the burlap shall be removed from the top and sides of the rootball to a depth of 3" and all remaining wire cut to prevent girdling.

8. All trees (except palms) and other plants shall be covered with the top of their rootball (2" (H)) above the ground surface surrounding the planting area as detailed.

9. All trees within or overhanging pedestrian areas shall be staked clear trunk high enough to allow unobstructed pedestrian movement under or around trunk.

Sign distance concerns must be maintained for clear sight visibility from their (30') inches to seventy-two (72) inches, tree trunks excluded.

10. All hedges shall be planted with twelve inches (12") clear space between outer branches and buildings walls, fences or power easements and trees for (30') clear space for parking spaces at the time of planting. Spraying of shrubs center to center shall be as specified by the municipality for screening requirements.

11. All mechanical equipment, air conditioning, irrigation pumps, PPL transformers, pool pumps, etc., must be screened on trees (3') sides by shrubs.

12. Irrigation shall be by underground, automatic, timer free systems with 180° coverage and no overlap of spray.

Irrigation rain sensor shall be installed. Irrigation water shall not be directed onto or over pervious surfaces.

Irrigation systems other than City water shall require:

1. For the Florida Water Metering and Billing Department to permit prior to the issuance of the required irrigation permit from the City and/or the operation of the irrigation system. Approved irrigation permits shall be required from the City Engineering Department.

2. Plants shall be planted at least 38" (38") deep and 78% sand pulverized and weed free, to be mixed with existing soil free from rocks and debris and backfilled into plant pits by washing in. Planting soil for Sabal Palms shall be clean sand. Existing soil may be used as planting soil if approved by the Landscape Architect.

13. Fertilizer shall be applied to all fertilizers shall be a general purpose 50% organic fertilizer low in phosphorus with low nitrogen, iron and manganese and shall be mixed with the planting soil at the time of backfilling.

Fertilizer for palms shall be a palm special type to include manganese and magnesium sulfate.

Application rates for all fertilizers shall be the time of planting shall be 1/2 the manufacturers recommendations for established plants.

14. Much shall be shredded cypress or other clean hardwood species grade 15" or better set at a 3" minimum depth and well down to decompose.

Cypress, red or dyed much shall not be accepted. All much shall All much shall be certified "Arsenic Free".

All trees shall have a water ring with a minimum depth of two inches (2") and a width of three inches (3") around the rootball 4 feet around the base. No much shall be placed over the rootball of any tree.

All much shall be kept two inches from the stems of all shrub plant material.

15. Soil shall be Sternumodum secundatum "Fortran" or "Palmato" soid soil, with straight, clean, three inches (3") deep. Such soils are needed on all areas not used for buildings, vehicular use areas, walkways, site structures or planting beds and shall extend to any abutting street pavement edge and to the mean waterline of any abutting canal, lake or waterway. Soil shall be placed no closer than three (3') feet from the trunk of any tree.

Soil shall be adjacent to pavement and curbs shall be set with top of soil set flush with the top of the adjacent pavement and/or curb.

16. Planting plans take precedence over plant lists. The Landscape Contractor shall be responsible for doing his own takeoff. The Landscape Contractor shall familiarize himself with all municipal codes and deed restrictions of the municipality in which the project is located. All existing codes and deed restrictions pertaining to the municipality in which the project is located shall apply and may supersede these General Specifications. The more stringent requirement shall 9999.

17. The Landscape Contractor shall be aware of the locations of all easements and utilities above and below ground and shall call for utility stakeout forty eight (48) hours before any digging operations begin.

All plant pits located in easements shall be hand dug.

18. The Landscape Contractor shall provide a written guarantee to the Owner for all plant materials and workmanship for a period no less than one year from the time of final inspection and acceptance by the Owner.

19. The Owner, under the terms of the guarantee, shall not be responsible for inspection by the Landscape Contractor and the Owner. All plants that are in a healthy, growing condition at the time of the inspection shall be free from further guarantee and shall be the Owners responsibility. All plants that are in questionable condition due to transplant shock shall continue under the guarantee until recovery or, if recovery is not achieved, until death or growth or dead, shall be replaced. Replaced plant material shall be guaranteed for the same time period and under the same conditions as the original plant material. This guarantee does not apply if the plant materials have not been maintained by the Owner as instructed by the Landscape Contractor, are damaged by storms, vandalism, neglect or freeze damage or acts of God beyond the Landscape Contractors control. All plants shall be free from harmful plant pests at the time of planting.

**RIGHT OF OWNERSHIP:** The drawings, designs, arrangements and ideas represented by these plans are an instrument of service for this project only and are owned by and remain the property of the Landscape Architect. None of such drawings, designs, arrangements and ideas may be used for any purpose whatsoever without the express written permission of the Landscape Architect.

To the best of our knowledge, the plans and specifications submitted herewith comply with all existing interpretations and provisions of the applicable building codes at the time of the plans preparation. No warranty, either expressed or implied, is hereby given.

[illegible]

SCALE: 1"=20'
DATE: AUGUST 4, 2015
DRAWN BY: M.J.P.

LANDSCAPE PLAN FOR RISING TIDE CAR WASH  
STATE ROAD 7  
MARGATE, FLORIDA

Michael J. Petrow  
and  
Associates, Inc.

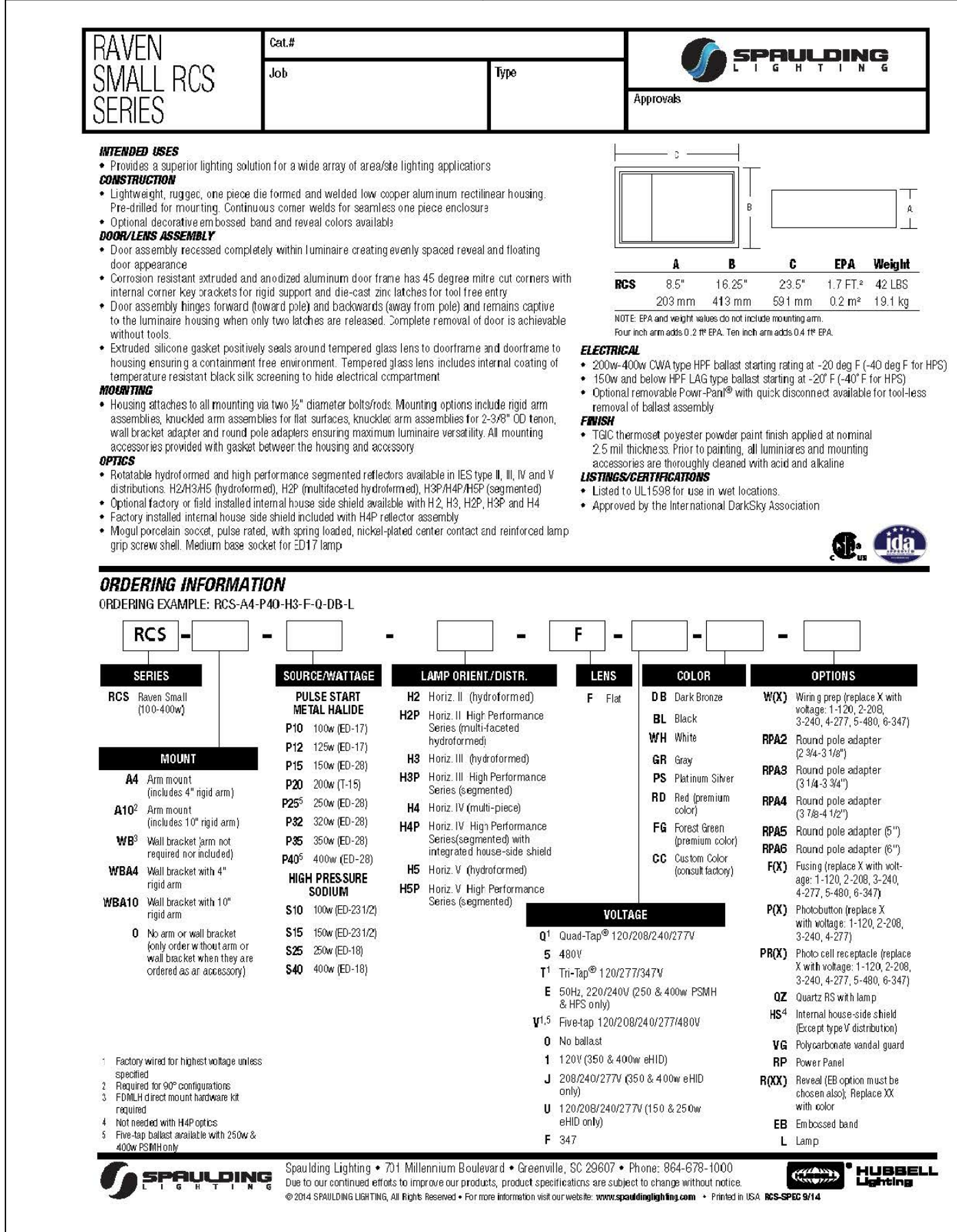
Landscape Architecture  
 P.O. Box 8801, Coral Springs, FL 33075  
 Phone: (954) 448-0659 FL Reg. #932

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 P.O. Box 8801, Coral Springs, FL 33075  
 Phone: (954) 448-0659 FL Reg. #932

SHEET NO: L-1  
OF: ONE

THESE DRAWINGS ARE NOT VALID FOR SUBMITTAL OR CONTRACT CONSTRUCTION USE  
UNLESS SIGNED, SEALED & DATED WITH AN ORIGINAL SIGNATURE & EMBOSSED SEAL  
BY THE LANDSCAPE ARCHITECT. UNSIGNED & SEALED DRAWINGS MAY BE USED FOR  
CLIENT IN-HOUSE PURPOSES & RIDING ON Y.





SCALE: 1" = 20'	Date: 8/6/15 Approved by: JAY HUEBNER, P.E. Registered Engineer No: <u>54615</u> State of Florida
PROJECT NUMBER: 1412-60	
SHEET NUMBER: PH-1	