PROJECT NUMBER
1510-76
SHEET NUMBER
CS-1

ARBOR VIEW

CITY OF MARGATE, BROWARD COUNTY, FLORIDA

HTG ARBOR VIEW, LLC.

INDEX OF PLANS

LEGAL DESCRIPTION:

PARCEL 1:
A PARCEL OF LAND BEING A PORTION OF PARCEL "A", INFANTE II, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 168, AT PAGE 11 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID PARCEL "A", SAID POINT BEING ON THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE EAST, A RADIAL LINE OF SAID CURVE THROUGH SAID POINT HAVING A BEARING OF NORTH 89°21'10" EAST; (THE FOLLOWING THREE (3) COURSES BEING COINCIDENT WITH THE WEST LINE OF SAID PARCEL "A");
THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 00°20'37" AND A RADIUS OF 4233.59 FEET, FOR AN ARC DISTANCE OF 25.39 FEET TO A POINT ON A NON-TANGENT LINE; THENCE SOUTH 01°00'34" EAST, A DISTANCE OF 68.95 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE EAST, A RADIAL LINE OF SAID CURVE THROUGH SAID POINT HAVING A BEARING OF SOUTH 89°06'15" EAST; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, TO THE LEFT, HAVING A CENTRAL ANGLE OF 00°03'23" AND A RADIUS OF 15269.38 FEET FOR AN ARC DISTANCE OF 15.00 FEET TO A POINT ON A NON-TANGENT LINE, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE SOUTH 89°15'15" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE EAST, A RADIAL LINE OF SAID CURVE THROUGH SAID POINT HAVING A BEARING OF SOUTH 89°09'38" EAST; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, TO THE LEFT, HAVING A CENTRAL ANGLE OF 00°55'42" AND A RADIUS OF 15219.38 FEET FOR AN ARC DISTANCE OF 246.59 FEET TO A POINT ON A NON-TANGENT LINE; THENCE NORTH 89°56'36" EAST, A DISTANCE OF 224.00 FEET; THENCE SOUTH 00°03'24" EAST, A DISTANCE OF 232.34 FEET; THENCE NORTH 89°38'04" EAST, A DISTANCE OF 93.28 FEET; THENCE SOUTH 04°02'11" EAST, A DISTANCE OF 83.29 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTH, A RADIAL LINE OF SAID CURVE THROUGH SAID POINT HAVING A BEARING OF NORTH 04°26'02" WEST;
(THE FOLLOWING FOUR (4) COURSES BEING COINCIDENT WITH THE SOUTH LINE OF SAID PARCEL "A")
THENCE WESTERLY ALONG THE ARC OF SAID CURVE, TO THE RIGHT, HAVING A CENTRAL ANGLE OF 04°04'06" AND A RADIUS OF 342.66 FEET FOR AN ARC DISTANCE OF 24.33 FEET, TO A POINT OF A NON-TANGENT LINE; THENCE SOUTH 89°38'04" WEST, A DISTANCE OF 72.10 FEET; THENCE SOUTH 78°21'38" WEST, A DISTANCE OF 61.11 FEET; THENCE SOUTH 89°38'04" WEST, A DISTANCE OF 183.63 FEET;
(THE FOLLOWING SEVEN (7) COURSES BEING COINCIDENT WITH THE WEST LINE OF SAID PARCEL "A")

THENCE NORTH 45°41'15" WEST, A DISTANCE OF 42.19 FEET; THENCE NORTH 01°00'34" WEST, A DISTANCE OF 54.60 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE CONCAVE TO THE EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, TO THE RIGHT, HAVING A CENTRAL ANGLE OF 00°52'07" AND A RADIUS OF 15269.38 FEET FOR AN ARC DISTANCE OF 231.49 FEET TO A POINT OF A NON-TANGENT LINE; THENCE NORTH 88°59'26" EAST, A DISTANCE OF 15.00 FEET; THENCE NORTH 01°00'34" WEST, A DISTANCE OF 26.00 FEET; THENCE SOUTH 88°59'26" WEST, A DISTANCE OF 14.58 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE EAST, A RADIAL LINE OF SAID CURVE THROUGH SAID POINT HAVING A BEARING OF NORTH 89°57'24" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, TO THE RIGHT, HAVING A CENTRAL ANGLE OF 00°52'58" AND A RADIUS OF 15269.38 FEET FOR AN ARC DISTANCE OF 235.29 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

PARCEL 2:
A PARCEL OF LAND BEING A PORTION OF PARCEL "A", "INFANTE II", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 168, AT PAGE 11 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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(THE FOLLOWING FOUR (4) COURSES ARE ALONG THE SOUTH LINE OF SAID PARCEL "A")
THENCE NORTH 89°38'04" EAST, A DISTANCE OF 183.63 FEET; THENCE NORTH 78°21'38" EAST, A DISTANCE OF 61.11 FEET; THENCE NORTH 89°38'04" EAST, A DISTANCE OF 72.10 FEET, TO A POINT ON A 342.66 FOOT RADIUS NON-TANGENT CURVE CONCAVE TO THE NORTH WHOSE RADIUS POINT BEARS NORTH 00°21'54" WEST; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 04°03'59", AN ARC DISTANCE OF 24.33 FEET TO THE POINT OF BEGINNING AND A POINT OF NON-TANGENCY;
THENCE NORTH 04°02'11" WEST, A DISTANCE OF 83.29 FEET; THENCE SOUTH 89°38'04" WEST, A DISTANCE OF 93.28 FEET; THENCE NORTH 00°03'24" WEST, A DISTANCE OF 20.00 FEET; THENCE NORTH 89°38'04" EAST, A DISTANCE OF 56.46 FEET TO A POINT OF CURVATURE OF A 55.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 84°07'35", AN ARC DISTANCE OF 80.76 FEET TO A POINT OF TANGENCY; THENCE SOUTH 87°14'21" EAST, A DISTANCE OF 20.13 FEET TO A POINT OF CURVATURE OF A 30.00 FOOT RADIUS CURVE CONCAVE TO THE NORTH; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 06°41'36", AN ARC DISTANCE OF 40.03 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE IN THE CITY OF MARGATE, BROWARD COUNTY, FLORIDA.

LOCATION MAP

SCALE: 1" = 200'

SECTION 19 / TOWNSHIP 48 S / RANGE 42 E

SITE PLAN

DEVELOPER:
HOUSING TRUST GROUP, LLC.
3225 AVIATION AVE, SUITE 602
COCONUT GROVE, FL 33133
(786)347-4549

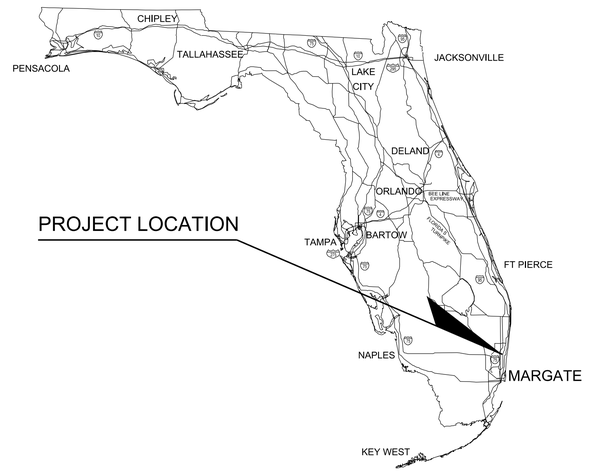
PLANNER:
HSQ GROUP, INC.
1489 WEST PALMETTO PARK ROAD
SUITE 340
BOCA RATON, FL 33486
(561) 392-0221

ARCHITECT:
CORWIL ARCHITECTS
1320 S. DIXIE HIGHWAY
SUITE 1070
CORAL GABLES, FL 33146
(305) 448-7383

CIVIL ENGINEER:
HSQ GROUP, INC.
1489 WEST PALMETTO PARK ROAD
SUITE 340
BOCA RATON, FL 33486
(561) 392-0221

LANDSCAPE ARCHITECT:
WITKIN HULTS DESIGN GROUP
307 S. 21ST AVENUE
HOLLYWOOD, FL 33020
(954)923-9681

SURVEYOR:
HSQ GROUP, INC.
1489 WEST PALMETTO PARK ROAD
SUITE 340
BOCA RATON, FL 33486
(561) 392-0221



HSQ GROUP, INC.
Engineers · Planners · Surveyors
1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
CA26258 · LB7924

ENGINEER'S CERTIFICATION

THESE PLANS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.

Date: 2/11/16 Seal

Approved by: JAY HUEBNER
Registered Engineer Number: 54615
State of Florida

2/11/16

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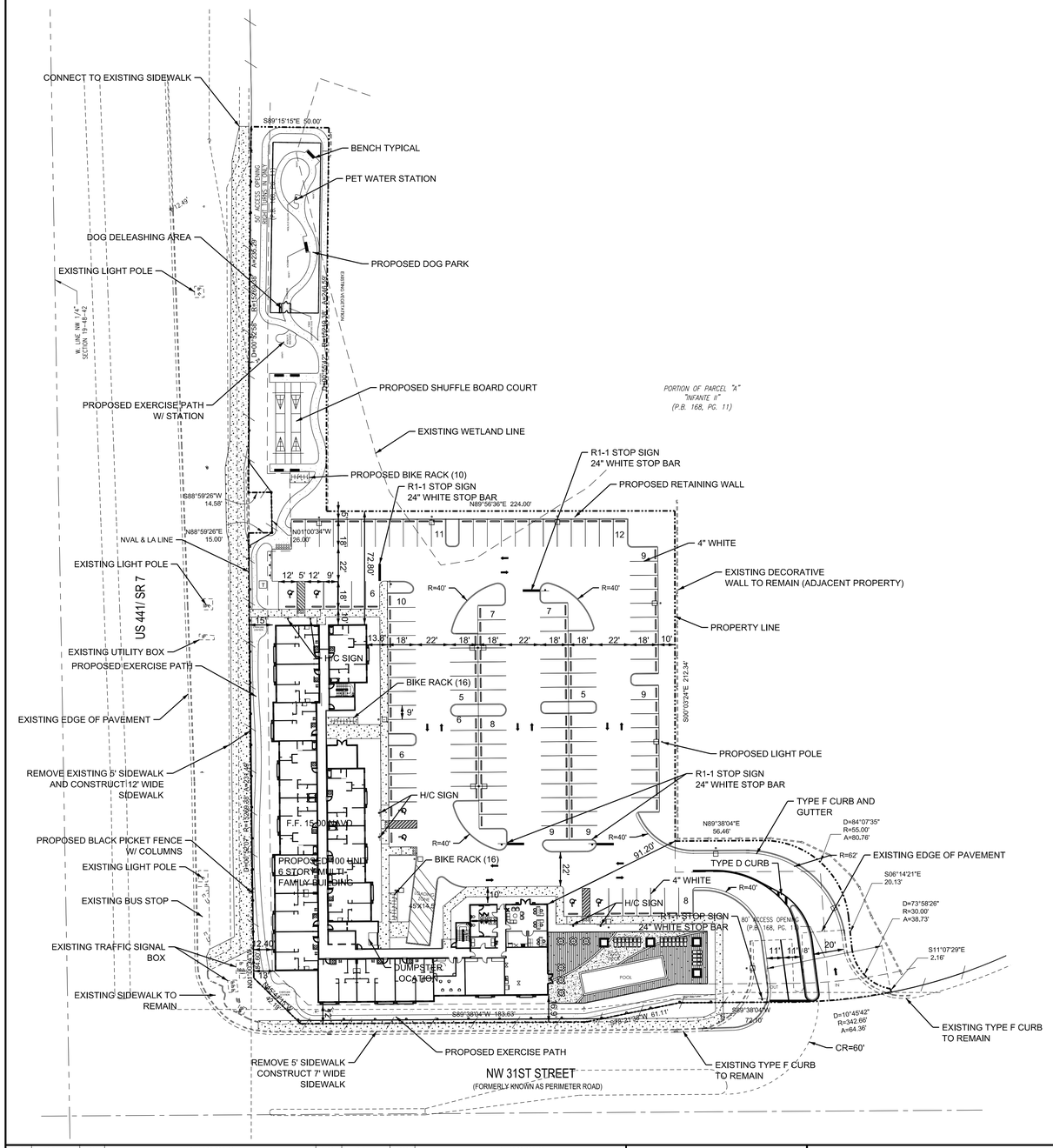

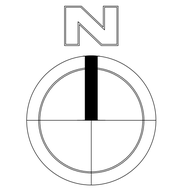

SCALE: 1"=40'

LEDGEND

- LIGHT POLE
- FPL TRANSFORMER
- HANDICAP STALL
- SIGN
- PERVIOUS SIDEWALK
- CONCRETE SIDEWALK

GENERAL NOTES:

1. WATER SERVICE WILL BE PROVIDED BY THE CITY OF MARGATE
2. SEWER SERVICE WILL BE PROVIDED BY THE CITY OF MARGATE
3. ALL ADDRESSES ARE MARGATE FLORIDA 33063 UNITS NUMBERS ARE 100'S 1ST FLOOR 200'S SECOND FLOOR 300'S THIRD FLOOR 400'S FOUR FLOOR AND 500'S FIFTH FLOOR.

SITE DATA

LAND USE CLASSIFICATION: TOC

ZONING CLASSIFICATION: TOC-G

SITE AREA:

NET SITE AREA:	2,50 AC.	100,0%
BUILDING COVERAGE AREAS:	0,42 AC.	16,8%
POOLS/PATIOS:	0,09 AC.	3,6%
SIDEWALK AREAS:	0,20 AC.	8,0%
ROADWAY AND PARKING AREAS:	1,12 AC.	44,8%
GREEN AREAS:	0,67 AC.	26,8%

DENSITY CALCULATIONS:

NET SITE AREA:	2,50 AC.(40 UNITS PER ACRE)
NUMBER OF UNITS:	100 UNITS
BUILDING HEIGHT:	6 STORIES

PARKING REQUIREMENTS:

REQUIRED:
PER VARIANCE REQUESTED
1,0 PARKING SPACES PER UNIT
1 GUEST SPACE PER 5 UNITS
100 UNITS / 5 = 20 SPACES
100 / 5 = 20 SPACES
TOTAL REQUIRED 120 SPACES

PROVIDED:

STANDARD SPACES:	121	SPACES
HANDICAP SPACES (1 PER 25)	6	SPACES
TOTAL PROVIDED:	127	SPACES
BIKE SPACES REQUIRED:	35	SPACES
BIKE SPACES PROVIDED:	42	SPACES

SETBACK REQUIREMENTS:

	REQUIRED:	PROVIDED:
NORTH:	10 FEET	10 FEET
SOUTH:	20 FEET	20 FEET
EAST:	20 FEET	28 FEET
WEST:	5 FEET	10 FEET

OPEN SPACE REQUIREMENTS ALL PUD:

NET ACREAGE:	2.50AC.
REQUIRED OPEN SPACE:	15% (0.38 AC.)
RECREATION FACILITY:	0.29 AC. (50% TOWARDS OPEN SPACE)
GREEN AREA:	0.67 AC.
TOTAL OPEN SPACE PROVIDED:	32% (0,81 AC.)

NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: JH Date: 3/16
Drawn by: AZ Date: 3/16
Checked by: JH Date: 3/16

HSQ GROUP, INC.
Engineers · Planners · Surveyors
1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
C26258 · LB7924

ARBOR VIEW

SITE PLAN

SCALE: 1" = 50'
PROJECT NUMBER: 1510-76
SHEET NUMBER: SP-1

Date: 4/23/2016
Approved by: JAY HUEBNER, P.E.
Registered Engineer No: 54615
State of Florida

4/23/2016

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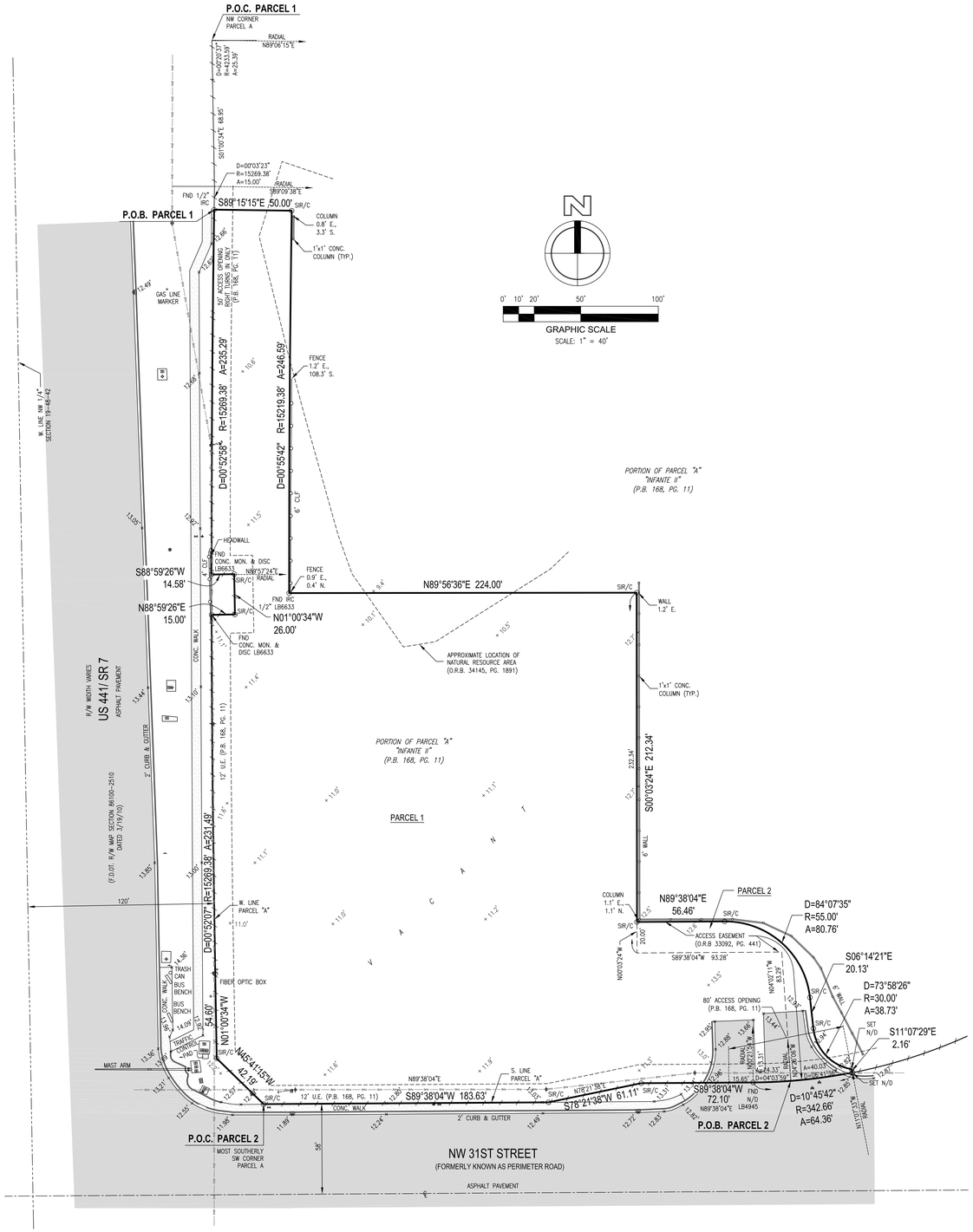

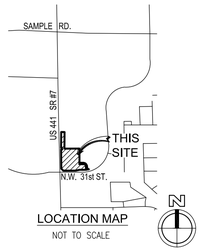

LOCATION MAP
NOT TO SCALE

GRAPHIC SCALE
SCALE: 1" = 40'

ABBREVIATIONS:

A	= ARC LENGTH
A/C	= AIR CONDITIONER
ALUM.	= ALUMINUM
B.C.R.	= BROWARD COUNTY RECORDS
BOT	= BOTTOM
BRKN	= BROKEN
CB	= CATCH BASIN
C.B.S.	= CONCRETE BLOCK STRUCTURE
CLF	= CHAIN LINK FENCE
CMP	= CORRUGATED METAL PIPE
CONC.	= CONCRETE
D	= DELTA (CENTRAL ANGLE)
D.B.	= DEED BOOK
D.E.	= DRAINAGE EASEMENT
ELEV.	= ELEVATION
F.A.	= FINISHED FLOOR
FIP	= FOUND IRON PIPE
FIR/C	= FOUND IRON ROD W/CAP
FIR	= FOUND IRON ROD
FND.	= FOUND
ICV	= IRRIGATION CONTROL VALVE
INV	= INVERT
L.A.	= LANDSCAPE BUFFER
MON.	= MONUMENT
N/D	= NAIL AND DISC
O.R.B.	= OFFICIAL RECORD BOOK
(P)	= PLAT
P.B.	= PLAT BOOK
PG.	= PAGE
R	= RADIUS
R/W	= RIGHT-OF-WAY
SIR/C	= SET 1/2" IRON ROD W/CAP LB7924
SMH	= SANITARY SEWER MANHOLE
SN/D	= SET NAIL & DISC LB7924
SQ.	= SQUARE
STY.	= STORY
TCB	= TRAFFIC CONTROL BOX
TYP.	= TYPICAL
U.E.	= UTILITY EASEMENT
WV	= WATER VALVE

LEGEND:

	ANCHOR
	BACKFLOW PREVENTER
	BOLLARD
	CABLE BOX
CATV	CATCH BASIN
	CENTERLINE
	CLEANOUT
	ELECTRIC BOX
12.5	ELEVATION
	FIRE HYDRANT
	MANHOLE, DRAINAGE
	MANHOLE, SANITARY
	NON-VEHICULAR ACCESS LINE
	POLE, PEDESTRIAN
	POLE, LIGHT
	POLE, METAL LIGHT
	POLE, WOOD
	SIGN
	TRAFFIC SIGNAL BOX
	VALVE, GAS
	VALVE, WATER
	WATER METER
	WATER METER MANHOLE
	WIRES, OVERHEAD

LEGAL DESCRIPTION

PARCEL 1:
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SAID LANDS SITUATE IN THE CITY OF MARGATE, BROWARD COUNTY, FLORIDA.

TITLE COMMITMENT INFORMATION TABLE

FIDELITY NATIONAL TITLE INSURANCE COMPANY
ORDER NO.: 5528096 REVISED C
EFFECTIVE DATE: JANUARY 7, 2016

ITEMS LISTED ARE PER SCHEDULE B SECTION II EXCEPTIONS

COMMIT. #	TYPE OF INSTRUMENT	DESCRIPTION	RECORDING DATA	PERTAINS TO PARCEL	PLOTTED
7	PLAT	AGREEMENT FOR AMENDMENT OF NOTATON ON PLAT	P.B. 168, PG. 11 O.R.B. 31455, PG. 760 O.R.B. 33280, PG. 665 O.R.B. 35375, PG.1797	YES YES YES YES	YES NO NO NO
8	AGREEMENT	ASSIGNMENT OF TREATMENT PLANT CAPACITY ASSIGNMENT OF DEVELOPERS RIGHTS	O.R.B. 11858, PG. 60 O.R.B. 13556, PG. 24 O.R.B. 13779, PG. 701 O.R.B. 14130, PG. 760	YES YES YES YES	NO NO NO NO
9	COVENANTS	DECLARATION OF RESTRICTIONS STATEMENT TO CORRECT SCRIVENER'S ERROR	O.R.B. 14720, PG. 317 O.R.B. 15721, PG. 793 O.R.B. 17489, PG. 422	YES YES YES	NO NO NO
10	RESOLUTION	COUNTY COMMISIONERS NATURAL RESOURCE AREA AMENDING AREA IN O.R.B. 17022, PG. 838	O.R.B. 34145, PG. 1891	YES	YES
11	AGREEMENT	ROAD IMPACT AGREEMENT BETWEEN BROWARD COUNTY AND DEVELOPER	O.R.B. 28874, PG. 248	YES	NO
12	AGREEMENT	PHASING THE INSTALLATION OF REQUIRED ROAD IMPROVEMENTS	O.R.B. 30175, PG. 1401	YES	NO
13	ROAD IMPACT AGREEMENT	BETWEEN BROWARD COUNTY AND DEVELOPER	O.R.B. 31455, PG. 766	YES	NO
14	AGREEMENT	TRANSFER OF COMMITTED TRIPS	O.R.B. 31471, PG. 1719	YES	NO
15	DECLARATION	BETWEEN BROWARD COUNTY AND DEVELOPER	O.R.B. 32606, PG. 1853	YES	NO
16	AGREEMENT FOR DRAINAGE	TO PROVIDE DRAINAGE ONTO ADJOINING PARCEL	O.R.B. 33092, PG. 437	YES	NO
17	ACCESS EASEMENT	A PORTION OF SUBJECT PARCEL	O.R.B. 33092, PG. 441	YES	YES
18	EDUCATIONAL IMPACT AGREEMENT	BETWEEN BROWARD COUNTY AND DEVELOPER	O.R.B. 33280, PG. 674	YES	NO
19	RECREATIONAL IMPACT AGREEMENT	BETWEEN BROWARD COUNTY AND DEVELOPER	O.R.B. 33280, PG. 682	YES	NO
20	EDUCATION IMPACT FEE AGREEMENT	BETWEEN BROWARD COUNTY AND DEVELOPER	O.R.B. 35375, PG. 1808	YES	NO
21	REGIONAL PARK IMPACT FEE AGREEMENT	BETWEEN BROWARD COUNTY AND DEVELOPER	O.R.B. 35375, PG. 1820	YES	NO
22	ROAD IMPACT FEE AGREEMENT	BETWEEN BROWARD COUNTY AND DEVELOPER	O.R.B. 35375, PG. 1831	YES	NO
23	NOTICE	EXPIRATION OF FINDINGS OF ADEQUACY	O.R.B. 35375, PG. 1843	YES	NO
24	AGREEMENT	TRAFFIC IMPACT TRIPS	O.R.B. 36178, PG. 881	YES	NO

NOTES:

1. THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE AREA OF THIS PROPERTY IS 2.504 ACRES, MORE OR LESS.
3. ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE INDICATED.
4. THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS SURVEY, EXCEPT AS SHOWN.
5. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF PARCEL "A", "INFANTE II" PLAT, HAVING AN ASSUMED BEARING OF SOUTH 89°38'04" WEST.
6. RECORDING INFORMATION REFERS TO BROWARD COUNTY PUBLIC RECORDS UNLESS OTHERWISE INDICATED.
7. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE DETERMINED FROM FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK "BM 9" ELEVATION 12.94', AS SHOWN ON THE PROJECT NETWORK CONTROL SHEET FOR STATE ROAD 7, PROJECT ID # 416878-1-52-01, DATED 2-13-2008.
8. THE COURSE IN THE LEGAL DESCRIPTION UNDERLINED, PRIOR TO THE POINT OF BEGINNING WAS INSERTED BY THE UNDERSIGNING SURVEYOR FOR COMPLETENESS.
9. FEMA FLOOD ELEVATION INFORMATION:
   A. FIRM NO.: 12011C0165H
   B. EFFECTIVE DATE: 8/18/14
   C. ZONE: AE
   D. BASE FLOOD ELEV.: 13' (NAVD88)

SURVEYOR'S CERTIFICATION:

TO: HOUSING TRUST GROUP, LLC
FIDELITY NATIONAL TITLE INSURANCE COMPANY,
STEARNS WEAVER MILLER WEISSLER ALHADEFF & SITTERSON, P.A.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AMD NSPS, AND INCLUDES ITEMS 1-4, 6(A), 8, 9, 11(A), AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 2/10/16.

_____
DONNA C. WEST
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. LS4290

NO.	DATE	BY	CK'D	REVISIONS	FILE FB/PG

SCALE: 1"=40' DATE: 2/12/16
DRAWN BY: JV/ EC FIELD BOOK: 31/19
CHECKED BY: DCL SURVEY TYPE: BOUNDARY

HSQ GROUP, INC.
Engineers · Planners · Surveyors
1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
CA26258 · LB7924

MAP OF ALTA/ACSM LAND TITLE SURVEY "ARBOR VIEW"
CITY OF MARGATE, BROWARD COUNTY, FLORIDA

PROJECT NUMBER 151076
SHEET NUMBER 1 OF 1

Z:\Survey Projects\2015\151076S Arbor View\dwg\151076alta.dwg, 2/16/2016 10:50:46 AM

□R□OR□□I□W

MARGATE, FL

CORWILARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC.NO. AA-C002151 T.305.448.7383

PROJECT:

ARBOR VIEW

SR 7th/ N.W. 31st STREET,
MARGATE, FL - 33063

OWNER:

HTG ARBOR VIEW, LLC

3225 AVIATION AVENUE, STE. 602
COCONUT GROVE, FL 33133

COVER

PHASE

-

REVISIONS

SEAL

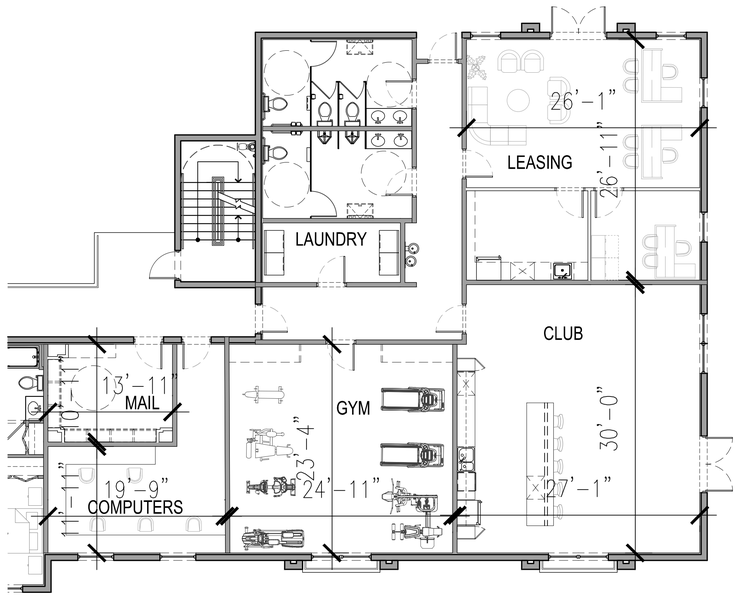
DATE:	10/15/2015
JOB NO.	2016-15
DRAWN BY	MC
APPR BY	A.M.C.
FILE	2016-15

SHEET NUMBER:

A-0.00

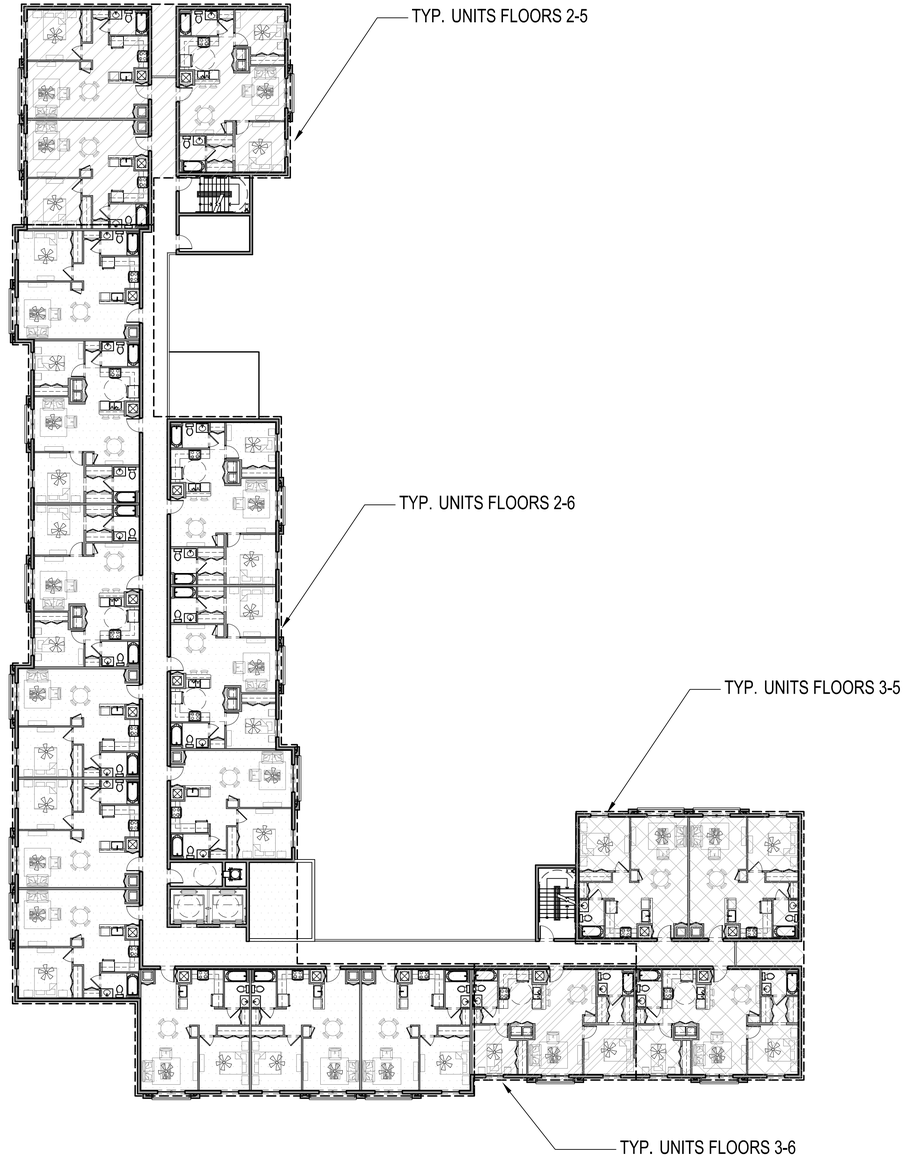
GROUND FLOOR PLAN

SCALE: 1/16"= 1'-0"



CLUBHOUSE ENLARGED PLAN

SCALE: 1/8"= 1'-0"



FLOORS 2-6 TYPICAL PLAN

SCALE: 1/16"= 1'-0"

CORWILARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC.NO. AA-C002151 T.305.448.7383

PROJECT:

ARBOR VIEW

SR 7th/ N.W. 31st STREET,
MARGATE, FL - 33063

OWNER:

HTG ARBOR VIEW, LLC
3225 AVIATION AVENUE, STE. 602
COCONUT GROVE, FL 33133

FLOOR PLANS
NOT FOR PERMIT

PHASE

-

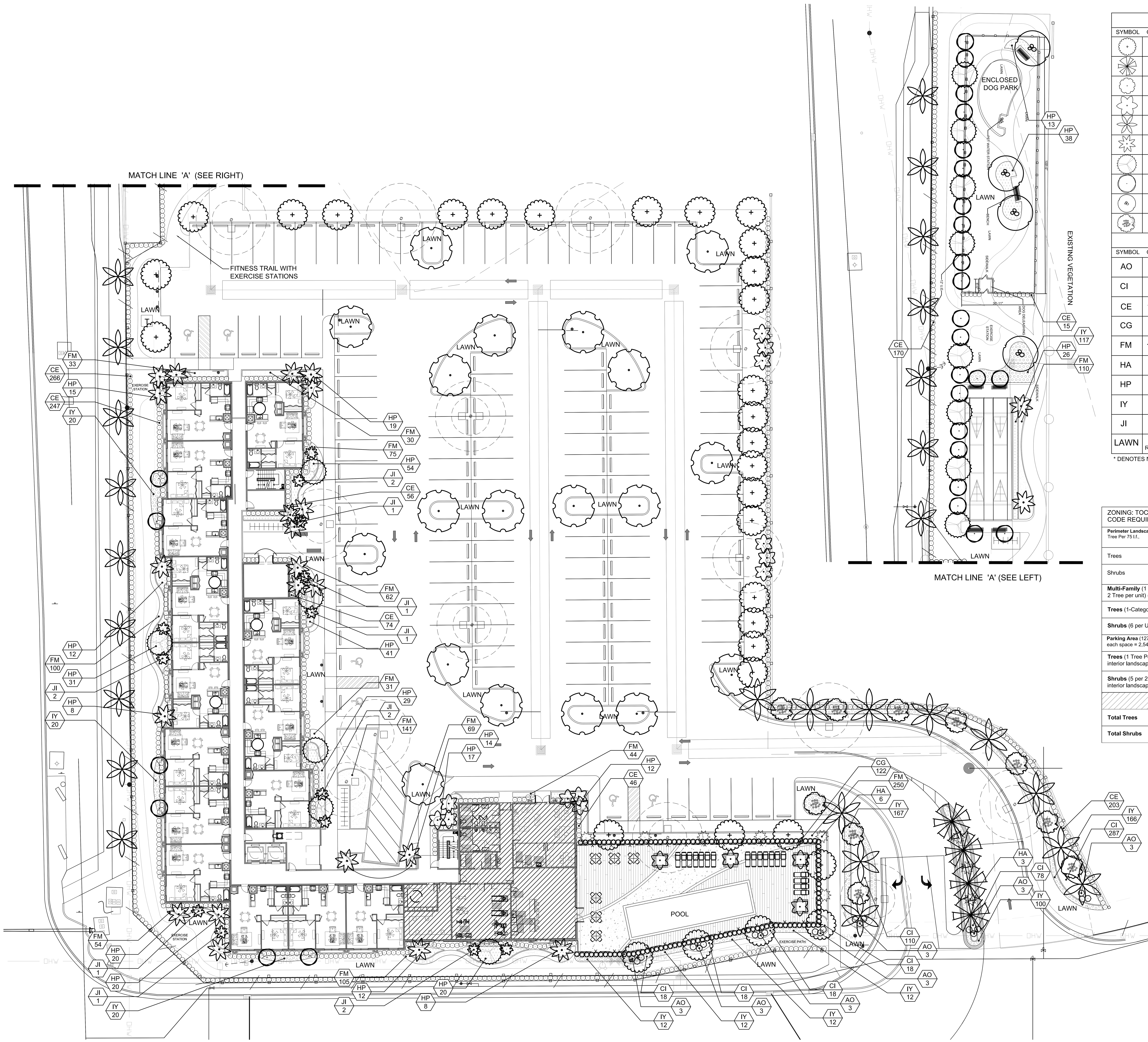
REVISIONS

SEAL

DATE:	10/15/2015
JOB NO.	2016-15
DRAWN BY	MC
APPR BY	A.M.C.
FILE	2016-15

SHEET NUMBER:

A-2.00



LANDSCAPE LIST

TREES

SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	32	*Conocarpus erectus GREEN BUTTONWOOD	12' HT. X 4' SPR. 2" DBH. F.G.
	4	Phoenix sylvestris SILVER DATE PALM	10' C.T. F.G.
	19	*Quercus virginiana LIVE OAK	12' HT. X 5' SPR. 2" DBH. F.G.
	16	Carpentaria acuminata CARPENTARIA PALM	16' O.A. HEIGHT F.G.
	27	*Roystonea elata ROYAL PALM	20-22' O.A. HT., 6' GREYWOOD F.G., MATCHED HTS.
	23	Veitchia montgomeryana 'single' SINGLE MONTGOMERY PALM	18' O.A. HT. MIN. F.G.
	14	*Conocarpus erectus 'sericeus' SILVER BUTTONWOOD	12' HT. X 4' SPR. 2" DBH. F.G.
	28	*Ilex cassine DAHOON HOLLY	12' HT. X 4' SPR. 2" DBH. F.G.
	4	*Swietenia mahagoni MAHOGANY	12' HT. X 4' SPR. 2" DBH. F.G.
	10	Ligustrum japonicum JAPANESE PRIVET	8' HT. X 10' SPR., MULTI TRUNK F.G.

SHRUBS AND GROUNDCOVERS

SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
AO	21	Alcantarea odorata BROMELIAD SP.	3' O.A. HT. 9" POT
CI	547	*Chrysobalanus icaco GREEN COCOPLUM	18" HT. X 18" SPR. / 18" O.C. 3 GAL.
CE	1077	*Conocarpus erectus GREEN BUTTONWOOD	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
CG	122	Clusia guttifera SMALL LEAF CLUSIA	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
FM	1104	Ficus microcarpa 'Green Island' GREEN ISLAND FICUS	15" HT. X 15" SPR. / 15" O.C. 3 GAL.
HA	9	Hibiscus 'Anderson Crepe' ANDERSON CREPE HIBISCUS	6' HT. O.A., STANDARD 15 GAL.
HP	409	*Hamelia patens FIREBUSH	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
IY	658	Ixora 'Maui Yellow' YELLOW DWARF IXORA	18" HT. X 18" SPR. / 18" O.C. 3 GAL.
JI	13	Jatropha integerrima JATROPHA TREE	6' HT. X 4' SPR. 30 GAL. , FULL
LAWN	As Required	Stenotaphrum secundatum 'Floratam' ST. AUGUSTINE GRASS	SOLID EVEN SOD

* DENOTES NATIVE SPECIES

CITY OF MARGATE LANDSCAPE REQUIREMENTS

Net Site Area= 2.50 Acres

ZONING: TOC-GC CODE REQUIREMENT	Lineal Feet or Square Feet.	Amount or % of Planting Required	Amount or % of Planting Provided	% of Sod Allowed	Amount or % of Sod Provided
Perimeter Landscape: 1 Shade Tree Per 75 l.f.,	857 l.f.			30	29
Trees		12	12		
Shrubs		428	436		
Multi-Family (1 Category 2 Tree per unit) (232 Units)					
Trees (1-Category 2 per unit)		100	100		
Shrubs (6 per Unit)		600	1,151		
Parking Area (127 Spaces x 20 s.f. each space = 2,540 s.f.)				30	25
Trees (1 Tree Per 200 s.f. of interior landscaping)		13	13		
Shrubs (5 per 200 s.f. of interior landscaping)		64	64		
Total Trees		125	125		
Total Shrubs		1,092	1,651		

LANDSCAPE PLAN

Scale: 1"=20'-0"

NORTH

WITKIN HULTS
DESIGN GROUP
307 south 21st avenue hollywood, florida
phone: 954.923.9681 facsimile: 954.923.9689
www.witkindesign.com

Project:

ARBOR VIEW

Margate, Florida

OVERALL LANDSCAPE PLAN

Revisions:	Date:	By:
1) City Comments	04.22.2016	CH

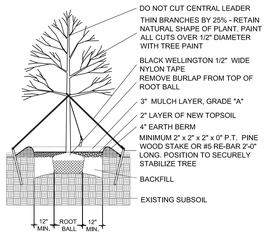
Seal:

Lic. # LA0000889
Member: A.S.L.A.

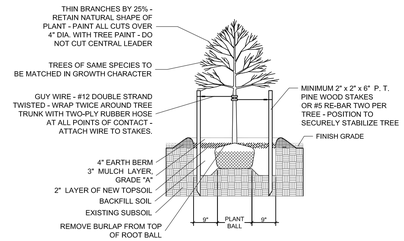
Drawing: Landscape Plan
Date: 04/06/2016
Scale: See Left
Drawn by: CJH
Sheet No.:

L-1

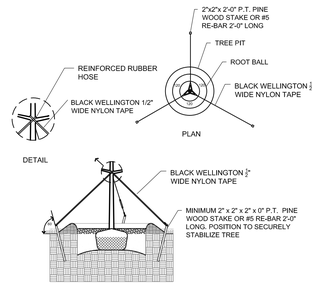
Cad Id.: 2016-036



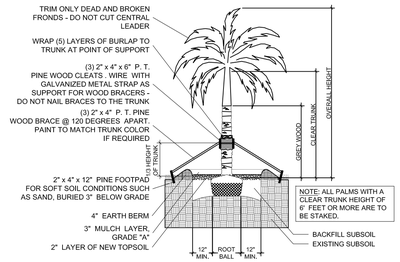
LARGE TREE PLANTING DETAIL



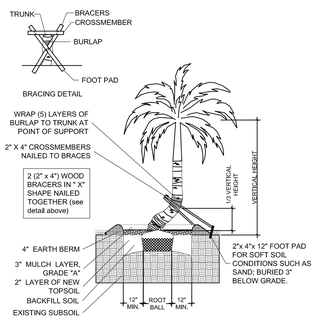
SMALL TREE PLANTING DETAIL



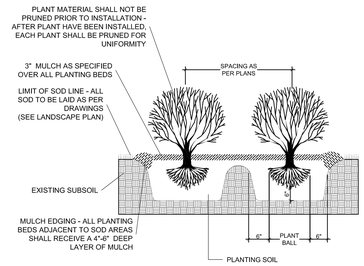
TYPICAL TREE GUYING DETAIL



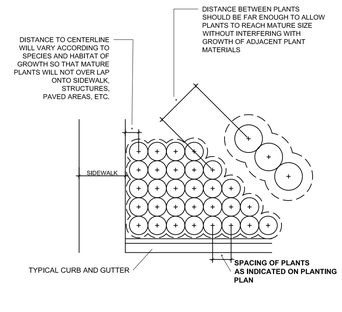
STRAIGHT TRUNK PALM PLANTING DETAIL



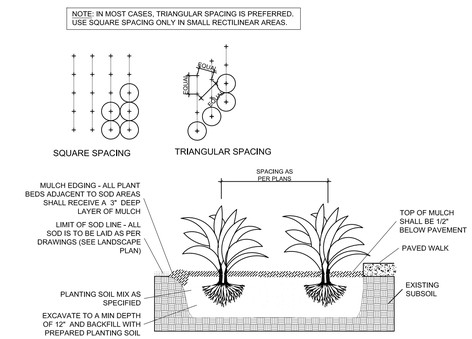
CURVED TRUNK PALM PLANTING DETAIL



TYPICAL SHRUB PLANTING DETAIL



TYPICAL CONTAINER SPACING DETAIL



TYPICAL GROUNDCOVER PLANTING DETAIL

PLANTING NOTES:

-All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.

-All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.

-Planting plans shall take precedence over plant list in case of discrepancies.

-No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approved by the project engineer.

-Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.

- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.

- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.

- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.

- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.

- Tree and shrub pits will be supplemented with "Agriform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

SOD NOTES:

-Sod is to be grade "A" weed free.

-All areas marked "LAWN" shall be solid sodded with St. Augustine 'Floratam' solid sod. See limit on plan. All areas marked 'Bahia Grass' shall be solid sodded with Paspalum.

-Provide a 2" deep blanket of planting soil as described in planting notes this sheet. Prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

-Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes.

-Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" away from trees, measured from center of plant.

-Sod Shall be watered immediatley after installation to uniformily wet the soil to at least 2" below the bottom of the sod strips.
-Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

GENERAL NOTES:

-The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).

-Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.

-All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.

-All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.

WITKIN HULTS DESIGN
107 SW 2nd Avenue Hallandale, Florida
phone: 954.923.9681 facsimile: 954.923.9689
www.witkindesign.com

ARBOR VIEW
Margate, Florida
LANDSCAPE DETAILS

Project:

Revisions: Date: By:

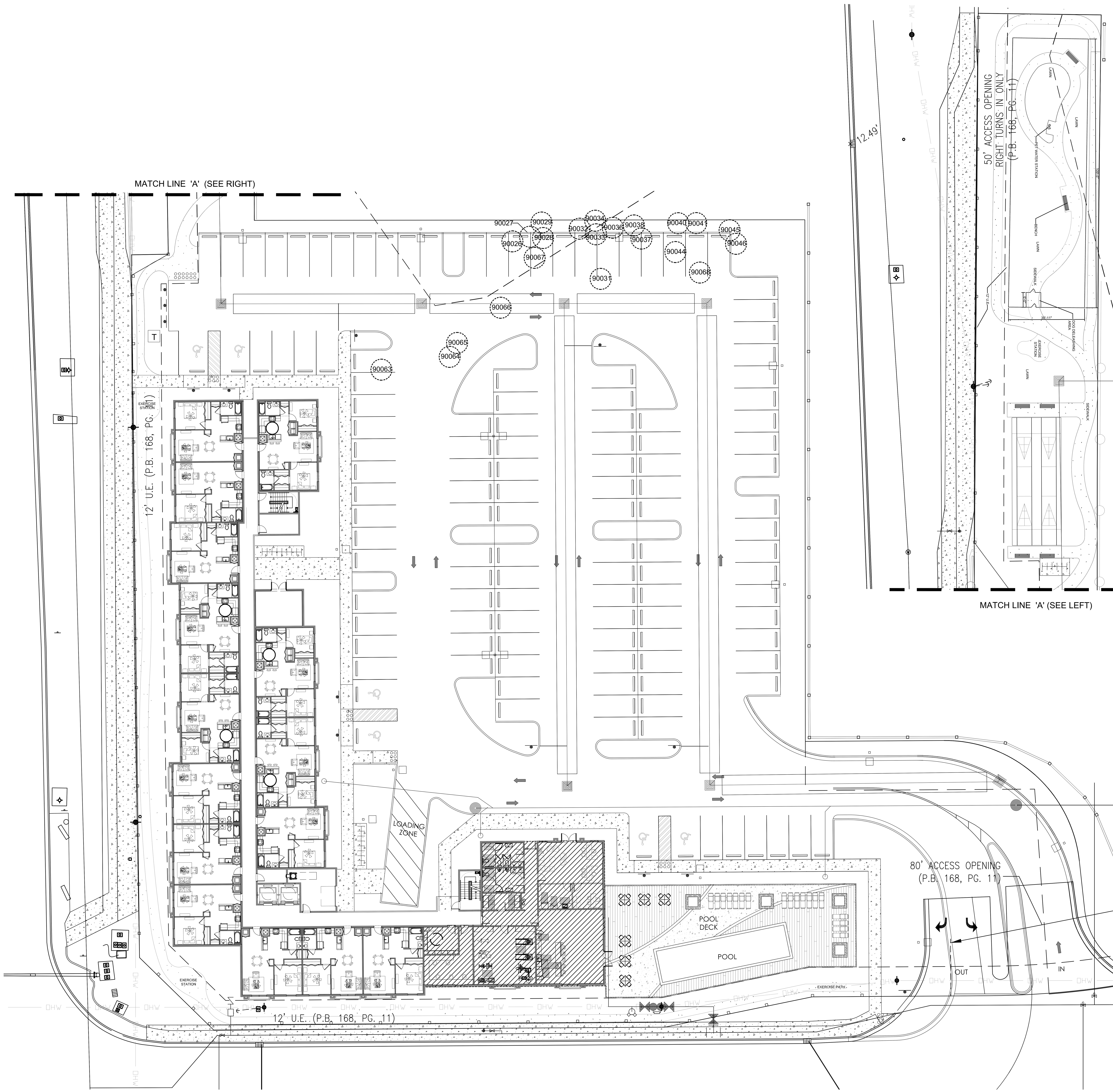
Seal:

Lic. # LA0000889
Member: A.S.L.A.

Drawing: Landscape Details
Date: 04/06/2016
Scale: NTS
Drawn by: CJH
Sheet No.:

L-2

Cad Id.: 2016-036



Tree Disposition							
Tree #	Height	Spread (FT)	DBH	Type	Disposition	Condition	Canopy Area
90026	50	20	15	BALD CYPRESS	REMOVE	FAIR	314
90027	50	10	11	BALD CYPRESS	REMOVE	FAIR	78.5
90028	50	12	15	BALD CYPRESS	REMOVE	FAIR	113.04
90029	50	12	14	BALD CYPRESS	REMOVE	FAIR	113.04
90031	50	10	16	BALD CYPRESS	REMOVE	FAIR	78.5
90032	50	20	15	BALD CYPRESS	REMOVE	FAIR	314
90033	35	25	9	RED MAPLE	REMOVE	FAIR	490.625
90034	18	15	18	SABAL PALM	REMOVE	FAIR	176.625
90036	40	12	10	BALD CYPRESS	REMOVE	FAIR	113.04
90037	55	20	17	BALD CYPRESS	REMOVE	FAIR	314
90038	30	0	10	BALD CYPRESS	REMOVE	DEAD	0
90040	18	15	16	SABAL PALM	REMOVE	FAIR	176.625
90041	18	15	16	SABAL PALM	REMOVE	FAIR	176.625
90044	45	15	14	BALD CYPRESS	REMOVE	FAIR	176.625
90045	26	12	7	BALD CYPRESS	REMOVE	FAIR	113.04
90046	50	20	**18**	BALD CYPRESS	REMOVE	FAIR	314
90063	45	20	17	BALD CYPRESS	REMOVE	FAIR	314
90064	45	20	15	BALD CYPRESS	REMOVE	FAIR	314
90065	40	12	11	BALD CYPRESS	REMOVE	FAIR	113.04
90066	35	10	11	BALD CYPRESS	REMOVE	FAIR	78.5
90067	50	20	17	BALD CYPRESS	REMOVE	FAIR	314
90068	50	15	16	BALD CYPRESS	REMOVE	FAIR	176.625
						TOTAL	4372.45

Total Canopy Mitigation Required:
4372.45sf / 300sf = 15 Category 1 trees

SYMBOL LEGEND

(#x) Tree to Remove

DISPOSITION PLAN

NORTH

Scale: 1"=20'-0"

WITKIN HULTS
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phone: 954.923.9681 facsimile: 954.923.9689
www.witkindesign.com

ARBOR VIEW

Margate, Florida

DISPOSITION PLAN

Project:

Revisions:	Date:	By:
1) City Comments	04.22.2016	CH

Seal:

Lic. # LA0000889
Member: A.S.L.A.

Drawing: Disposition Plan

Date: 04/07/2016

Scale: See Left

Drawn by: CJH

Sheet No.:

L-3

Cad Id.: 2016-036

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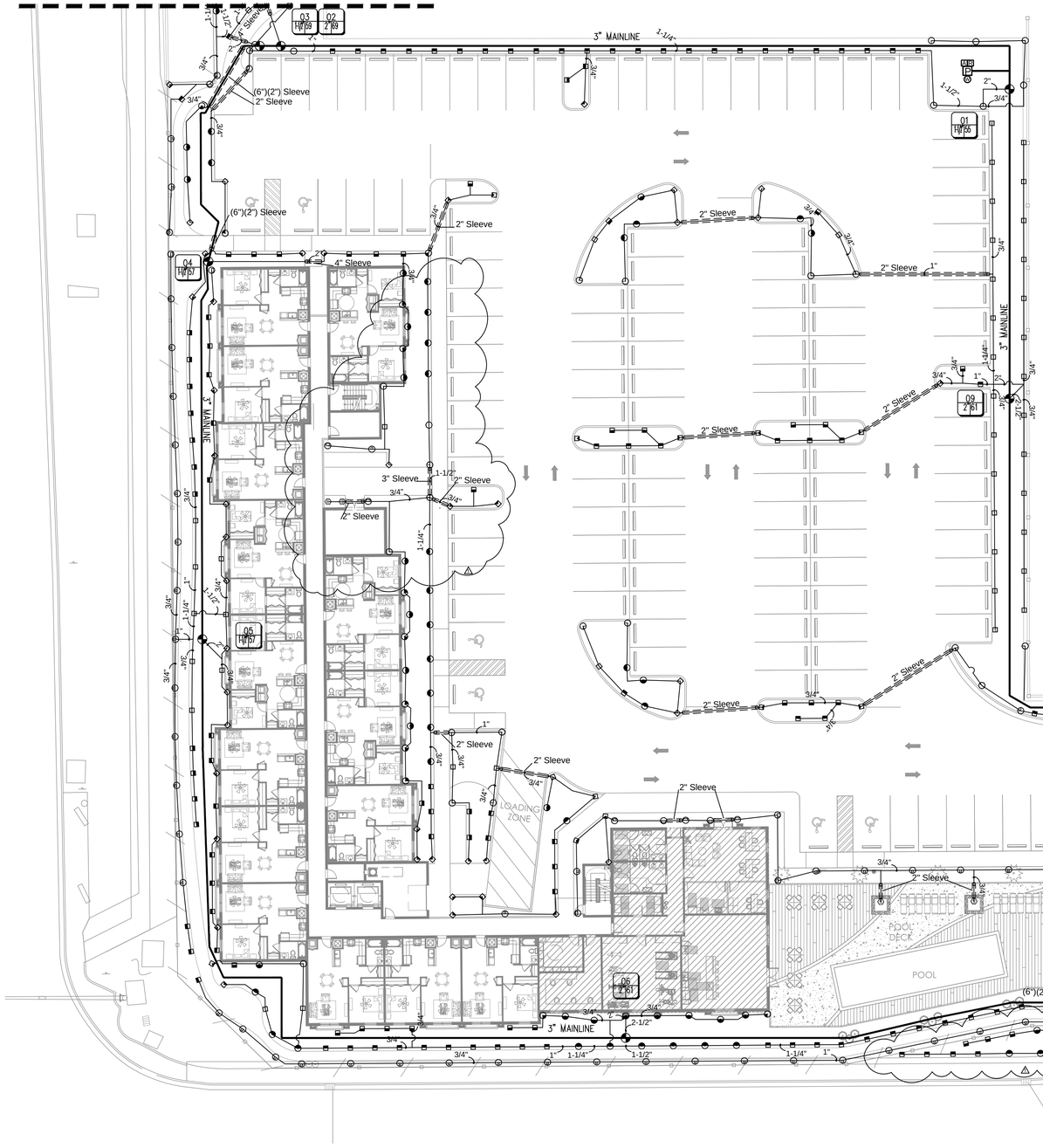
MATCHLINE (SEE RIGHT)



IRRIGATION PLAN

Scale: 1"=20'-0"

NORTH

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(954) 923-4343 Fax (954) 923-3689
www.witkindesign.com

ARBOR VIEW

Margate, Florida

OVERALL IRRIGATION PLAN

1) City Comments 04.22.2016 CJH

Drawing: Irrigation Plan

Date: 04/06/2016

Scale: See Left

Drawn by: CJH

Sheet No.:

IR-1

Cad Id.: 2016-036

Irrigation Notes

LAYOUT

LAYOUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES. MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED TO TAKE INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATIONS PRIOR TO EXCAVATING TRENCHES.

FLAG ALL SPRINKLER HEAD LOCATIONS. ADJUST LOCATION AND MAKE THE NECESSARY MODIFICATIONS TO NOZZLE TYPES ETC. AS REQUIRED TO INSURE 100% COVERAGE AND 100% OVERLAP.

LOW ANGLE TRAJECTORY NOZZLES SHALL BE USED WHEN ALL SPRINKLERS AND ROTORS ARE LOCATED WITHIN 100' OF POOLS OR PUBLIC GATHERING AREAS.

PIPE

PIPE LOCATIONS SHOWN ON PLAN ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED IN THE FIELD. WHEN LAYING-OUT MAINS AND LATERALS, LOCATE PIPE NEAR EDGES OF PAVEMENT OR AGAINST BUILDINGS WHEREVER POSSIBLE TO ALLOW SPACE FOR PLANT ROOT BALLS.

PIPING UNDER HARDSCAPES SUCH AS ROADS, WALKS, AND PATIOS ARE TO BE SLEEVED USING SCH. 40 PIPE.

PIPES 4" AND UNDER TO BE SOLVENT WELD. LARGER PIPES TO BE GASKETED 'O' RING PIPES AND USE THRUST BLOCKS OR MEGA LUGS AND DUCTILE IRON FITTINGS AT TURNING LOCATIONS.

*SIZE ALL PIPE SO NOT TO EXCEED 5' PER SECOND
*INSTALL RAIN SENSOR AS PER LOCAL CODE

PIPES CONVEYING RECLAIM WATER SHALL HAVE A 3' HORIZONTAL DISTANCE SEPERATION FROM OTHER PIPING OR UTLITILY SERVICES. AN 18" VERTICAL SEPERATION SHALL BE MAINTAINED WHEN APPLICABLE.

AIR RELEASE VALVES TO BE USED AT THE END OF ALL MAINLINE RUNS.

WIRES

LOW VOLTAGE WIRE TO BE INSTALLED ALONG MAINLINE INSTALLATION. USE 2" SCH. 40 PVC WITH SWEEP ELBOWS AT TURNING LOCATIONS WHEN SLEEVING IS REQUIRED. ALL SPLICES SHALL BE ENCLOSED WITHIN A VALVE/SPLICE BOX.

WIRE SIZED AND COLORED AS FOLLOWS:
#12 WHITE FOR COMMON
#12 SPARE BLACK COMMON (1 SPARE NEEDED PER 10 HOT WIRES)
#14 RED HOT WIRES
#14 SPARE YELLOW HOT WIRE (1 SPARES NEEDED PER 10 HOT WIRES, 3 SPARE MINIMUM)

WHEN WIRE RUNS EXCEEDS 3,500 LINEAR FEET, USE #10 FOR COMMON WIRES AND #12 FOR HOT/SPARE WIRES.

ALL IRRIGATION CONTROLLERS TO BE PROPERLY GROUNDED IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.

FLUSHING

PRIOR TO PLACEMENT OF HEADS FLUSH ALL LINES UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS.

TRENCHING

TRENCH BOTTOM TO BE UNIFORM AND FREE OF DEBRIS. NATIVE EXCAVATED MATERIAL USED TO BACKFILL TRENCH SHALL BE FREE FROM ROCKS OR STONES LARGER THAN 1" IN DIAMETER.

MISC.

PRESSURE TEST MAINLINE AS PER FLORIDA BUILDING CODE. INSTALL IRRIGATION SYSTEM AS PER LATEST EDITION OF THE FLORIDA BUILDING CODE, APPENDIX F., AND ALL PERTINENT LOCAL CODES.

SPRAY HEADS INSTALLED IN SHRUB AREAS TO BE 12 INCH POP-UPS OR INSTALLED ON RISERS.

DESIGN

THIS DESIGN IS DIAGRAMATIC. ALL IRRIGATION EQUIPMENT SUCH AS PIPES, VALVES, , ETC., SHOWN WITHIN PERVIOUS AREAS ARE FOR DESIGN CLARIFICATION ONLY. THE IRRIGATION CONTRACTOR SHALL INSTALL IRRIGATION EQUIPMENT IN PLANTING AREAS WHEREVER POSSIBLE.

THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO FAMILIARISE THEMSELVES WITH THE SCOPE OF WORK, INCLUDING BUT NOT LIMITED TO GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, UTILITIES AND EXISTING IRRIGATION EQUIPMENT. THE IRRIGATION CONTRACTOR IS RESPONSIBLE SHALL REPAIR AND/OR REPLACE ANY DAMAGE CREATED BY THEIR WORK. THEY SHALL COORDINATE HIS WORK WITH OTHER CONTRACTOR OR MUNICIPAL AUTHORITIES FOR THE LOCATION AND INSTALLATION OF IRRIGATION EQUIPMENT UNDER ROADWAYS AND PAVING, SLEEVES THROUGH WALLS AND FLOORS, ETC.

INSTALL ALL IRRIGATION EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SUBSTITUTIONS FOR IRRIGATION EQUIPMENT TO BE APPROVED BY THE IRRIGATION DESIGNER. EQUIPMENT CHANGES TO INCLUDE BUT NOT LIMITED TO PUMP, CONTROLLER, SPRAY HEADS, ROTORS, AND VALVES.

DO NOT INSTALL IRRIGATION EQUIPMENT AS SHOWN ON THE DRAWINGS WHEN FIELD CONDITIONS DIFFER. OBSTURCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY.

EQUIPMENT TABLE

Controllers

Symbol	Description
A	Rainbird ESP-Me
R	Rain Sensor

Irrigation Heads

Symbol	Description
	RAINBIRD 1800 SERIES 8 Series 6" above finish grade trajectory 5 deg 90°
	RAINBIRD 1800 SERIES 8 Series 6" above finish grade trajectory 5 deg 180°
	RAINBIRD 1800 SERIES 10 Series trajectory 15 deg 90°
	RAINBIRD 1800 SERIES 10 Series trajectory 15 deg 180°
	RAINBIRD 1800 SERIES 12 Series trajectory 30 deg 90°
	RAINBIRD 1800 SERIES 12 Series trajectory 30 deg 180°
	RAINBIRD 1800 SERIES 12 Series trajectory 30 deg 360°
	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 90°
	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 180°
	RAINBIRD 1800 SERIES 15 Strip Series trajectory 30 deg EST'
	RAINBIRD 1800 SERIES 15 Strip Series trajectory 30 deg SST'
E	RAINBIRD 1800 SERIES SQ Nozzle 4 Feet Throw EST'
S	RAINBIRD SQ Nozzles 4 Feet Throw SST'

Pipe (Lateral)

Symbol	Description
———	Class 160 PVC (Lateral)

Pipe (Mainline)

Symbol	Description
———	Schedule 40 PVC Pipe

Pipe (Sleeve)

Symbol	Description
⟸⟸⟸⟸	Schedule 40 PVC Pipe

Pumps

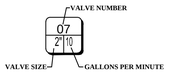
Symbol	Description
P	5 HP Pump

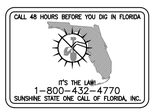
Well

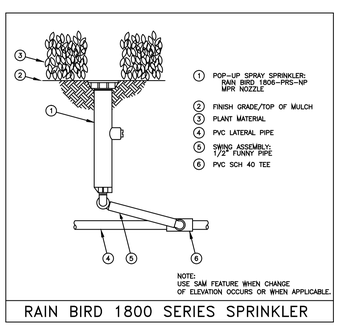
Symbol	Description
W	3" Well

Valves

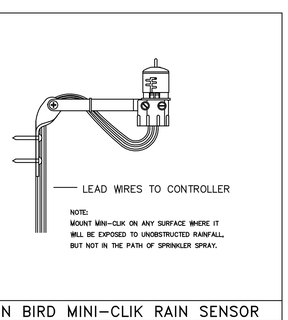
Symbol	Description
	Rainbird PGA Valve



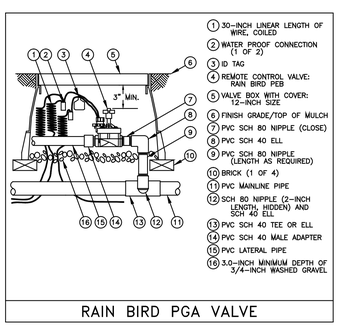




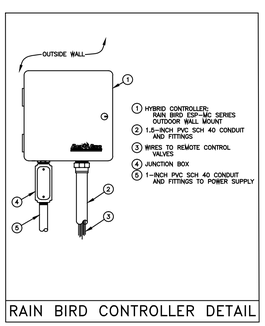
RAIN BIRD 1800 SERIES SPRINKLER



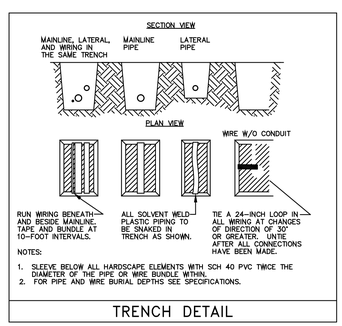
RAIN BIRD MINI-CLIK RAIN SENSOR



RAIN BIRD PGA VALVE



RAIN BIRD CONTROLLER DETAIL



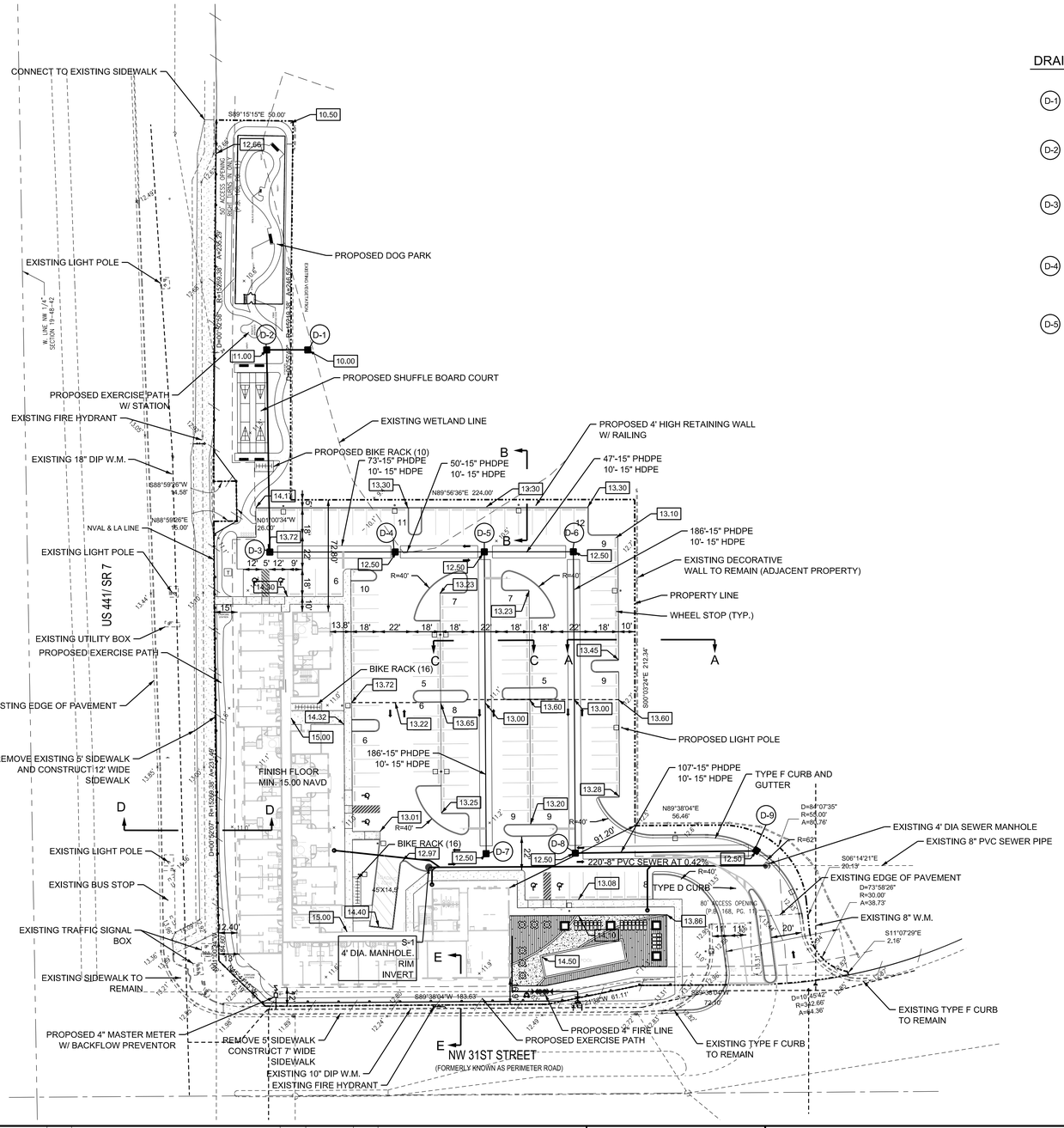
TRENCH DETAIL

WITKIN HULTS DESIGN GROUP
307 south 21st avenue hollywood florida
phone 954.923.3681 facsimile 954.923.3689
www.witkindesign.com

ARBOR VIEW
Margate, Florida
IRRIGATION DETAILS

1) City Comments 04.22.2016 CJH

Drawing: Irrigation Details
Date: 04/06/2016
Scale: NTS
Drawn by: CJH
Sheet No.:
IR-2
Cad Id.: 2016-036



DRAINAGE INLET SCHEDULE

- (D-1) TYPE D INLET
  RIM. 9.50
  INV. 5.50
- (D-2) TYPE D INLET
  RIM. 11.00
  INV. 5.50 E
  INV. 6.50 S.
- (D-3) TYPE D INLET
  CONTROL STRUCTURE
  RIM. 13.72
  INV. 7.00 N.
  INV. 8.50 E. PRB
- (D-4) TYPE D INLET
  RIM. 12.50
  INV. 8.50 E.
  INV. 8.50 W.
- (D-5) TYPE D INLET
  RIM. 12.50
  INV. 8.50 W.
  INV. 8.50 S.
  INV. 8.50 E.
- (D-6) TYPE D INLET
  RIM.12.50
  INV. 8.50 W.
  INV. 8.50 S.
- (D-7) TYPE D INLET
  RIM. 9.50
  INV. 5.50
- (D-8) TYPE D INLET
  RIM. 12.50
  INV. 8.50 N.
  INV. 8.50 E.
- (D-9) TYPE D INLET
  RIM. 12.50
  INV. 8.50 W.

N

0 40 80

FEET

SCALE: 1"=40'

LEDGEND

- LIGHT POLE
- FPL TRANSFORMER
- HANDICAP STALL
- SIGN
- PERVIOUS SIDEWALK
- CONCRETE SIDEWALK

4/23/2016

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NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: JH Date: 3/16

Drawn by: AZ Date: 3/16

Checked by: JH Date: 3/16

HSQ GROUP, INC.
Engineers · Planners · Surveyors
1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
C26258 · LB7924

ARBOR VIEW

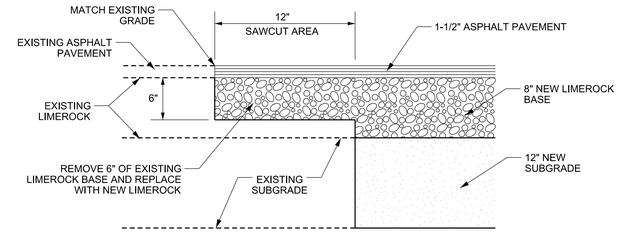
CONCEPTUAL ENGINEERING PLAN

SCALE: 1" = 50'

PROJECT NUMBER: 1510-76

SHEET NUMBER: CE-1

Date: 4/23/2016
Approved by: JAY HUEBNER, P.E.
Registered Engineer No: 54615
State of Florida



PAVEMENT CONNECTION DETAIL

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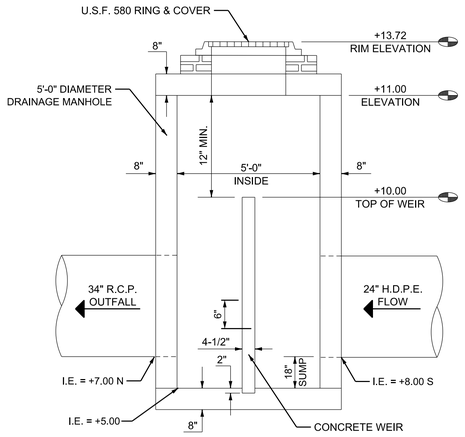
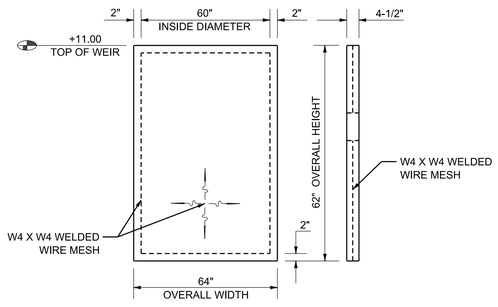


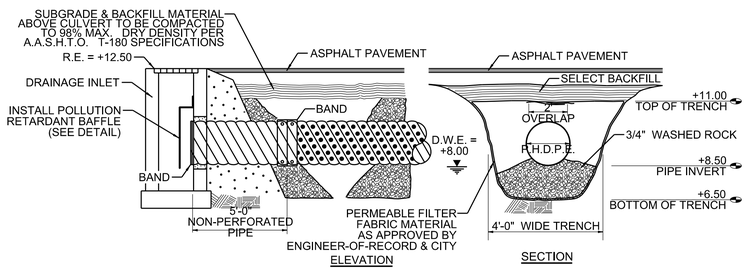
SECTION VIEW



CONCRETE WEIR DETAIL

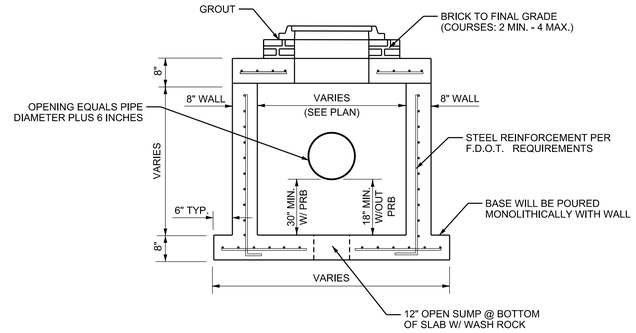
CONTROL STRUCTURE DETAIL

N.T.S.



EXFILTRATION TRENCH DETAIL

N.T.S.



MANHOLE / CATCH BASIN DETAIL

N.T.S.

PAVEMENT NOTES

1. THE PAVEMENT SURFACE SHALL BE TYPE S-3 ASPHALTIC CONCRETE. THE SURFACE SHALL BE 1 1/2 INCHES THICK, APPLIED IN TWO (2) SEPARATE LIFTS OF 3/4 INCHES EACH. A TACK COAT SHALL BE APPLIED BETWEEN BOTH PAVEMENT COURSES.
2. THE LIMEROCK BASE SHALL BE 8 INCHES THICK. THE LIMEROCK MATERIAL SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (L.B.R.) VALUE OF 100. THE LIMEROCK MATERIAL SHALL BE COMPACTED TO A DENSITY EQUAL TO OR GREATER THAN 98% OF THE MAXIMUM DRY DENSITY PER A.A.S.H.T.O. T-180 SPECIFICATIONS.
3. THE SUBGRADE SHALL BE 12 INCHES THICK. THE SUBGRADE MATERIAL SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (L.B.R.) VALUE OF 40. THE SUBGRADE MATERIAL SHALL BE COMPACTED TO A DENSITY EQUAL TO OR GREATER THAN 98% OF THE MAXIMUM DRY DENSITY PER A.A.S.H.T.O. T-180 SPECIFICATIONS.
4. THE LIMEROCK AND SUBGRADE COURSES SHALL NOT BE CONSTRUCTED UNTIL ALL UTILITY INSTALLATIONS UNDER PAVEMENT AREAS ARE COMPLETED, TESTED AND ACCEPTED. ANY PAVEMENT CONSTRUCTION PRIOR TO THIS REQUIREMENT SHALL BE CONDUCTED AT THE CONTRACTOR'S OWN RISK AND ANY REQUIRED REPAIRS WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY.
5. THE PRIME AND TACK COATS SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION (SECTIONS 300-1 THRU 300-7) SPECIFICATIONS. THE PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD OF PAVEMENT.
6. PERIODIC DENSITY TESTING SHALL BE CONDUCTED AFTER BOTH SUBGRADE AND LIMEROCK BASE COURSES HAVE BEEN COMPLETED. THE TOTAL NUMBER AND EXACT LOCATIONS OF THE TESTS SHALL BE DETERMINED BY EITHER THE ENGINEER-OF-RECORD OR GOVERNMENT INSPECTOR. THE MINIMUM AMOUNT OF TESTING SHALL BE BASED ON ONE (1) DENSITY TEST PER 5,000 SQAURE FEET OF PAVEMENT.
7. THE FIRST LIFT OF THE ASPHALTIC CONCRETE PAVEMENT SHALL BE APPLIED 1/2 INCH BELOW THE LIP OF CURB AND/OR SIDEWALK (IF APPLICABLE). THE SECOND (FINAL) LIFT SHALL EXTEND 1/4 INCH ABOVE THE LIP OF CURB AND/OR SIDEWALK. THE FINAL LIFT OF ASPHALT SHALL NOT BE APPLIED UNTIL EITHER THE CLIENT, ENGINEER-OF-RECORD AND/OR GOVERNMENT AGENCY DETERMINES THAT SUBSTANTIAL PROJECT CONSTRUCTION HAS BEEN COMPLETED.
8. ALL EXISTING ORGANIC AND DELETERIOUS MATERIALS WITHIN THE RIGHT-OF-WAY AND PAVEMENT AREAS ARE TO BE REMOVED TO THEIR FULL DEPTH AND REPLACED WITH APPROVED SUITABLE MATERIAL. UNLESS AN ALTERNATIVE METHOD IS RECOMMENDED BY A CERTIFIED GEOTECHNICAL ENGINEER. THE DETERMINATION OF ORGANIC AND UNSUITABLE MATERIALS SHALL BE BASED ON F.D.O.T. STANDARDS.
9. ALL EXISTING PAVEMENT CONNECTIONS AND REPAIRS SHALL HAVE A STRAIGHT SAW-CUT EDGE PRIOR TO APPLYING NEW ASPHALT.
10. ONCE FINAL LIFT OF ASPHALT HAS BEEN APPLIED, ALL PERMANENT CONTROL POINTS, REFERNCE MARKERS, VALVES, INLET AND MANHOLE RIMS SHALL BE ADJUSTED TO FINAL GRADE.
11. PAVING SHALL NOT COMMENCE UNTIL ROCK AS-BUILTS HAVE BEEN APPROVED BY THE ENGINEER OF RECORD AND THE CITY INSPECTOR.

DRAINAGE NOTES

1. HDPE DRAINAGE PIPE (ADS N-12 ST IB), 12"-60", MUST MEET AASHTO M294, TYPE S OR ASTM F2306.
2. DRAINAGE CONCRETE STRUCTURES SHOULD BE AMDE WITH REBAR-GRADE 60, WELDED WIRE MESH GRADE 65 KSI, MONOLITHIC BASE POUR, 4,000 PSI @ 28 DAYS, 8" THICK WALLS.
3. MANHOLE PAINT: KOPPER 300. FIRST COAT RED, 24 HRS LATER FINAL COAT BLACK.

BACKFILLING NOTES

1. EXISTING CANAL EMBANKMENT FILL REQUIRMENTS:
   All EXISTING ORGANIC MATERIAL MUST BE REMOVED FROM CANAL/DITCHES BEFORE BACKFILLING. THE DETERMINATION FOR ORGANIC AND UNSUITABLE MATERIALS SHALL BE BASED UPON FDOT STANDARDS AND VERIFIED BY THE GEOTECHNICAL ENGINEER.
2. SELECT (S) MATERIALS MEETING AASHTO M 145 STANDARDS A-1, A-3, A2-4 MUST BE USED WHERE PAVEMENT OR STRUCTURAL ELEMENTS ARE PROPOSED ABOVE THE FILL AREA TO THE SUB BASE. THE MATERIAL MUST BE COMPATED TO 95% OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 ABOVE THE WATER TABLE. ALL MATERIAL MUST PASS A 2" SIEVE SIZE. FILLING MUST MEET FDOT INDEX 505.
3. WHERE FILLING IS BELOW PROPOSED GREEN AREAS THAT DO NOT HAVE PROPOSED STRUCTURAL REQUIREMENTS SELECT MATERIALS (S) OR PLASTIC MATERIAL (P) MAY BE USED ABOVE THE WATER TABLE TO 24" FROM THE FINAL SURFACE ELEVATION. ORGANIC MATERIAL SHALL BE USED FOR THE REMAINING 24"FOR LANDSCAPE MATERIAL. ALL MATERIAL MUST PASS A 2"SIEVE SIZE

4/23/2016

48 HOURS BEFORE DIGGING
BROWARD • PALM BEACH • INDIAN RIVER
ST LUCIE • MARTIN COUNTIES
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE 1 CALL UNDERGROUND UTILITIES NOTIFICATION CENTER

NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: JH Date: 02/16
Drawn by: AZ Date: 02/16
Checked by: JH Date: 02/16

HSQ GROUP, INC.
Engineers · Planners · Surveyors
1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
C26258 · LB7924

ARBOR VIEW

PAVING AND DRAINAGE DETAILS

SCALE: NTS
PROJECT NUMBER: 1510-76
SHEET NUMBER: CE-3

Date: 4/23/2016
Approved by: JAY HUEBNER, P.E.
Registered Engineer No: 54615
State of Florida

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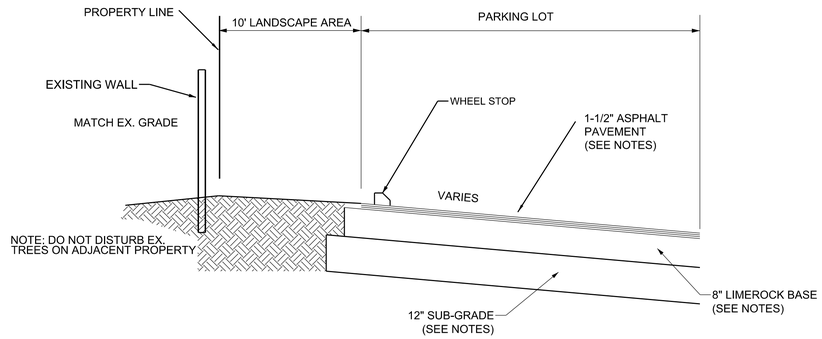
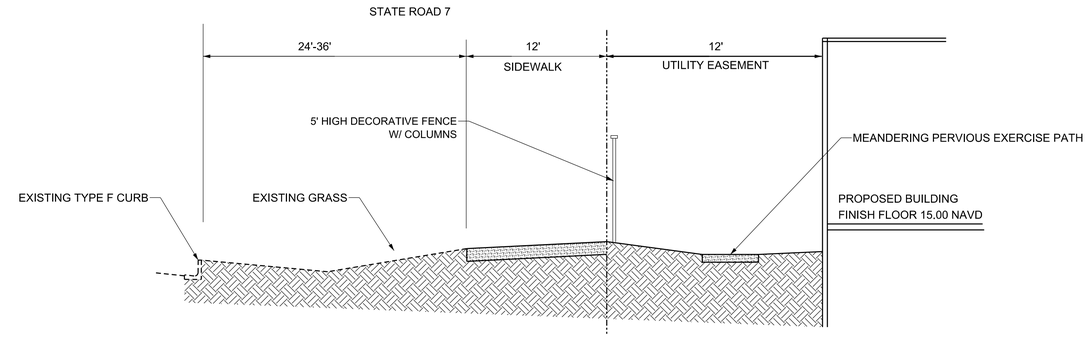


EAST PROPERTY LINE SECTION A-A

N.T.S.



WEST PROPERTY LINE SECTION D-D

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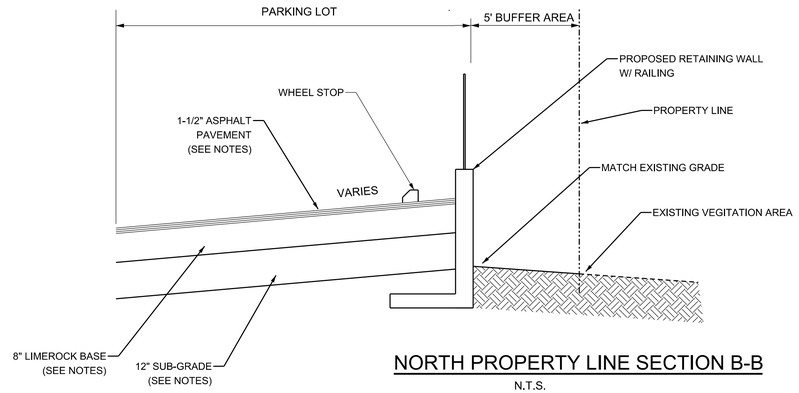
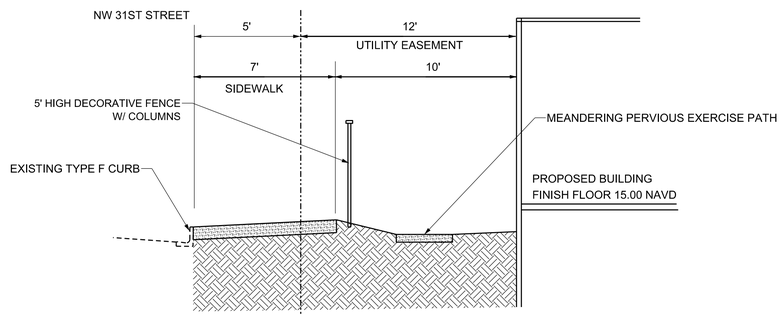


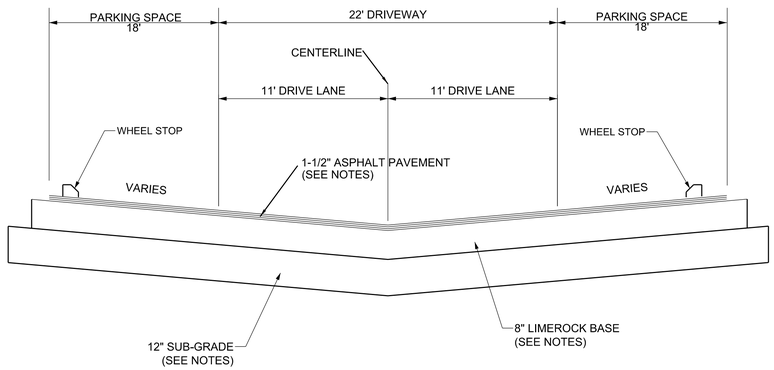
NORTH PROPERTY LINE SECTION B-B

N.T.S.



SOUTH PROPERTY LINE SECTION E-E

N.T.S.



TYPICAL PARKING LOT SECTION C-C

N.T.S.

NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: JH Date: 02/16
Drawn by: AZ Date: 02/16
Checked by: JH Date: 02/16

HSQ GROUP, INC.
Engineers · Planners · Surveyors
1489 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486 · 561.392.0221
C26258 · LB7924

ARBOR VIEW

SITE CROSS SECTIONS

SCALE: NTS
PROJECT NUMBER: 1510-76
SHEET NUMBER: CE-2

Date: 4/23/2016
Approved by: JAY HUEBNER, P.E.
Registered Engineer No: 54615
State of Florida

4/23/2016

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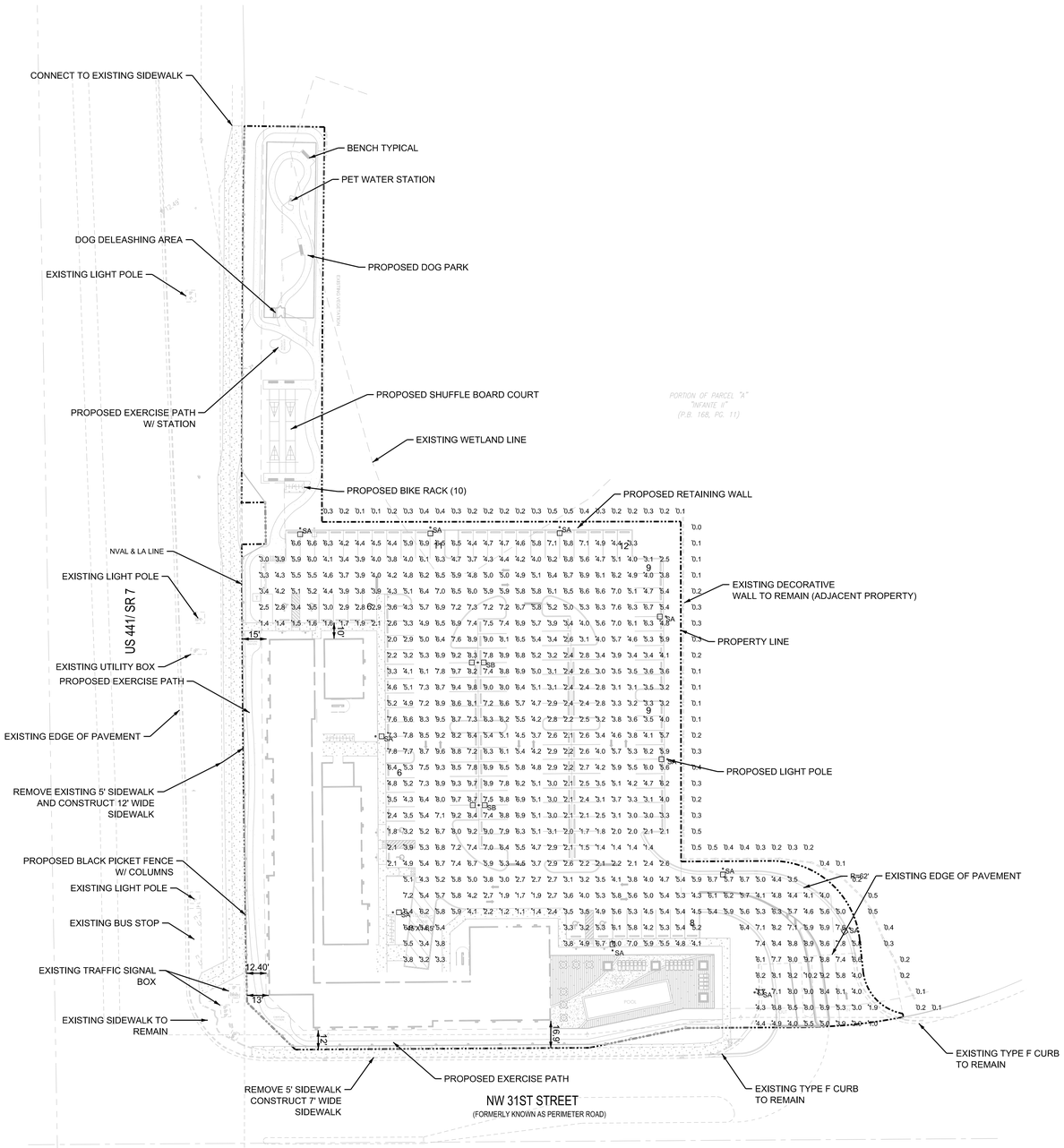


ARCEOS™ ARA SERIES NEW

AREA/SITE

Cat.#

Job

Type

SPAULDING LIGHTING

Approvals

SPECIFICATIONS

Intended Use:
Pole mounted applications from twenty to forty feet. Applications include parking areas adjacent to Home Centers, Big-Box Retailers, Retail Centers, Stadiums, Arenas, and applications for campus parking areas, Auto Dealerships, and transportation hubs.

Construction:
- Innovative product design delivers exceptional thermal management in an highly styled luminaire
- Manufactured with a die cast, low copper content, aluminum housing coated with a Lektrocote® polyester finish ensures excellent exterior durability
- Two directional air flow maximizes heat dissipation to prolong electrical component life and luminaire performance
- Performance is further optimized with thermal separation between LED light engines and LED drivers

LED/Optics:
- 32L configuration - 26,000 lumens, 293w
- 48L configuration - 40,000 lumens, 435w
- 64L configuration - 51,000 lumens, 580w
- PMMA lenses provide IES Types III, IV & V
- Specific optical distributions for Automobile dealerships are available
- Back light control is available for applications sensitive to light trespass; zero uplight ensures IDA approval; field rotation eases lighting design implementation
- Color temperatures offered: 3000K (80 CRI), 4000K (70 CRI), 5000K (70 CRI)

Electrical:
- Universal input voltage 120-277VAC, 50/60 Hz and 347-480VAC
- Ambient operating temperature range -40C to 40C
- Surge protection – 20KA; Shuts off at end of life

Controls/Options:
- Features wiSCAPE technology wireless system for on/off and 0-10VDC full range dimming control; programmable autonomous operation
- 0-10V dimming standard
- NEMA twistlock Photocells for On/Off control
- Occupancy sensors with On/Off and dimming control

Installation:
- Universal arm mounting and Mast arm options allow for installation flexibility for new construction and retrofit projects
- Modular design allows for 1 person installation

Finish:
- TGIC thermoset polyester paint finish applied at nominal 2.5 mil thickness

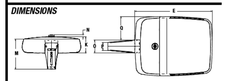
Listings:
- CSA Listed to UL1598 Wet Locations
- Models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: http://www.designlights.org/QPL
- IDA approved
- IP65
- Suitable for 3G applications prescribed by ANSI C136.31

Warranty:
Five year limited warranty (for more information visit: http://www.hubbelloutdoor.com/resources/warranty/

PRODUCT IMAGE(S)

ARA-32L ARA-48L ARA-64L

DIMENSIONS



A	B	C	D	E	F	G	H	I
11.62" 295mm	8.96" 230mm	19.50" 495mm	46.00" 1168mm	34.07" 865mm	2.34" 59mm	11.86" 301mm	20.75" 527mm	2.56" 65mm

J	K	L	M	N	O	P	Q
3.74" 95mm	7.26" 184mm	26.00" 660mm	13.39" 337mm	75° 19mm	5.74" 145mm	3.47" 88mm	10.10" 256mm

Arm	Driver Enclosure	LED Array	Total Weight
8.8 lbs. 3.9 kgs.	29.75 lbs. 13.5 kgs.	37.25 lbs. 16.9 kgs.	75.8 lbs. 34 kgs.

EPA

Config.	EPA
1	1.4
2 @ 90°	2.4
2 @ 180°	2.8
3 @ 120°	2.9
3 @ 90°	2.9
4 @ 90°	2.9

CERTIFICATIONS/LISTINGS

IP65

ORDERING INFORMATION SEE NEXT PAGE

SPAULDING LIGHTING Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

N

0 40 80

FEET

SCALE: 1"=40'

LEDGEND

- LIGHT POLE
- FPL TRANSFORMER
- HANDICAP STALL
- SIGN
- PERVIOUS SIDEWALK
- CONCRETE SIDEWALK

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Fille	LLF	Watts
	SA	11	SPAULDING LIGHTING ARA3 A 32L 5K 070 4 U COLOR (POLE MT @ 25 FT AFG)	ARA3-32L-5K-070-4.IES	0.85	295
	SB	2	SPAULDING LIGHTING ARA3 A 32L 5K 070 5S U COLOR (POLE MT @ 25 FT AFG)	ARA3-32L-5K-070-5S.IES	0.85	590

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	5.1 fc	10.2 fc	1.0 fc	10.2:1	5.1:1

NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: JH Date: 3/16

Drawn by: AZ Date: 3/16

Checked by: JH Date: 3/16

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C26258 · LB7924

ARBOR VIEW

PHOTOMETRIC PLAN

SCALE: 1" = 50'

PROJECT NUMBER: 1510-76

SHEET NUMBER: PH-1

Date: 4/23/2016
Approved by: JAY HUEBNER, P.E.
Registered Engineer No: 54616
State of Florida

4/23/2016

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