

MARGATE DOG PARK

CITY OF MARGATE, FLORIDA

65% CONSTRUCTION DOCUMENTS

DATE OF ISSUE: 2016-10-18



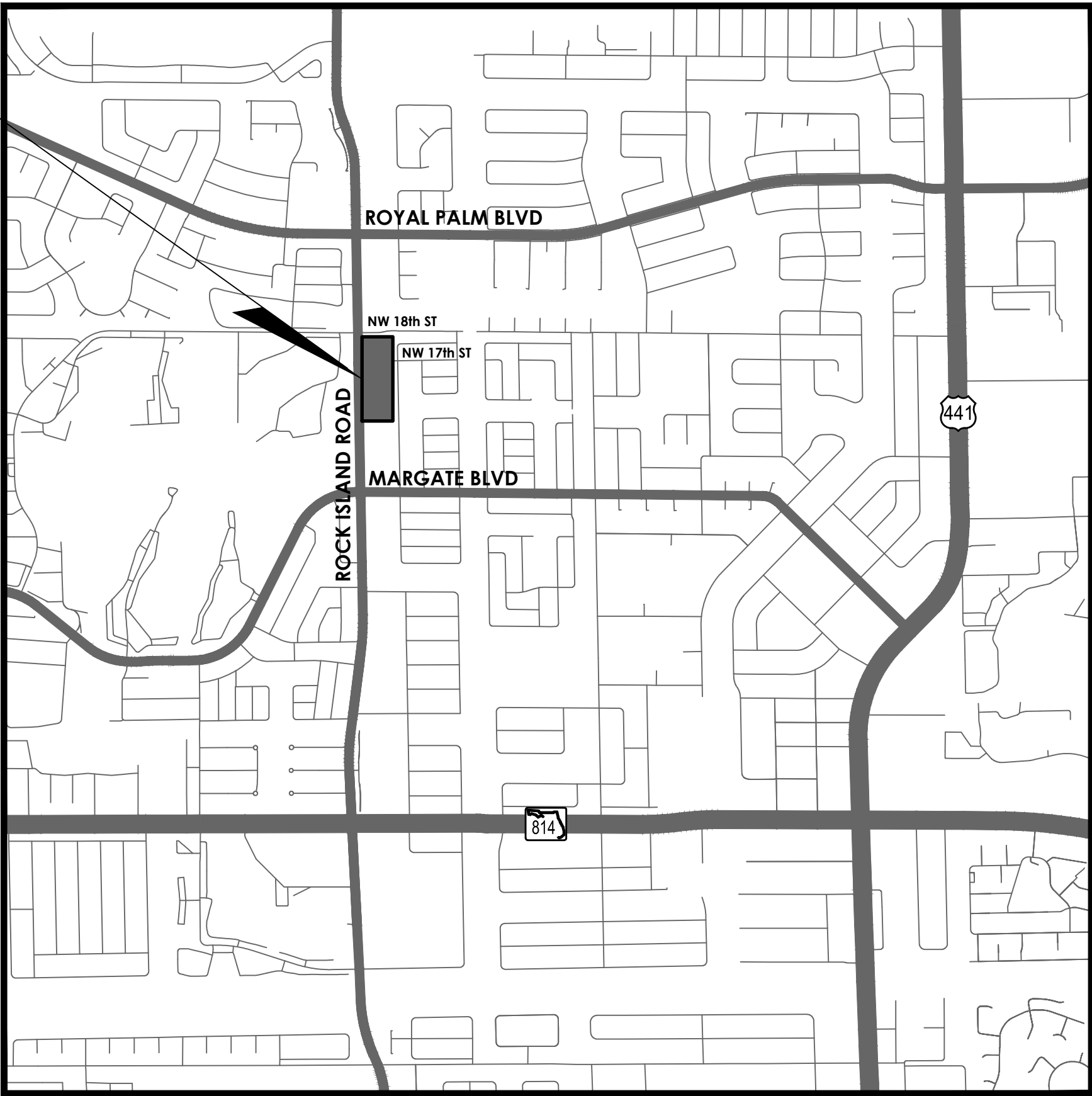
CITY OF MARGATE / PARKS AND RECREATION DEPARTMENT
6199 NW 10th Street
Margate, Florida 33063
Phone: 954.972.6458

AGENCY COMMISSION/COUNCIL

Joyce W. Bryan
Tommy Ruzzano
Lesa Peerman
Joanne Simone
Frank B. Talerico

Mayor
Vice Mayor
Commissioner
Commissioner
Commissioner

PROJECT
LOCATION



LOCATION MAP

N.T.S.

Always call 811 two full business days before you dig to
have underground utilities located and marked.



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&ASSOCIATES

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Suite 630
Ft. Lauderdale, FL 33309
954.730.0707

www.chenmoore.com

CERTIFICATES OF AUTHORIZATION

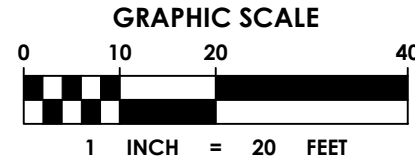
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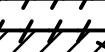
PROJECT NUMBER
16-088.006

CLIENT PROJECT NUMBER
PO#160934

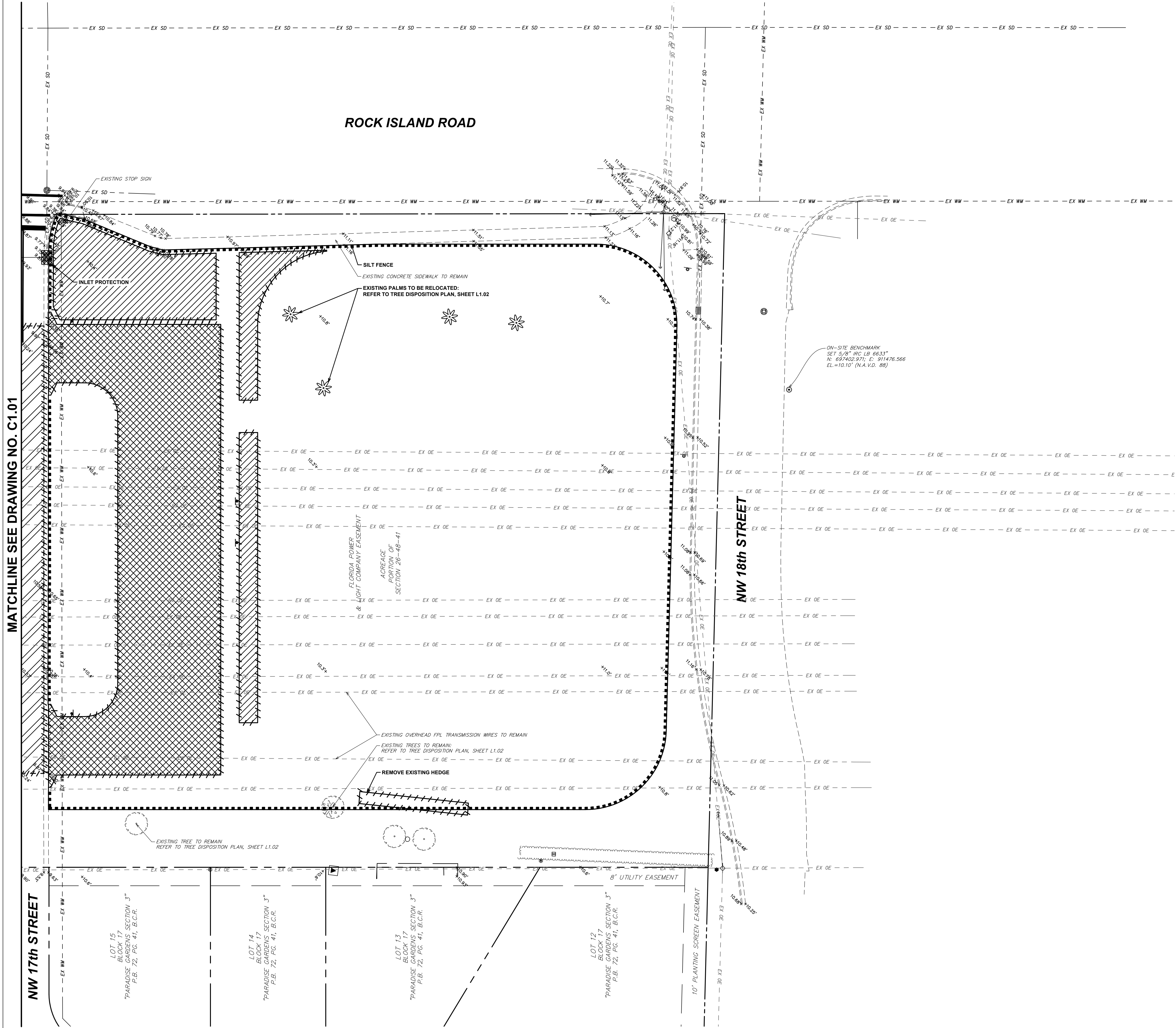
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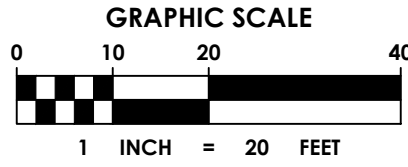
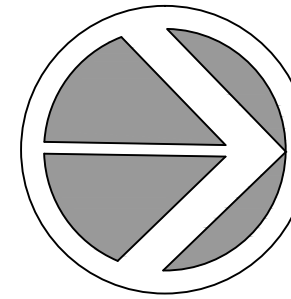
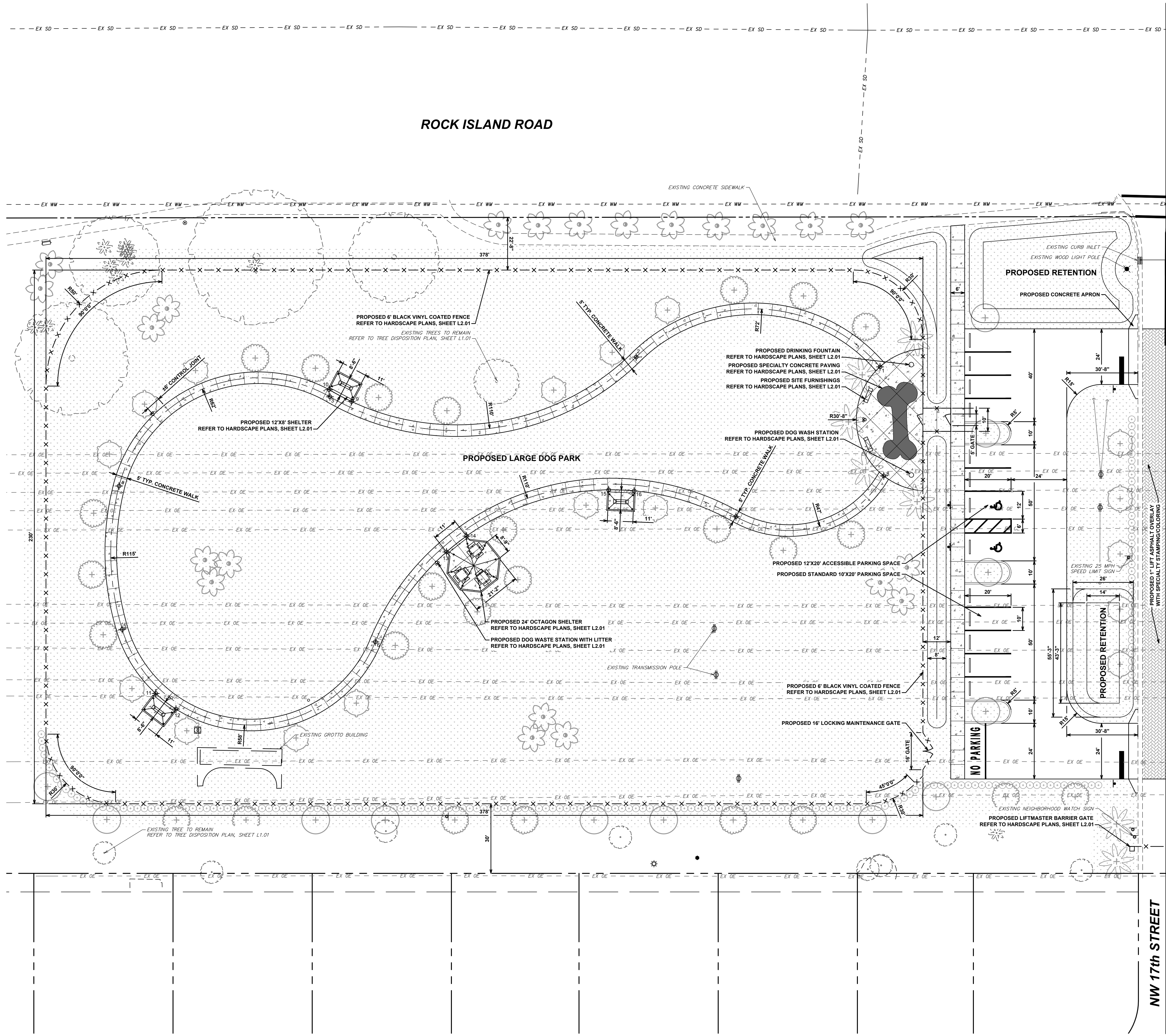
1 OF 19



<u>SYMBOL</u>	<u>DESCRIPTION</u>
	PROPOSED PARKING AREA TO BE CLEARED AND GRADED
	PROPOSED RETENTION AREA TO BE EXCAVATED
	MILL 1" OF EXISTING ASPHALT AREA

NW 17th STREET





GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, WHETHER SHOWN OR NOT, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
2. THE HORIZONTAL AND VERTICAL LOCATIONS OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON FIELD OBSERVATION AND/OR AVAILABLE PLANS. THE EXACT LOCATION MAY VARY. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.
3. ALL EXISTING MANHOLES, VALVES, ETC. ARE TO BE ADJUSTED TO MATCH PROPOSED ELEVATIONS.
4. ANY EXISTING ITEM DISTURBED DURING CONSTRUCTION IS TO BE RESTORED TO EQUAL OR BETTER QUALITY.
5. PAVEMENT AND DRIVEWAY RESTORATION ARE TO MATCH EXISTING GRADE UNLESS OTHERWISE NOTED.
6. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
7. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
8. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF POWER LINES.

POINT SCHEDULE

POINT	DESCRIPTION	NORTHING	EASTING
1	Sidewalk Centerline	N 696946.6098	E 911472.8037
2	Sidewalk Centerline	N 696841.4230	E 911470.2718
3	Sidewalk Centerline	N 696709.7375	E 911489.5715
4	Sidewalk Centerline	N 696619.4712	E 911529.4949
5	Sidewalk Centerline	N 696621.8416	E 911591.2661
6	Sidewalk Centerline	N 696731.0243	E 911594.8256
7	Sidewalk Centerline	N 696885.5518	E 911538.3554
8	Sidewalk Centerline	N 696948.9788	E 911519.7390
9	Pavilion Slab	N 696719.1108	E 911491.4461
10	Pavilion Slab	N 696709.2862	E 911486.4984
11	Pavilion Slab	N 696636.7281	E 911618.6345
12	Pavilion Slab	N 696645.5587	E 911625.1935
13	Pavilion Slab	N 696761.0860	E 911555.5981
14	Pavilion Slab	N 696769.5971	E 911548.6295
15	Pavilion Slab	N 696830.5006	E 911527.7198
16	Pavilion Slab	N 696841.4973	E 911527.9908
17	Sidewalk Centerline	N 697192.0564	E 911468.0705
18	Sidewalk Centerline	N 697215.9166	E 911453.1304
19	Sidewalk Centerline	N 697275.7501	E 911627.9993
20	Sidewalk Centerline	N 697236.6899	E 911584.3011
21	Sidewalk Centerline	N 697213.1886	E 911521.8792
22	Sidewalk Centerline	N 697195.8590	E 911512.1180
23	Pavilion Slab	N 697286.8630	E 911468.5001
24	Pavilion Slab	N 697295.3260	E 911475.5270
25	Pavilion Slab	N 697320.0519	E 911512.6466
26	Pavilion Slab	N 697323.2752	E 911523.1637
27	Pavilion Slab	N 697250.5793	E 911632.6552
28	Pavilion Slab	N 697240.9081	E 911627.4141

MATCHLINE SEE DRAWING NO. L2.02

REGISTRATION
JASON J. MCCLAIR
REGISTRATION NO. 56962
DATE: _____

SUB-CONSULTANT

CLIENT



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VERIFY SCALES
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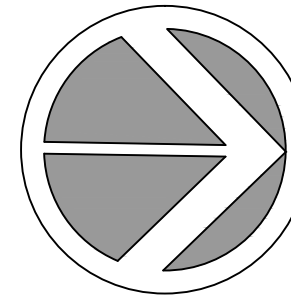
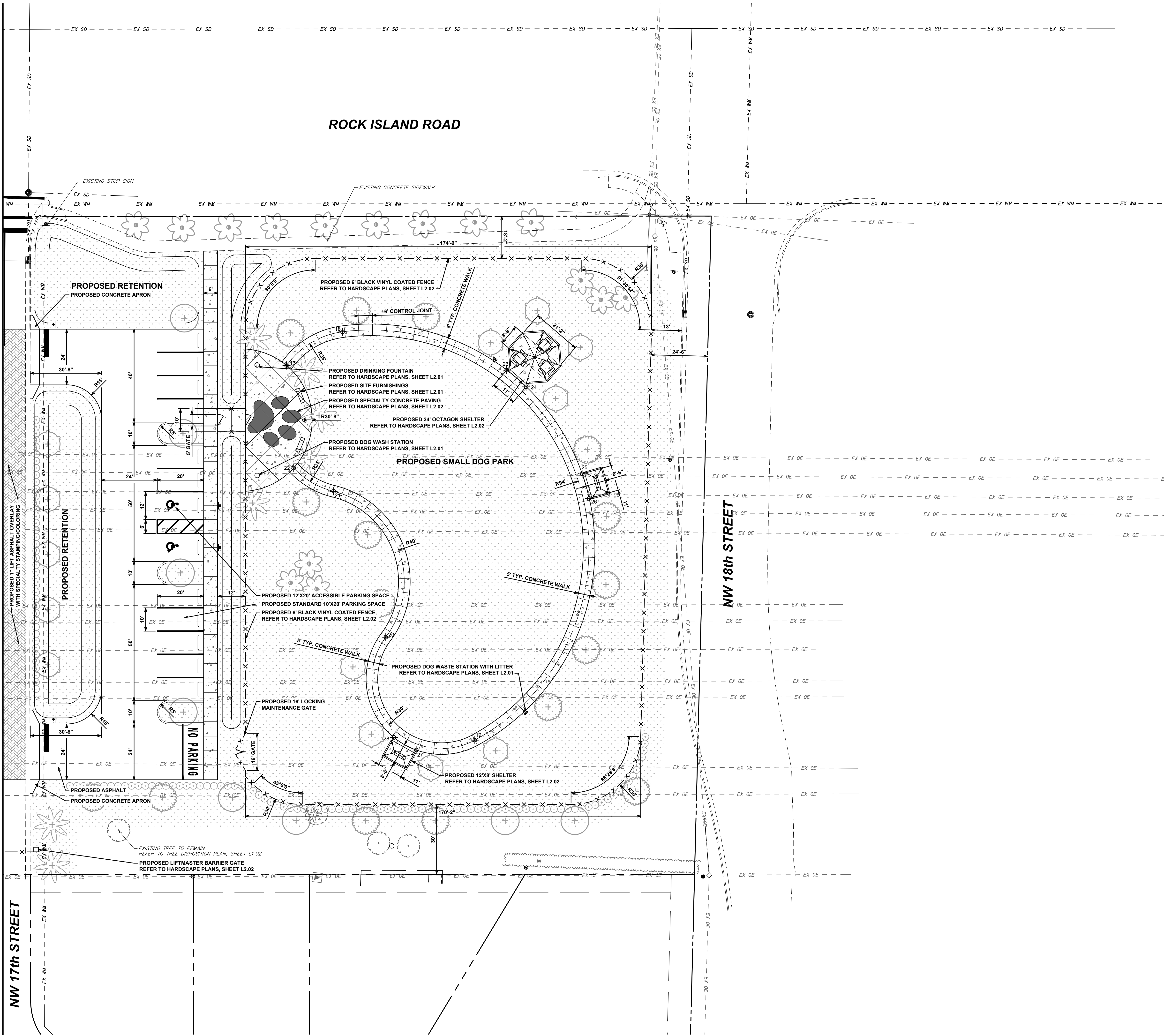
DRAWING TITLE

SITE PLAN

DRAWING NUMBER

C2.01
4 OF 19

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GRAPHIC SCALE
0 10 20 40
1 INCH = 20 FEET

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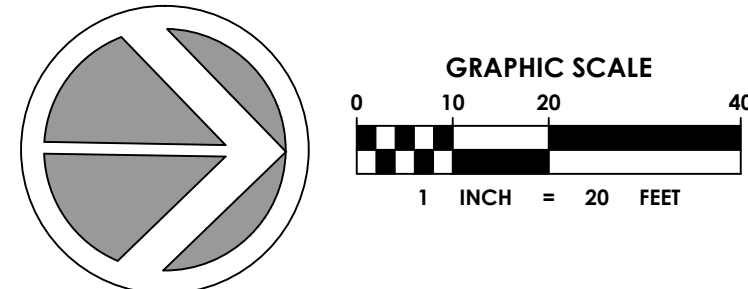
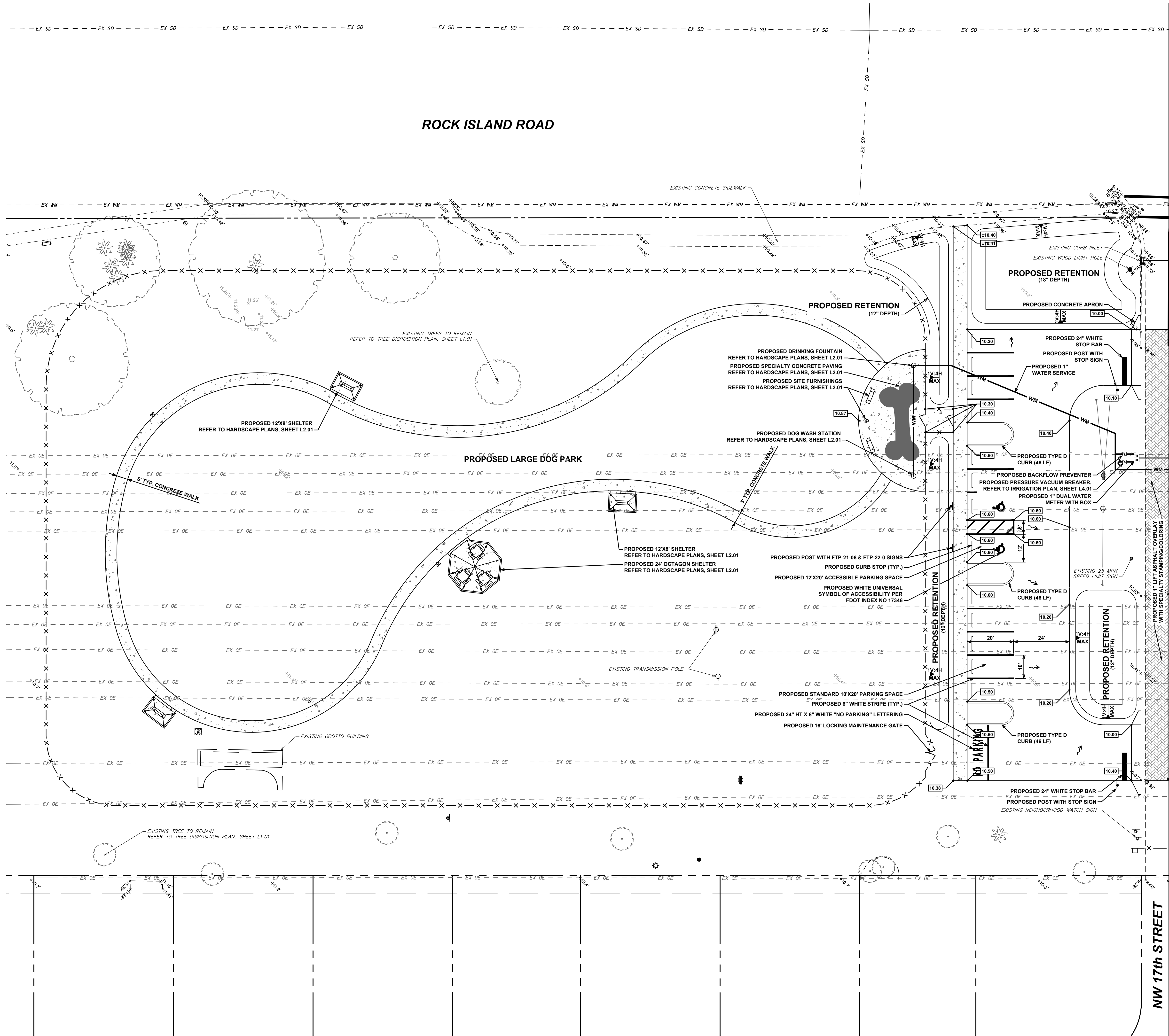
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SITE PLAN

DRAWING NUMBER

C2.02
5 OF 19



PAVING GRADING DRAINAGE

1. ALL SIDEWALKS SHALL MEET ALL A.D.A. REQUIREMENTS (5% MAX. LONGITUDINAL SLOPE AND 2% MAX. TRANSVERSE SLOPE).
2. ALL INLETS SHALL BE TYPE 'C' AND MANHOLES SHALL BE TYPE 'P-7' 4'Ø, ALL H-20 RATED, UNLESS OTHERWISE NOTED ON PLAN.
3. CONCRETE PIPE FOR STORM SEWERS SHALL CONFORM TO ASTM L76-79, TABLE III, WALL B, OR LATEST REVISION. ALL PIPE SHALL HAVE MODIFIED TONGUE AND GROOVE JOINTS, AND HAVE RUBBER GASKETS, UNLESS OTHERWISE SPECIFIED.
4. BEDDING AND INITIAL BACKFILL OVER DRAINAGE PIPE SHALL BE SAND WITH NO ROCK LARGER THAN 1" DIAMETER.
5. BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
6. BACKFILL MATERIAL UNDER AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
7. DRAINAGE STRUCTURES AND LINES TO BE CLEANED PRIOR TO ENGINEER'S ACCEPTANCE.
8. CONTRACTOR TO PROVIDE DETAILED AS-BUILTS SURVEYS THAT CLEARLY DEFINE THE AREAS OF WORK COMPLETED UNDER THIS CONTRACT INCLUDING BUT NOT LIMITED TO ALL RIM ELEVATIONS (EXISTING AND PROPOSED STRUCTURES), ALL INVERTS, BOTTOM OF STRUCTURE, SUFFICIENT SWALE ELEVATIONS TO DEMONSTRATE THAT SWALES DRAIN TO INLETS, LOCATION OF EXFILTRATION TRENCH, LOCATION OF DRIVEWAY RESTORATION, AND RESTORED ASPHALT PAVEMENT.

WATER AND SEWER

1. CONTRACTOR SHALL PLAN ALL UTILITY CROSSINGS TO CONFIRM HORIZONTAL AND VERTICAL SEPARATIONS PRIOR TO CONSTRUCTION.
2. WATER & SEWER LINES SHALL BE LAID WITH A MINIMUM SIX (6) FOOT LATERAL SEPARATION FROM OBSTRUCTIONS (I.E. CULVERTS, STRUCTURES, ETC.) AND A MINIMUM TEN (10) FOOT CLEARANCE FROM TREES. FIRE HYDRANTS SHALL HAVE A 7.5' CLEAR RADIUS OF ANY OBSTRUCTIONS.
3. WATER MAIN SHALL CROSS OVER DRAINAGE & SEWER LINES UNLESS OTHERWISE SPECIFIED ON PLAN. 10' MINIMUM HORIZONTAL CLEARANCE IS REQUIRED BETWEEN WATER MAIN AND FORCE MAIN.
4. THE EXISTING WATER MAINS AND FIRE HYDRANTS THAT ARE TO BE REMOVED SHALL REMAIN ACTIVE UNTIL A CLEARANCE LETTER HAS BEEN ISSUED AND THE NEW WATER MAINS AND FIRE HYDRANTS ARE ACTIVATED.
5. CONTRACTOR TO PROVIDE DETAILED AS-BUILTS SURVEYS THAT CLEARLY DEFINE THE AREAS OF WORK COMPLETED UNDER THIS CONTRACT INCLUDING BUT NOT LIMITED TO TOP OF PIPE ELEVATION, TOP OF ALL FITTINGS, ETC.

SIGNING AND MARKING

1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
2. BI-DIRECTIONAL YELLOW/YELLOW REFLECTIVE PAVEMENT MARKERS SHALL BE PROVIDED AT 40' INTERVALS CENTERED BETWEEN YELLOW SKIP STRIPES.
3. ONE BI-DIRECTIONAL YELLOW/YELLOW REFLECTIVE MARKER SHALL BE PROVIDED AT 40' INTERVALS ON EACH SIDE OF DOUBLE YELLOW STRIPES.
4. ONE BI-DIRECTIONAL YELLOW/YELLOW REFLECTIVE PAVEMENT MARKER SHALL BE PROVIDED AT EACH END OF 18" YELLOW STRIPES ON EACH SIDE OF DOUBLE YELLOW STRIPES.
5. BI-DIRECTIONAL COLORLESS/RED REFLECTIVE PAVEMENT MARKERS SHALL BE PROVIDED AT 20' INTERVALS ALONG SOLID WHITE LINES (NOT ON EDGE OF PAVEMENT LINES).
6. BI-DIRECTIONAL YELLOW/YELLOW REFLECTIVE PAVEMENT MARKERS SHALL BE PROVIDED AT 1' INTERVALS AT ALL BULLNOSES.
7. ALL SIGNING, PAVEMENT MARKINGS AND PLACEMENT OF REFLECTIVE PAVEMENT MARKERS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES MANUAL (MUTCD), LATEST VERSION.
8. ALL PAVEMENT MARKING SHALL BE HOT APPLIED THERMOPLASTIC MANUFACTURED AND APPLIED IN ACCORDANCE WITH FOOT STANDARD SPECIFICATION SECTION 711, LATEST EDITION.
9. REFLECTIVE PAVEMENT MARKERS SHALL BE CLASS B MARKERS MANUFACTURED IN ACCORDANCE WITH FOOT STANDARD SPECIFICATION 706, LATEST EDITION AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PROCEDURES.
10. ALL SIGNS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
11. ALL 'R1-1' & 'D3' SIGNS SHALL BE DIAMOND GRADE.
12. THE PUBLIC ROADWAYS INDICATED IN THESE PLANS HAVE BEEN DESIGNED SUBSTANTIALLY IN ACCORDANCE WITH 'THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS STATE OF FLORIDA'.
13. METHOD OF REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE BY WATER JETTING OR SAND BLASTING.
14. THE CONTRACTOR SHALL VERIFY PROPER STREET NAMES AND NUMBERS WITH AN APPROVED ADDRESS PLAN PRIOR TO ORDERING AND INSTALLING 'D3' SIGNS.

MATCHLINE SEE DRAWING NO. C3.02

NW 17th STREET

REGISTRATION
JASON J. MCCLAIR
REGISTRATION NO. 56962
DATE: _____

SUB-CONSULTANT

CLIENT



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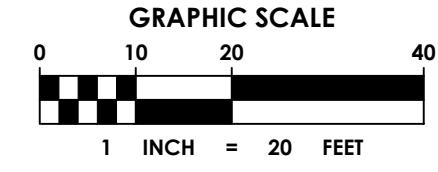
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CIVIL PLAN

DRAWING NUMBER

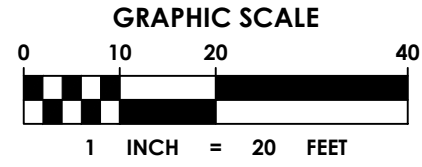
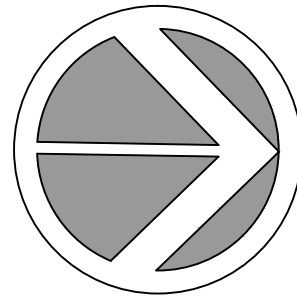
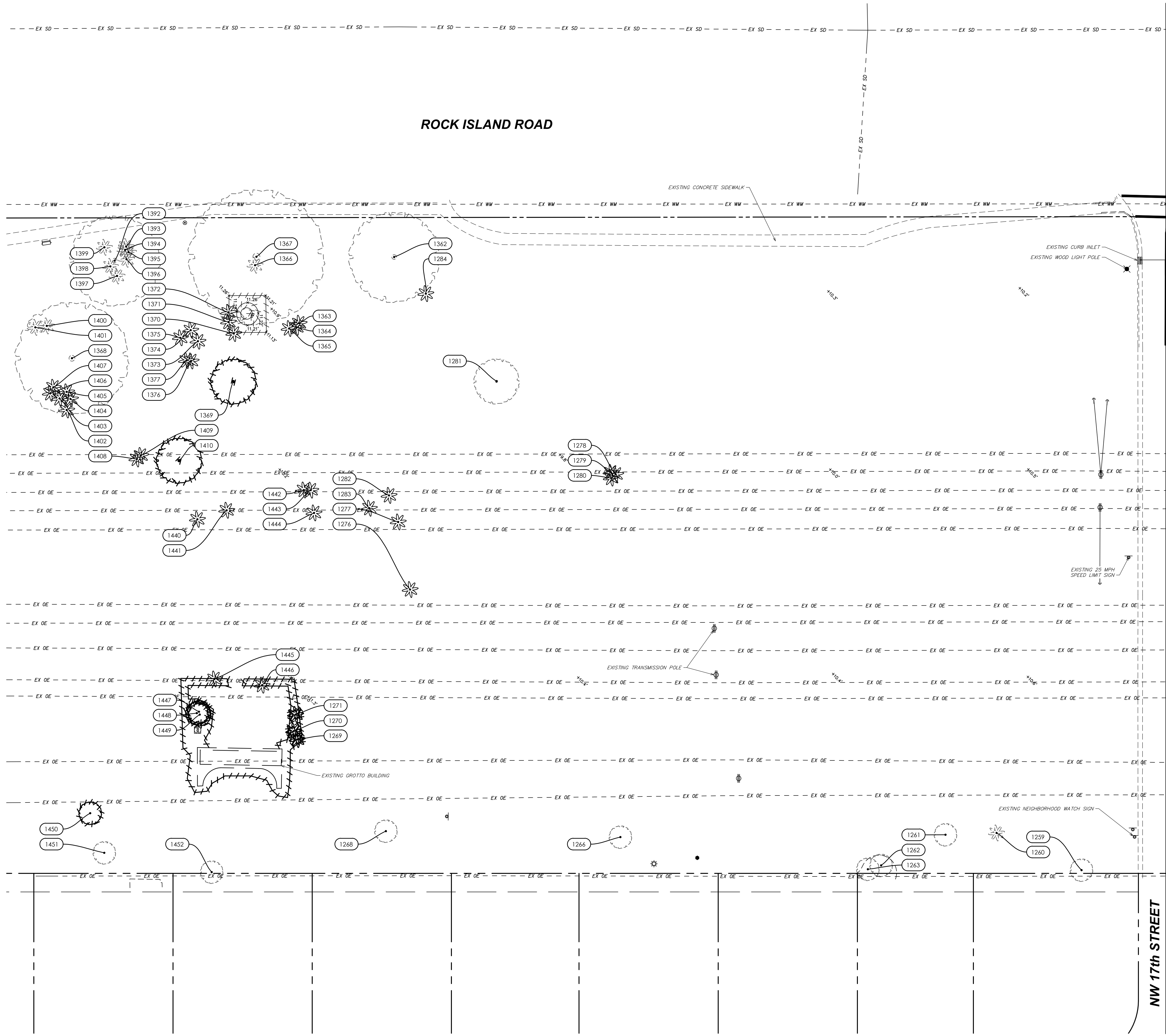
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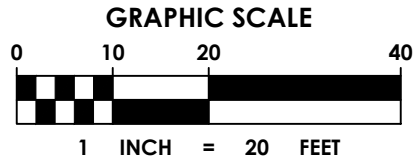
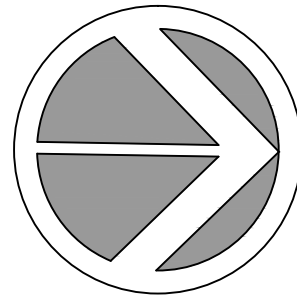
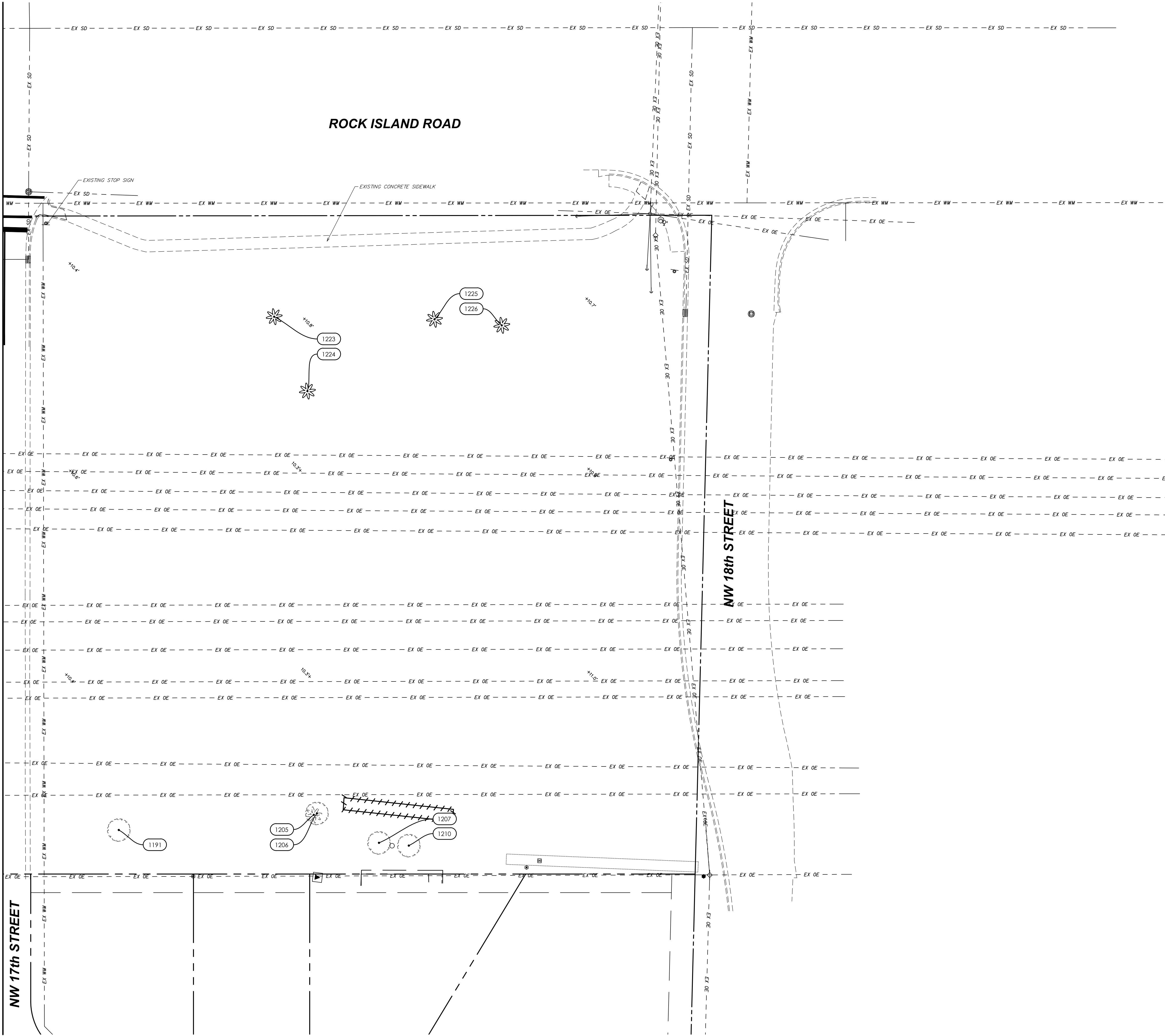
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CHEN•MOORE
&ASSOCIATES
500 West Cypress Creek Road
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Ft. Lauderdale, FL 33309
954.730.0707
www.chenmoore.com
CERTIFICATES OF AUTHORIZATION
EB4593 LC26000425

REGISTRATION
CRISTOBAL A. BETANCOURT
REGISTRATION NO. 6666941
DATE: _____

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PARK**

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**TREE DISPOSITION
PLAN**

DRAWING NUMBER

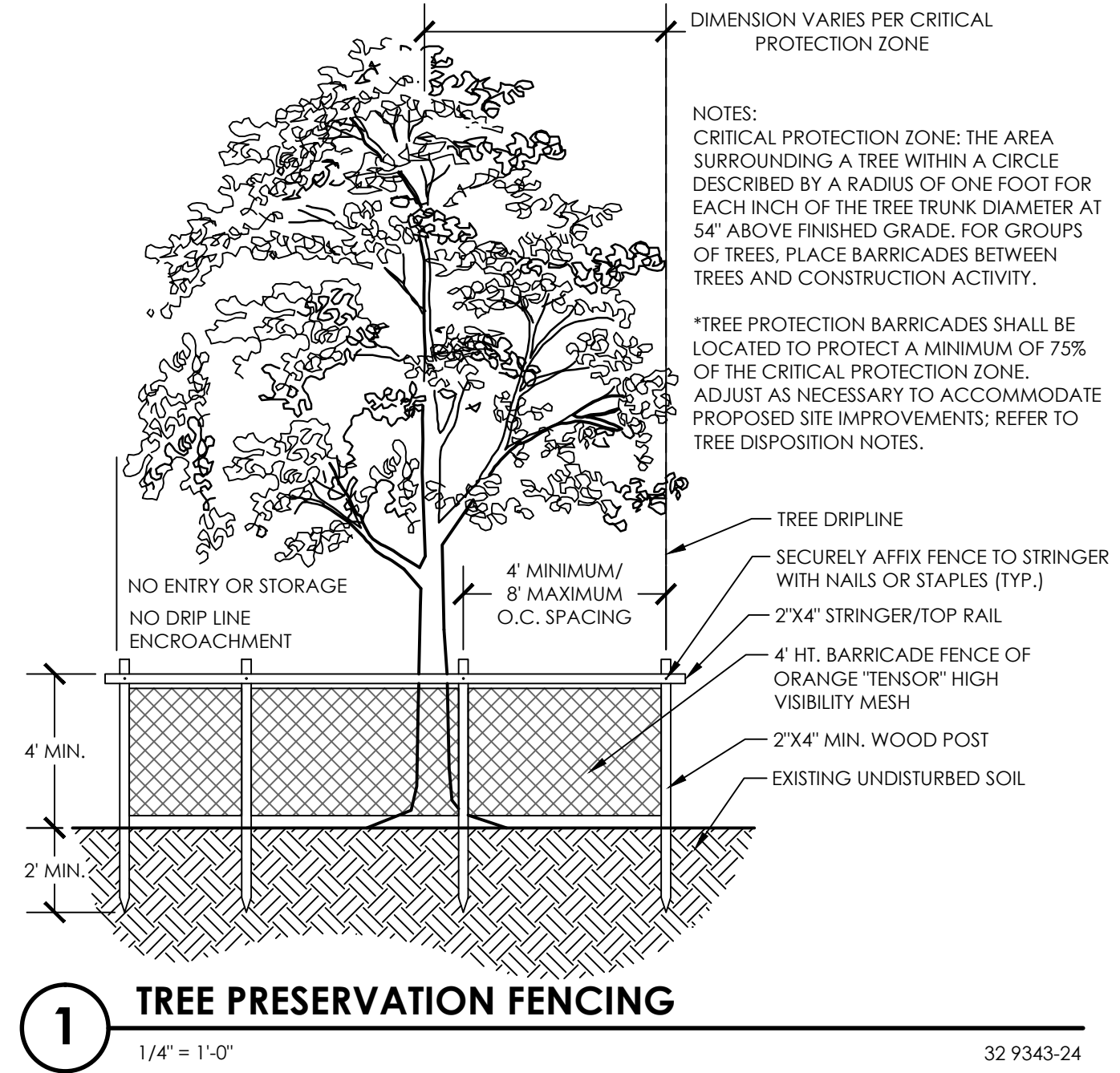
L1.02
10 OF 19

TREE DISPOSITION CHART

TREE ID #	SCIENTIFIC NAME	COMMON NAME	DBH	CONDITION	DISPOSITION
1191	DELONIX REGIA	ROYAL POINCIANA	5"		
1205	SABAL PALMETTO	CABBAGE PALM	15"		
1206	QUERCUS VIRGINIANA	OAK TREE	5"		
1207	HIBISCUS SPP.	WEeping HIBISCUS	5"		
1210	HIBISCUS SPP.	WEeping HIBISCUS	5"		
1223	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1224	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1225	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1226	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1259	BUCIDA BUCERAS	BLACK OLIVE	12"		
1260	DYPSIS LUTESCENS	ARECA PALM	36"		
1261	MANGIFERA SPP.	MANGO TREE	6"		
1262		UNKNOWN TREE	4"		
1263	PERSEA SPP.	AVOCADO TREE	12"		
1266	MANGIFERA SPP.	MANGO TREE	5"		
1268	BOUGAINVILLEA SPP.	BOUGAINVILLEA	6"		
1269	DYPSIS LUTESCENS	ARECA PALM	36"		REMOVE
1270	DYPSIS LUTESCENS	ARECA PALM	36"		REMOVE
1271	DYPSIS LUTESCENS	ARECA PALM	36"		REMOVE
1276	SABAL PALMETTO	CABBAGE PALM	15"		RELOCATE
1277	SABAL PALMETTO	CABBAGE PALM	18"		RELOCATE
1278	SABAL PALMETTO	CABBAGE PALM	18"		RELOCATE
1279	SABAL PALMETTO	CABBAGE PALM	18"		RELOCATE
1280	SABAL PALMETTO	CABBAGE PALM	18"		RELOCATE
1281	LYSILOMA BAHAMENSIS	WILD TAMARIND	18"		
1282	SABAL PALMETTO	CABBAGE PALM	18"		RELOCATE
1283	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1284	SABAL PALMETTO	CABBAGE PALM	10"		RELOCATE
1362	FICUS MACROCARPA	FICUS TREE	60"		
1363	SABAL PALMETTO	CABBAGE PALM	10"		RELOCATE
1364	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1365	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1366	SABAL PALMETTO	CABBAGE PALM	10"		
1367	FICUS ELASTICA	RUBBER TREE	36"		
1368	QUERCUS VIRGINIANA	OAK TREE	24"		
1369	DIMOCARPUS LONGAN	LONGAN TREE	15"		REMOVE
1370	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1371	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1372	SABAL PALMETTO	CABBAGE PALM	6"		RELOCATE
1373	SABAL PALMETTO	CABBAGE PALM	10"		RELOCATE
1374	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1375	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1376	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1377	SABAL PALMETTO	CABBAGE PALM	8"		RELOCATE
1392	FICUS MACROCARPA	FICUS TREE	48"		
1393	SABAL PALMETTO	CABBAGE PALM	12"		
1394	SABAL PALMETTO	CABBAGE PALM	10"		
1395	SABAL PALMETTO	CABBAGE PALM	6"		
1396	SABAL PALMETTO	CABBAGE PALM	12"		
1397	SABAL PALMETTO	CABBAGE PALM	15"		
1398	SABAL PALMETTO	CABBAGE PALM	12"		
1399	SABAL PALMETTO	CABBAGE PALM	15"		
1400	DYPSIS LUTESCENS	ARECA PALM	36"		
1401	SABAL PALMETTO	CABBAGE PALM	10"		
1402	SABAL PALMETTO	CABBAGE PALM	6"		RELOCATE
1403	SABAL PALMETTO	CABBAGE PALM	8"		RELOCATE
1404	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1405	SABAL PALMETTO	CABBAGE PALM	6"		RELOCATE
1406	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1407	SABAL PALMETTO	CABBAGE PALM	6"		RELOCATE
1408	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1409	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1410	LAGERSTROEMIA SPP.	CRAPE MYRTLE	6"		REMOVE
1440	SABAL PALMETTO	CABBAGE PALM	4"		RELOCATE
1441	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1442	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1443	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1444	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1445	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1446	SABAL PALMETTO	CABBAGE PALM	12"		RELOCATE
1447	QUERCUS VIRGINIANA	OAK TREE	4"		REMOVE
1448	QUERCUS VIRGINIANA	OAK TREE	3"		REMOVE
1449	QUERCUS VIRGINIANA	OAK TREE	4"		REMOVE
1450	CARICA PAPAYA	PAPAYA TREE	6"		REMOVE
1451	MANGIFERA SPP.	MANGO TREE	18"		
1452	LAGERSTROEMIA SPECIOSA	QUEEN'S CRAPE MYRTLE	10"		

TREE DISPOSITION NOTES

1. ROOT PRUNING AND WATERING PRIOR TO CONSTRUCTION;
- 1.1. TREE ROOT PRUNING AND TRIMMING, SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED & LICENSED ARBORIST.
- 1.2. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO CONSTRUCTION. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER FOR 2 TO 3 DAYS PRIOR TO ROOT PRUNING. SEE BELOW FOR RELOCATION TIMELINE.
- 1.2.1. PROVIDE TEMPORARY IRRIGATION FOR EACH TREE THROUGHOUT THE DURATION OF CONSTRUCTION.
- 1.2.2. ROOT PRUNE TREES, SHOWN ON PLAN IN AREAS WHERE ROOTS WILL CONFLICT WITH CONSTRUCTION ACTIVITY. PRUNING OF ROOTS SHOULD BE DONE IN A MANNER TO PRESERVE THE GREATEST AMOUNT OF THE ROOT BASE AS POSSIBLE.
- 1.2.3. BACKFILL TRENCH WITH PLANTING SOIL.
- 1.2.4. FERTILIZE WITHIN THE ROOT ZONE (SEE NOTE 1.4).
- 1.3. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH AROUND THE TREE IN AREAS WHERE PROPOSED SITE WORK WILL BE PERFORMED. TRENCHING SHALL BE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8".
- 1.4. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20:20:20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.
2. BRACING AND GUYING OF TREES AFTER ROOT PRUNING
- 2.1. BRACING AND GUYING SHALL BE PROVIDED TO ASSURE THE TREES' STABILITY DURING THE ROOT REGENERATION PERIOD; AS PER THE APPLICABLE DETAIL(S).
3. ROOT ZONE PROTECTION
- 3.1. DURING THE ENTIRE CONSTRUCTION PERIOD ALL REASONABLE EFFORTS SHALL BE MADE TO PROTECT THE ROOT ZONE FROM DAMAGE. TREE PROTECTION BARRICADING SHALL BE ERECTED AROUND THE TREES. ALL PLANT MATERIAL DESIGNATED TO BE SAVED, OR OUTSIDE OF THE LIMITS OF CONSTRUCTION, SHALL BE PROTECTED DURING CONSTRUCTION WORK. WORK UNDER THESE ITEMS WILL INCLUDE CONSTRUCTION AND MAINTENANCE OF TEMPORARY BARRICADE FENCING TO PROTECT THE ROOT ZONES OF EXISTING TREES AND OTHER PLANTINGS.
- 3.2. A PROTECTION BARRIER OR TEMPORARY FENCE OF AT LEAST 4 FEET IN HEIGHT SHALL BE INSTALLED AROUND EACH TREE TO BE PROTECTED AND PRESERVED. THE TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE ACTUAL CONSTRUCTION START AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- 3.3. TREE BARRICADE FENCING SHALL BE; AS PER THE APPLICABLE DETAIL(S).



1 TREE PRESERVATION FENCING
1/4" = 1'-0" 32 9343-24

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www.chenmoore.com

CERTIFICATES OF AUTHORIZATION
EB4593 LC26000425

REGISTRATION
CRISTOBAL A. BETANCOURT
REGISTRATION NO. 6666941
DATE: _____

SUB-CONSULTANT

CLIENT



PROJECT INFORMATION

MARGATE DOG PARK

CITY OF MARGATE, FLORIDA

PROJECT NUMBER
16-088.006

CLIENT PROJECT NUMBER
PO#160934

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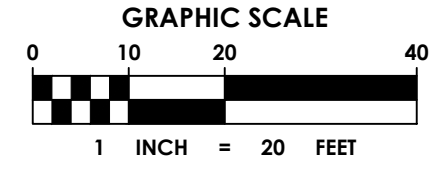
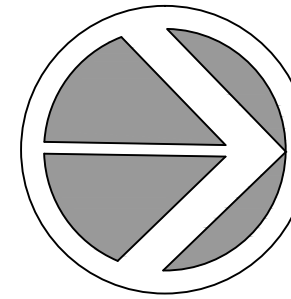
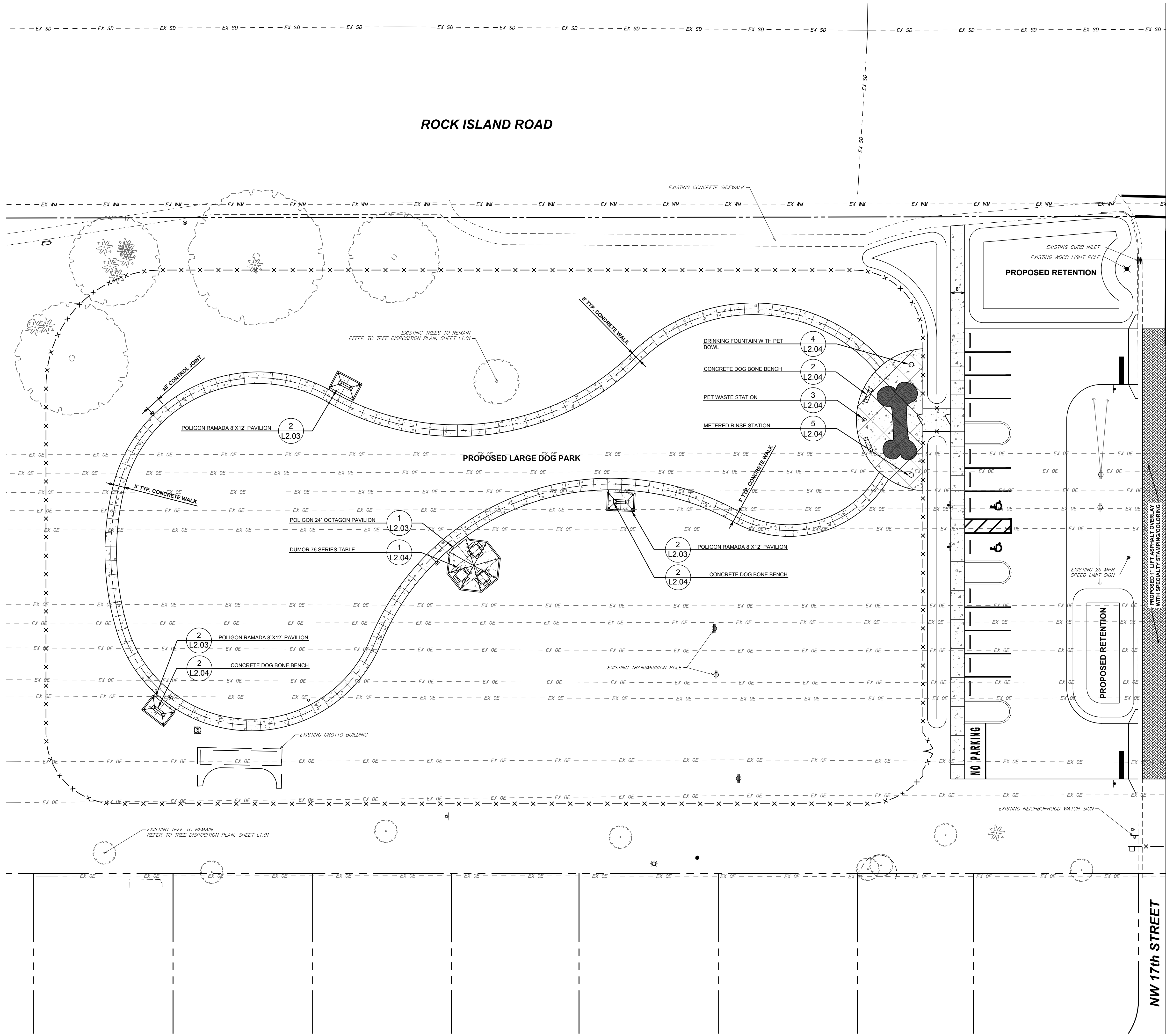
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TREE DISPOSITION CHART AND SPECIFICATIONS

DRAWING NUMBER
L1.03
11 OF 19

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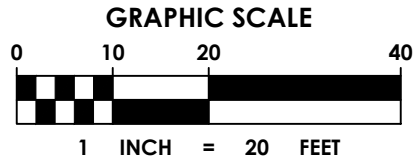
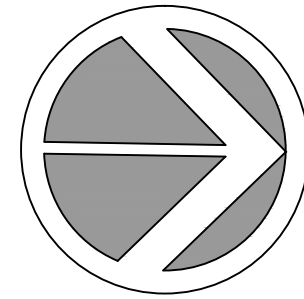
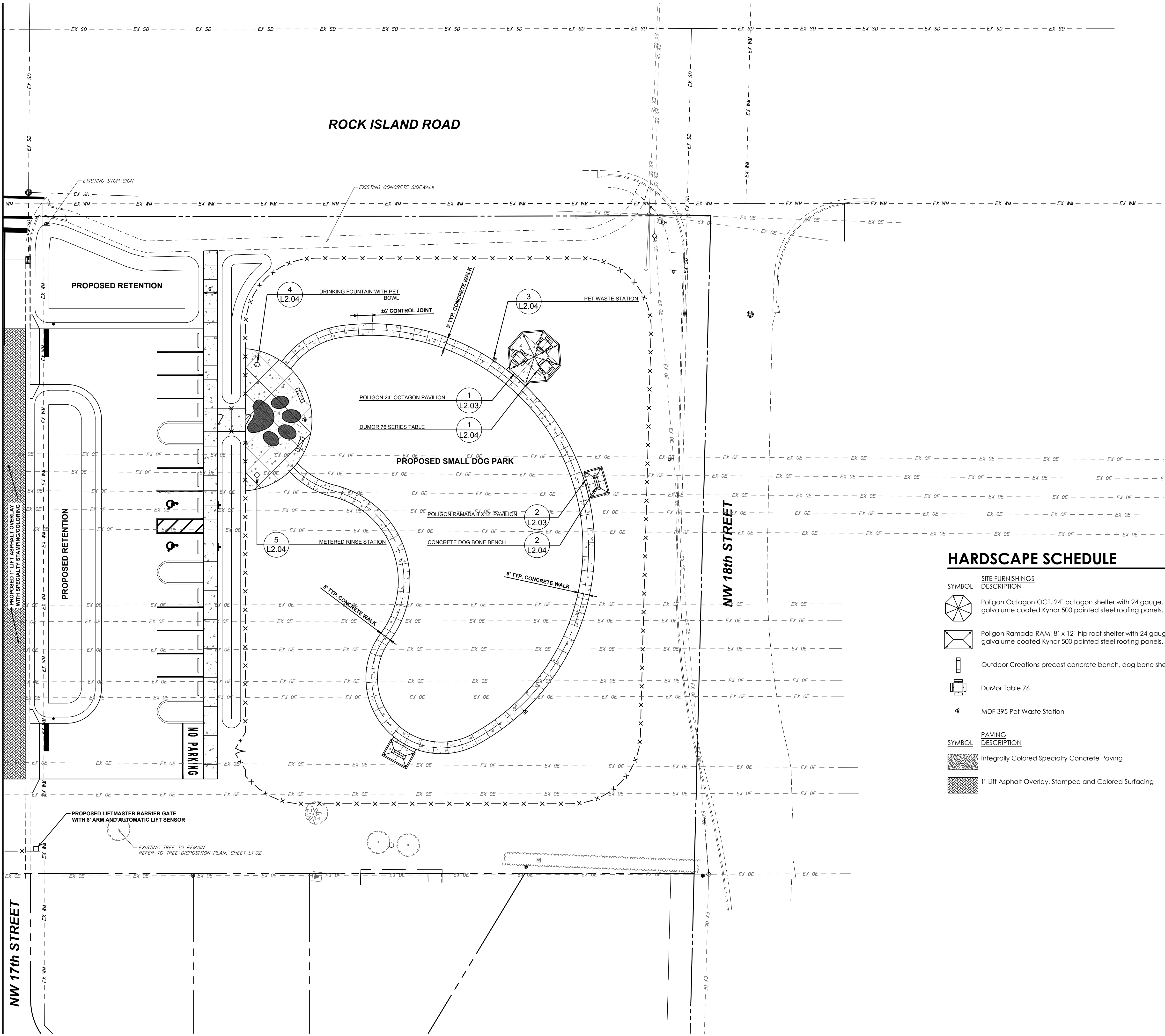
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**HARDSCAPE
PLAN**

DRAWING NUMBER
L2.01
12 OF 19

65% CONSTRUCTION DOCUMENTS

MATCHLINE SEE DRAWING NO. L2.01



HARDSCAPE SCHEDULE

SYMBOL	SITE FURNISHINGS DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL
	Poligon Octagon OCT, 24' octagon shelter with 24 gauge, galvalume coated Kynar 500 painted steel roofing panels.	2		Poligon	Octagon OCT-24
	Poligon Ramada RAM, 8' x 12' hip roof shelter with 24 gauge, galvalume coated Kynar 500 painted steel roofing panels.	5		Poligon	Ramada RAM-8X12
	Outdoor Creations precast concrete bench, dog bone shape.	9		Outdoor Creations	499
	DuMor Table 76	6		DuMor	76-4
	MDF 395 Pet Waste Station	6		MDF	395-SM
SYMBOL	PAVING DESCRIPTION	QTY	DETAIL	MANUFACTURER	COLOR
	Integrally Colored Specialty Concrete Paving	571 sf	4/L2.03	Scofield	Chromix Brownstone, 1010
	1" Lift Asphalt Overlay, Stamped and Colored Surfacing	3,859 sf			

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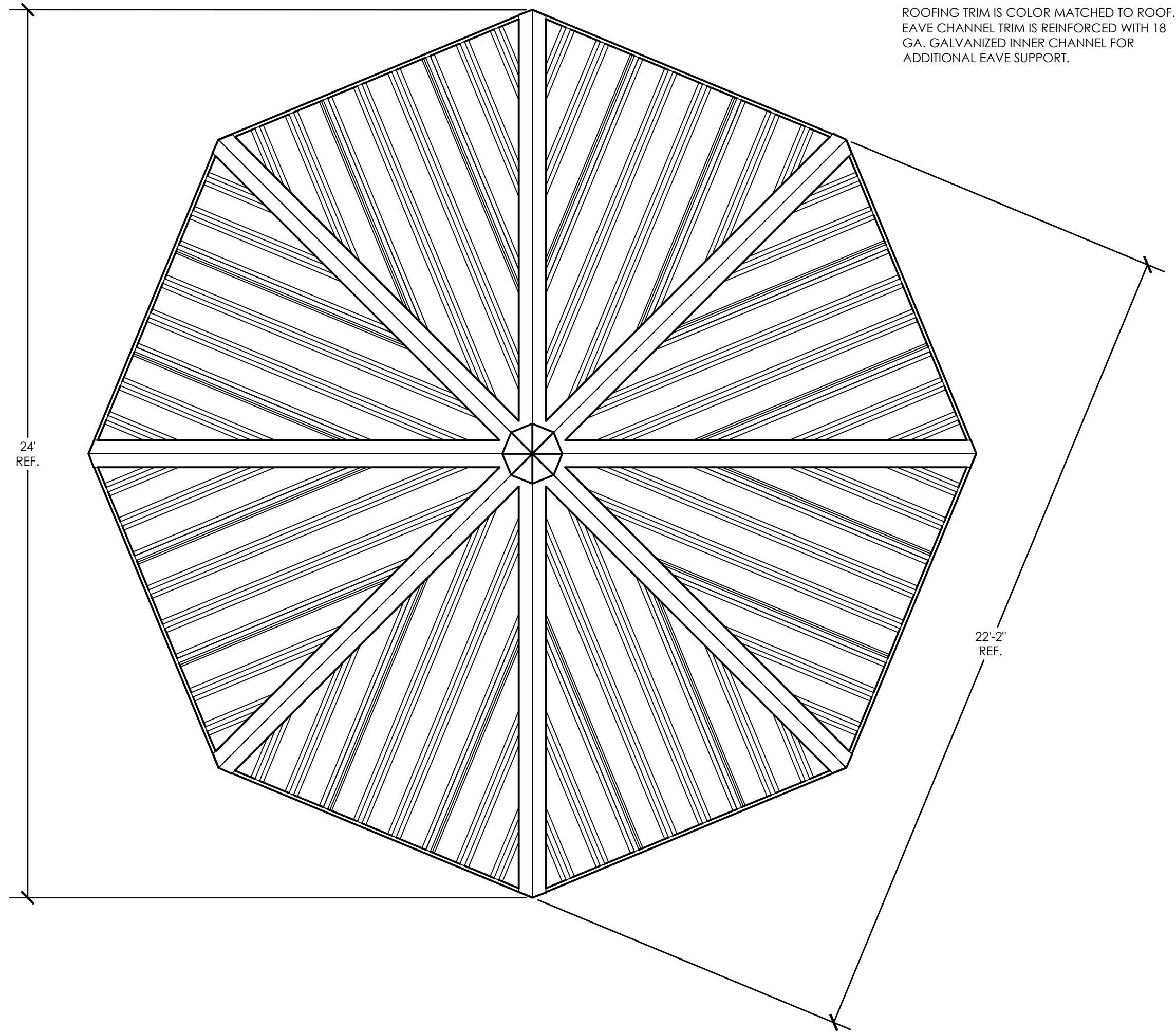
HARDSCAPE PLAN

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L2.02
13 OF 19

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- ① POLYGON 24'X34' PAVILION
CUSTOM NORTHERN SKYLINE
- ② MULTI-RIB 24-GAUGE GALVANIZED STEEL
ROOFING, COLOR TBD



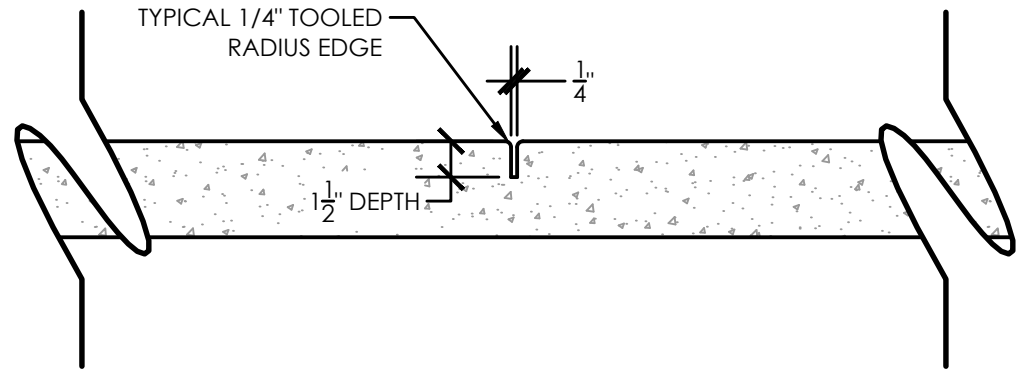
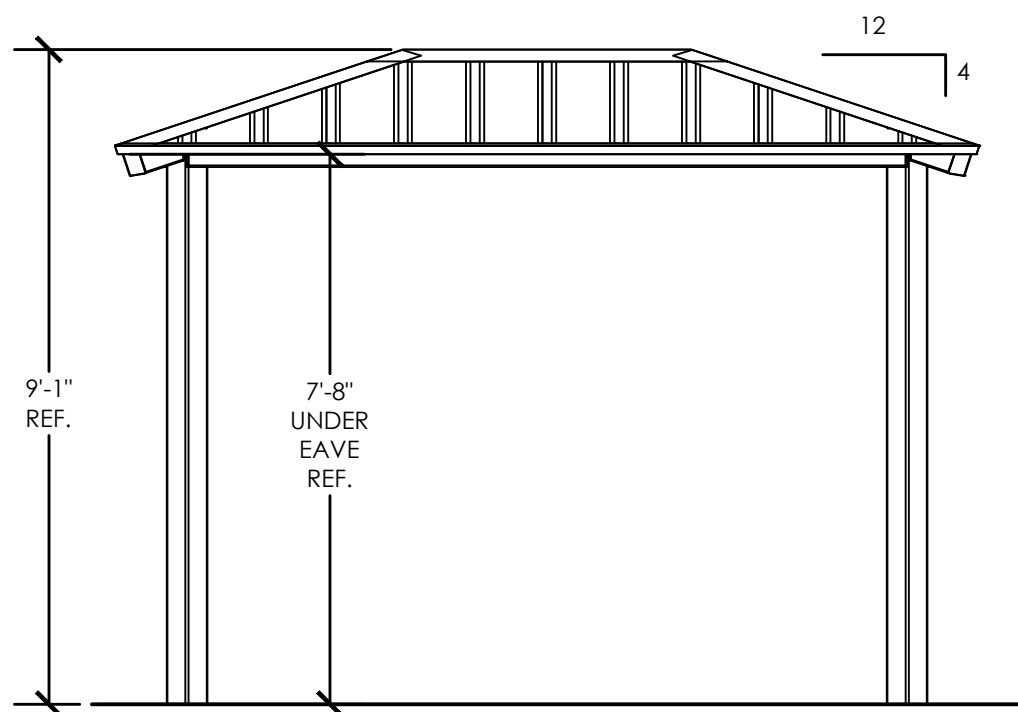
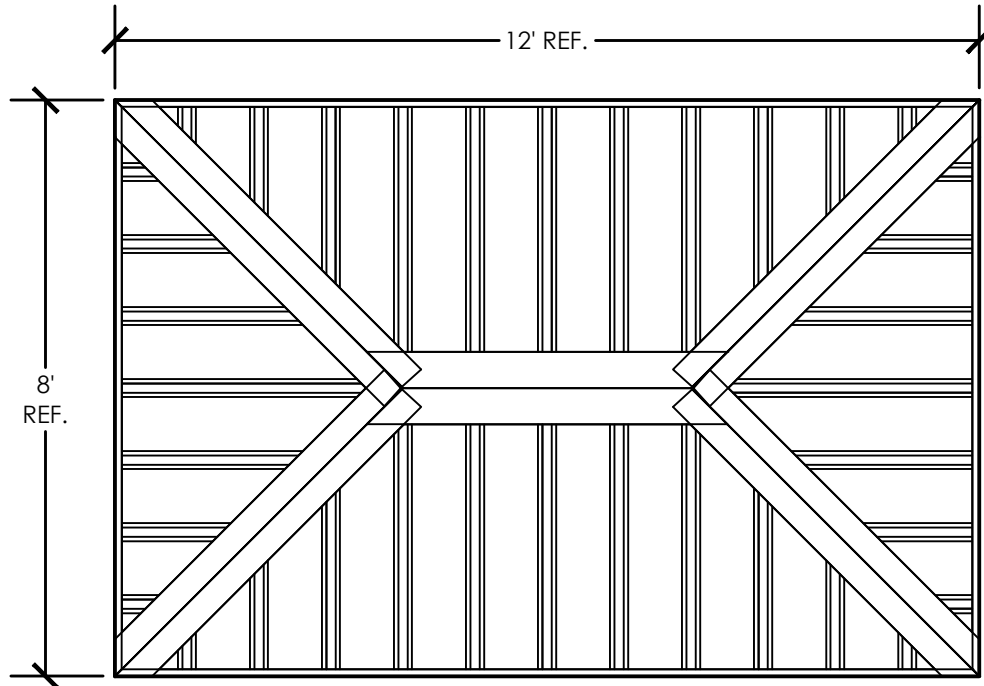
24 GA., GALVALUME COATED, KYNAR 500
PAINTED, STEEL ROOFING PANELS. SEE COLOR
MATRIX FOR AVAILABLE COLORS.

ROOFING TRIM IS COLOR MATCHED TO ROOF.
EAVE CHANNEL TRIM IS REINFORCED WITH 18
GA. GALVANIZED INNER CHANNEL FOR
ADDITIONAL EAVE SUPPORT.

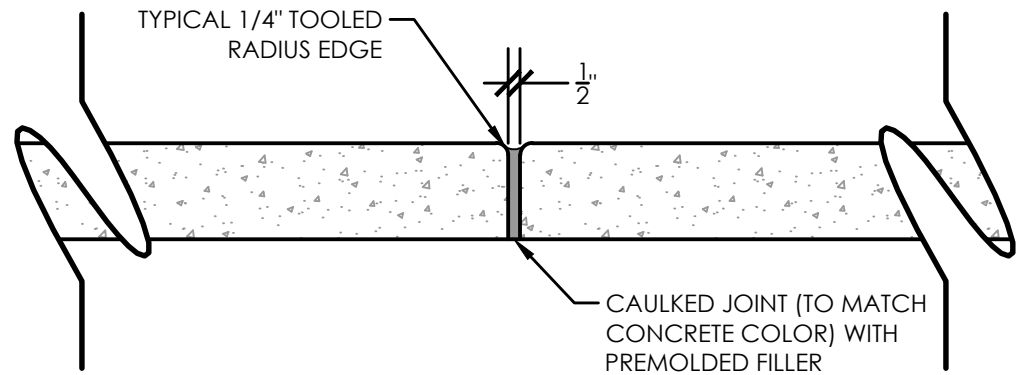
- ① POLYGON 24'X34' PAVILION
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- ② MULTI-RIB 24-GAUGE GALVANIZED STEEL
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24 GA., GALVALUME COATED, KYNAR 500
PAINTED, STEEL ROOFING PANELS. SEE COLOR
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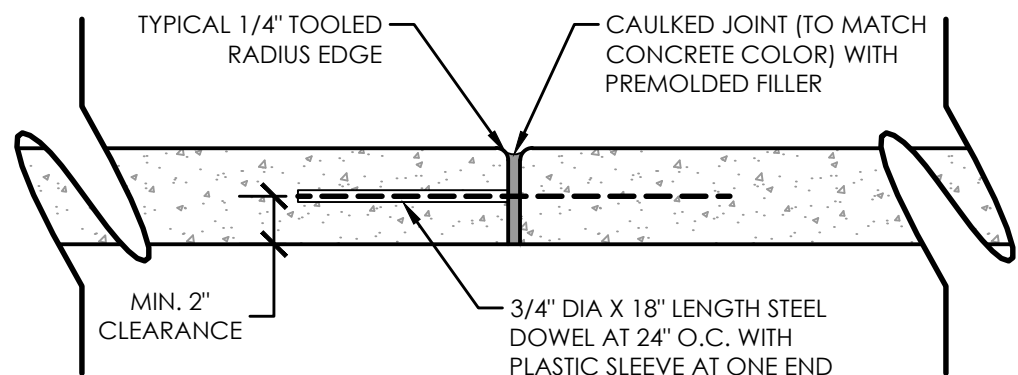
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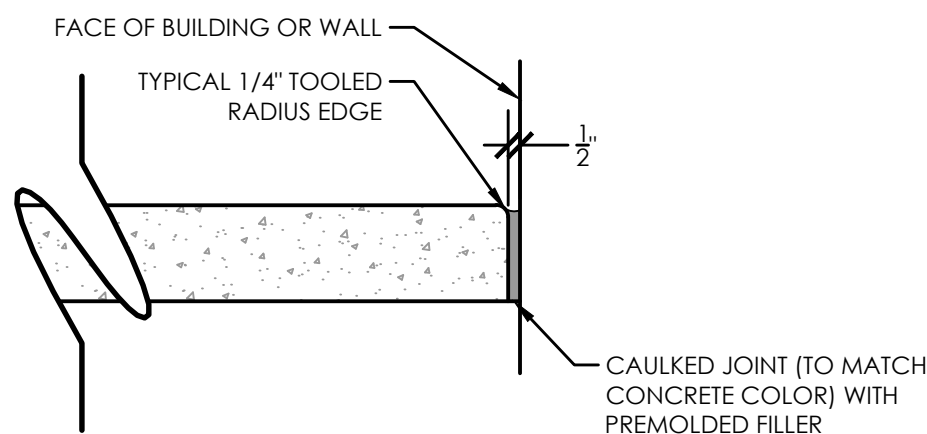
TOOLED CONTROL JOINT



CONSTRUCTION JOINT



DOWELED CONSTRUCTION JOINT



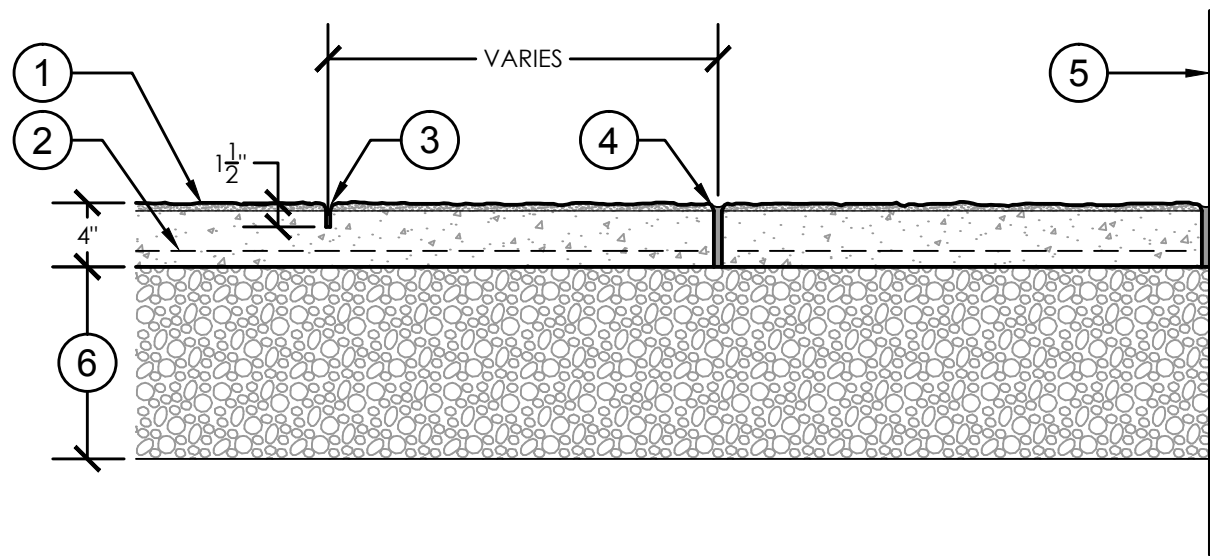
CONSTRUCTION JOINT AT BUILDING OR WALL

3 TYPICAL CONCRETE PAVING JOINTS

1 1/2" = 1'-0"

321313-20

- ① TEXTURED + INTEGRALLY COLORED CONCRETE.
SEE PLANS
- ② WIRE MESH
- ③ CONTROL JOINT
- ④ CONSTRUCTION JOINT
- ⑤ FACE OF BUILDING OR WALL
- ⑥ COMPACTED FILL PER CIVIL PLANS



4 TEXTURED CONCRETE PAVING

1" = 1'-0"

321313.33-37

1 POLYGON 24' OCTAGON PAVILION

3/8" = 1'-0"

133400-05

2 POLYGON RAMADA 8'X12' PAVILION

3/8" = 1'-0"

133400-06



MARGATE DOG PARK

CITY OF MARGATE,
FLORIDA

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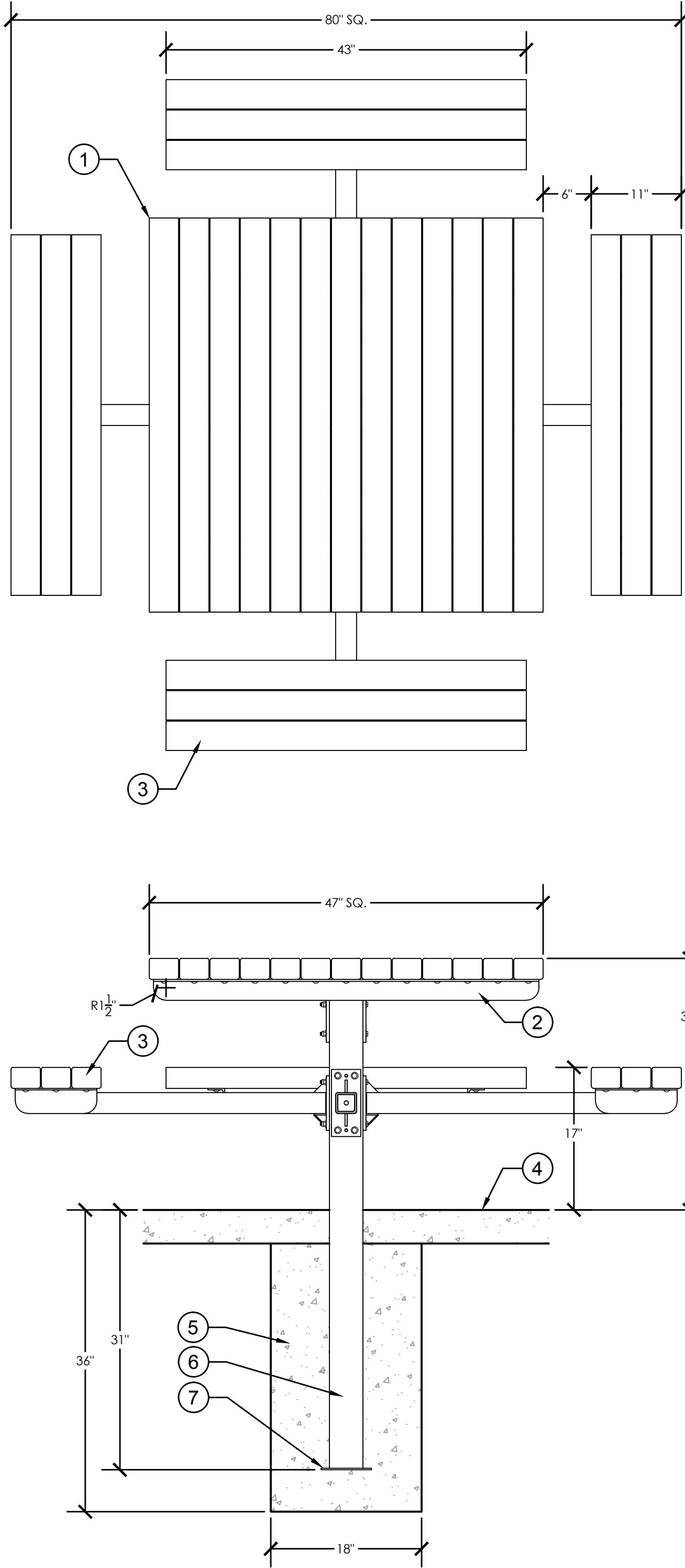
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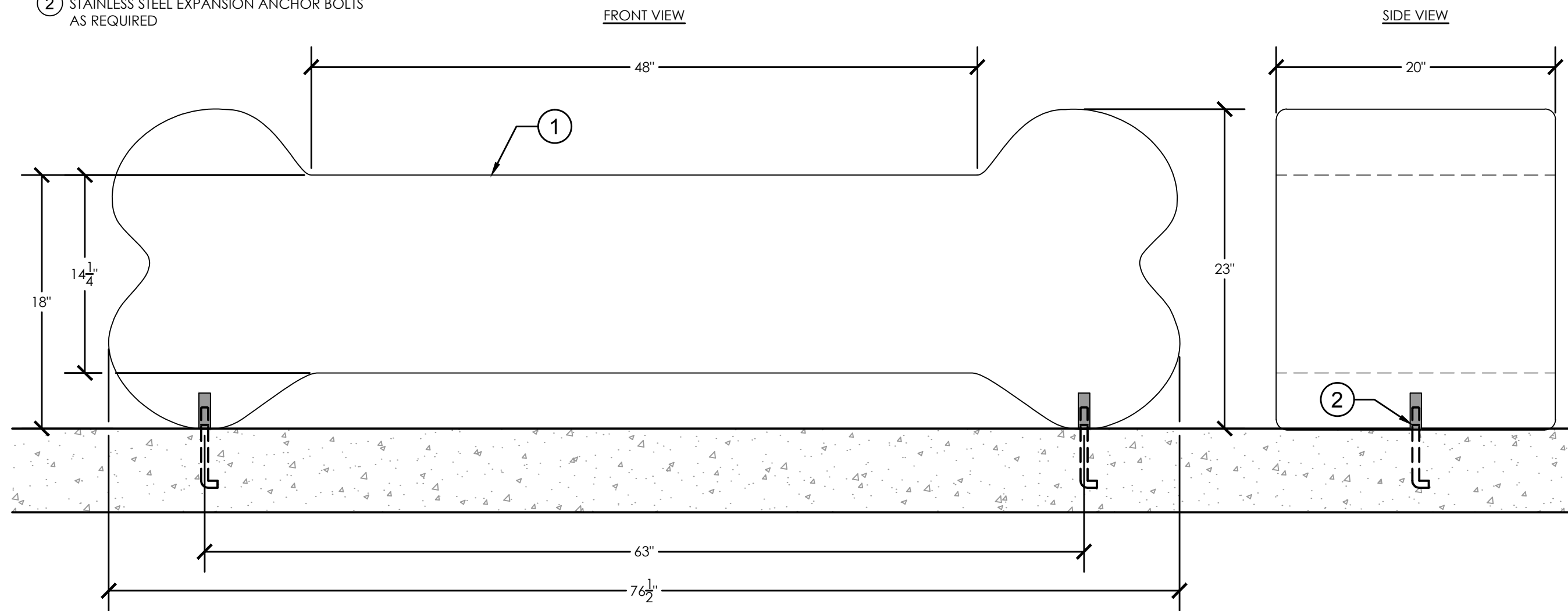
- 1 DUMOR PEDESTAL TABLE
MODEL: 76-44/S-1
- 2 POWDER COATED STEEL FRAME
COLOR: PER PLANS
- 3 WOOD SLATS:
IPE OR MASSARANDUBA PER PLANS
- 4 FINISH GRADE/CONCRETE SLAB PER PLANS
- 5 CONCRETE FOOTER
- 6 4" SQUARE X 3/16" WIDTH STEEL TUBE
- 7 3/16" X 6" SQUARE STEEL PLATE



1 DUMOR 76 SERIES TABLE
1" = 1'-0"

129343.53-37

- 1 PRECAST CONCRETE DOG BONE BENCH
OUTDOOR CREATIONS MODEL 499
- 2 STAINLESS STEEL EXPANSION ANCHOR BOLTS
AS REQUIRED

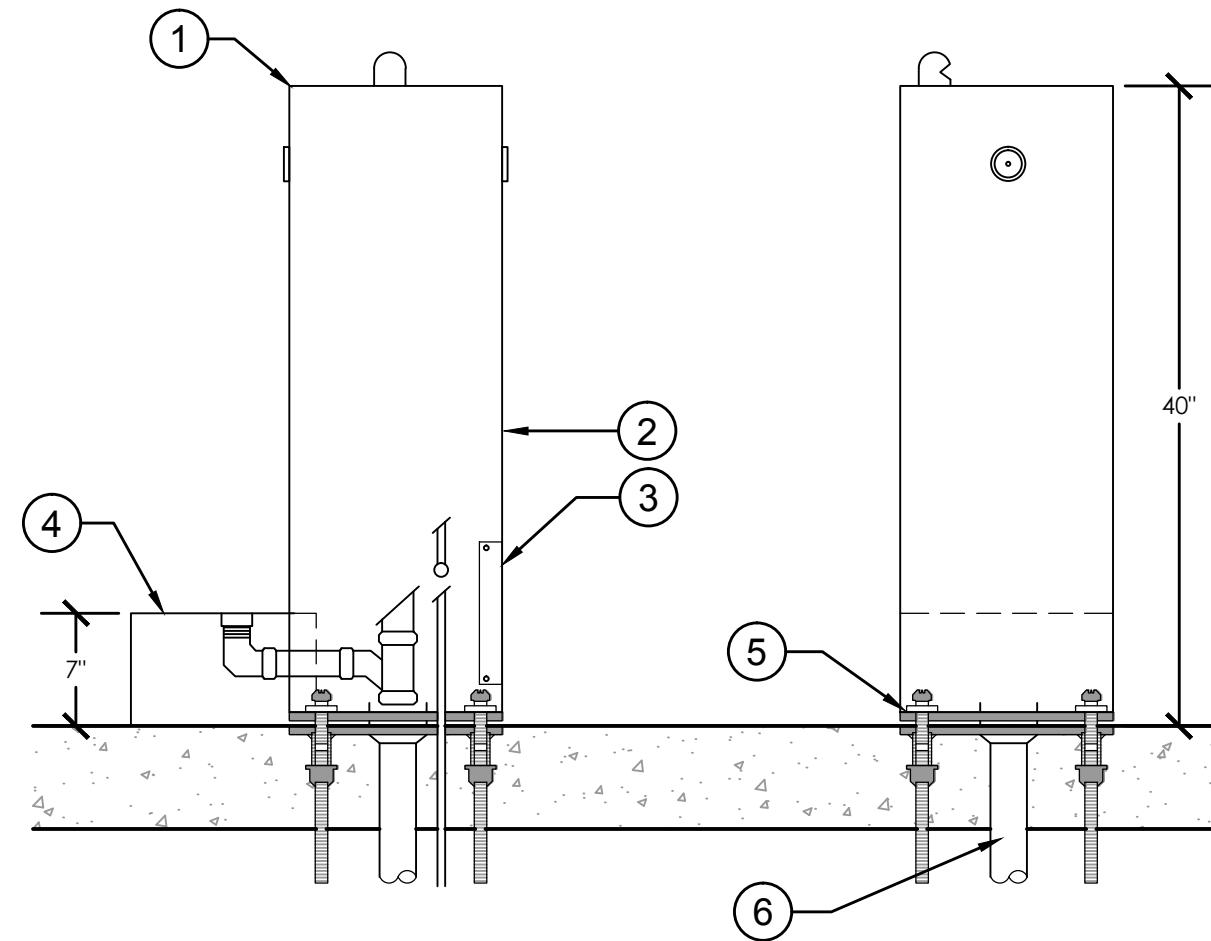


2 CONCRETE DOG BONE BENCH
1 1/2" = 1'-0"

129343.13-42

- 1 DRINKING FOUNTAIN WITH PET BOWL
MOST DEPENDABLE FOUNTAINS
MODEL 400 SM, PF
- 2 10" PIPE
3/16" WALL THICKNESS
- 3 WATER SUPPLY ACCESS DOOR
- 4 18 GAUGE ELECTRO-POLISHED
STAINLESS STEEL PET FOUNTAIN
MODEL 505 SM
- 5 ANCHOR BOLTS AND MOUNTING PLATE,
AS REQUIRED
- 6 DRAIN LINE TO GRAVEL DRAINAGE BED

NOTE:
ALL COMPONENTS
SHALL BE POWDER
COATED PER PLANS.
ALL FASTENERS AND
LIDS SHALL BE
STAINLESS STEEL.

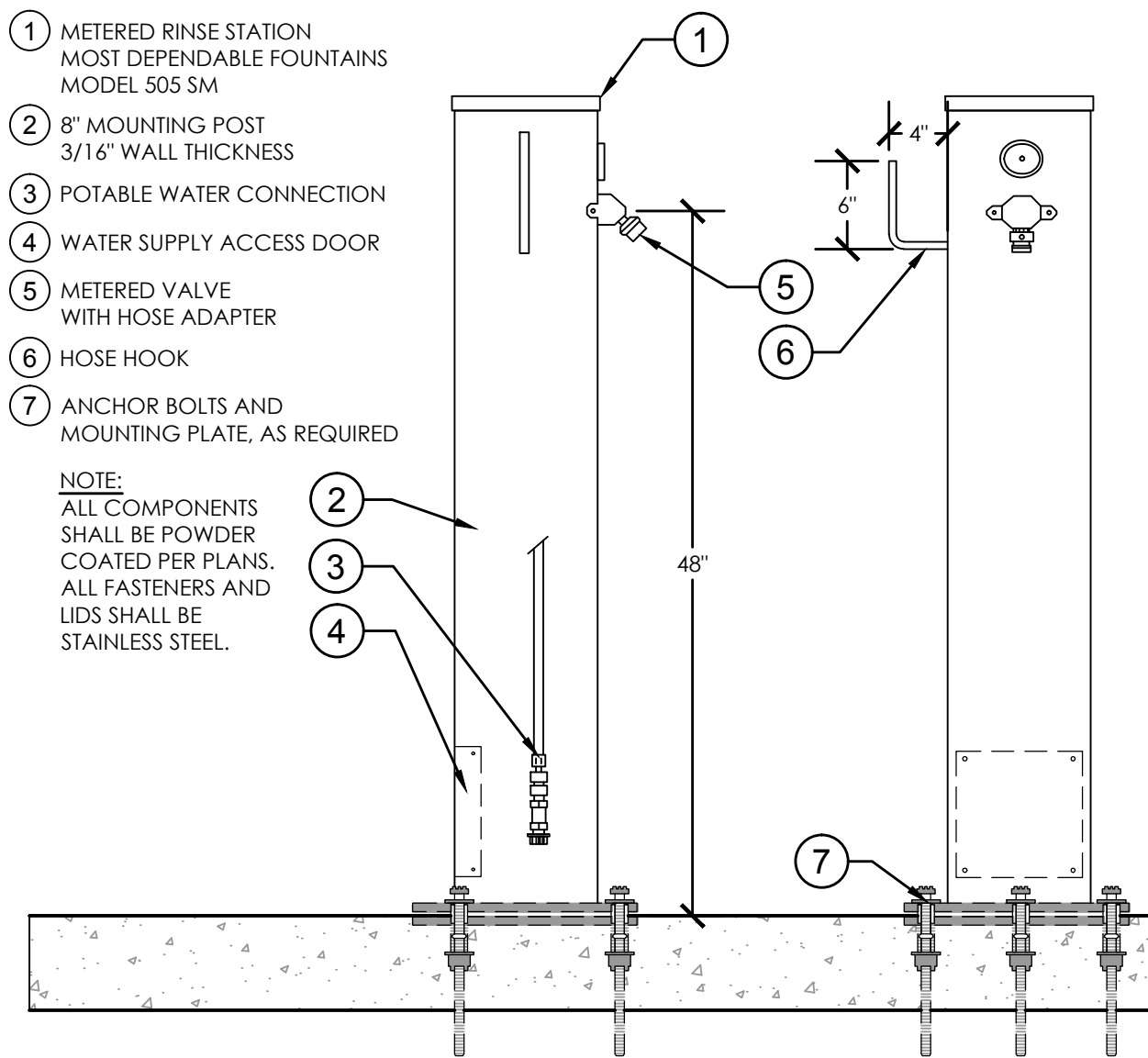


4 DRINKING FOUNTAIN WITH PET BOWL
1" = 1'-0"

224719-04

- 1 METERED RINSE STATION
MOST DEPENDABLE FOUNTAINS
MODEL 505 SM
- 2 8" MOUNTING POST
3/16" WALL THICKNESS
- 3 POTABLE WATER CONNECTION
- 4 WATER SUPPLY ACCESS DOOR
- 5 METERED VALVE
WITH HOSE ADAPTER
- 6 HOSE HOOK
- 7 ANCHOR BOLTS AND
MOUNTING PLATE, AS REQUIRED

NOTE:
ALL COMPONENTS
SHALL BE POWDER
COATED PER PLANS.
ALL FASTENERS AND
LIDS SHALL BE
STAINLESS STEEL.

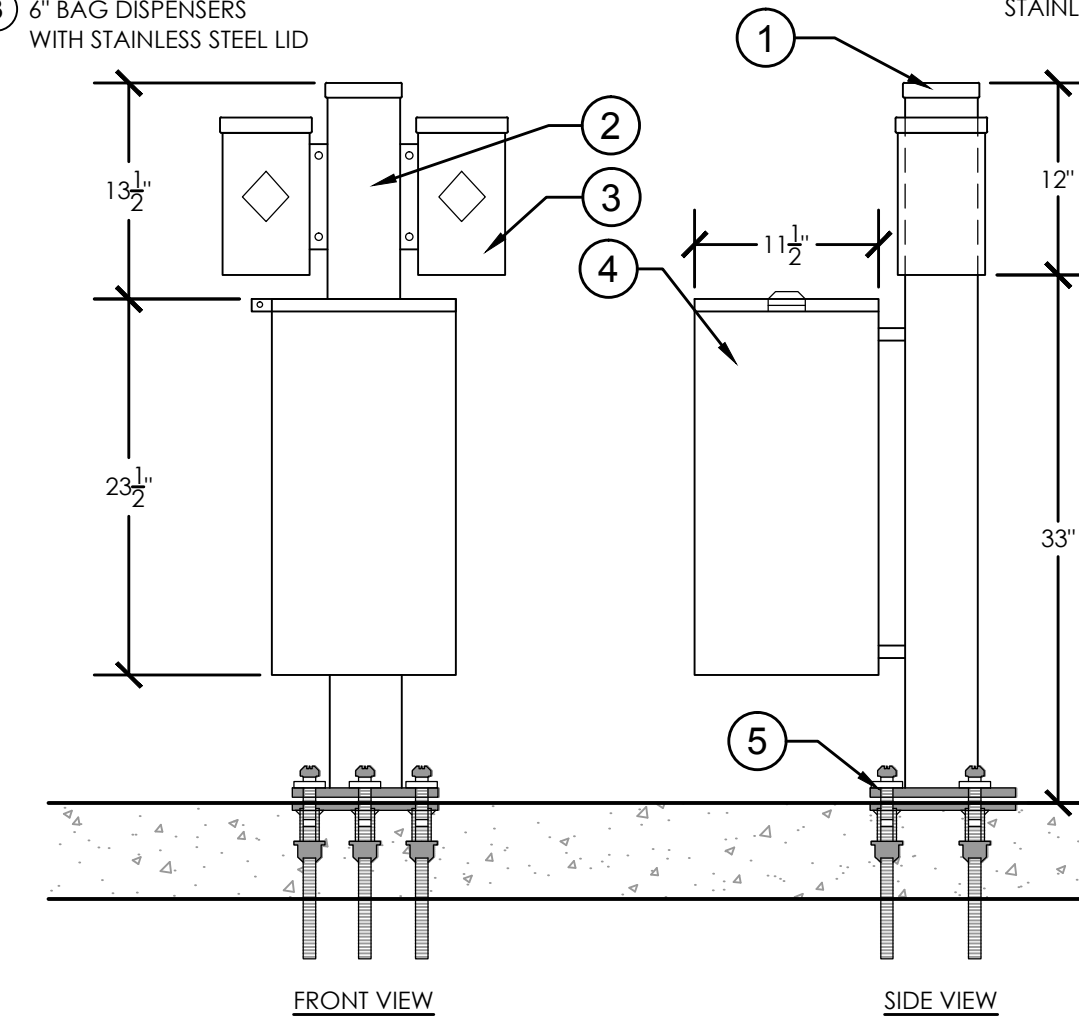


5 METERED RINSE STATION
1" = 1'-0"

224719-05

- 1 PET WASTE STATION
MOST DEPENDABLE FOUNTAINS
MODEL 395 SM
- 2 4" MOUNTING POST
3/16" WALL THICKNESS
- 3 6" BAG DISPENSERS
WITH STAINLESS STEEL LID
- 4 10 GALLON TRASH RECEPTACLE
WITH STAINLESS STEEL LID
- 5 ANCHOR BOLTS AND MOUNTING PLATE,
AS REQUIRED

NOTE:
ALL COMPONENTS
SHALL BE POWDER
COATED PER PLANS.
ALL FASTENERS AND
LIDS SHALL BE
STAINLESS STEEL.



3 PET WASTE STATION
1" = 1'-0"

129323-16

6 TYPICAL CHAIN LINK FENCE
1/2" = 1'-0"

32 3113-09

REGISTRATION
CRISTOBAL A. BETANCOURT
REGISTRATION NO. 6666941
DATE: _____

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PARK**

CITY OF MARGATE,
FLORIDA

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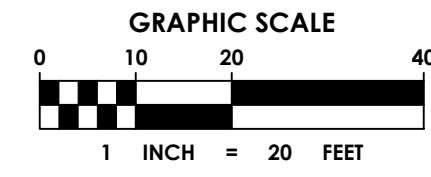
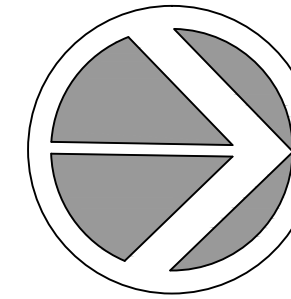
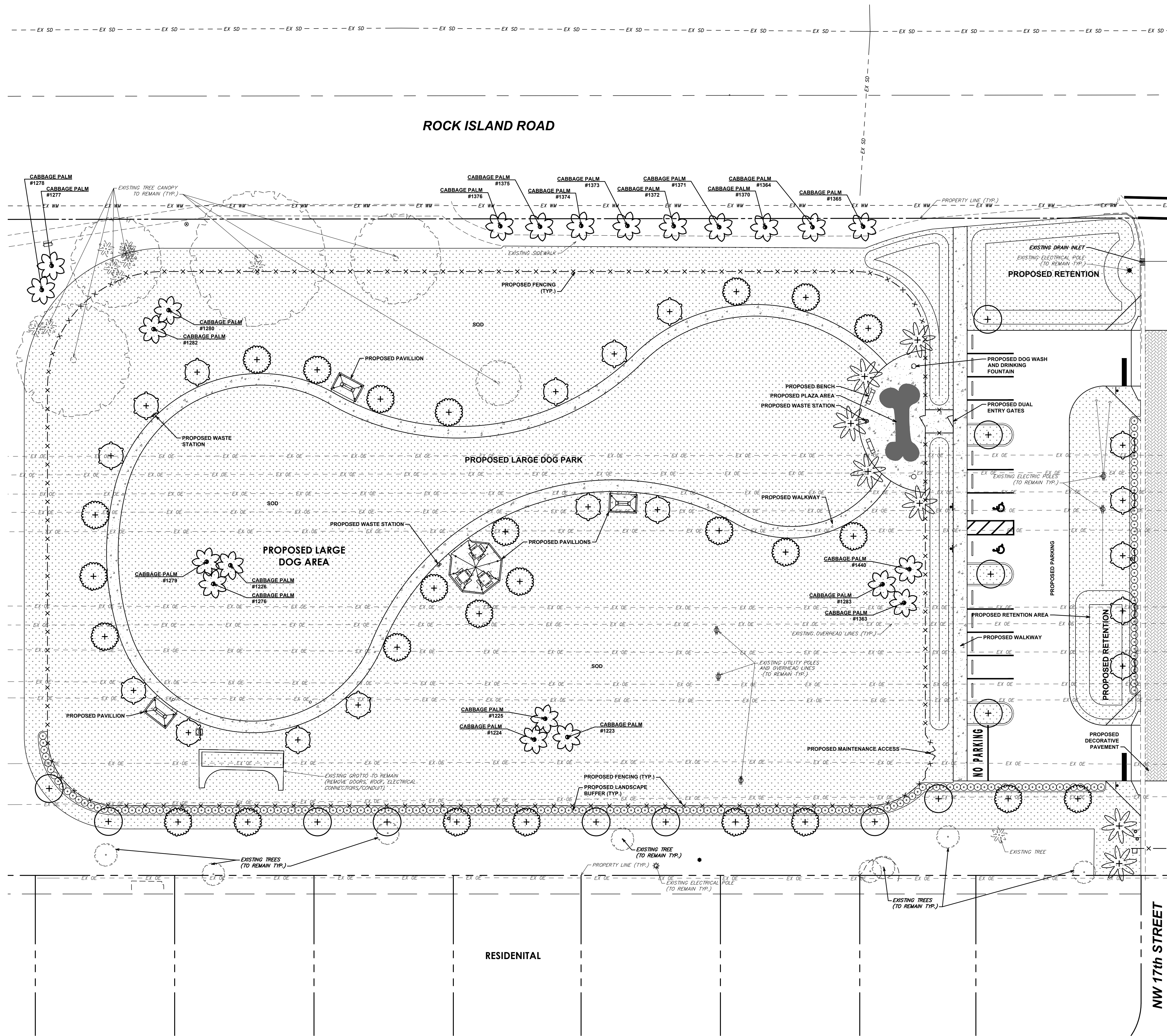
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CITY OF MARGATE
Together We Make It Great

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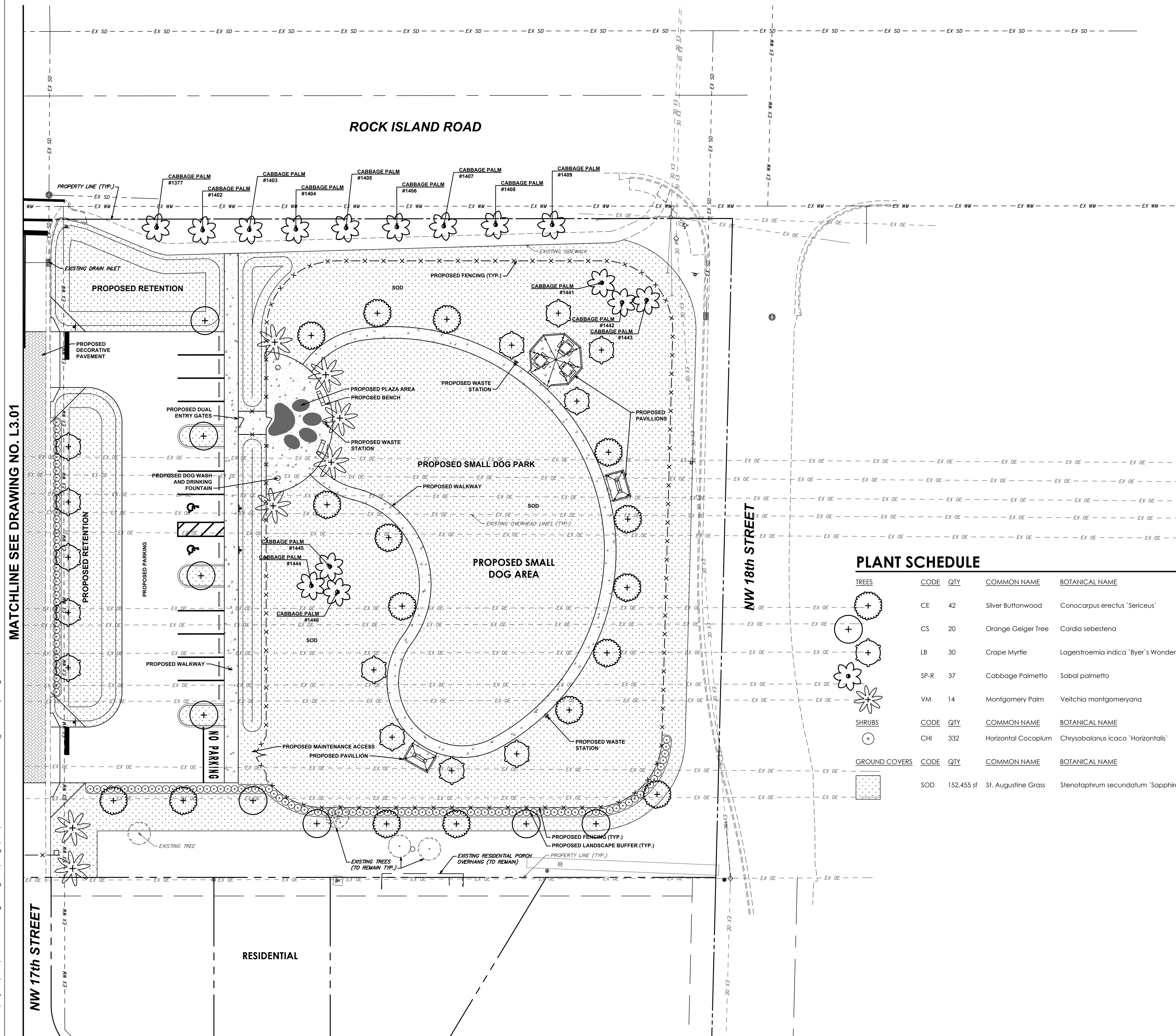
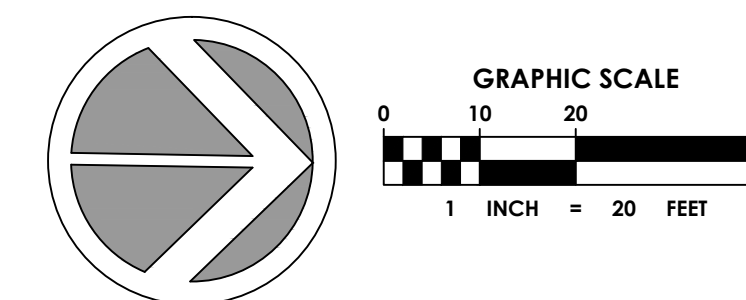
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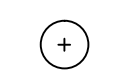

LANDSCAPE PLAN

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L3.02
17 OF 19



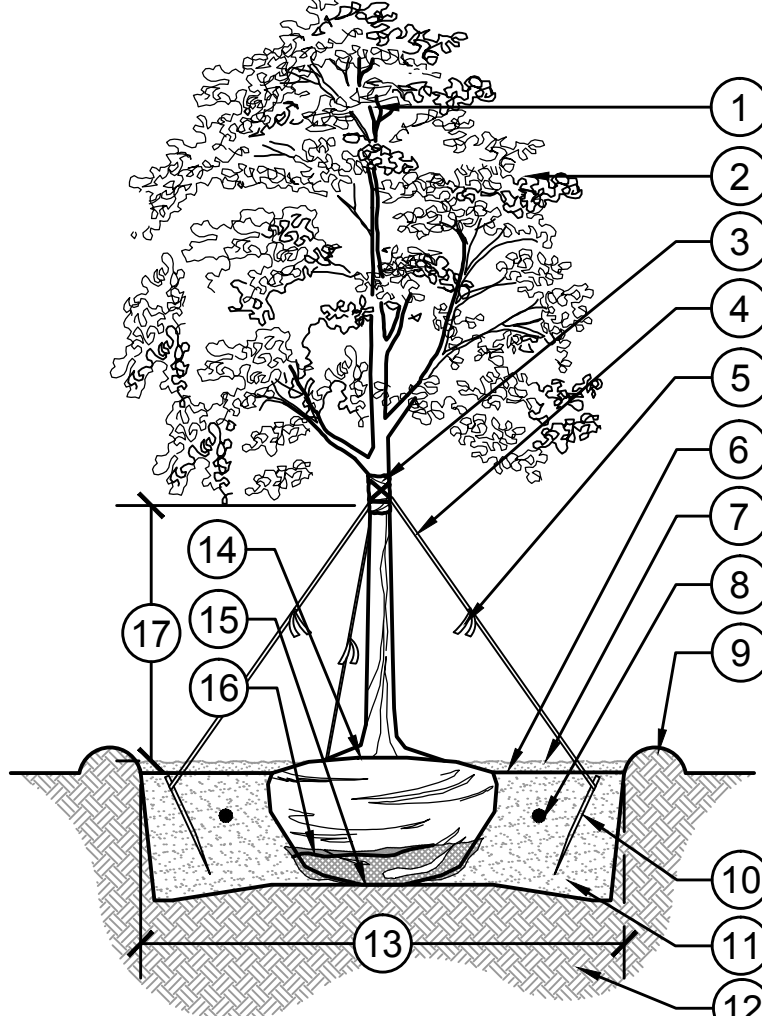
PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	CE	42	Silver Buttonwood	Conocarpus erectus 'Sericeus'	B & B	8' HT, 4' SPRD	Yes	
	CS	20	Orange Geiger Tree	Cordia sebestena	B & B	10' HT., 4'-5' SPRD., 1.5" CAL.	Yes	
	LB	30	Crape Myrtle	Lagerstroemia indica 'Byer's Wonderful White'	B & B	8' HT, 4' SPRD	No	
	SP-R	37	Cabbage Palmetto	Sabal palmetto	Relocated	See Tree Disposition Plan	Yes	
	VM	14	Montgomery Palm	Veitchia montgomeryana	B & B	12' G.W.	No	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
	CHI	332	Horizontal Cocoplum	Chrysobalanus icaco 'Horizontalis'	7 gal	18" HT, FULL	Yes	36" o.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	SOD	152,455 sf	St. Augustine Grass	Stenotaphrum secundatum 'Sapphire'	Sod	FULL		

CALIPER MEASUREMENTS NOTES:

- CALIPER MEASUREMENT IS 6" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.
- CALIPER MEASUREMENT IS 12" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.

REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.

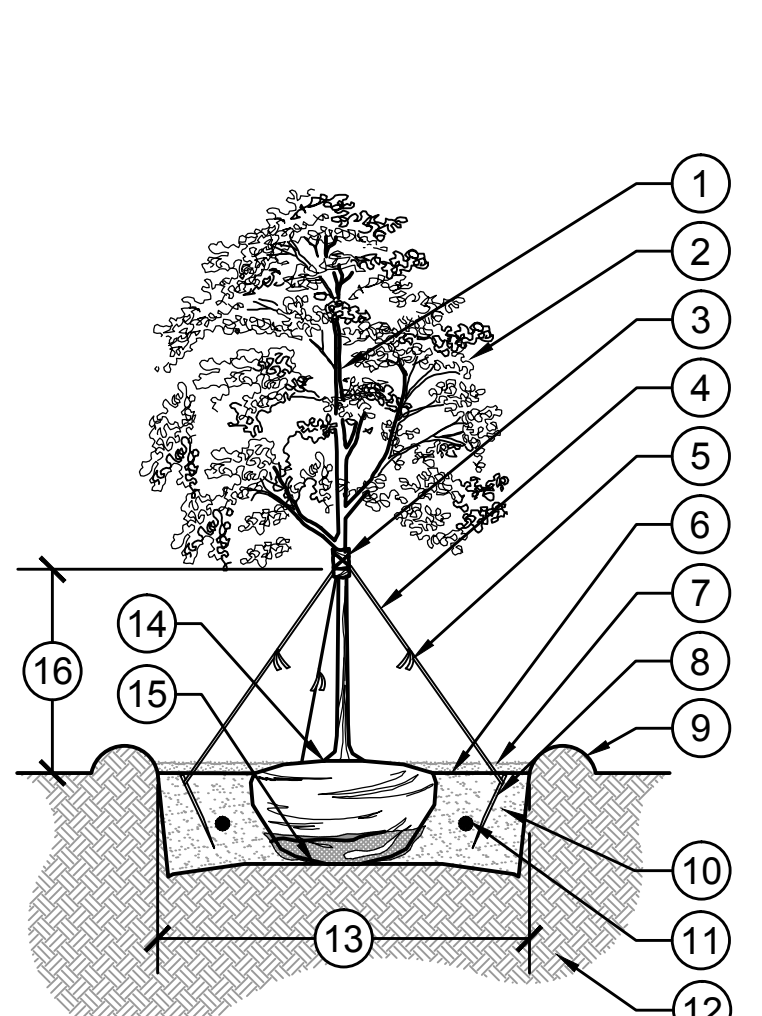


1 LARGE TREE PLANTING: 2" CALIPER AND GREATER
1/4" = 1'-0" 32 9343-17

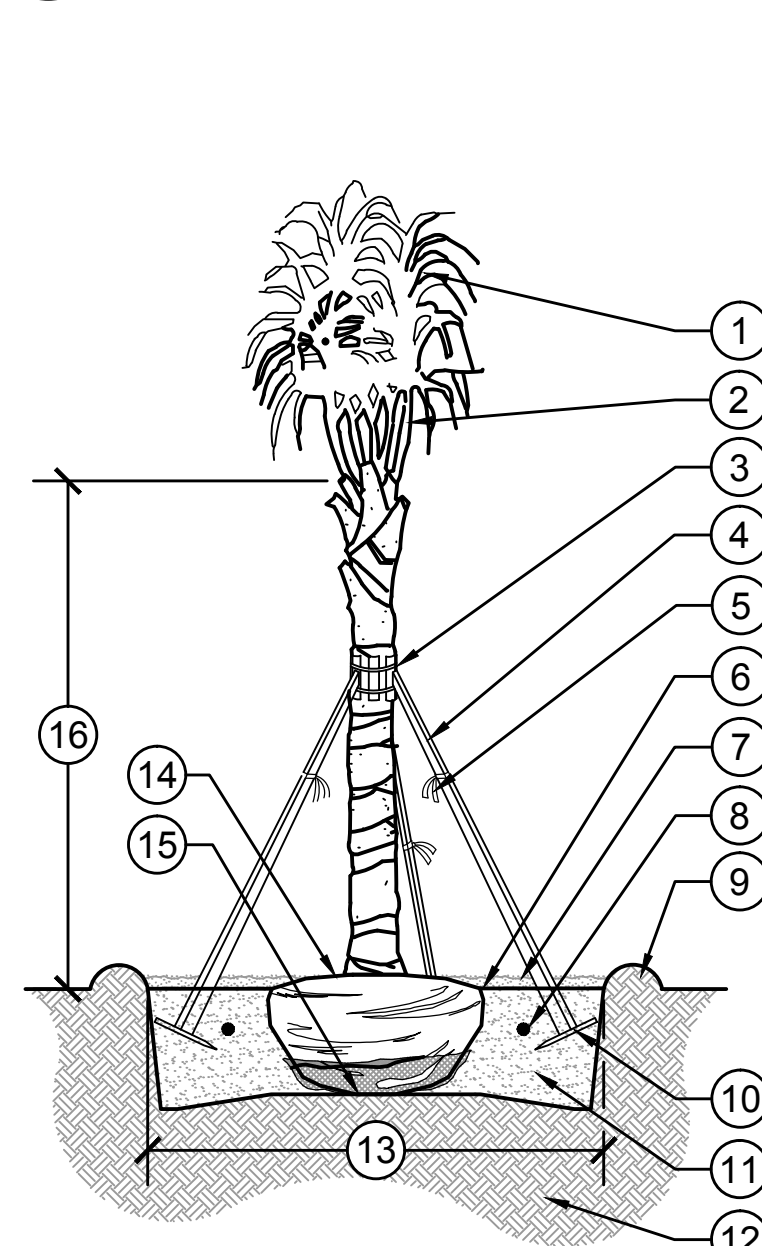
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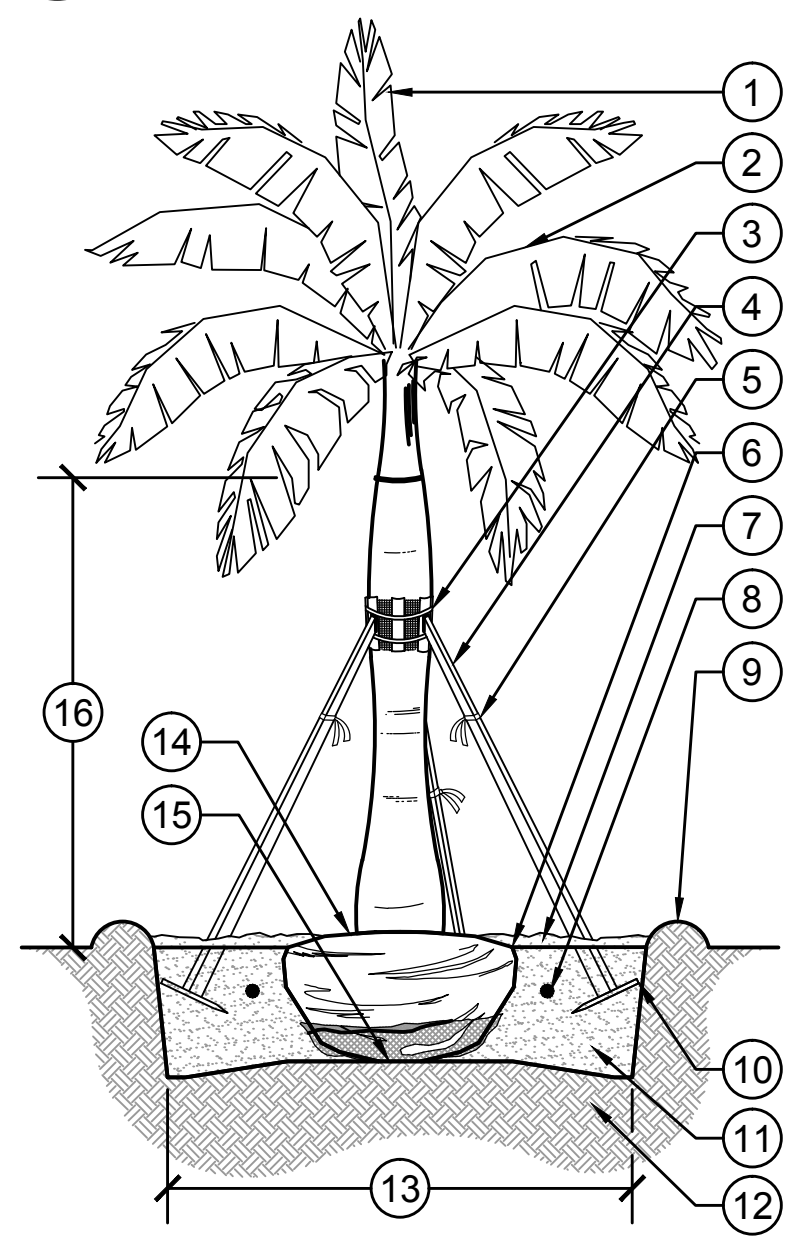
REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.



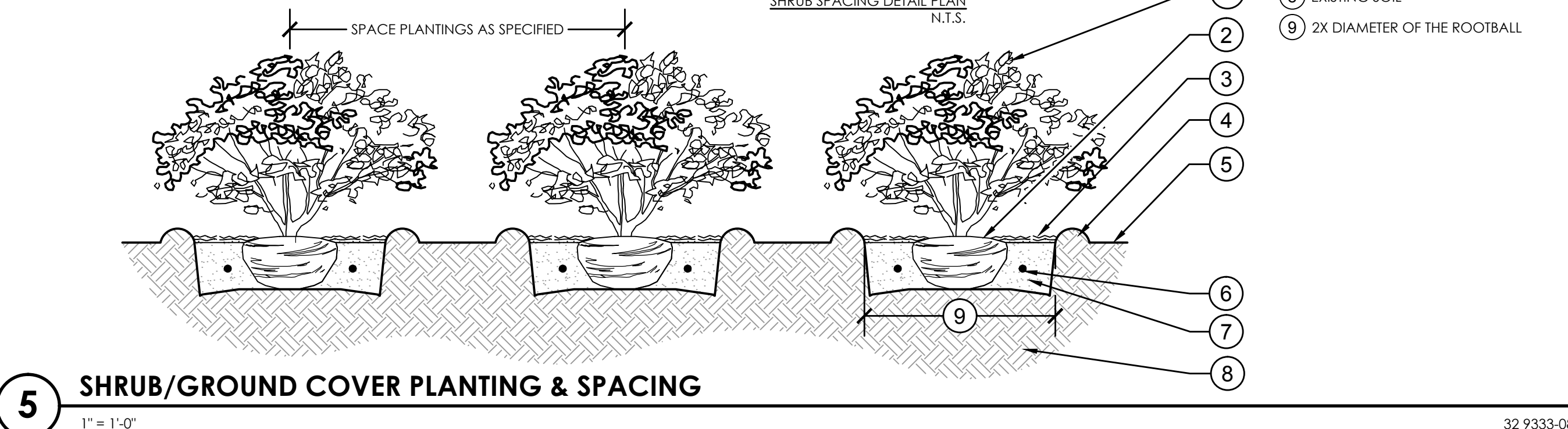
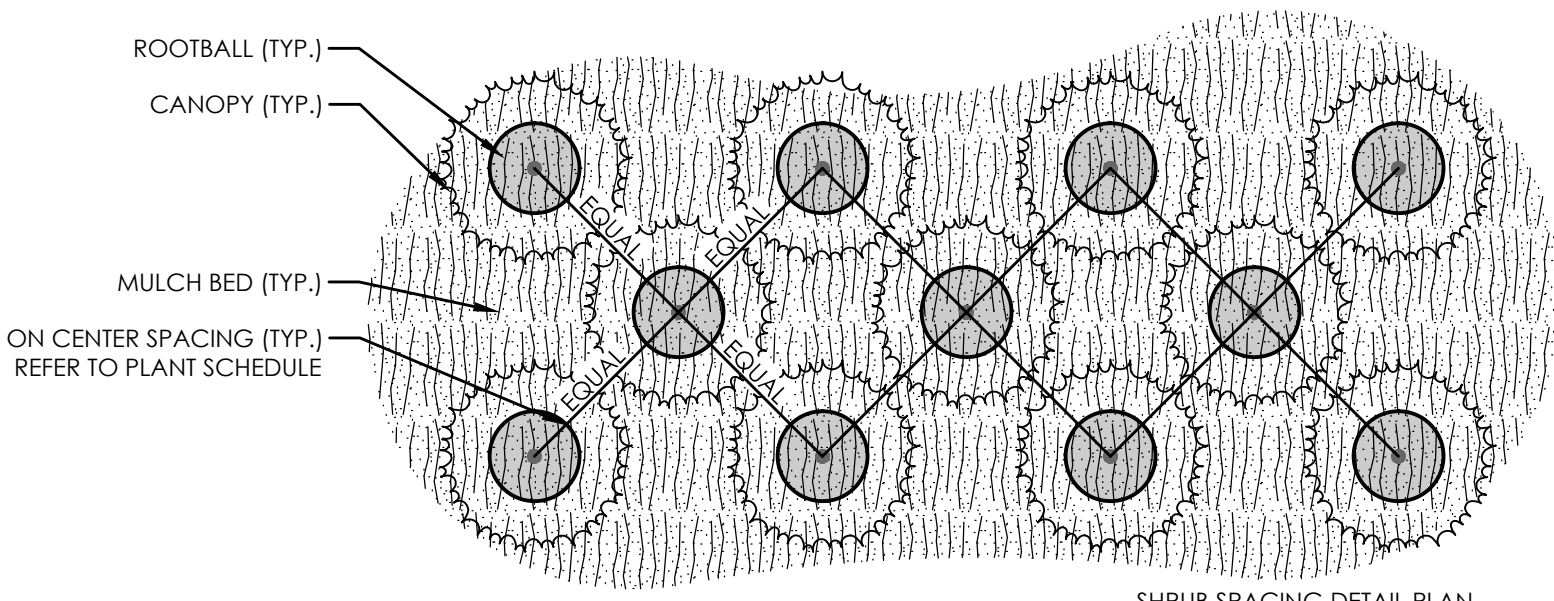
2 SMALL TREE PLANTING: LESS THAN 2" CALIPER
1/4" = 1'-0" 32 9343-18



3 SABAL PALM PLANTING
1/4" = 1'-0" 32 9343-21



4 LARGE PALM PLANTING DETAIL
1/4" = 1'-0" 32 9343-25



5 SHRUB/GROUND COVER PLANTING & SPACING
1" = 1'-0" 32 9333-08



Plot Date: 2016-10-18 3:19:41 PM Username: SBotrak Layout Name: L3.04 Filename: 16-088.006_L3-Landscape.dwg
Folder Path: V:\Projects\2016\16-088.006 - Margate Dog Park\Design\CAD\Plans

LANDSCAPE SPECIFICATIONS

1. GENERAL

- 1.1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
- 1.1.1. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- 1.1.2. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
- 1.2. SOURCE OF BASE INFORMATION IS PROVIDED BY [ADD HERE] ON [ADD DATE HERE] AND IS ASSUMED TO BE CORRECT. IF SITE DISCREPANCIES ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY. IF CONTRACTOR CONTINUES WORK WITHOUT THE PROPER NOTIFICATION, CONTRACTOR DOES SO AT HIS OWN RISK.
- 1.3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.
- 1.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.
- 1.5. CONTRACTOR SHALL VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
- 1.6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
- 1.7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE OWNER.
- 1.8. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES.
- 1.9. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- 1.10. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.
- 1.11. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.
- 1.12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.

2. PRE-CONSTRUCTION RESPONSIBILITY

- 2.1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERTINENT PARTIES AND HIMSELF.
- 2.2. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES ONSITE. LOCATION TO BE DETERMINED BY THE OWNER. JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.
- 2.3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
- 2.4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
- 2.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY TREES PROPOSED FOR RELOCATION. THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 2.6. CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.

3. SITE DEMOLITION

- 3.1. ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLAN(S). REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
- 3.2. ALL HARDSCAPE DESIGNATED FOR REMOVAL SHALL BE SAW CUT, LEAVING UNIFORM EDGES TO THE GREATEST EXTENT POSSIBLE. MATERIAL EDGES TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 3.3. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS NOTED ON THE PLANS OR APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
- 3.4. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. SALVAGED MATERIALS SHALL BE HANDLED WITH CARE AND STORED ON-SITE OR AS DIRECTED BY OWNER. CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS; REUSE AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 3.5. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF AS REQUIRED BY LOCAL, STATE OR FEDERAL LAWS.
- 3.6. CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
- 3.7. ALL IRRIGATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT AFFECTED.

4. TREE PRESERVATION

- 4.1. ALL TREES TO BE PRESERVED AS INDICATED ON THE TREE DISPOSITION PLAN SHALL BE PROTECTED BY A TREE PROTECTION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.

- 4.2. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND THE DRIP LINE OF EXISTING TREES TO BE PRESERVED IN PLACE, AS SHOWN ON PLAN. PRESERVATION BARRICADES SHALL BE LEFT IN PLACE THROUGHOUT DURING ALL PHASES OF CONSTRUCTION.
- 4.3. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO PLANS FOR TREE PRESERVATION BARRICADE FENCING DETAIL.
- 4.4. IF EXCAVATION IN THE VICINITY OF A PROTECTED TREE IS REQUIRED, CONTRACTOR SHALL ROOT PRUNE TREES, UNDER THE SUPERVISION OF A CERTIFIED ARBORIST IN ACCORDANCE TO THE FOLLOWING CONDITIONS:
- 4.4.1. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO CONSTRUCTION. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER FOR 2 TO 3 DAYS PRIOR TO ROOT PRUNING. SEE BELOW FOR RELOCATION TIMELINE.

1. PROVIDE TEMPORARY IRRIGATION FOR EACH TREE THROUGHOUT THE DURATION OF CONSTRUCTION.

2. ROOT PRUNE TREES, SHOWN ON PLAN IN AREAS WHERE ROOTS WILL CONFLICT WITH CONSTRUCTION ACTIVITY. PRUNING OF ROOTS SHOULD BE DONE IN A MANNER TO PRESERVE THE GREATEST AMOUNT OF THE ROOT BASE AS POSSIBLE.

3. BACKFILL TRENCH WITH PLANTING SOIL.

4. FERTILIZE WITHIN THE ROOT ZONE (SEE BELOW).
- 4.4.2. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH AROUND THE TREE IN AREAS WHERE PROPOSED SITE WORK WILL BE PERFORMED. TRENCHING SHALL BE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8".
- 4.4.3. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20.20.20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.
- 4.5. THE CONTRACTOR SHALL FIELD STAKE THE LIMIT OF ROOT PRUNING. LIMITS OF ROOT PRUNING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION. DO NOT ROOT PRUNE FOR IRRIGATION OR ELECTRICAL LINES WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.
- 4.6. ROOT PRUNING SHALL OCCUR IN ACCORDANCE WITH TREE RELOCATION NOTES AS NOTED ON PLANS.
5. PLANTING SOIL

5.1. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL.

5.2. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 6" TOPSOIL AROUND AND BENEATH THE ROOTBALL.

5.3. MINIMUM TOPSOIL SHALL BE 2" FOR SODDED GRASS AREAS.

5.4. PLANTING SOIL MIX SHALL BE A WEED FREE MIX AS FOLLOWS:

5.4.1. DICOT TREES & SHRUBS: 50% SAND, 40% MUCK & 10% PEAT

5.4.2. MONOCOT PALMS: 70% SAND & 30% MUCK

5.4.3. TURF: 80% SAND, 10% PEAT & 10% MUCK
6. LANDSCAPE PLANTING

6.1. THIS PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.

6.2. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.

6.3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.

6.4. ALL PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.

6.5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZES (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. CONTAINER SIZE IS FOR REFERENCE PURPOSES ONLY. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION, AS SPECIFIED IN THE PLANT LIST.

6.6. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.

6.7. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.

6.8. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND/OR GOVERNING MUNICIPALITY.

6.9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.

6.10. AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAKED TO A DEPTH OF 6". ALL ROCK AND FOREIGN INORGANIC MATERIALS SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.

6.11. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT EXISTING TREES, DAMAGE UTILITIES OR OTHER IMPROVEMENTS.

6.12. ALL PLANTING BEDS IN OPEN AREAS AND AROUND BUILDING FOUNDATIONS SHALL BE EXCAVATED TO A DEPTH OF TWENTY-FOUR INCHES (24") AND BACK FILLED WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.

6.13. ALL PLANTING BEDS IN MEDIANS, HARDSCAPE AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS MATERIAL SHALL BE EXCAVATED TO A DEPTH OF THIRTY-SIX INCHES (36") OR UNTIL NATIVE SOILS ENCOUNTERED TO ENSURE DRAINAGE. BACK FILL WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.

6.14. EXCAVATE PLANTING PITS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER LATERAL ROOT(S) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER. ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.

6.15. BURLAP, SYNTHETIC STRING, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM HE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE COMPLETELY REMOVED AND THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.

6.16. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED.

- 6.17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.
- 6.18. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
- 6.19. ALL TREES SPECIFIED AS FIELD GROWN OR B&B TREES SHALL BE ROOT-PRUNED AT THE NURSERY A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.
- 6.20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
- 6.21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.
- 6.22. GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.
- 6.23. TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE 8' IN ALL PEDESTRIAN AREAS.
- 6.24. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.
- 6.25. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO STAKING.
- 6.26. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT/WARRANTY PERIOD.
- 6.27. TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUYS SHALL BE REJECTED.
7. TURF GRASSES

7.1. ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.
8. MULCH & FERTILIZER

8.1. ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF SHREDDED FLORI-MULCH, MELALEUCA OR EUCALYPTUS MULCH GRADE 'B' OR BETTER, UNLESS OTHERWISE SPECIFIED.

8.2. INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3' DIAMETER MULCH RING.

8.3. MULCH SHALL NOT BE INSTALLED WITHIN 3" OF TREE TUNKS.

8.4. FERTILIZER MIX AS FOLLOWS:

8.4.1. DICOT TREES & SHRUBS: NPK 18-4-2, SLOW RELEASE W/ MICRONUTRIENTS

8.4.2. MONOCOT PALMS: NPK 8-2-12, SLOW RELEASE W/ MICRONUTRIENTS

8.4.3. TURF: NPK 16-4-8, SLOW RELEASE W/ MICRONUTRIENTS
9. WATERING

9.1. ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE SHALL BE INSTALLED TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.

9.2. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.
10. PROJECT CLOSEOUT

10.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.

10.2. THE CONTRACTOR SHALL RESTORE, REPLACE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR, HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTOR'S EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

10.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.

10.4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.

10.5. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INCLUDING PRODUCT/EQUIPMENT AS SPECIFIED OR REVISED DURING THE SHOP DRAWING SUBMITTAL PROCESS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
11. GUARANTEE

11.1. ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED IN KIND BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION.

11.2. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.

11.3. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 74 MPH AS DETERMINED BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

CHEN•MOORE

&ASSOCIATES

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CERTIFICATES OF AUTHORIZATION
EB4593 LC26000425

REGISTRATION

JASON J. MCCLAIR
REGISTRATION NO. 56962
DATE: _____

SUB-CONSULTANT

CLIENT



PROJECT INFORMATION

MARGATE DOG PARK

CITY OF MARGATE, FLORIDA

PROJECT NUMBER
16-088.006

CLIENT PROJECT NUMBER
PO#160934

VERIFY SCALES
0 _____ 1"
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

REVISIONS

DATE OF ISSUE
2016-10-18

DESIGNED BY
MSB

DRAWN BY
MSB

CHECKED BY
CAB

DRAWING TITLE

LANDSCAPE SPECIFICATIONS

DRAWING NUMBER

L3.04
19 OF 19