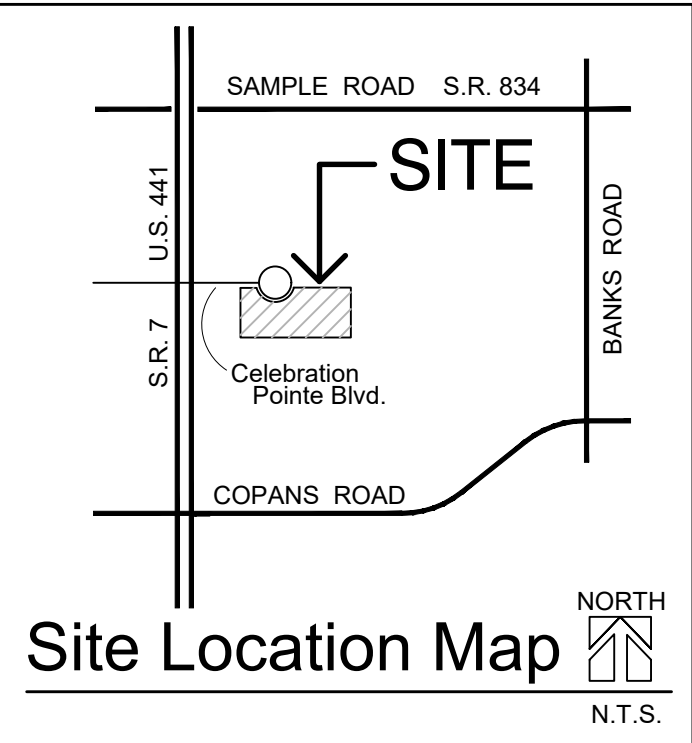
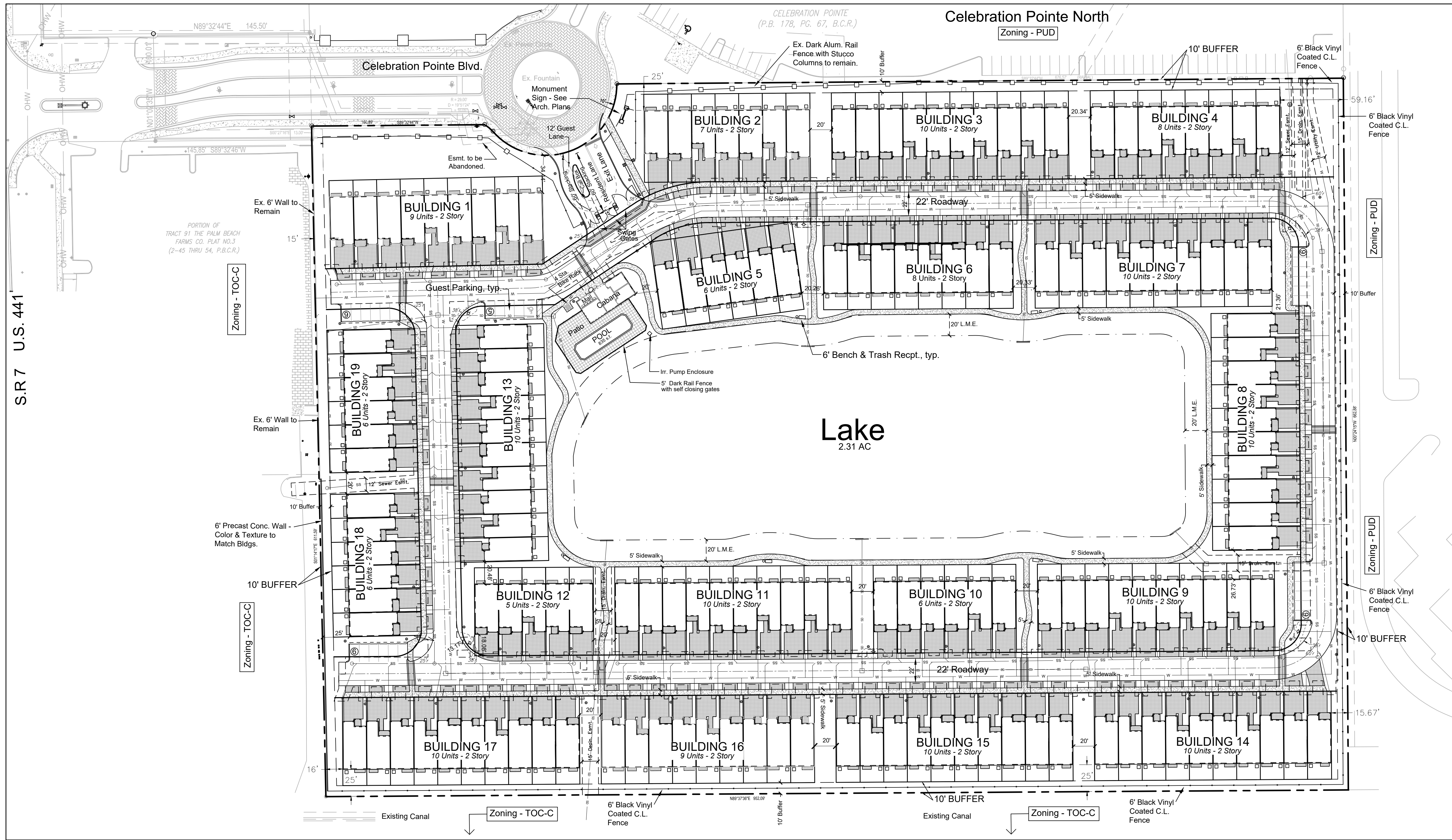




S.R. 7 U.S. 441

SITE PLAN

Site Symbol Key

	Concrete Unit Pavers		Bench & Trash Receptacle See Detail SP-2
	Street Light		Street Sign
	Fire Hydrant		

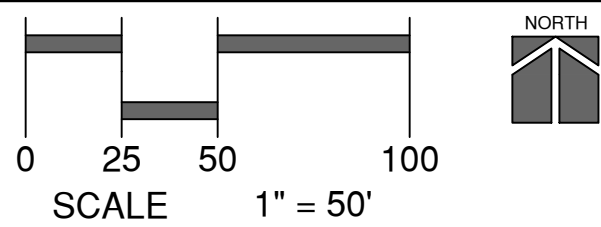
Site Data

Land Use - Low Res (5-10 d.u./ac.)		
Zoning - PUD		
Proposed Use - 160 Townhouses		
Total PUD - 29.70 acres		
Phase I - 15.44 ac.		
Phase II - 14.26 ac. (This Site Plan)		
Density Phase II - 160 units/14.26 ac. = 11.22 du/ac		
Impervious Area Total - Phase II		
Building Coverage	3.60 ac.	25%
Roadways, Parking, Driveways	3.28 ac.	23%
Pool/Patio/Sidewalks	0.77 ac.	5.4%
Lake Area	2.31 ac.	16%
Pervious Area Total - Phase II		
	4.30 ac.	30%

Open Space Requirements	
PUD Acreage	29.70 ac.
Total PUD Open Space Required	10.39 ac. (35%)
Total PUD Open Space Provided	11.35 ac. (38.2%)
Phase I Open Space	5.86 ac.
Phase II Open Space	5.49 ac.
Recreation Facility (0.09 ac.@50%)	0.045 ac.
Lake (2.31 ac.@50%)	1.15 ac.
Pervious Area	4.30 ac.

Parking Tabulations	
Required - 2.25 spaces per unit = 160 (2.25) = 360 spaces	
10% guest spaces = 160/5 = 36 spaces	
396 total spaces required	
Provided - 2 spaces per unit @ 160 units	
= 320 driveway spaces	
1 garage space per unit = 160 garage spaces	
29 surface spaces	
509 total spaces provided	

Setbacks	Req.	Provided
Front	25'	25'
Side*	15'	15' min.
Rear	25'	25'
Building Separation	20'	20'
PUD Perimeter Buffer	10'	10'
* 10' variance		



Site Plan

Celebration Pointe South

Margate Florida

Date 04-10-2017
Scale As Noted
PN# 1234

PREPARED BY
Steven E. Tate, R.L.A.
Landscape Architect #987
State of Florida
For The Firm
DATE

Drawing No.
SP-1
OF 2

Covelli
Design
Associates Inc.
Urban Planning • Landscape Architecture
2295 NW Corporate Blvd., Suite 213
Boca Raton, Florida 33431
561-910-0330
LC 26000287
covellidesign.com

Revisions

