

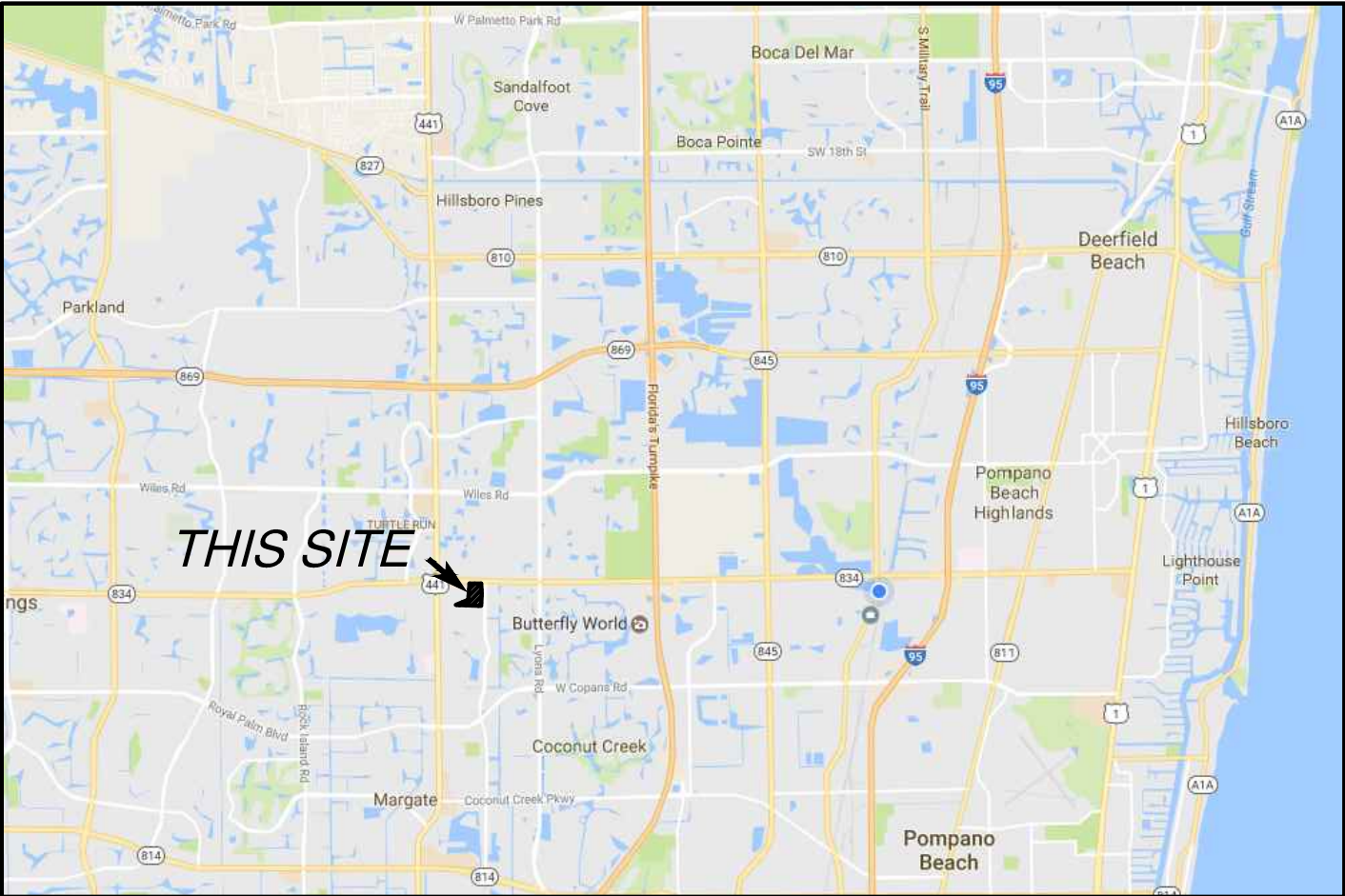
JM LEXUS

PARKING GARAGE AND CAR WASH

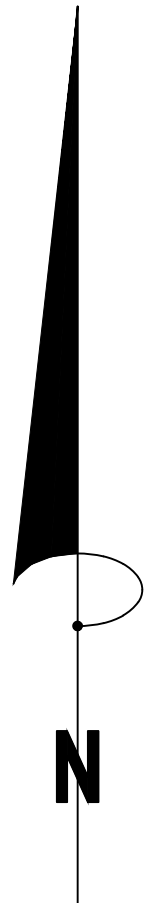
MARGATE, BROWARD COUNTY, FLORIDA

GENERAL NOTES:

1. THE LOCATION OF ALL EXISTING UTILITIES ON THE PLAN IS APPROXIMATE. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN SHOWN ON THESE PLANS.
2. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND OTHER UTILITIES AND OTHER IMPROVEMENTS NOT SHOWN. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION, AND SHALL MAINTAIN SUFFICIENT PROTECTION TO ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION.
3. CONTRACTOR SHALL CONTACT THE CITY OF MARGATE ENGINEERING DEPARTMENT 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
4. CONTRACTOR SHALL NOTIFY SHAH, DROTOS & ASSOCIATES AT (954) 943-9433 AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY FLORIDA POWER & LIGHT CO., SOUTHERN BELL TELEPHONE CO., THE LOCAL WATER AND SEWER UTILITY COMPANIES AND ANY OTHER UTILITY COMPANY WHICH MAY HAVE THEIR UTILITIES WITHIN THE CONSTRUCTION AREAS BEFORE BEGINNING CONSTRUCTION.
6. A PRE-CONSTRUCTION MEETING IS TO BE HELD BETWEEN THE CITY OF MARGATE, FLORIDA DEPARTMENT OF TRANSPORTATION (IF APPLICABLE), ENGINEER OF RECORD AND CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. THE CONTRACTOR MUST NOTIFY THE CITY OF MARGATE UTILITIES DEPARTMENT AND F.D.O.T. 48 HOURS PRIOR TO TYING INTO ANY EXISTING STRUCTURES AND HAVE AN INSPECTOR PRESENT.
8. PLANS AND SPECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONG SIDE OF AND OVER ALL UTILITIES. THE ENGINEER MAY REQUIRE THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. THE COSTS OF SUCH COMPACTION TESTS WILL BE BORNE BY THE CONTRACTOR.
9. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
10. THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND (INCLUDING SPRINKLERS) SHALL BE PLACED BENEATH THE PAVEMENT AND ITS EDGE PRIOR TO THE CONSTRUCTION OF PAVEMENT. THE PAVEMENT SHALL NOT BE CUT WITHOUT PRIOR APPROVAL OF THE ENGINEER.
11. ALL MATERIALS AND CONSTRUCTION WITHIN THE D.O.T. R/W SHALL CONFORM TO THE D.O.T. "DESIGN STANDARDS" (LATEST EDITION) AND "STANDARDS SPECIFICATIONS" (LATEST EDITION)
12. ALL LABOR, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY THE CITY OF MARGATE UTILITIES DEPARTMENT AND THE PLANS AND CONSTRUCTION SPECIFICATIONS. WHERE CONFLICTS OR OMISSIONS EXIST, THE CITY OF MARGATE UTILITIES DEPARTMENT STANDARDS SHALL DICTATE. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.
13. CONSTRUCTION INSPECTION WILL BE PERFORMED BY THE ENGINEER AND IS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION, AND AT LEAST 48 HOURS BEFORE REQUIRING INSPECTION OF EACH AND EVERY PHASE OF WORK.
14. CONSTRUCTION SURVEYING WILL BE PERFORMED BY THE ENGINEER OR SURVEYORS DESIGNATED BY THE OWNER. THE CONTRACTOR SHALL CONTACT THE SURVEYOR NOT LESS THAN 48 HOURS BEFORE THE SURVEYORS ARE NEEDED ON-SITE TO STAKE OUT ANY PHASE OF WORK. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY OF PROTECTING ALL SURVEY STAKES AND MONUMENTS. REPLACEMENT COSTS OF ALL RESTAKES SHALL BE BORNE BY THE CONTRACTOR.
15. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF APPROVED CONSTRUCTION PLANS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
16. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE DRAWINGS WILL THEN BE FORWARDED TO, THE CITY OF MARGATE UTILITIES DEPARTMENT AND ENGINEERING DEPARTMENT.
17. THE CONTRACTOR MUST CALL BROWARD COUNTY TRAFFIC ENGINEERING DEPARTMENT AT 954-484-9600 AT LEAST 48 HOURS BEFORE ANY EXCAVATION WITHIN THE D.O.T. R/W TO DETERMINE THE LOCATION OF THE EXISTING TRAFFIC SIGNAL INTERCONNECT CABLE.
18. AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY OF THE STATE ROAD SHALL BE BACKFILLED IN ACCORDANCE WITH STANDARD INDEX 600 OR SHALL BE OTHERWISE PROTECTED WITH TEMPORARY BARRIER WALL AT THE CONTRACTOR EXPENSE.
19. THE CONSULTANT'S ENGINEER RESPONSIBLE FOR CONSTRUCTION INSPECTION SHALL INSURE THAT THE MAINTENANCE OF TRAFFIC FOR THE PROJECT CONFORMS WITH STANDARD INDEX SERIES 600, APPLICABLE INDEX WORK BEING PERFORMED.
20. ALL MOT SIGNS SHALL BE POST MOUNTED AND LANE CLOSURE SIGNS SHALL BE COVERED WHEN LANES ARE NOT CLOSED. NO LANES CLOSURES ARE ALLOWED BETWEEN 7:00 AM AND 9:00 AM OR BETWEEN 4:00 PM AND 6:00 PM., PEAK TRAFFIC HOURS.



LOCATION MAP
N.T.S.



INDEX OF SHEETS

CIVIL

- CE1 COVERSHEET
CE2 SITE AND PAVING PLAN
CE3 GRADING AND DRAINAGE PLAN
CE4 WATER AND SEWER PLAN

CALL 48 HOURS
BEFORE YOU DIG

IT'S THE LAW!
1-800-432-4770

Sunshine State One Call of Florida, Inc.

NOTES:
1. PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES THAT HAVE FACILITIES WITHIN THE PROJECT AREA.
2. THE ABOVE NOTICE SHALL APPEAR ON THE COVER SHEET OF ALL CONSTRUCTION PLANS SUBMITTED TO THE COUNTY.

SDA SHAH
DROTOS
& ASSOCIATES

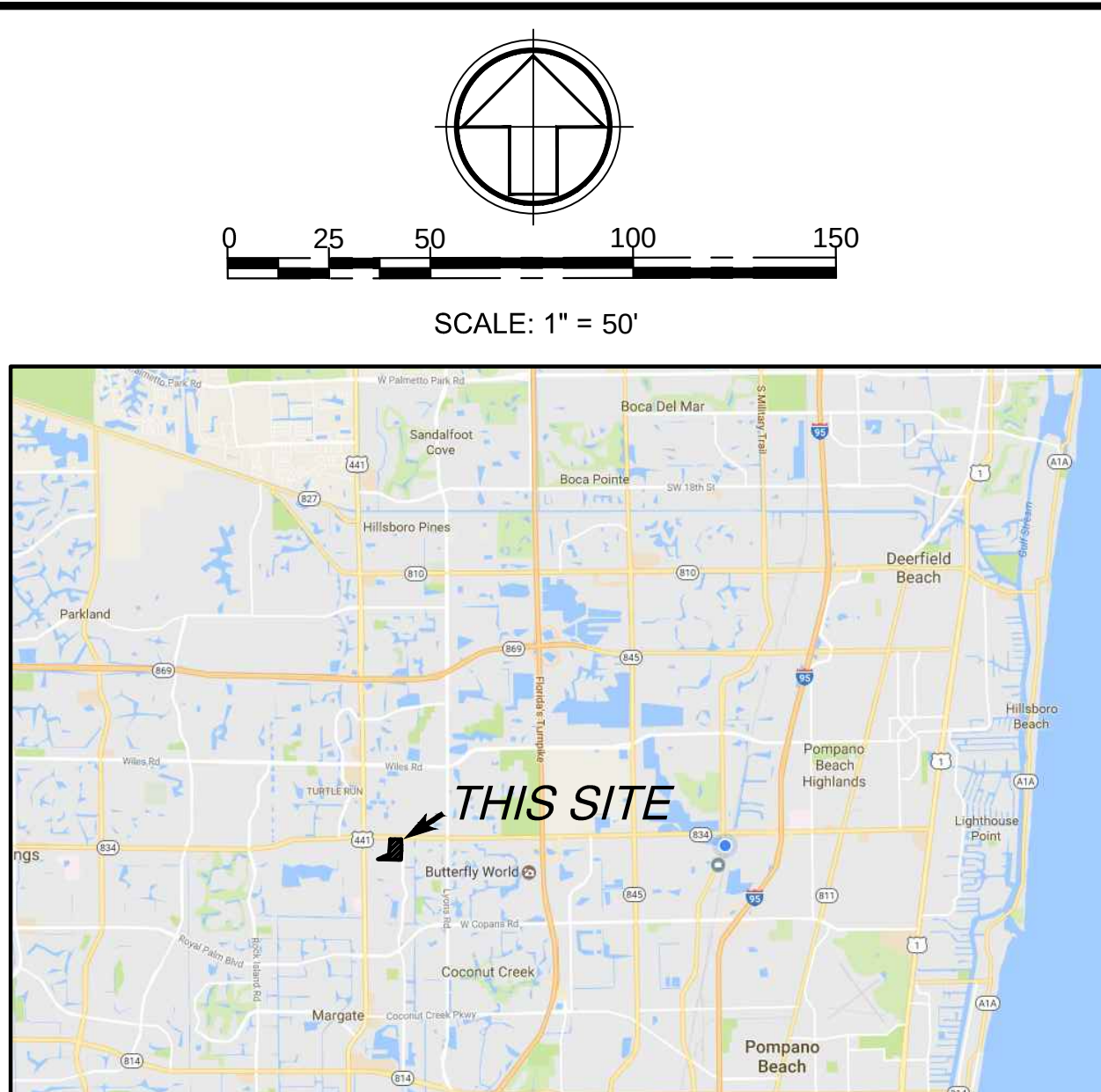
ENGINEERING • SURVEYING • PLANNING

3410 NORTH ANDREWS AVENUE EXT., POMPAÑO BEACH, FL 33064
PH: 954-943-9433 • FAX: 954-783-4754

1071A.01

FOR THE FIRM, BY:

BHARAT SHAH P.E.
CIVIL ENGINEER
FLA. P.E. No. 19702



LOCATION MAP

N.T.S.

BUILDING SETBACK TABLE	STREET (BANKS RD.)	STREET (NW 34TH ST.)	STREET (NW 54TH AVE.)	STREET (SAMPLE RD.)
REQUIRED	25.00'	25.00'	25.00'	35.00'
PROVIDED	100.50'	83.90'	175.20'	660.70'

GROSS SITE DATA:

CURRENT USE OF PROPERTY: COMMERCIAL – AUTOMOBILE DEALERSHIP
LAND USE: COMMERCIAL
ZONING: B-2A (REGIONAL BUSINESS DISTRICT)

EXISTING SITE DATA (FROM PREVIOUSLY APPROVED SITE PLAN DATED 11/4/03):

TOTAL SITE AREA:	17.79 AC.	774,920 SQ.FT.	100.00%
BUILDING FLOOR AREA:	2.36 AC.	103,006 SQ.FT.	13.29%
PAVED AREA:	12.33 AC.	537,000 SQ.FT.	69.30%
GREEN AREA:	3.10 AC.	134,914 SQ.FT.	17.41%
TOTAL IMPERVIOUS AREA:	14.69 AC.	640,006 SQ.FT.	82.59%
TOTAL PERVIOUS AREA:	3.10 AC.	134,914 SQ.FT.	17.41%

FLOOR AREA RATIO PROVIDED: $2.36 / 17.79 = 1/7.54 = 0.133$

PROPOSED SITE DATA:

TOTAL SITE AREA:	17.79 AC.	774,920 SQ.FT.	100.00%
BUILDING FLOOR AREA:	3.32 AC.	144,573 SQ.FT.	18.66%
PAVED AREA:	10.92 AC.	475,532 SQ.FT.	61.36%
GREEN AREA:	3.55 AC.	154,815 SQ.FT.	19.98%
TOTAL IMPERVIOUS AREA:	14.24 AC.	620,105 SQ.FT.	80.02%
TOTAL PERVIOUS AREA:	3.55 AC.	154,815 SQ.FT.	19.98%

FLOOR AREA RATIO PROVIDED: $3.32 / 17.79 = 1/5.36 = 0.187$

SITE PARKING DATA:

REQUIRED PARKING

SHOWROOM PARKING – 29,500 SQ.FT. @ 1/500 S.F. = 59 SPACES
OWNER PARKING – 1 OWNER @ 1/PERSON = 1 SPACE
SALES & SERVICE MECHANICS – 300 PEOPLE @ 1/2 PEOPLE = 150 SPACES
ACCOUNTING EMPLOYEES – 40 PEOPLE @ 1/PERSON = 40 SPACES

TOTAL REQUIRED EMPLOYEE/CUSTOMER PARKING (INCLUDING HANDICAP) = 250 SPACES
TOTAL REQUIRED HANDICAP PARKING SPACES = 7 SPACES

EXISTING PARKING

EMPLOYEE/CUSTOM EXISTING PARKING (INCLUDING HANDICAP) = 293 SPACES
EXISTING HANDICAP PARKING SPACES = 8 SPACES
DISPLAY PARKING SPACES = 844 SPACES
TOTAL EMPLOYEE/CUSTOMER AND DISPLAY PARKING SPACES = 1137 SPACES

PROPOSED PARKING

EXISTING EMPLOYEE/CUSTOMER PARKING TO REMAIN (INCLUDING HANDICAP) = 278 SPACES
EXISTING HANDICAP PARKING SPACES TO REMAIN = 5 SPACES
PROPOSED EMPLOYEE/CUSTOMER PARKING SPACES (INCLUDING HANDICAP) = 12
PROPOSED HANDICAP PARKING SPACES = 2

TOTAL PROPOSED EMPLOYEE/CUSTOMER PARKING (INCLUDING HANDICAP) = 290
TOTAL PROPOSED HANDICAP PARKING = 7

EXISTING DISPLAY PARKING SPACES TO REMAIN = 525
PROPOSED DISPLAY PARKING SPACES = 149

TOTAL DISPLAY PARKING SPACES = 674

PROPOSED GARAGE STORAGE SPACES – GROUND FLOOR = 76
PROPOSED GARAGE STORAGE SPACES – LEVELS 2-6 = 710
PROPOSED GARAGE STORAGE SPACES – LEVEL 7 = 144
TOTAL GARAGE STORAGE SPACES = 930

TOTAL PROPOSED PARKING (INCLUDING HANDICAP) = 1894

TOTAL EXISTING BUILDING AREA PARCELS "A", "B" & "C"

EXISTING SQ FT:	103,006 SQ FT
2 ADDITIONAL FLOORS IN EXISTING SERVICE CENTER:	62,400 SQ FT
TOTAL EXISTING BUILDING AREA:	165,406 SQ FT

APPROVED TOTAL BUILDING AREA BY PLAT NOTE: 195,700 SQ FT

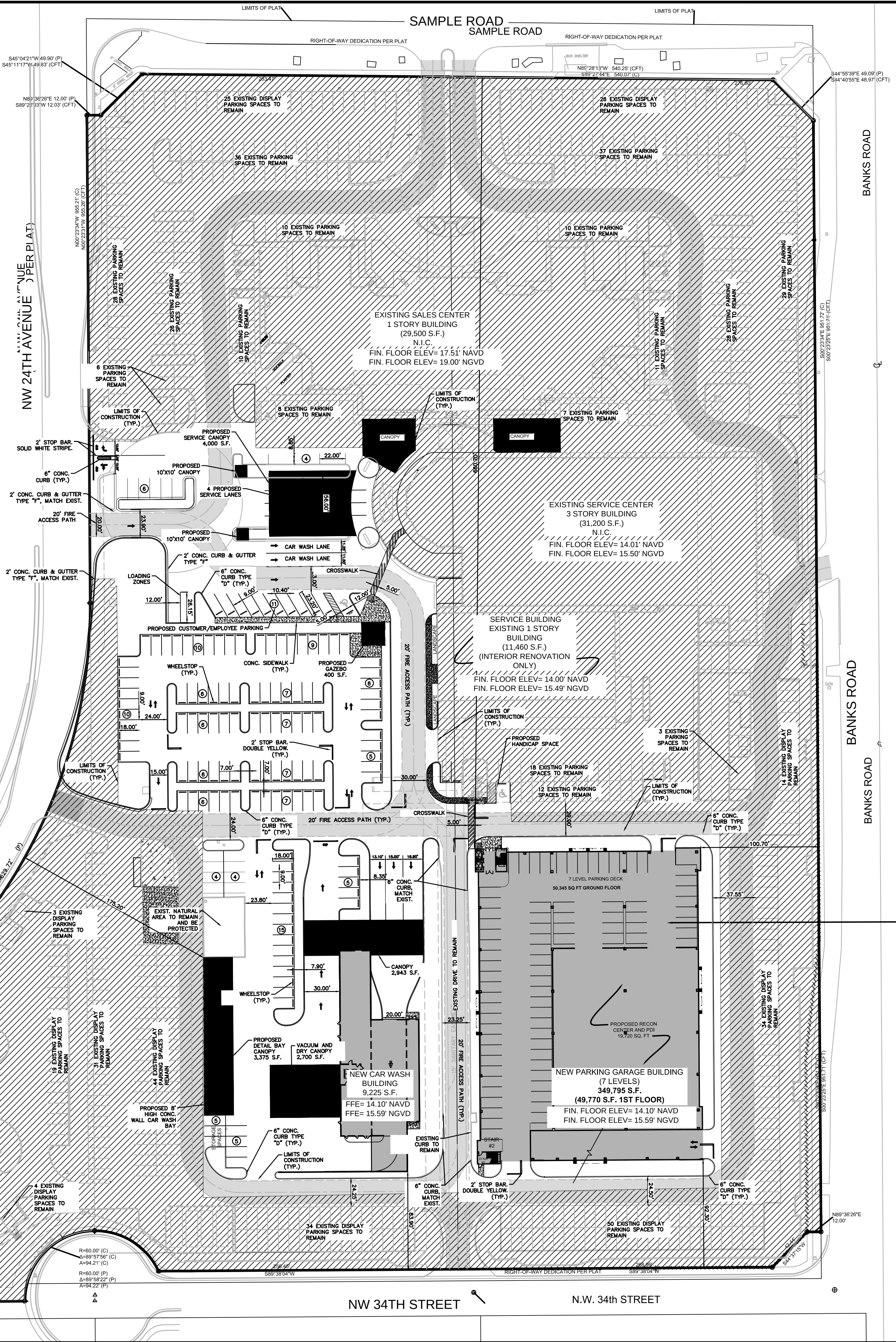
TOTAL PROPOSED BUILDING AREA PARCELS "A", "B" & "C"

PROPOSED BUILDING AREA:	149,102 SQ FT
2 ADDITIONAL FLOORS IN EXISTING SERVICE CENTER:	62,400 SQ FT
6 ADDITIONAL FLOORS IN NEW STORAGE PARKING GARAGE:	295,493 SQ FT
TOTAL PROPOSED BUILDING AREA:	506,995 SQ FT

DESCRIPTION:

PARCELS A, B AND C, WESTWOOD PLAZA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 140, PAGE 31, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SUBJECT TO ALL EASEMENTS RESERVATIONS AND RIGHT OF WAYS OF RECORD

SAID LANDS BEING IN THE CITY OF MARGATE, BROWARD COUNTY, FLORIDA, CONTAINING 18.74 ACRES (816,150 SQUARE FEET) MORE OR LESS.



REVISIONS

DATE BY

ENGINEERING SURVEYING PLANNING

SHAH DROTOS & ASSOCIATES
ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456
3410 N. Andrews Avenue Ext. • Pompano Beach, FL 33064
PH: 954-943-9433 • FAX: 954-783-4754

DRAWN BY: MJG

CHECKED BY: BRS

DESIGNED BY: BRS

APPROVED BY: S.D.A.

SCALE: 1"=50'

JM LEXUS - PARKING GARAGE, BODYSHOP, CAR WASH IMPROVEMENTS
MARGATE, BROWARD COUNTY, FLORIDA

SITE AND PAVING PLAN

SEAL

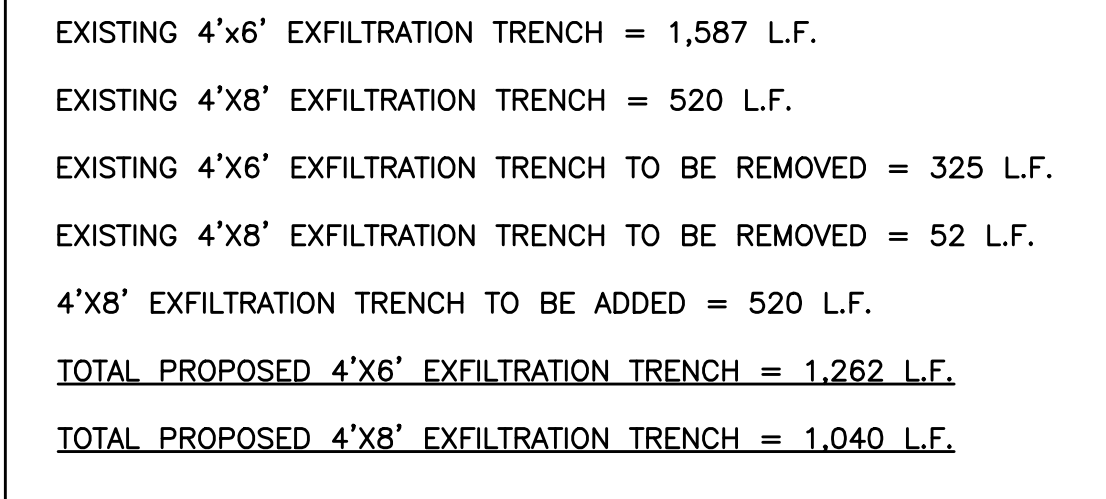
FOR THE FIRM, BY:

BHARAT SHAH P.E.
CIVIL ENGINEER
FLA. P.E. No. 19702

DATE: JUNE 2017

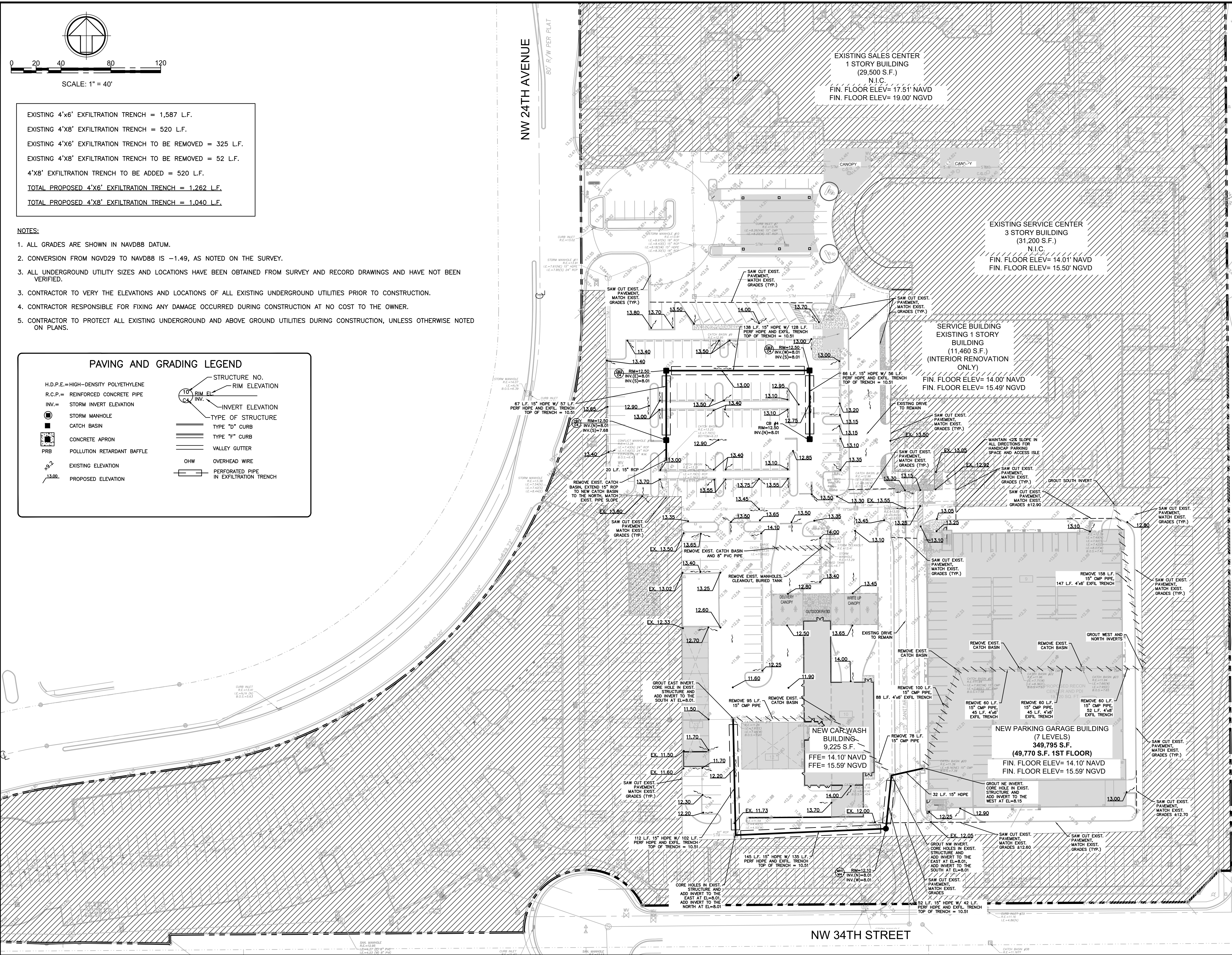
JOB NO. 1071A.01

SHEET CE2



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2. CONVERSION FROM NGVD29 TO NAVD88 IS -1.49, AS NOTED ON THE SURVEY.
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3. CONTRACTOR TO VERIFY THE ELEVATIONS AND LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
4. CONTRACTOR RESPONSIBLE FOR FIXING ANY DAMAGE OCCURRED DURING CONSTRUCTION AT NO COST TO THE OWNER.
5. CONTRACTOR TO PROTECT ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES DURING CONSTRUCTION, UNLESS OTHERWISE NOTED ON PLANS.

H.D.P.E.=HIGH-DENSITY POLYETHYLENE		RIM ELEVATION
R.C.P.= REINFORCED CONCRETE PIPE		
INV.= STORM INVERT ELEVATION		
		STORM MANHOLE
		CATCH BASIN
		CONCRETE APRON
PRB POLLUTION RETARDANT BAFFLE		
		EXISTING ELEVATION
		PROPOSED ELEVATION
		TYPE OF STRUCTURE
		TYPE "D" CURB
		TYPE "T" CURB
		VALLEY GUTTER
		OHW
		OVERHEAD WIRE
		PERFORATED PIPE IN EXPLORATION TRENCH

[illegible]

GDA **SHAH**
DROTOS
& ASSOCIATES

ENGINEERING
SURVEYING
PLANNING

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DRAWN BY: MJG
CHECKED BY: BRS
DESIGNED BY: BRS
APPROVED BY: S.D.A.
SCALE: 1"=40'

SCALE: 1"=40'

**JM LEXUS - PARKING GARAGE,
WASH/DETAIL BAY, CAR WASH IMPROVEMENTS
MARGATE, BROWARD COUNTY, FLORIDA**

GRADING & DRAINAGE PLAN

FOR THE FIRM, BY:

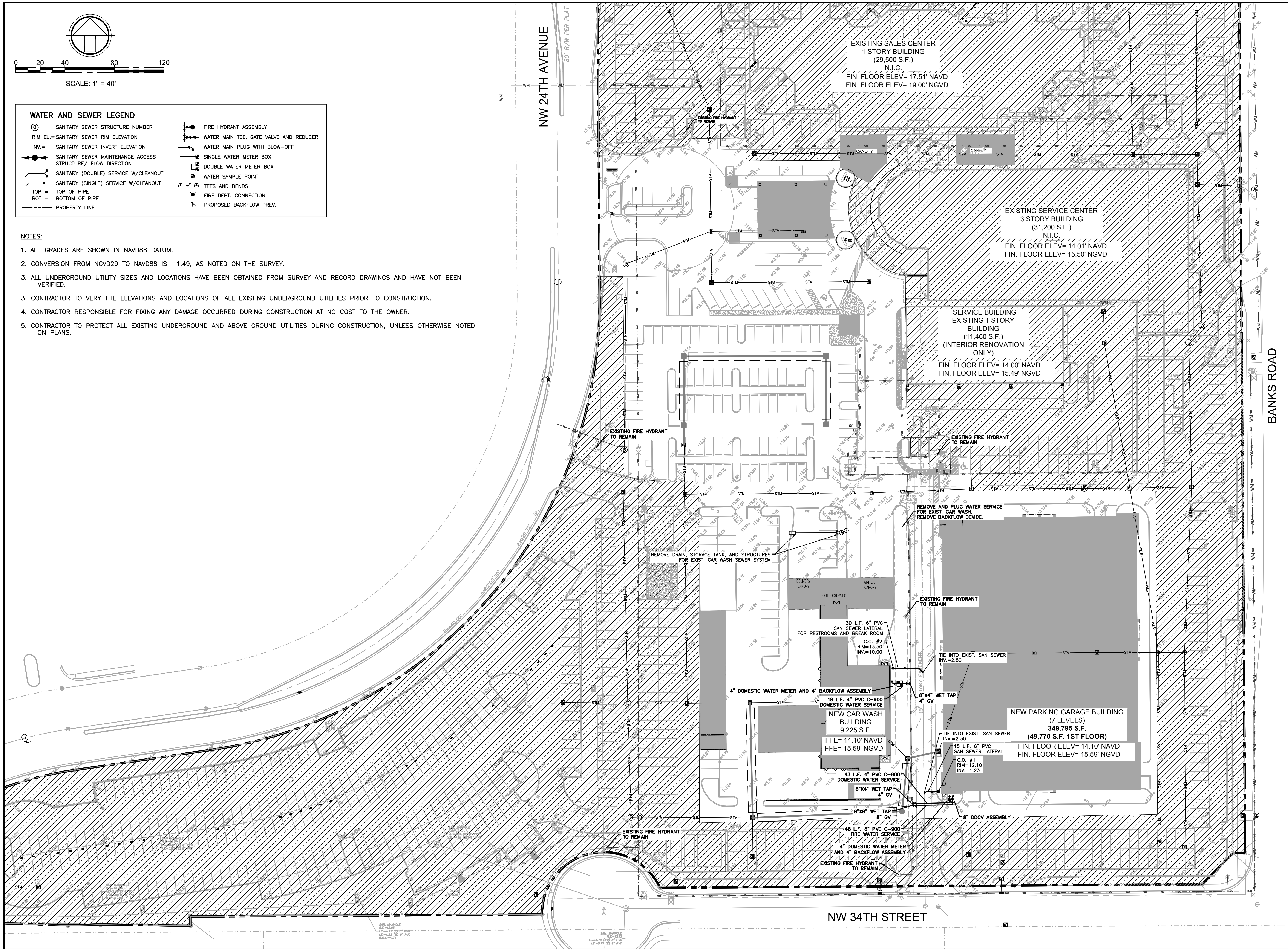
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FLA. P.E. No. 19702

DATE: JUNE 2017

JOB NO.
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SHEET
CE3

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6/29/2017 6:21:32 PM DWG To PDF.pc3



WATER AND SEWER LEGEND

- | | |
|---|--|
| ① SANITARY SEWER STRUCTURE NUMBER | ● FIRE HYDRANT ASSEMBLY |
| RIM EL.= SANITARY SEWER RIM ELEVATION | — WATER MAIN TEE, GATE VALVE AND REDUCER |
| INV.= SANITARY SEWER INVERT ELEVATION | — WATER MAIN PLUG WITH BLOW-OFF |
| — SANITARY SEWER MAINTENANCE ACCESS STRUCTURE/ FLOW DIRECTION | □ SINGLE WATER METER BOX |
| — SANITARY (DOUBLE) SERVICE W/CLEANOUT | □ DOUBLE WATER METER BOX |
| — SANITARY (SINGLE) SERVICE W/CLEANOUT | ● WATER SAMPLE POINT |
| ● TOP OF PIPE | — TEES AND BENDS |
| ● BOT = BOTTOM OF PIPE | ● FIRE DEPT. CONNECTION |
| --- PROPERTY LINE | — PROPOSED BACKFLOW PREV. |

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DATE	DESCRIPTION



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JM LEXUS - PARKING GARAGE, BODYSHOP, CAR WASH IMPROVEMENTS MARGATE, BROWARD COUNTY, FLORIDA	WATER AND SEWER PLAN
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SEAL	
FOR THE FIRM, BY:	
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