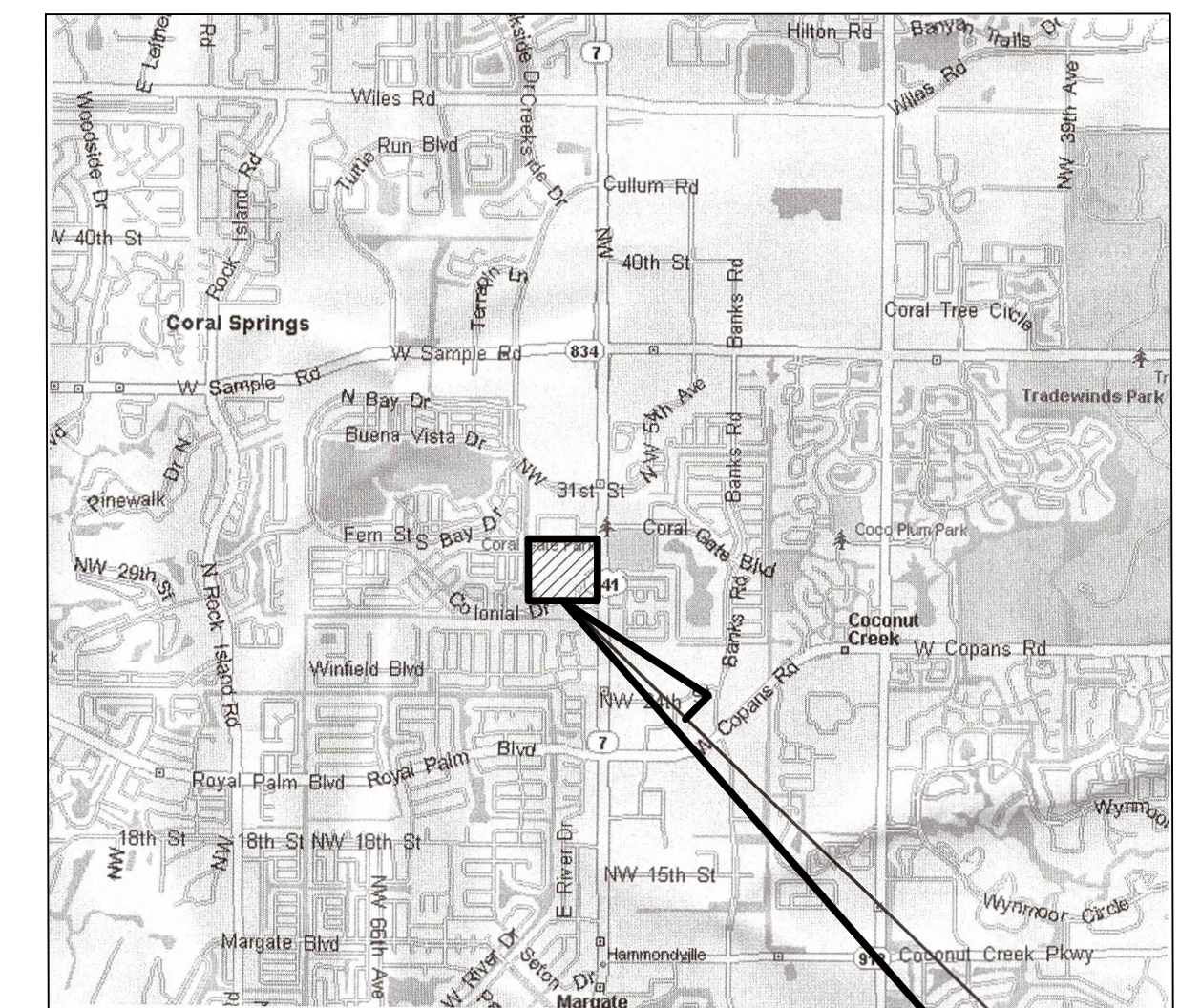
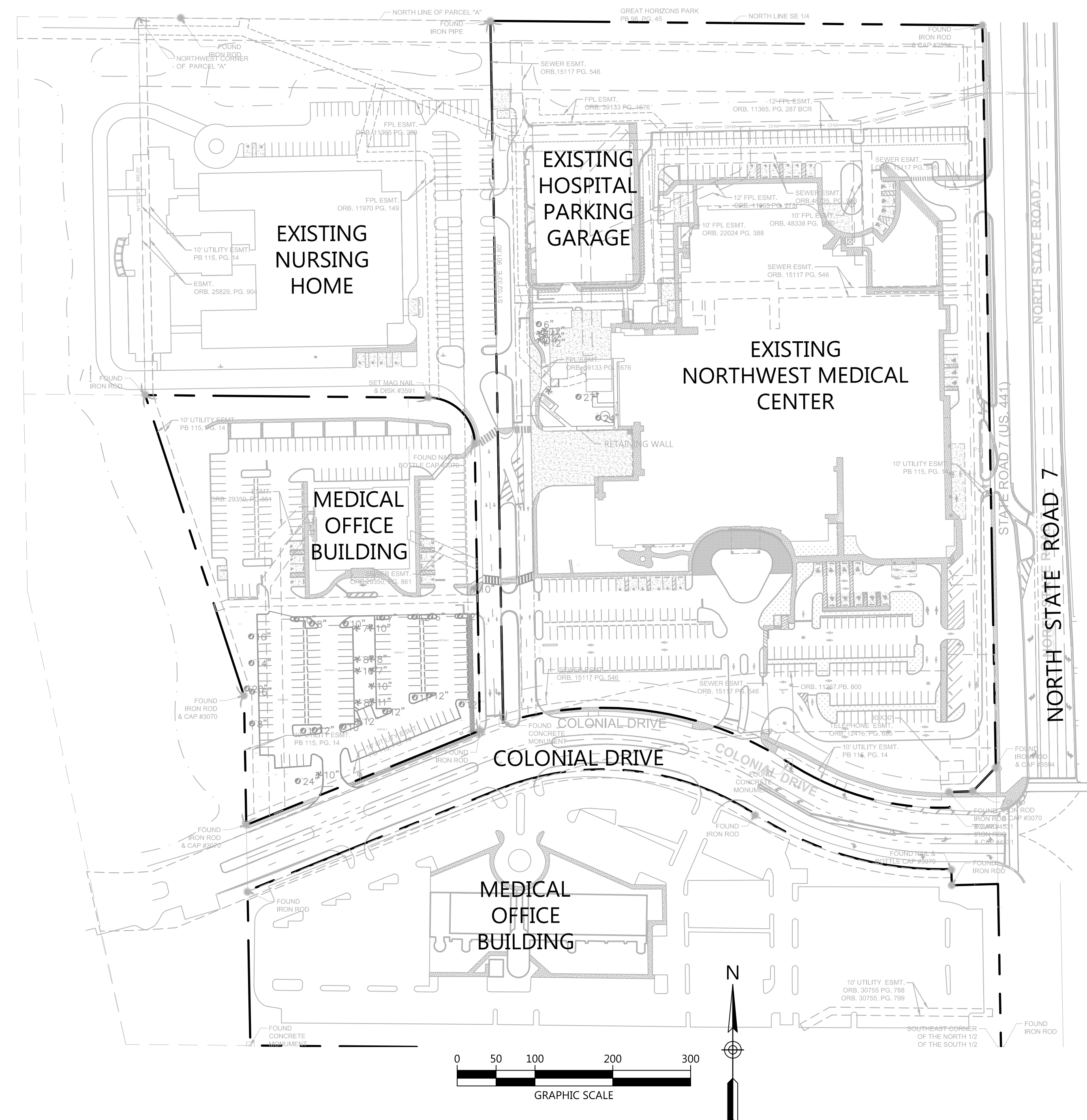
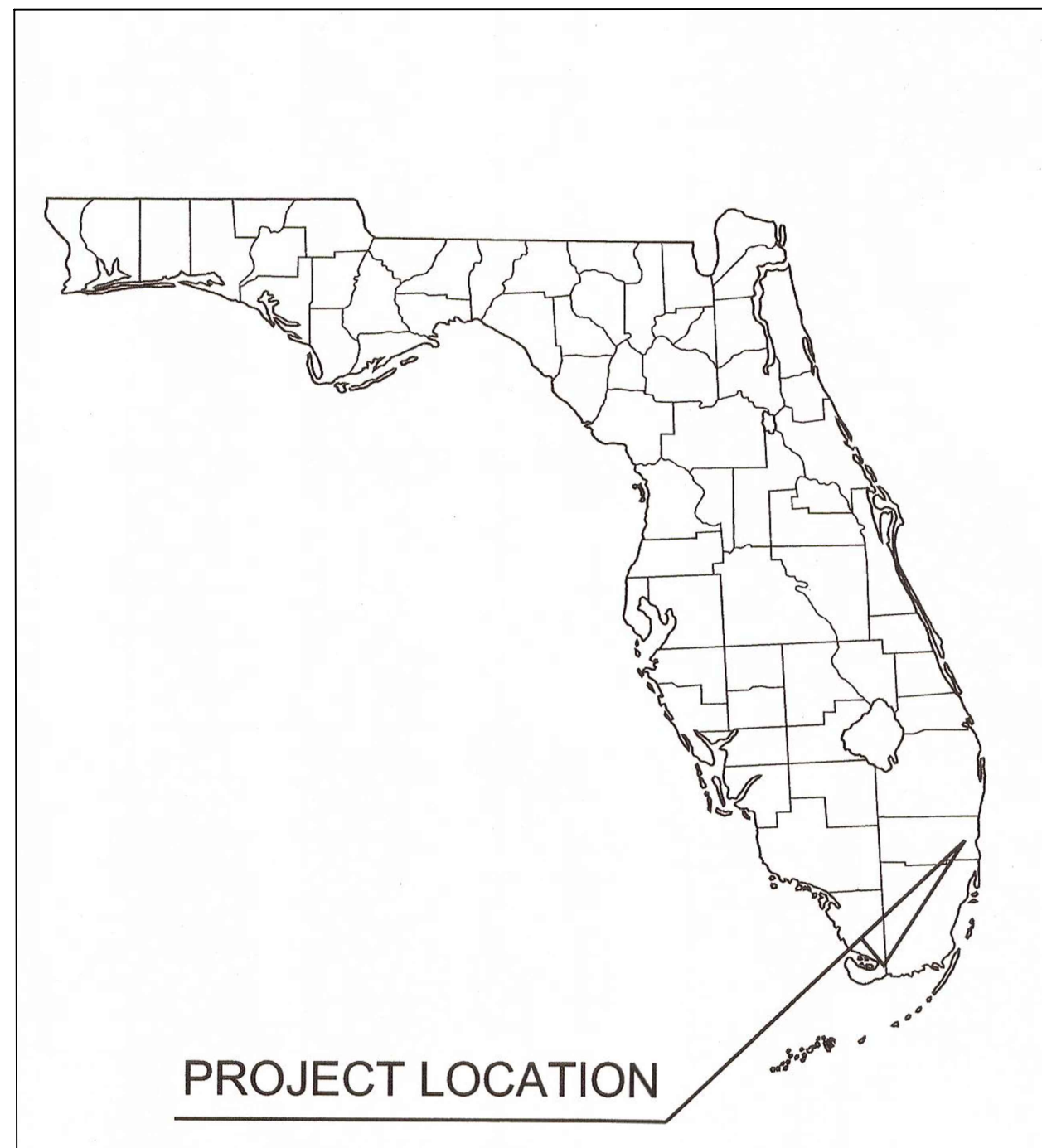


# SITE PLAN

# NORTHWEST MEDICAL CENTER

MARGATE, BROWARD COUNTY, FLORIDA

S&ME PROJECT NO. 514716072  
AUGUST 25, 2017



# VICINITY MAP

NOT TO SCALE

SECTION: 24 TOWNSHIP 84 RANGE:41

## PROJECT TEAM

## OWNER

NORTHWEST MEDICAL CENTER, INC.  
2801 NORTH S.R. 7  
MARGATE, FLORIDA 33063  
CONTACT: MITCH HAUSMANN

## CIVIL ENGINEER

S&ME, INC.  
1651 EDGEWATER DR., SUITE 200  
ORLANDO, FLORIDA 32804  
CONTACT: LENNIE ARNOLD

## LANDSCAPE ARCHITECT

S&ME, INC.  
1651 EDGEWATER DR., SUITE 200  
ORLANDO, FLORIDA 32804  
CONTACT: EDWARD BROWDER

## SURVEYOR

CAULFIELD & WHEELER, INC.,  
7900 GLADES RD., SUITE 100  
BOCA RATON, FLORIDA 33434  
CONTACT: DAVID LINDLEY, PLS.

## PROJECT SITE ADDRESS

NORTHWEST MEDICAL CENTER  
2801 N. STATE ROAD  
MARGATE, FLORIDA 33063

NORTHWEST  
MEDICAL CENTER

Blowhard County, Illinois

[illegible]

PROJECT NUMBER	514716072
DRAWING NUMBER	C0.00
DRAWING NAME	COVER SHEET

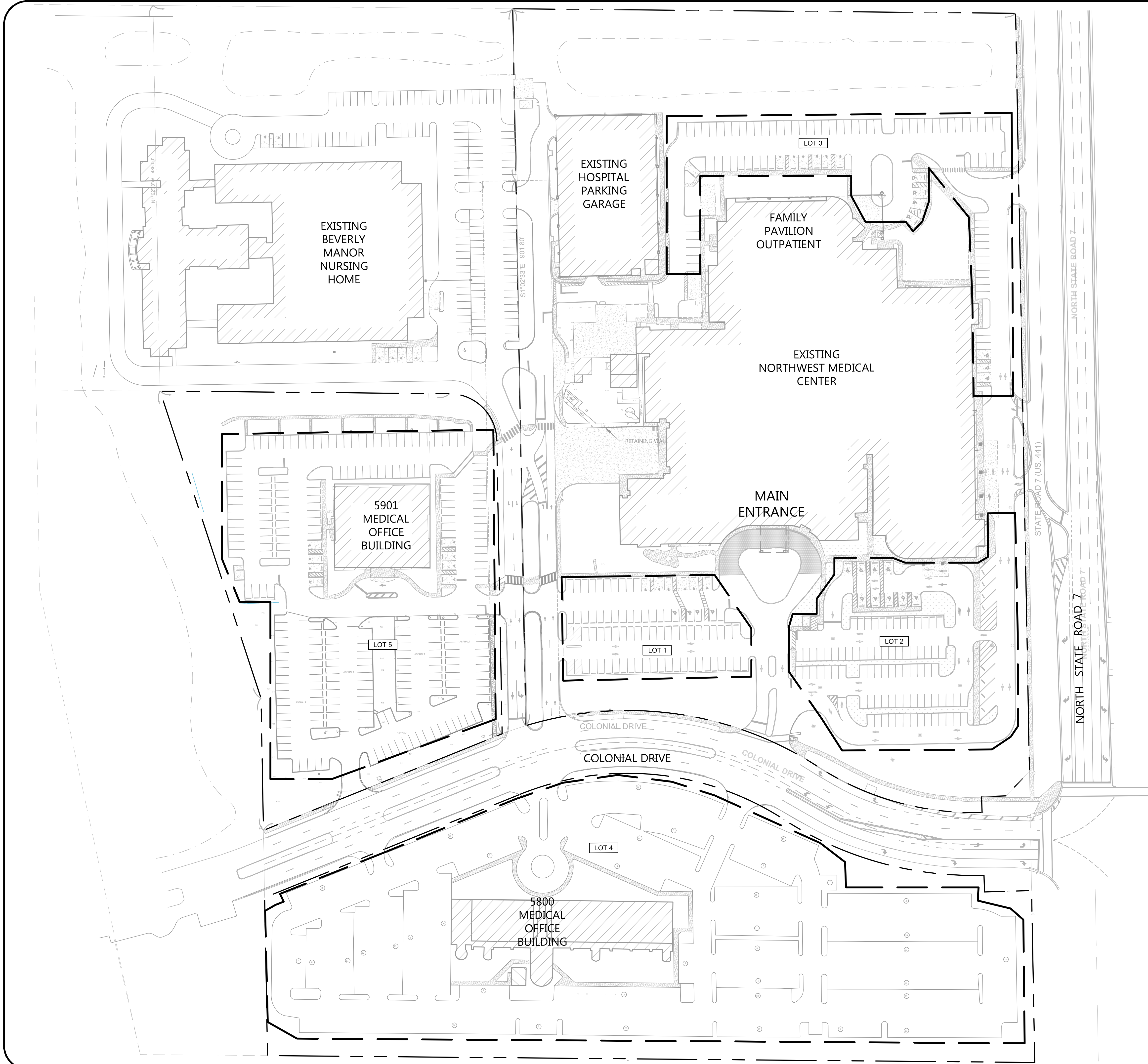
**NORTHWEST  
MEDICAL CENTER**  
2801 North State Route 7  
Margate, FL 33063



Leonard E. Arnold, Jr. P.E. 55241  
Edward A. Browder PLA LA6666790  
T 407.975.1273 F 407.975.1278 www.smeinc.com  
1615 Edgewater Drive, Suite 200, Orlando, Florida 32808  
Florida Firm Registration No. 6738



G:\Projects\2016\514716072\dwg\Construction\Gas-Diesel Convault\514716072\_CD\_C1.00 EX.dwg-ARCH E1 30x42 Aug 25, 2017 dtessler



BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY CAULFIELD & WHEELER, INC., DATED 8-11-16. LITTLEJOHN AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

SITE DATA

HOSPITAL:  
PARCEL ID. AND AREA: 2801 NORTH STATE RD 7, MARGATE, FL 33063  
115-14 B PORTION OF PARCEL A; FOLIO NO. 484124060010;  
13.3 AC +/-

WESTERN PARCEL (LAKE): 2801 NORTH STATE RD 7, MARGATE, FL 33063  
FOLIO NO. 484124060020;  
4.0 AC +/-

5901 MOB PARCEL:  
PARCEL ID. AND AREA: 2801 NORTH STATE ROAD, MARGATE, FL 33063  
115-14 B PORTION OF PARCEL A; FOLIO NO. 484124060010;  
3.61 AC +/-

5901 MOB BUILDING:  
PARCEL ID. AND AREA: 5901 COLONIAL DRIVE, MARGATE, FL 33063  
115-14 B PORTION OF PARCEL A; FOLIO NO. 484124060011;  
0.29 AC +/-

FAMILY PAVILION OUTPATIENT MOB:  
PARCEL ID. AND AREA: 2825 NORTH STATE RD 7, MARGATE, FL 33063  
115-14 B PORTION OF PARCEL A; FOLIO NO. 484124060012;  
0.25 AC +/-

5800 MOB:  
PARCEL ID. AND AREA: 5800 COLONIAL DRIVE, MARGATE, FL 33063  
118-16 B PORTION OF PARCEL A; FOLIO NO. 484124AD0050  
AND 484124070010;  
6.35 AC +/-

TOTAL SITE AREA: 27.8 AC +/-

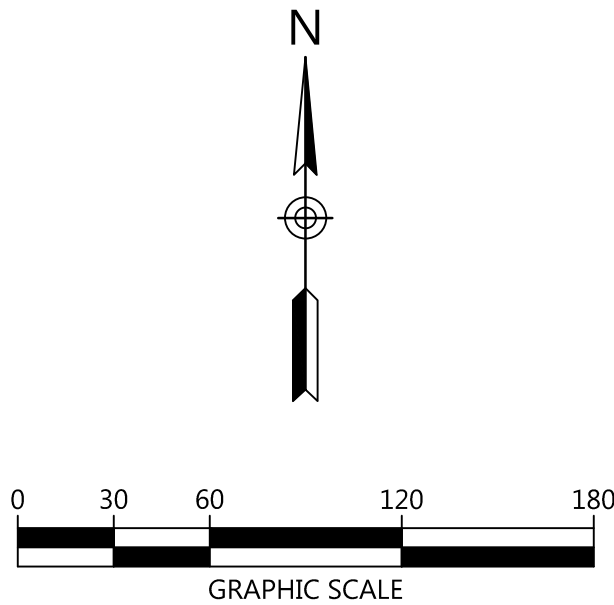
EXISTING ZONING: CF-1  
EXISTING/ PROPOSED USE: MEDICAL  
ALLOWED MAX. BUILDING HEIGHT: N/A  
MAXIMUM BUILDING LOT COVERAGE: N/A  
EXISTING CONDITIONS: 17.2% PROVIDED

MINIMUM BUILDING SETBACKS: FRONT YARD: 35 FT  
SIDE YARD: 25 FT  
REAR YARD: 25 FT

NORTHWEST MEDICAL CENTER  
ADDRESS: 2801 NORTH STATE ROAD 7H  
MARGATE, FL 33063  
PHONE NO.: 954.974.0400  
CONTACT NAME: MITCH HAUSMANN  
CONTACT E-MAIL ADDRESS: MITCH.HAUSMANN@HCAHEALTHCARE.COM

PROJECT REPRESENTATIVE:  
ADDRESS: S&ME, INC  
1615 EDGEWATER DRIVE, SUITE 200  
ORLANDO, FL 32804  
PHONE NO.: 407.975.1278  
CONTACT NAME: LENNIE ARNOLD  
CONTACT E-MAIL ADDRESS: larnold@leainc.com

LOT #	STANDARD STALLS	ACCESSIBLE STALLS	TOTAL STALLS
LOT 1	70	10	80
LOT 2	91	9	100
LOT 3	60	10	70
LOT 4	462	7	469
LOT 5	241	8	249
GARAGE	223	7	230
SITE TOTAL	1147	51	1198



08/25/2017-SITE PLAN SUBMITTAL FOR FUEL TANK INSTALLATION

NO.	DATE	DESCRIPTION	BY	CHK	APV

PROJECT NUMBER  
514716072

DRAWING NUMBER  
**C1.00**

DRAWING NAME  
EXISTING  
CONDITIONS



NORTHWEST  
MEDICAL CENTER

2801 North State Route 7  
Margate, FL 33063

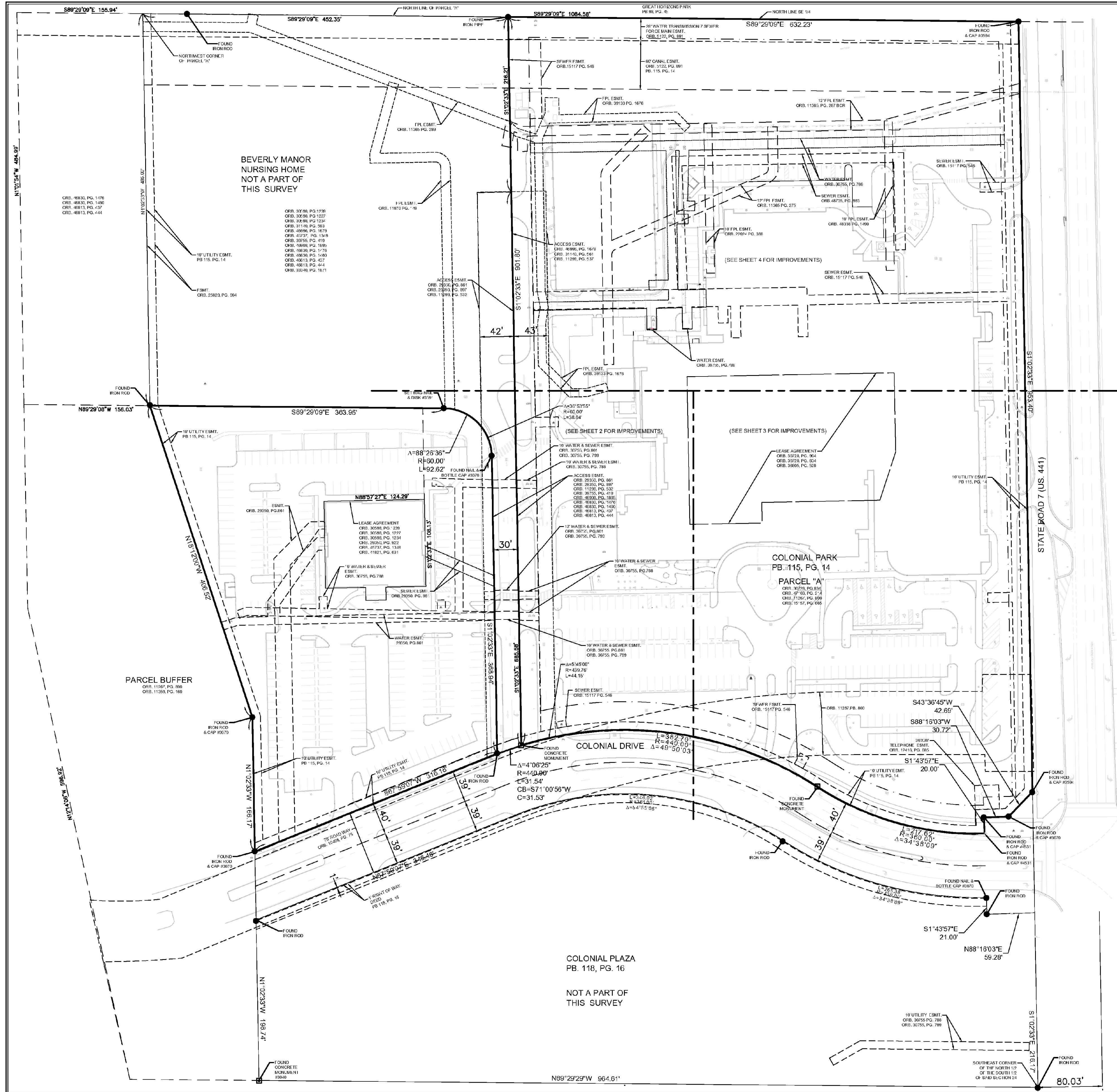
Margate, Broward County, Florida



WWW.SMEINC.COM  
1615 Edgewater Drive, Suite 200, Orlando, Florida 32804  
T 407.975.1273 F 407.975.1278  
www.smeinc.com

Leonard E. Arnold, Jr., P.E. #55318  
Edward A. Browder, P.L.A. #6666790  
Florida Firm Registration No. 6712





TITLE SEARCH REPORT			
ITEM	AFFECTS	PLOTTED	DESCRIPTION
1	YES	YES	ORB. 31140, PG. 593
1	YES	NO	ORB. 46890, PG. 779
1	YES	NO	ORB. 47278, PG. 289
2	YES	YES	ORB. 46986, PG. 1679
3	YES	YES	ORB. 45737, PG. 1349
4	YES	YES	ORB. 31140, PG. 561
4	YES	YES	ORB. 39755, PG. 419
4	YES	YES	ORB. 46908, PG. 1895
4	YES	YES	ORB. 46930, PG. 1475
4	YES	YES	ORB. 46930, PG. 1460
5	YES	NO	ORB. 29137, PG. 518
5	YES	YES	ORB. 29350, PG. 822
5	YES	YES	ORB. 30598, PG. 1234
5	YES	NO	ORB. 41821, PG. 629
5	YES	YES	ORB. 41821, PG. 631
5	YES	YES	ORB. 30598, PG. 1239
5	YES	YES	ORB. 30728, PG. 904
5	YES	YES	ORB. 46813, PG. 437
5	YES	YES	ORB. 46813, PG. 444
5	YES	YES	ORB. 38805, PG. 528
6	YES	YES	ORB. 41821, PG. 643
7	YES	YES	ORB. 41821, PG. 638
8	YES	YES	ORB. 44113, PG. 769
8	YES	YES	ORB. 31140, PG. 567
8	YES	NO	ORB. 12309, PG. 519
8	YES	YES	ORB. 11858, PG. 429
8	YES	YES	ORB. 11828, PG. 698
8	YES	YES	ORB. 11267, PG. 800
9	YES	YES	ORB. 25829, PG. 904
9	YES	NO	ORB. 25829, PG. 904
10	YES	YES	PG. 115, PG. 14
10	YES	NO	ORB. 12060, PG. 348
11	YES	YES	ORB. 29350, PG. 861
11	YES	NO	ORB. 30598, PG. 1341
12	YES	YES	ORB. 30728, PG. 934
12	YES	NO	ORB. 38210, PG. 1642
13	YES	YES	ORB. 33340, PG. 1671
14	YES	NO	ORB. 47103, PG. 214
14	YES	YES	ORB. 46338, PG. 1490
14	YES	YES	ORB. 45735, PG. 963
14	YES	YES	ORB. 39153, PG. 1678
14	YES	YES	ORB. 29350, PG. 897
14	YES	NO	ORB. 29350, PG. 1584
14	YES	YES	ORB. 30598, PG. 1227
14	YES	YES	ORB. 20224, PG. 389
14	YES	YES	ORB. 11259, PG. 532
14	YES	YES	ORB. 11259, PG. 537
14	YES	YES	ORB. 11365, PG. 275
14	YES	YES	ORB. 11365, PG. 287
14	NO	YES	ORB. 11365, PG. 289
14	NO	YES	ORB. 11570, PG. 143
14	YES	YES	ORB. 12416, PG. 685
14	YES	YES	ORB. 15117, PG. 548
14	YES	YES	ORB. 15157, PG. 685
14	YES	YES	ORB. 30755, PG. 788

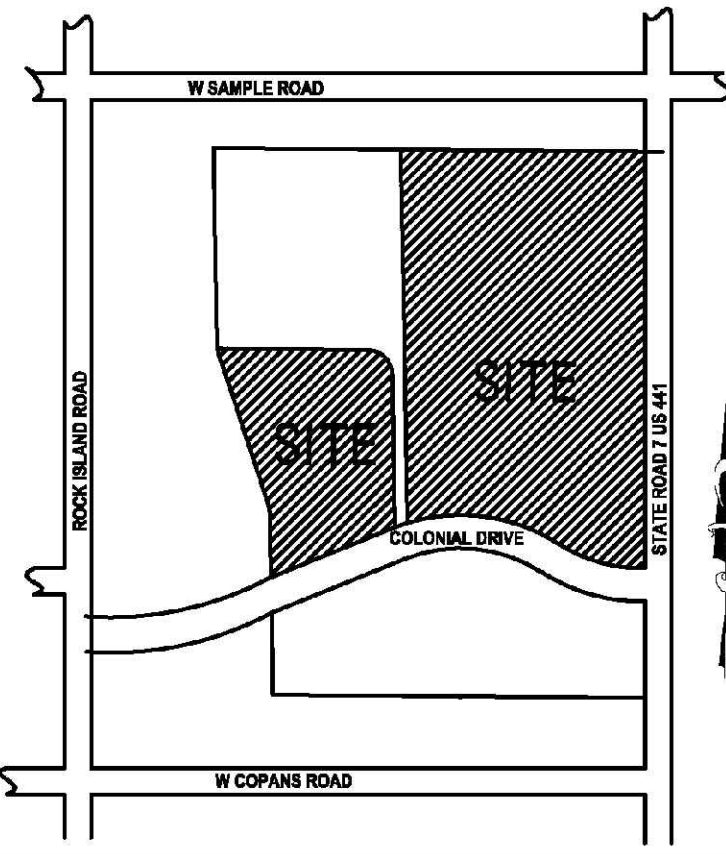
ABBREVIATIONS:  
B.M. = BENCHMARK ELEVATION  
(C) = CALCULATED  
(C) = CENTERLINE  
CONC. = CONCRETE  
C.F. = CUBIC FOOT  
(D) = DEED BOOK  
E.L. = ELECTRICAL  
F.F.E. = FINISH FLOOR ELEVATION  
F.P. = FLOOR POWER AND LIGHT  
IR = IRON ROD  
IP = IRON PIPE  
L.B. = LICENSE BUSINESS  
L.S. = LICENSE SURVEY  
M.T. = MEASURED  
N.T.S. = NOT TO SCALE  
ORB = OFFICIAL RECORD BOOK  
P.O.B. = POINT OF BEGINNING  
P.O.C. = POINT OF COMMENCEMENT  
P.U. = PLAT BOOK  
P.K. = PARKER KALON NAL & DISC  
P.G. = PAGE  
SF = SQUARE FEET

SYMBOLS:  
= QUARTER CORNER  
= SET 5/8" IRON ROD WITH PLASTIC CAP Labeled  
= BLUE PAINT STRIPE (WATER)  
= GREEN PAINT STRIPE (FORCE MAIN)  
= RED PAINT STRIPE (FPL)  
= YELLOW PAINT STRIPE (GAS)  
= ORANGE PAINT STRIPE (CABLE)

- NOTES
1. THIS SURVEY REPRESENTS A BOUNDARY SURVEY AS DEFINED IN THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING AND MAPPING IN CHAPTER 5J-17.002 FLORIDA ADMINISTRATIVE CODE.
  2. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED EMBOSSED SEAL OF A FLORIDA REGISTERED SURVEYOR.
  3. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
  4. THE SCALE OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION.
  5. THE LAND DESCRIPTION WAS PROVIDED BY THE OWNER.
  6. DIMENSIONS SHOWN HEREON ARE EXPRESSED IN UNITED STATES STANDARD FEET AND DECIMAL PARTS THEREOF.
  7. BEARINGS SHOWN HEREON ARE REFERENCED TO THE EAST LINE OF PARCEL A, COLONIAL PARK PLAT BOOK 115, PAGE 14, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
  8. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON BROWARD COUNTY ENGINEERING BENCHMARK #2556 WITH A CALCULATED ELEVATION 11.28.
  9. MATTERS CONTAINED IN OWNERSHIP AND ENCUMBRANCE REPORT, TITLE SEARCH REPORT, FUND FILE NO. 10-2013-00078, EFFECTIVE DATE JANUARY 9, 2013 @ 11:00 P.M. ARE REFLECTED ON THE SURVEY SHOWN HEREON.

CERTIFIED TO:  
NORTHWEST REGIONAL HOSPITAL, INC., A FLORIDA CORPORATION

CERTIFICATE:  
I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION ON AUGUST 11, 2016. I FURTHER CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.

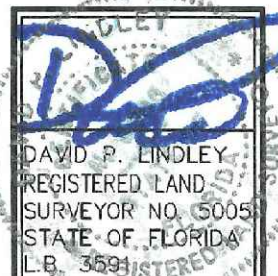


REVISIONS	DATE	BY

CAULFIELD & WHEELER, INC.  
LAND SURVEYING & ENGINEERING  
7905 GLADES ROAD, SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561) 397-9911 / FAX (561) 750-1457

NORTHWEST REGIONAL HOSPITAL  
2801 NORTH STATE ROAD 7  
MARGATE, FL 33063  
BOUNDARY SURVEY

DATE	8-11-16
DRAWN BY	RW
F.B. / PG.	HDS
SCALE	AS SHOWN



JOB #	6368
SHT. NO.	1
OF 4 SHEETS	

08/25/2017-SITE PLAN SUBMITTAL FOR FUEL TANK INSTALLATION

NO.	DATE	DESCRIPTION	BY	CHK	APV

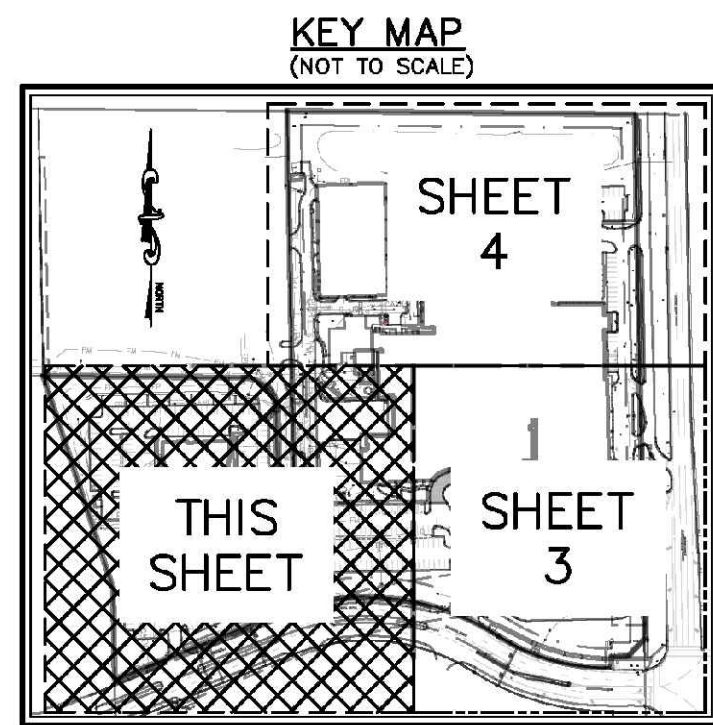
PROJECT NUMBER  
514716072  
DRAWING NUMBER  
**C1.01**  
DRAWING NAME  
EXISTING CONDITIONS

**NORTHWEST MEDICAL CENTER**  
2801 North State Route 7  
Margate, FL 33063

**NORTHWEST MEDICAL CENTER**  
Margate, Broward County, Florida



MATCHLINE - SHEET 3



ALV	AIR - AIR CONDITIONER	SQ. FT.	= SQUARE FEET
ARC	ARC LENGTH	TWP.	= TOWNSHIP
BL	BALANCE	TYP.	= TYPICAL
B.E.	BUFFER EASEMENT	U.E.	= UTILITY EASEMENT
C	CLEANOUT	W.	= WATER METER
CLF	CHAIN LINK FENCE	WE	= WATER EASEMENT
CONC	CONCRETE	S.E.	= SANITARY EASEMENT
COV	COVERED		
D.E.	DRAINAGE EASEMENT	L	= LIGHT POLE
D.E.C.	DRAINAGE - ELECTRIC		
ELEV	ELEVATION	FL	= FIRE HYDRANT
EQU	EQUIPMENT		
EAS	EASEMENT	CB	= CATCH BASIN
EXIST	EXISTING		
FL	FLORIDA POWER & LIGHT	W	= WATER VALVE
FIN	FINISHED	○	SET 5/8" IRON LB 3591
FND.	FOUND	○	SET 1" IRON LB 3591
FND.	FOUND	○	DRAINAGE MANHOLE
IR	IRON ROD & CAP	W	WOOD POWER POLE (UNLESS NOTED)
INV	INVERT	C	CENTER LINE
IRR.	IRRIGATION		
L.A.E.	LIMITED ACCESS EASEMENT		
LB	LOADING		
O.R.B.	OFFICIAL RECORD BOOK		
P	PLAT BOOK		
P.B.C.R.	PALM BEACH COUNTY RECORD		
P.C.	POINT OF BEGINNING		
P.C.	POINT OF COMMENCEMENT		
P.G.S.	PAGES		
P.P.	PERMANENT REFERENCE MONUMENT		
PRO	PROPOSED		
R	RADIUS		
R/W	RIGHT-OF-WAY		
RANGE	RANGE		
REC	RECORD		
Δ	DELTA (CENTRAL ANGLE)		
	UNKNOWN TREE TYPE		
	OAK TREE		
	PALM TREE		

[illegible]

**CAULFIELD & WHEELER, INC.**  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE • SURVEYING  
7903 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561) 992-1991 / FAX (561) 756-452

**NORTHWEST REGIONAL HOSPITAL  
2801 NORTH STATE ROAD 7  
MARGATE, FL 33063  
BOUNDARY SURVEY**

DATE	8-11-16
DRAWN BY	RW
F.B./ PG.	HDS
SCALE AS SHOWN	

JOB # 6368
SHT.NO. 2
OF 4 SHEETS

**NORTHWEST  
MEDICAL CENTER**  
2801 North State Route 7  
Margate, FL 33063

NORTHWEST  
MEDICAL CENTER

Margate, Broward County, Florida

**08/25/2017-SITE PLAN SUBMITTAL FOR FUEL TANK INSTALLATION**

[illegible]

PROJECT NUMBER  
514716072

DRAWING NUMBER  
C102

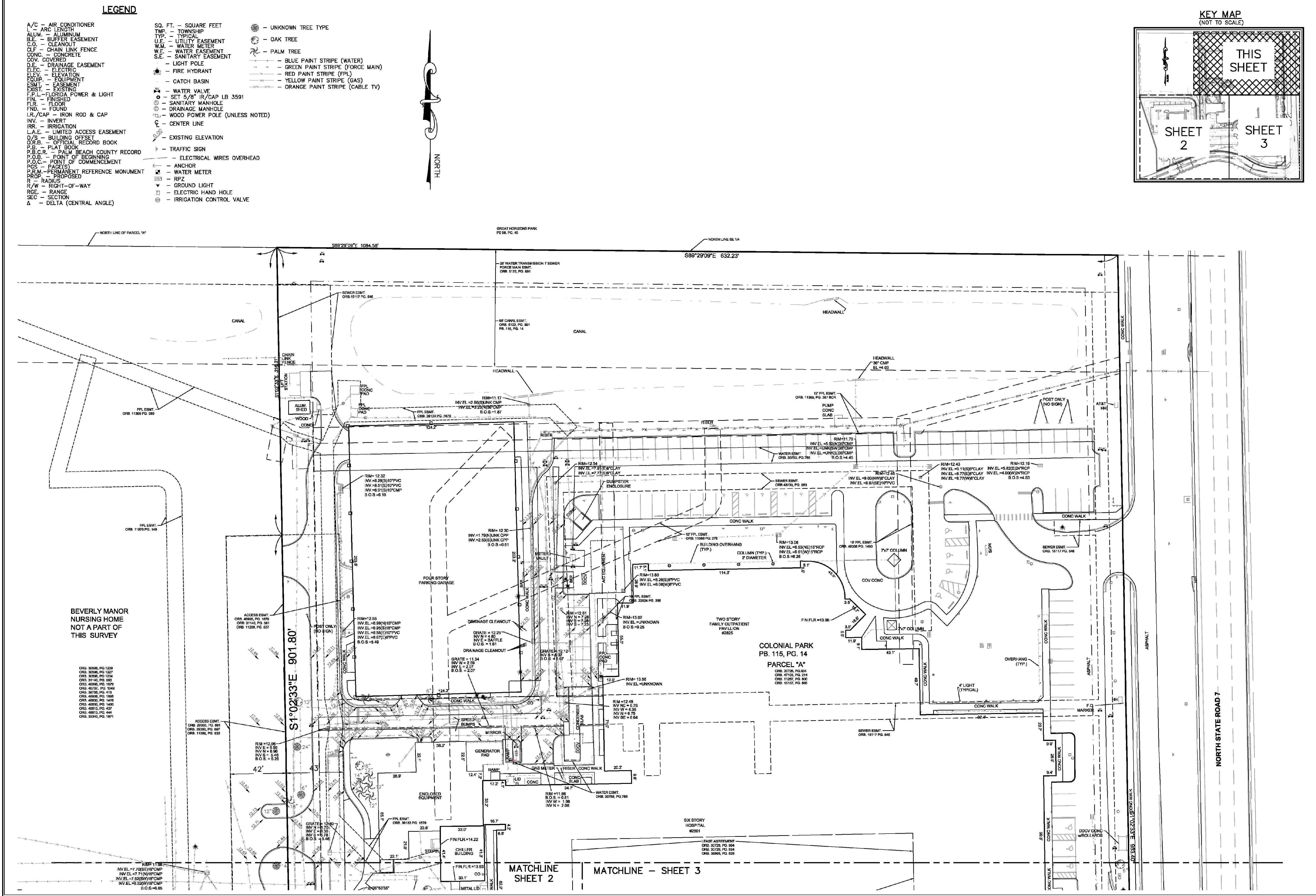
C.I.O.  
DRAWING NAME

## EXISTING CONDITIONS







[illegible]

NORTHWEST REGIONAL HOSPITAL  
2801 NORTH STATE ROAD 7  
MARGATE, FL 33063  
BOUNDARY SURVEY

DATE	8-11-16
DRAWN BY	RW
F.B./ PG.	HDS
SCALE	AS SHOWN

JOB # 6368
SHT.NO. 4
OF 4 SHEETS

08/25/2017-SITE PLAN SUBMITTAL FOR FUEL TANK INSTALLATION

[illegible]

PROJECT NUMBER  
514716072

DRAWING NUMBER  
**C1.04**

DRAWING NAME

## EXISTING CONDITIONS

**NORTHWEST  
MEDICAL CENTER**

301 North State Route 7  
Margate, FL 33063

NORTHWEST  
MEDICAL CENTER

Margate, Broward County, Florida



1. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
2. THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS.
3. THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
4. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
5. CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.
6. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS AND OTHER SEDIMENT CONTROLS AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50% OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
8. THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.

1. ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNS, UTILITY STRUCTURES, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
4. IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF NEW IMPROVEMENTS ON THE SITE LAYOUT PLAN & UTILITY INSTALLATION.
5. CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND LOCAL GOVERNING AGENCY PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE UTILITY COMPANIES.
6. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE SUITABLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
9. THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS.
10. EXISTING LIGHT STANDARDS BEING REMOVED SHALL BE FIRST OFFERED TO THE OWNER PRIOR TO DISPOSING OF THEM. COORDINATE LIGHTING DEMOLITION AND LAYOUT WITH THE ELECTRICAL DRAWINGS.
11. RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON SITE.
12. EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAIL ON THE LANDSCAPE PLAN.
13. NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.
14. THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.
15. SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.

16. WHERE WATER LINE AND SEWER LINE ABANDONMENT IS PLANNED, THE CONTRACTOR MAY ABANDON WATER LINES AND SEWER LINES IN PLACE WHERE THEY OCCUR AT LEAST 24" (TO TOP OF PIPE) BELOW FINAL SUBGRADE ELEVATIONS AND OUTSIDE THE BUILDING FOOT PRINT. ALL UTILITY LINES BEING ABANDONED IN PLACE SHALL HAVE ALL ENDS PERMANENTLY CLOSED USING A CONCRETE PLUG.
17. WHERE EXISTING IRRIGATION LINES LIE WITHIN THE AREA AFFECTED BY THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL REWORK THE EXISTING IRRIGATION SYSTEMS IN ACCORDANCE WITH DIRECTIVES NOTED ON THE LANDSCAPE PLAN. SERVICE SHALL BE MAINTAINED DURING CONSTRUCTION TO THE LANDSCAPED AREAS CURRENTLY IRRIGATED.

1. THE PROJECT SITE IS SHOWN ON A AS A PORTION OF PARCEL 115-348, PORTION OF PARCEL A AND PARCEL 118-16 B, PORTION OF PARCEL A. THE VERTICAL MEDICAL CAMPUS CONSISTS OF MULTIPLE PARCELS FOR A TOTAL OF 23.8 AC ±.
2. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY CALFIELD & WHEELER, INC. DATED 8/11/2016. SBME, INC. AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
3. THE SITE LAYOUT IS BASED ON REFERENCE POINTS AS NOTED.
4. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, (i.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
7. EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT. COORDINATE PAVEMENT TRENCHING LOCATIONS WITH SITE CIVIL, PLUMBING AND ELECTRICAL PLANS.
8. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
9. DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
10. CONCRETE FOR CURBS SHALL BE 4000 PSI CONCRETE AND SIDEWALKS SHALL BE 3500 PSI CONCRETE.
11. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
12. ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12. GRADES WITHIN ACCESSIBLE SPACES SHALL BE MAXIMUM 2% IN ALL DIRECTIONS.
13. THE PROPOSED BUILDING SHALL BE LAID OUT UTILIZING THE EXISTING STRUCTURE AS A CONTROL POINT AND THE ARCHITECTURAL DRAWINGS. DIMENSIONS SHOWN TO THE PROPOSED BUILDING ARE CALCULATED TO THE FACE OF EXTERIOR WALL. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
14. CURBS SHALL BE PARALLEL TO THE CENTERLINE OF DRIVES. THE CURB SHALL BE PLACED ONLY AFTER HAVING ALL BREAK POINTS (PC & PT OF CURVES) LOCATED AT THE FACE OF CURB OR AT A CONSISTENT OFFSET BY A REGISTERED LAND SURVEYOR.
15. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
16. THE CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC.
17. THE CONTRACTOR SHALL COLD PLANE IN THE DIRECTION OF TRAFFIC.
18. THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
19. ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL GOVERNING AGENCY.
20. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL GOVERNING AGENCY AND STATE DOT REGULATIONS AND SPECIFICATIONS.
21. ALL CURBING WILL BE REQUIRED TO ADJUST TO THE GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES, AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
22. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.

1. PRIOR TO CONSTRUCTION ACTIVITY, THE GENERAL CONTRACTOR SHALL STAKE THE LIMITS OF CLEARING, GRADING AND BUILDING FOOTPRINTS THAT AFFECT THE TREE PRESERVATION AREAS.
2. THE LOCATION OF TREE PROTECTION MEASURES SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION COMMENCING. TREE PROTECTION BARRICADES SHALL CONSIST OF ORANGE PLASTIC BARRIER CONSTRUCTION FENCING, AND SHALL BE INSTALLED IN LOCATIONS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
3. CONTRACTOR SHALL INSTALL ADEQUATE TREE PROTECTION MEASURES PRIOR TO ANY GRADING ACTIVITIES TO PREVENT CONSTRUCTION ACTIVITIES WITHIN PROXIMITY OF SPECIMEN TREES.
4. ALL GRADING WITHIN PROTECTED-ROOT-ZONE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.
5. ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE GROUND AND COVERED WITH BACKFILL AS SOON AS POSSIBLE. IF EXPOSED ROOTS ARE NOT COVERED WITHIN 24 HOURS, COVER THEM WITH MULCH AND THOROUGHLY WATER UNTIL COVERED WITH BACKFILL.
6. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE OR STORE MATERIALS, WITHIN THE DRIP LINES OF TREES TO BE PRESERVED.
7. WHENEVER GRADING OR EXCAVATION IS DIRECTED WITHIN THE CANOPY COVERAGE AREA OF A TREE TO BE PRESERVED, FIRST CUT ROOTS USING A "DITCH WITCH" OR SIMILAR DEVICE TO PROVIDE CLEAN CUT OF ROOTS AT LIMITS OF PROTECTION TO USE OF BACKHOE OR BULLDOZER. DO NOT ALLOW HEAVY EQUIPMENT WITHIN THE AREA BETWEEN CUT LINE AND TRUNK OF TREE. TRENCHES TO BE BACKFILLED AND TAMPERED TO MINIMIZE SETTLEMENT.
8. BARRICADES SHALL ENCRATCH ON AREAS TO BE PAVED UNTIL PAVING AND/OR GRADE ADJUSTMENT ACTIVITIES BEGIN. ONLY THEN SHALL BARRICADES BE MOVED TO THE MAXIMUM ALLOWABLE PROTECTED ROOT TREE SAVE ZONE THAT WILL NOT ENCRATCH ON THE PLANNED CONSTRUCTION. REMOVAL OF BARRICADE SHALL OCCUR ONLY AFTER PAVING IS COMPLETED AND CURBING IS INSTALLED, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
9. PROVIDE WATERING OF SPECIMEN TREES DURING CONSTRUCTION WHEN PERIODS OF DROUGHT EXCEED SEVEN DAYS. UTILIZE OSCILLATING TYPE SPRINKLERS TO COVER ENTIRE PROTECTED ROOT ZONE FOR FOUR HOURS EACH.
10. ROOT AREA OF TREES WHERE SOIL HAS BEEN COMPACTED DUE TO CONSTRUCTION ACTIVITY SHALL BE VERTICALLY MULCHED (AERATED) AT DIRECTION OF THE QUALIFIED PROFESSIONAL. THIS SHALL BE ACCOMPLISHED BY ALIGUERING THE SOIL BY A 2" GRID PATTERN TO WITHIN 3' OF TRUNK AND TO 10' BEYOND THE DRIP LINE. A 2" TO 3" HAND OPERATED AUGER SHALL BE USED TO DRILL HOLES TO A MINIMUM DEPTH OF 12". TYPE OF BACKFILL WILL BE DETERMINED BY THE QUALIFIED PROFESSIONAL.
11. HEAVY ACCUMULATION OF DUST FROM CONSTRUCTION ACTIVITY MAY OCCUR ON THE SURFACE OF TREE FOLIAGE. TO CONTROL DUST, TREE FOLIAGE MAY BE HOSED DOWN UPON THE REQUEST OF THE QUALIFIED PROFESSIONAL.
12. REMOVAL OF ALL TREE PROTECTION FENCING, SILT FENCING AND SIGNAGE WILL BE DONE BY THE GENERAL CONTRACTOR WHEN PERMITTED BY THE LOCAL CODE ENFORCEMENT OFFICIALS. RESTORATION OF ALL AREAS DISTURBED BY THE FENCING AND/OR SIGNAGE WILL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY.

1. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 0.01 +/- ACRES.
2. PORTIONS OF THE SUBJECT PROPERTY DO LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. FM12012010165H OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR BROWARD COUNTY, FLORIDA, WITH AN EFFECTIVE DATE OF AUGUST 18, 2014.
3. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
4. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
6. PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
7. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE PLUMBING PLANS.
8. THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
9. THE CONTRACTOR SHALL ADJUST THE CASTINGS OF ALL NEW AND EXISTING STRUCTURES TO MATCH PROPOSED FINISH GRADES.
10. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
11. PROPOSED CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERED GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
12. ALL CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS.
13. ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO THE TOP OF SUBGRADE WITH CRUSHED STONE.
14. MINIMUM GRADE ON ASPHALT OR CONCRETE PAVING SHALL BE 1.0%. THE MAXIMUM GRADES WITHIN ACCESSIBLE SPACES SHALL BE 2% IN ANY DIRECTION.
15. CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CODES AND OBTAIN APPROVAL AS NECESSARY BEFORE BEGINNING CONSTRUCTION.
16. ALL EARTHWORK, INCLUDING THE EXCAVATED SUBGRADE AND EACH LAYER OF FILL, SHALL BE MONITORED AND APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER, OR HIS REPRESENTATIVE.
17. IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION PERMANENT FRENCH DRAINS MAY BE REQUIRED. THE DRAINS SHALL BE SPECIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE CONDITIONS WHICH ARE ENCOUNTERED, AND SHALL BE APPROVED BY THE ENGINEER.
18. THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR GUARANTEE OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED AND IS AVAILABLE FROM THE OWNER. DETERMINATION OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
19. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC., INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
20. IN NO CASE SHALL SLOPE, HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH, INCLUDING TRENCH CONSTRUCTION, EXCEED THOSE SPECIFIED IN LOCAL, STATE AND FEDERAL REGULATIONS, SPECIFICALLY THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS (29 CFR PART 1926) SHALL BE FOLLOWED.
21. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
22. STRIP TOPSOIL FROM ALL CUT AND FILL AREAS AND STOCKPILE UPON COMPLETION OF GENERAL GRADING OVER ALL DISTURBED AREAS, TO A MINIMUM DEPTH OF 6". CONTRACTOR SHALL SUPPLY ADDITIONAL TOP SOIL IF INSUFFICIENT QUANTITIES EXIST ON SITE.
23. TOP OF GRADE ELEVATIONS AND LOCATION OF COORDINATES FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE DETAIL, UNLESS NOTED OTHERWISE. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADES.
24. ALL DRAINAGE CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GOVERNING AGENCY.
25. POSITIVE DRAINAGE SHALL BE ESTABLISHED AS THE FIRST ORDER OF WORK AND SHALL BE MAINTAINED AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL SOFTENED BY PERCHED WATER IN FOUNDATION AND PAVEMENT AREAS MUST BE UNDERCUT AND REPLACED WITH SUITABLE FILL MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER. GROUNDWATER INFILTRATION INTO EXCAVATIONS SHOULD BE EXPECTED, AND THE WATER SHALL BE REMOVED USING GRAVITY DRAINAGE OR PUMPING.
26. REINFORCED CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS II, WALL "B". HDPE SHALL BE CORRUGATED, SMOOTH WALL N-12 PIPE WITH JOINT TIGHT JOINTS.
27. FILL SLOPES 3:1 AND GREATER SHALL BE PLACED AND COMPACTED 5' BEYOND PROPOSED LIMITS AND THEN EXCAVATED BACK TO THE PROPOSED LOCATION.
28. THE CONTRACTOR SHALL PROVIDE AN ASBLUT SURVEY STAMPED BY A LICENSED SURVEYOR IN THE STATE OF FLORIDA OF A PUBLIC STORM SYSTEMS, ON-SITE DETENTION PONDS, AND WATER QUALITY MEASURES VERIFYING COMPLIANCE WITH DESIGN DOCUMENTS.
29. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 72 HOURS PRIOR TO INSTALLATION OF THE WATER QUALITY DEVICES.
30. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. THIS MATERIAL SHALL BE PLACED IN LOTS DIRECTED BY THE GEOTECHNICAL ENGINEER AND COMPACTED AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
31. THE LOCATION OF ALL DIVERSION SWALES AND DITCHES SHALL BE FIELD ADJUSTED TO AVOID TREES AS POSSIBLE. THE CONTRACTOR SHALL WALK THE ALIGNMENT OF THESE SWALES AND DITCHES IN THE FIELD TO VERIFY AVOIDANCE OF TREES.
32. SEDIMENT REMOVED FROM SEDIMENT CONTROL STRUCTURES IS TO BE PLACED AT A SITE APPROVED BY THE ENGINEER. IT SHALL BE TREATED IN A MANNER SO THAT THE AREA AROUND THE DISPOSAL SITE WILL NOT BE CONTAMINATED OR DAMAGED BY THE SEDIMENT IN THE RUN-OFF. COST FOR THIS TREATMENT IS TO BE INCLUDED IN PRICE BID FOR EARTHWORK. THE CONTRACTOR SHALL OBTAIN THE DISPOSAL SITE AS PART OF THIS WORK.
33. STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS.
34. ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SUBMITTED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
35. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO WASTE EXCESS EARTH MATERIAL OFF SITE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FIRST OFFER THE EXCESS MATERIAL TO THE OWNER. IF NOT ACCEPTED BY THE OWNER, THE CONTRACTOR SHALL DISPOSE OF EARTH MATERIAL OFF SITE. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT SUITABLE MATERIAL (AT NO ADDITIONAL COST TO THE OWNER) FOR EARTHWORK OPERATIONS IF SUFFICIENT AMOUNTS OF EARTH MATERIAL ARE NOT AVAILABLE ON SITE.
36. SEGMENTAL WALLS SHALL BE PROVIDED BY THE CONTRACTOR AS A DESIGN BUILD. WALL DESIGN PLANS STAMPED BY A REGISTERED ENGINEER IN THE STATE OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER AS A SHOP DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY GEOTECHNICAL INFORMATION NECESSARY TO PROPERLY DESIGN THE WALL.

1. THE SANITARY SEWER SHALL BE OF THE MATERIAL INDICATED ON THE PLAN. POLYVINYLCHLORIDE (PVC) SHALL BE (SDR35). DUCTILE IRON PIPE (D.I.P.) SHALL BE CLASS 52.
2. ALL WATER LINES, SEWER LINES, AND APPURTENANCES SHALL BE OF MATERIALS AND CONSTRUCTION THAT CONFORM TO THE LOCAL AGENCY STANDARDS AND SPECIFICATIONS.
3. PROVIDE A MINIMUM 36" OF COVER OVER ALL WATER LINES.
4. THE CONTRACTOR SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES. WHERE THESE CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL MAINTAIN 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
5. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF EXISTING MANHOLES OR SANITARY SEWER LINES AT THE POINT OF CONNECTION PRIOR TO THE COMMENCEMENT OF ORDERING OF MATERIALS, CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES, STORM SEWERS, OR ANY OTHER UTILITY OR STRUCTURE, EXISTING OR PROPOSED.
7. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
8. BEFORE CONNECTIONS ARE MADE INTO EXISTING UTILITIES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE LOCAL WATER AND SEWER DEPARTMENT SPECIFICATIONS.
9. ALL TRENCHES CUT IN EXISTING ROADS OR DRIVES SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILL (100%) TO FINAL SUBGRADE WITH #57 STONE. REPAIR ROADS PER LOCAL AGENCY REQUIREMENTS.
10. REPAIR ALL DAMAGE TO EXISTING FEATURES (I.E. DRIVES, ROADS, YARDS, LANDSCAPING, ETC...) TO PRE-CONSTRUCTION CONDITION.
11. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO ATTAIN THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BENDS WHERE NECESSARY TO ALLOW WATER LINES TO PASS UNDER OR OVER OTHER UTILITY LINES. (ALL BENDS AND BRACES NEEDED MAY NOT BE ACTUALLY SHOWN). PROVIDE BRACING AND/OR RODDING AT ALL BENDS AND TEES AS REQUIRED BY WATER DEPARTMENT.
12. REDUCED PRESSURE BACKFLOW PREVENTER (RPBP) OR DUAL CHECK WILL BE REQUIRED ON ALL TESTS AND PIPE LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE WATER DEPARTMENT.
13. COORDINATE THE EXACT LOCATION OF ALL UTILITIES ENTERING THE BUILDING WITH THE PLUMBING PLANS.
14. WATER METERS SHALL BE AT LEAST 22" BUT NO MORE THAN 26" FROM TOP OF METER TO PROPOSED FINISHED GRADE.
15. THE CONTRACTOR SHALL VERIFY REQUIRED PIPE LENGTHS. EXISTING PIPE MATERIAL AND SIZES AS SHOWN ON PLANS.
16. REPAIR EXISTING PAVEMENT, CURBS, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
17. THE PROPOSED GAS LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY BY THE CONTRACTOR.
18. THE PROPOSED ELECTRIC LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRIC COMPANY BY THE CONTRACTOR.
19. THE PROPOSED TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL TELEPHONE COMPANY BY THE CONTRACTOR.
20. WHERE DRAINAGE OR UTILITY LINES OCCUR IN PROPOSED FILL AREAS, THE FILL MATERIAL IS TO BE PLACED AND COMPACTED AS DIRECTED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION OF DRAINAGE OR UTILITY LINES. FILL IS TO BE INSPECTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER TESTING FIRM EMPLOYED BY THE OWNER. RESULTS OF THE TEST SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE. CONTRACTOR TO PAY FOR ANY RETESTING.
21. THE CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE WATER LINES (HORIZONTALLY AND/OR VERTICALLY) TO ALLOW THE REQUIRED BRACING AT BENDS AND TEES.
22. EXISTING CASTINGS LOCATED IN FILL/CUT AREAS SHALL BE ADJUSTED TO ENSURE THAT THE TOP OF CASTING IS FLUSH WITH THE FINISHED GRADE.
23. THE OUTSIDE OF ALL MANHOLES SHALL BE COATED WITH BITUMINOUS PAINT.
24. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
25. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.
26. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY THE CORING AND RESILIENT SEAL METHOD.
27. FIRE HYDRANT ASSEMBLIES INCLUDE THE APPROPRIATE SIZED TEE (WITH KICKER), 6" LINE TO HYDRANT, 6" GATE VALVE (WITH VALVE BOX), AND FIRE HYDRANT (WITH KICKER). HYDRANTS SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE PLANS.
28. THE CONCRETE CAPS AND ENCASEMENTS ON WATER AND SEWER LINES SHALL BE A MINIMUM OF 6" THICK. USE 3000 PSI CONCRETE.
29. CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH #8 WIRE.
30. SIAMASE STAND PIPE TO BE GALVANIZED STEEL.
31. THE HOME BUILDER SHALL VERIFY THE SANITARY SEWER SERVICE ELEVATION PRIOR TO SETTING THE FINISHED FLOOR ELEVATIONS FOR ALL LOTS. THE SANITARY SEWER MAIN AND SERVICES WERE DESIGNED BASED ON SETTING MINIMUM FINISHED FLOOR ELEVATIONS ON A NUMBER OF CRITICAL LOTS. THE HOME BUILDER SHALL ADHERE TO THE MINIMUM FINISHED FLOOR ELEVATIONS LISTED ON THE SANITARY SEWER SHEETS.
32. SEWER SERVICES ARE TO BE 6" DIAMETER PVC AT A MINIMUM SLOPE OF 1.0% UNLESS SHOWN OTHERWISE ON THE DRAWINGS. LINES SHALL START 5' BEYOND THE BUILDINGS. COORDINATE CONNECTION POINTS WITH THE BUILDING PLUMBING DRAWINGS. PROVIDE A MINIMUM 30" OF COVER OVER ALL SEWER SERVICES IN GRASS AREAS AND 48" OF COVER IN PAVED AREAS.
33. ALL FIRE LINES SHALL BE INSTALLED BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF FLORIDA.

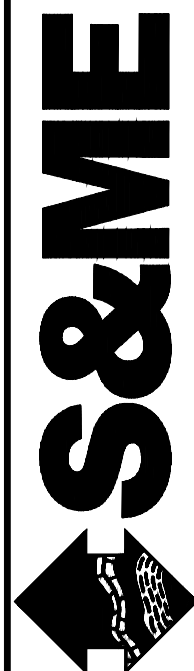
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DRAWING NAME



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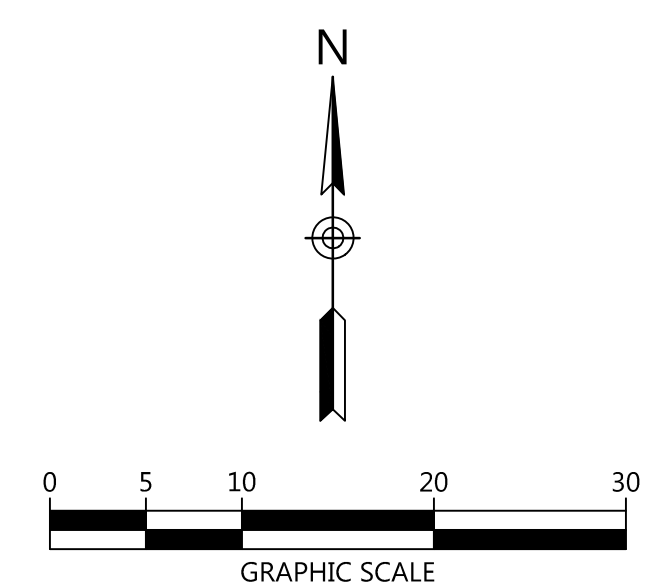
Florida Firm Registration No. 6712

**NORTHWEST  
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2801 North State Route 7  
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NORTHWEST  
MEDICAL CENTER

Margate, Broward County, Florida





EDWARD E. ARNOLD  
LICENSE  
No. 5581  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
2/25/2017

[illegible]

PROJECT NUMBER
DRAWING NUMBER <b>C3.00</b>
DRAWING NAME <b>SITE LAYOUT, GRADING &amp; DEMOLITION PLANS</b>



DEMOLITION KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
D8	REMOVE EXISTING TREES	
D9	PROTECT EXISTING STRUCTURE / UTILITY	

[illegible][illegible]

DRAWING NAME  
LANDSCAPE  
PLAN

Leonard E. Arnold, Jr. P.E. 55241  
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(256) 837-8882  
Florida Firm Registration No. 6712



1. The contractor shall become familiar with the project site prior to bidding the work. The contractor shall field verify all existing conditions and location of proposed improvements prior to initiating any construction.
2. Location of all utilities and base information is approximate. contractor shall verify all underground utilities and obstructions prior to initiating work. Contractor shall be responsible for repair or replacement of any damage to existing elements above or below ground to its original condition and to the satisfaction of the owner's representative.
3. The owner's representative shall have the right, at any stage of the operations, to reject any and all work and material which, in his opinion, do not meet with the requirements of these plans and specifications.
4. Contractor shall verify all grades, dimensions, and existing conditions on the job site prior to start of construction and/or fabrication. Contractor shall notify owner's representative of any variations from the dimensions and conditions shown on these drawings.
5. Report any discrepancies between the construction drawings and field conditions to the owner's representative.
6. The contractor shall provide all necessary safety measures during construction operations to protect the public according to all applicable codes and recognized local practices.
7. The contractor shall coordinate access and staging areas with the owner's representative. The contractor shall maintain all existing erosion and sedimentation control measures during construction. Provide additional measures as necessary to minimize adverse impacts in accordance with all applicable federal, state, and local codes.
8. No substitutions shall be made without written consent of the owner's representative. During the course of this work, excess waste material shall be removed daily from the site.
9. The contractor shall be responsible for scheduling and coordination of work with other trades and the owner's representative.
10. The contractor shall notify all necessary utility companies 48 hrs minimum prior to digging for field verification of all underground utilities. Utility locating shall be scheduled by the contractor with owner's representative present.
11. Utilities to be located by flagging only; painting of hardscape areas is prohibited. Contractor shall be responsible for notifying utility locating companies of this requirement.
12. All existing site roads, parking lots, curbs, utilities, sewers, and other elements to remain shall be fully protected from any damage unless otherwise noted.
13. Not all items shown on this sheet appear in the construction documents. Contractor is responsible for obtaining ALL permits related to construction including, but not limited to: Building, Landscape, Irrigation and Right-Of-Way utilization permits.

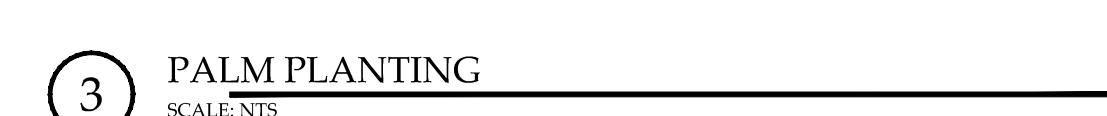
1. All base information provided by owner. Contractor shall verify all information prior to beginning work.
2. Contractor shall notify all pertinent utility companies 48 hours minimum prior to digging for verification of all underground utilities. Plans are prepared according to the best information available at the time of preparing these documents.
3. The contractor shall become completely familiar with existing site conditions prior to beginning installation. All existing site improvements, paving, landscape, lighting, and other site elements to remain shall be protected from damage unless otherwise noted.
4. The contractor shall report any discrepancies between the construction drawings and actual field conditions to the owner's representative immediately.
5. The contractor shall coordinate all work with related contractors and with the general construction of the project in order to not impede the progress of work of others or the contractor's own work.
6. Contractor shall coordinate access and staging area with the owner.
7. Report and document all existing damage of existing site features and elements to the owner prior to beginning work. Contractor shall be responsible for all subsequent damage.
8. Contractor shall protect, by whatever means necessary, the existing site features and elements to remain. All damaged items shall be replaced or repaired at no additional cost to the owner. Notify owner immediately if any damages occur.
9. Contractor shall provide all necessary safety measures that may be required during the construction process to protect the public and owner at all times as per all applicable codes and recognized local practices.
10. Contractor shall refer to the hardscape, fencing, landscape and irrigation plans and details for complete instructions.
11. Coordinate all irrigation demolition with the irrigation contractor and irrigation plans/details typical.
12. Contractor shall protect all existing plant materials indicated on the plans to remain. All plant material indicated to remain damaged by the contractor shall be replaced by the contractor at no additional cost to the owner with same size, quality, and type of plant material.
13. Contractor shall be responsible for all erosion control and protection measures as may be required by locally approved means. contractor shall follow all local governing codes and requirements.
14. Contractor shall clean the work areas at the end of each working day. Construction rubbish and debris shall be collected and deposited off-site daily. All materials and equipment stored on-site shall be kept in an organized manner daily.
15. Contractor shall layout all demolition lines and verify layout with the owner's representative prior to beginning any construction work.
16. The contractor shall comply with FL 77-153 regarding notification of existing gas & oil pipeline company owners and shall notify Sunshine State One Call of Florida (SSOCOF) at 1-800-432-4770 prior to excavating. Evidence of such notice shall be furnished to the owner prior to excavation.



1. The contractor shall review plans to become thoroughly familiar with surface and subsurface utilities.
2. The plant quantities shown on the landscape contract documents are for the convenience of the contractor. The contractor is responsible for verifying all quantities and reporting any discrepancies to the landscape architect for clarification prior to contract award and commencement of work.
3. All installation of plant material shall comply with applicable jurisdictional codes. The contractor is responsible for obtaining all permits associated with this work.
4. Prior to planting installation, the contractor shall confirm the availability of all the specified plant materials. Submit dated photographs of all tree material and specimen material as to the owner's representative for review.
5. All plant material sizes specified are minimum sizes. container size shall be increased if necessary to provide overall plant size specified.
6. If plant material does not comply with the requirements as specified herein, the owner's representative reserves the right to reject such plants and require the contractor to replace rejected work and continue specified maintenance until re-inspected and found to be acceptable.
7. The contractor shall provide an approved planting soil mixture for all plant material. see specifications for requirements.
8. The contractor shall be responsible for stability and plumb condition of all trees and shrubs, and shall be legally liable for any damage caused by instability of any plant materials. staking of trees or shrubs shall be done in accordance with plans and specifications.
9. The contractor shall insure adequate vertical drainage in all plant beds and planters. If inadequate vertical drainage is encountered, the contractor shall submit recommendations for providing adequate drainage to the owner's representative.
10. Peg sod on slopes greater than 3:1.
11. Contractor shall protect existing vegetation to remain as shown on drawings or by means approved by the owner's representative.
12. Contractor to clean, prune, and shape edges of existing vegetation as directed by owner's representative. Create smooth bed lines around existing vegetation.
13. The contractor shall bear all costs of testing of soils, amendments, etc. associated with the work. See specifications for additional testing requirements.
14. Contractor shall field-adjust location of plant material prior to initiating installation for the review and approval of the owner's representative.
15. All plant material shall be in full and strict accordance with Florida No. 1 grade, according to the "Grades and Standards for Nursery Plants" published by the Florida Department of Agriculture and Consumer Services.
16. All planting beds shall be top-dressed with a 3" layer of mulch as specified.
17. Contractor shall coordinate all planting work with irrigation work. contractor shall be responsible for all hand watering as required to supplement irrigation watering and rainfall.
18. Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
19. Contractor shall re-grade all areas disturbed by plant removal, relocation, and/or installation work.
20. Contractor shall replace (by equal size and quality) any and all existing plant material disturbed or damaged by plant removal, relocation, and/or installation work.
21. Maintenance shall begin after each plant has been installed and shall continue until the project has been deemed substantially complete. maintenance includes watering, pruning, weeding, mulching, replacements of sick or dead plants, and any other care necessary for the proper growth of the plant material.
22. Upon completion of all landscaping, an inspection for substantial completion of the work shall be held. The contractor shall notify the owner's representative for scheduling the inspection at least seven (7) days prior to the anticipated inspection date.
23. Contractor shall submit written guarantee of survivability of all plant material for a period of one year from date of substantial completion.
24. Contractor must review and accept, approve all graded areas prior to the commencement of planting.
25. Trees adjacent to buildings should be planted at least the diameter of the tree canopy or a min. of 10'-0" (whichever is greater) away from the building wall.



1. Protect designated existing trees scheduled to remain against:
  - Unnecessary cutting, breaking, or skinning of roots
  - Skinning and bruising of bark
  - Smothering of trees by stockpiling construction or excavation materials within protection barrier
2. Protection barriers (tree barricades) shall be plainly visible and shall create a continuous boundary around trees or vegetation clusters in order to prevent encroachment within the barricade.
3. For all trees to be preserved, see Tree Protection and Barricade Elevation detail.
4. No grade changes shall be made within the protective barrier zones without prior approval.
5. The method of protection is to make certain that 50% of the area under the canopy dripline remains undisturbed (no grade change or root cut) and there shall be no disturbance to the root plate.
6. General contractor shall be responsible for the replacement and mitigation costs of trees damaged beyond repair that have been identified as protected and preserved. If trees are harmed through lack of protection or through negligence on the part of the contractor, the contractor shall bear the burden of the cost of repair or replacement.
7. Root pruning shall be done by or under supervision of an ISA certified arborist, and meet or exceed ANSI A300 or approved tree care industry standards. A certified arborist must be onsite during the entirety of root pruning.
8. No root pruning shall be done within a distance of 3x the diameter the tree unless authorized by the arborist.
9. No more than 30% of the trees roots may be pruned.
10. A pruning trench shall be cleared in a way that exposes the roots while leaving them intact. Use hand tools or an air knife. Limits of trench to be determined by the arborist.
11. All roots outside of the protective barricade to be removed during the development shall be severed clean using a sharp tool to provide a clean cut. Roots shall be left with clean smooth ends and no ragged edges and a two-inch layer of mulch shall be applied over the surface of exposed roots during development within one hour of damage or exposure.
12. After pruning, tree roots shall be covered and kept moist. Fill pruning trench with topsoil and water daily for a period determined by the arborist.

[illegible]

PROJECT NUMBER

DRAWING NUMBER  
**L2.00**

DRAWING NAME

LANDSCAPE

NOTES & DETAIL