

Architectural elevation drawing of the front of a house. The drawing includes the following annotations:

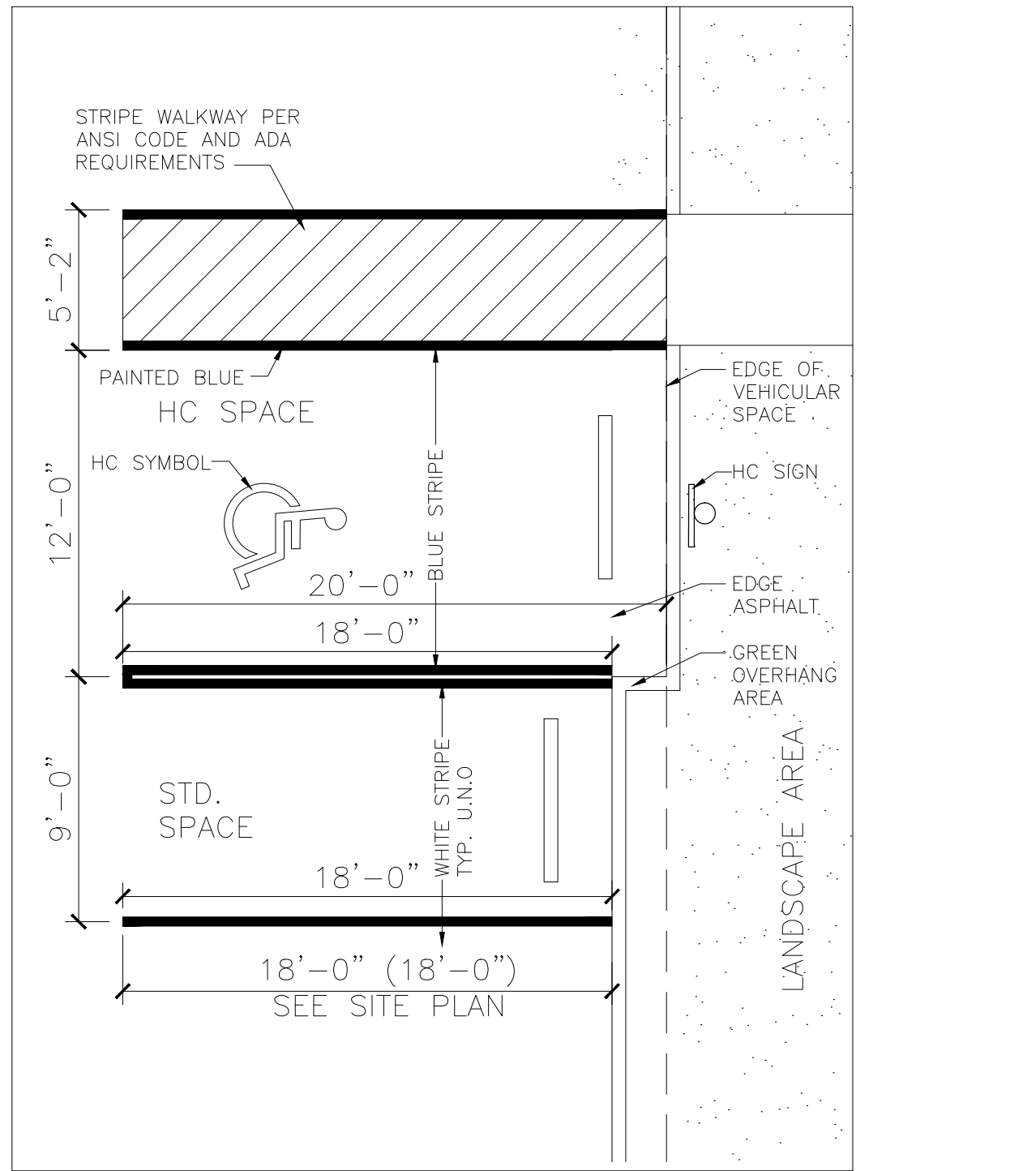
- NEW PAINTED STUCCO FINISH
- PROPERTY LINE
- IMPACT RESISTING WINDOWS
- NEW VINYL FENCE AND GATE
- EXISTING METAL STANDING SEAM ROOF
- NEW METAL STANDING SEAM ROOF TO MATCH EXISTING
- 8'-11 1/2" Ext'g. Mezz FFL
- FACING STONE TO MATCH EXISTING
- PLANTING BOX
- 0'-0" Ext'g. Ground FFL
- NEW COVERED PATIO
- OPEN
- VO AN

Site Plan

06.18.2018

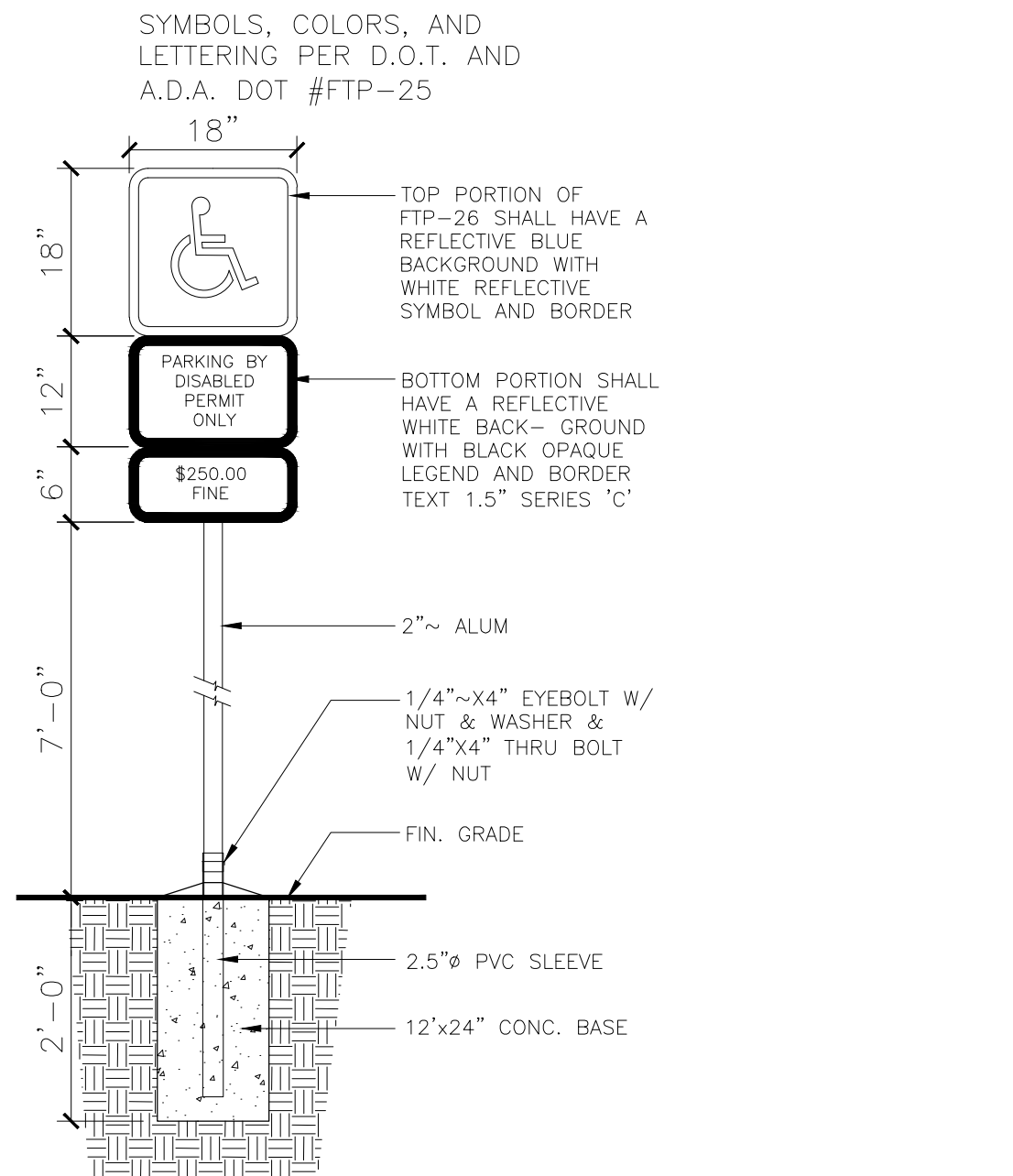
2118 - VO AN VIETNAMESE RESTAURANT, 1821 N. SR7, MARGATE, FLORIDA

Parking Detail:



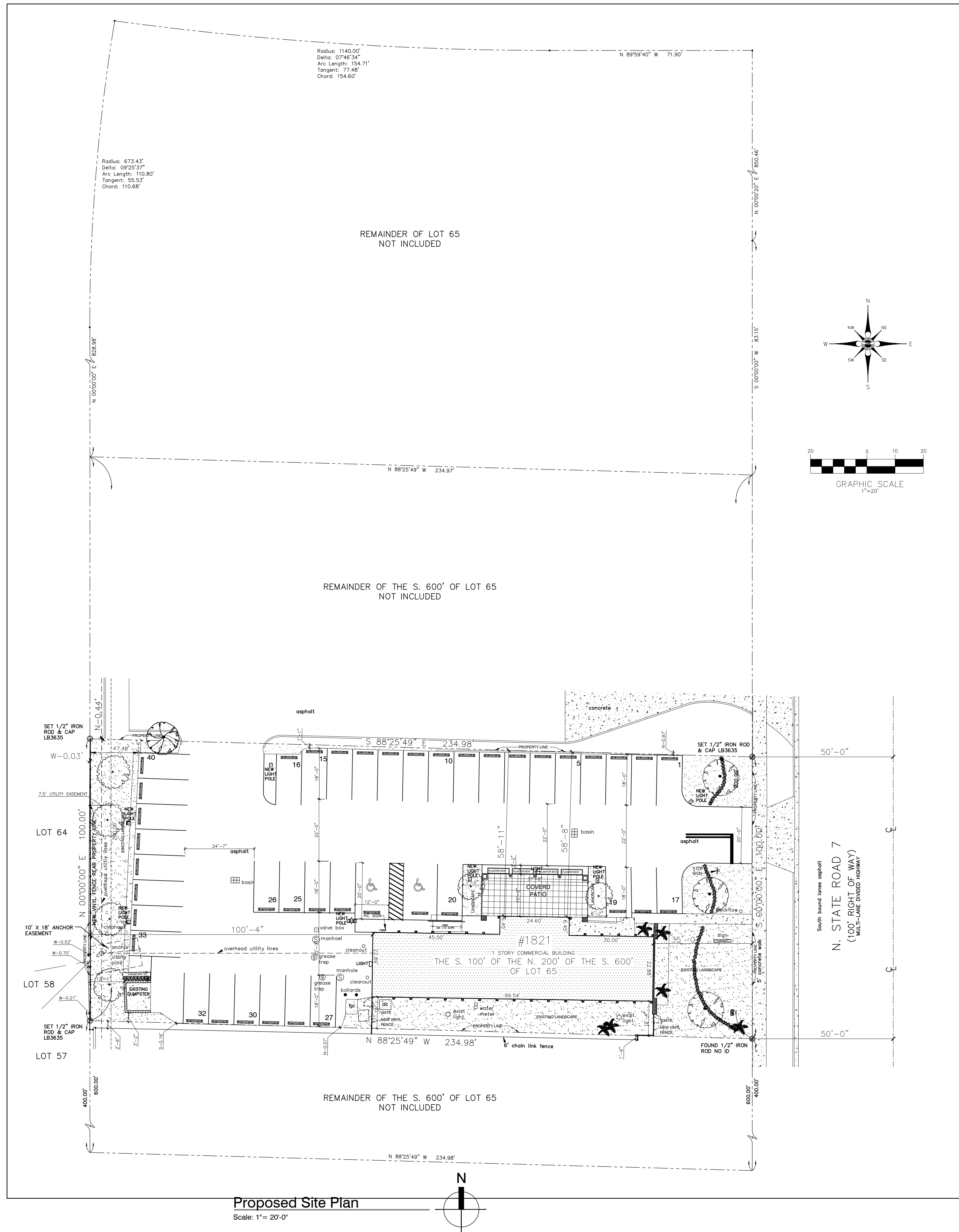
Parking Detail (Typ.)

Scale: NTS A1.1



Disable Parking Sign (Typ.)

Scale: NTS A1.1



Address: _____

STREET ADDRESS:
1821 N. State Road 7
Margate, Florida 33063

Legal Description:

LEGAL DESCRIPTION:
The South 100 feet of the north 200 feet of the South 600 feet of Lot 65, IBEC
NEIGHBORHOOD NO. 1, according to the Plat thereof, recorded in Plat Book 45,
Page 42, of the Public Records of Broward County, Florida.

NOTES:

The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.

The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.

FLOOD INFORMATION:
Community name and number: Margate 120047
Map and panel number: 12011C0165F
Panel date: 08-18-14
Index date: 08-18-14
Flood zone: "X"
Base flood elevation: N/A

Site Data:

SITE DATA			
ZONING:		TOC-C TRANSIT ORIENTATED CORRIDOR-CORRIDOR	
LAND USE:		RESTAURANT	
		EXISTING	NEW
DESCRIPTION		AREA	% COVERAGE (FAR) NEW
GROSS SITE AREA = 0.53421 ACRES		23,488 S.F.	100 %
LOT COVERAGE			
GROSS BUILDING FOOTPRINT (EXISTING) - ONE STORY		2,450.8 S.F.	2,450.8 S.F. 10.4% (0.104)
NEW COVERED PATIO		565.0 S.F.	2.5% (0.025)
IMPERVIOUS AREA (PAVED - PARKING, ROAD, SIDE WALK)		15,978.1 S.F.	14,882.9 S.F. 63.3% (0.633)
PERVIOUS AREA (LANDSCAPE)		5,019.1 S.F.	5,589.3 S.F. 23.8% (0.238)
BUILDING HEIGHTS AND SETBACKS		EXISTING BUILDING	
BUILDING HEIGHT		35'-0"	
FRONT SETBACK (EAST - N. SR7)		35'-0"	
REAR SETBACK (WEST)		100'-4"	
SIDE SETBACK (NORTH)		58'-8"	
SIDE SETBACK (SOUTH)		11'-2"	
PARKING			
RESTAURANT - 1 PARKING SPACE PER 30 SQ.FT. OF FLOOR AREA IN ROOMS FOR CUSTOMER SERVICE			
PARKING	EXISTING 35 SPACES	NEW 40 SPACES	

Applicable Codes:

APPLICABLE CODES:	
FLORIDA BUILDING CODE SIXTH EDITION (2017)	
FLORIDA FIRE PREVENTION CODE (2017)	
NFPA 1 FIRE CODE AND NFPA LIFE SAFETY CODE 2015 EDITIONS	
OCCUPANCY CLASSIFICATION	ASSEMBLY - GROUP A2 RESTAURANT
BUILDING CONSTRUCTION TYPE	TYPE-III B
PROTECTED OR UNPROTECTED	UN- PROTECTED
SPRINKLERED OR UN-SPRINKLERED	UN- SPRINKLERED & NO ALARM

Location Map:



Location Map

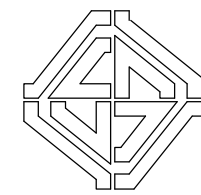
Scale: NTS

SEAL: Steven L. Cohen and Associates, P.A.
License: 6819 - Corp: AA26001642
Signature:

ALL IDEAS, DRAWINGS AND PLANS INDICATED OR REPRESENTED BY THE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND FOR THE PROJECT. NO OTHER PERSONS OR FIRMS, INCLUDING IDEAS, DESIGN OR ARCHITECTURAL FIRMS, SHALL BE USED BY OR FOR ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SLC & ASSOC., P.C. WRITTEN DISCLOSURES ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY OTHER DISCLOSURES. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION ON ITEMS TO BE NOTED.

**STEVEN L. COHEN
AND ASSOCIATES, P.A.**
ARCHITECTS • INTERIOR DESIGNERS


2300 W. SAMPLE ROAD, SUITE
COMPAND BEACH, FLORIDA 33073
PHONE (954) 971-1010
ARCH REG. NO. 6819 CORP. NO. AA26DD1642



VO AN VIETNAMESE RESTAURANT
RENOVATION
1821 N. STATE ROAD 7
MARGATE, FLORIDA

Revisions:

No:	Date:	Description:
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	-	-

Date:	05.28.18
Project Number:	12118
Principal:	SLC
Project Manager:	NVP
Drawn by:	

Drawing Name:

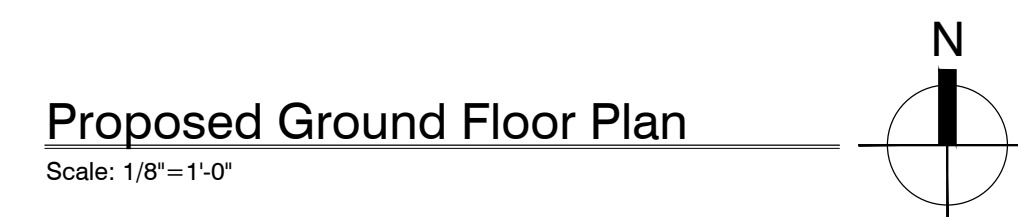
PROPOSED SITE PLAN

Drawing No:

A1.1

Total Sheets: Issue Date:

Total Sheets:	Issue Date:
#	06.15.2018

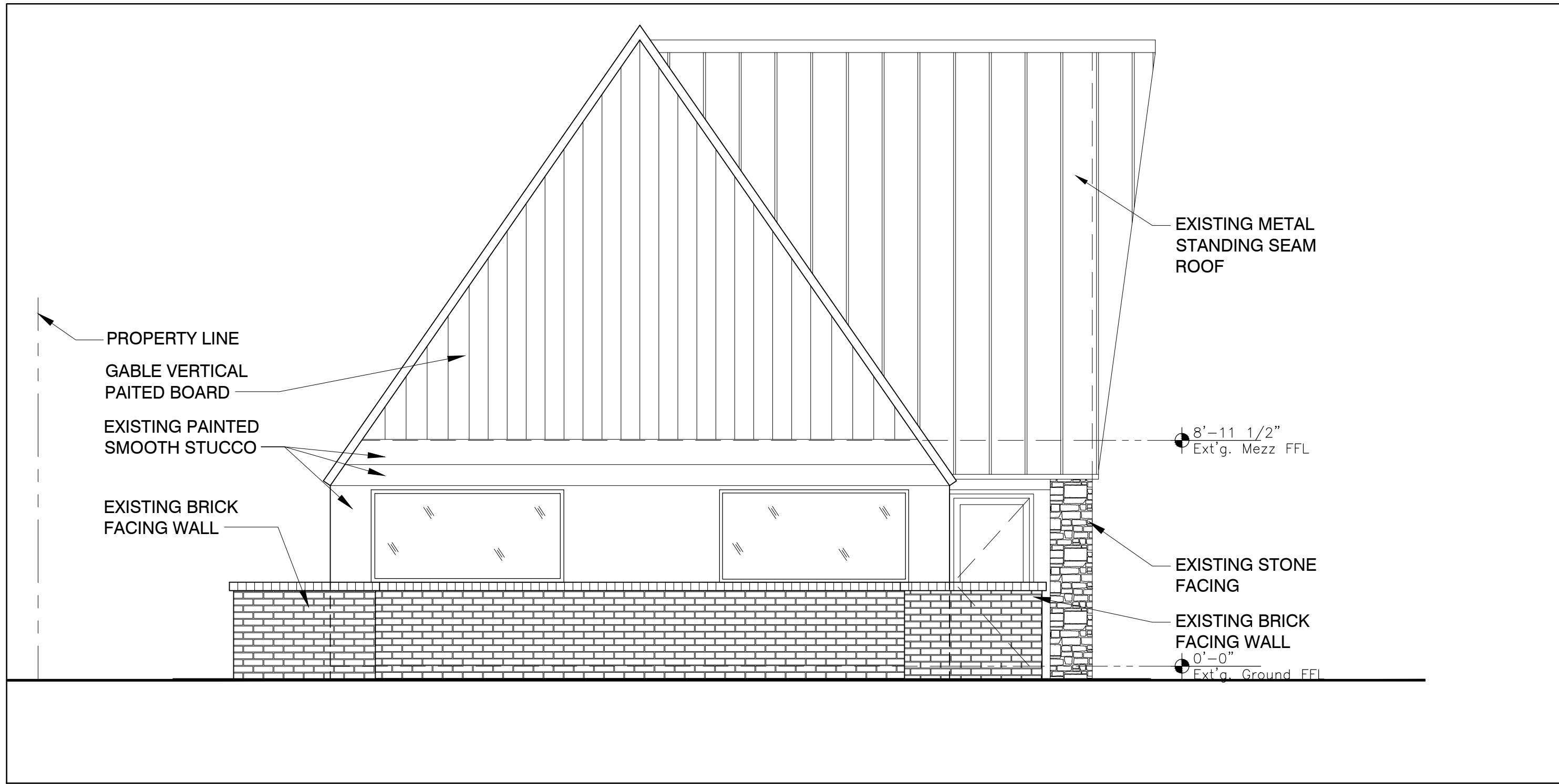


EXISTING BUILDING				
	EXISTING AREA SQ.FT.	NEW AREA SQ.FT.	DINING SQ.FT.	TOTAL SQ.FT.
GROUND FLOOR				
CUSTOMER SERVICE AREA (DINING)	1,063 SQ.FT.			
COVERED PATIO (OUTSIDE SEATING)		565 SQ.FT.		
TOTAL DINING			1,885 SQ.FT.	
WASHROOMS	186 SQ.FT.		-	
KITCHEN, STORAGE	1,201 SQ.FT.		-	
TOTAL GROUND FLOOR	2,450 SQ.FT.	565 SQ.FT.		3,015 SQ.FT.
MEZZANINE/ ATTIC FLOOR				
STAFF WASHROOM, OFFICE	332 SQ.FT.	-		
MECHANICAL ROOM	413 SQ.FT.	-		
TOTAL MEZZANINE FLOOR	745 SQ.FT.	-		745 SQ.FT.
TOTAL				3,760 SQ.FT.

1821 N. STATE ROAD 7
MARGATE, FLORIDA

#

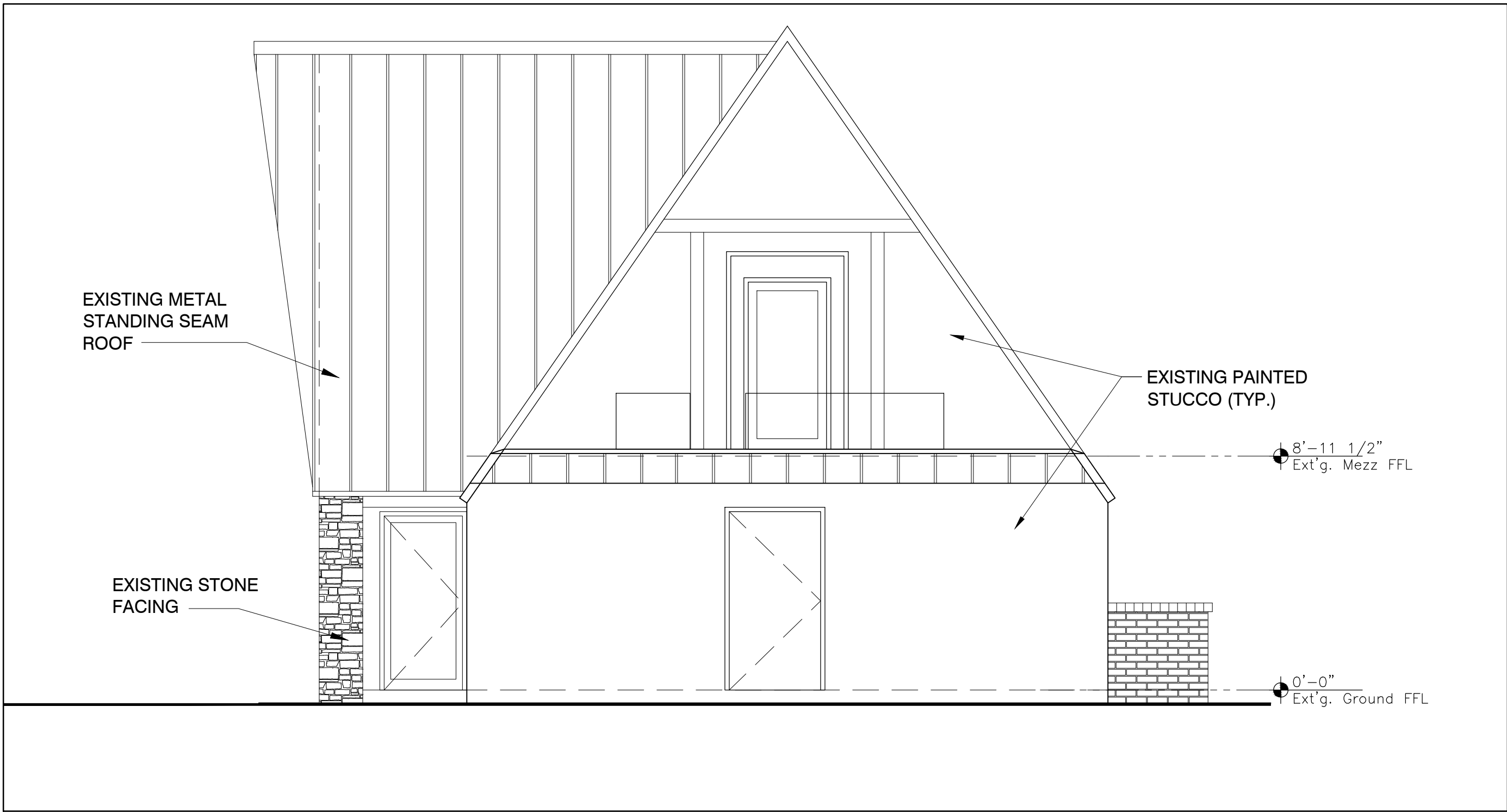
#	05.30.2018
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Existing East(Street) Elevation

Scale: 1/8"=1'-0"

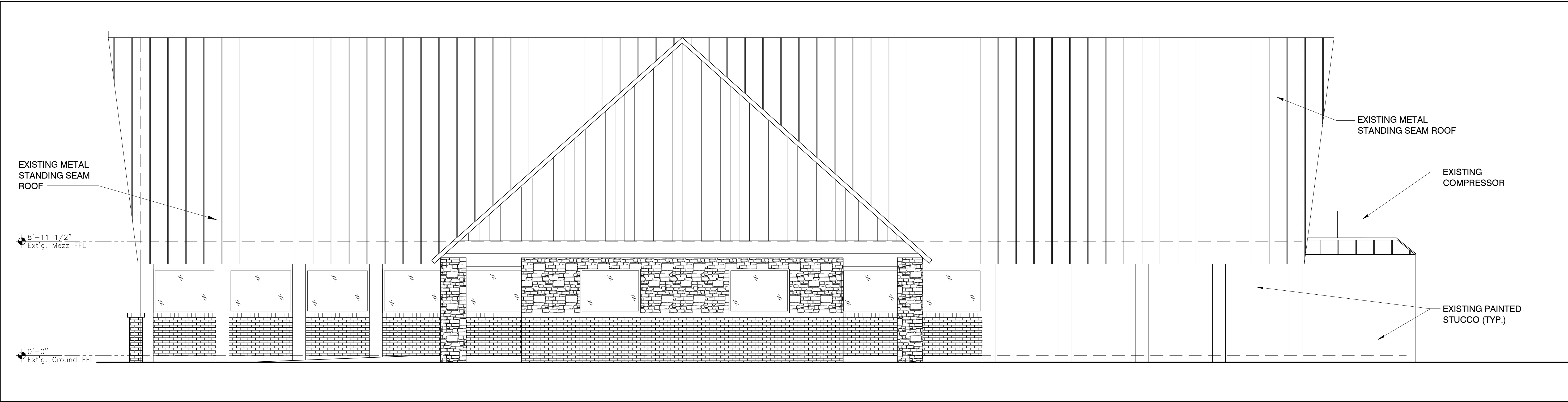
1
A5.0



Existing West (Rear) Elevation

Scale: 1/8"=1'-0"

2
A5.0



Existing North(Parking) Elevation

Scale: 1/8"=1'-0"

3
A5.0

SEAL:
Steven L. Cohen and Associates, P.A.
License: 6819 - Corp. A42601442
Signature:

ALL DRAWINGS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS SHALL BE THE PROPERTY OF STEVEN L. COHEN AND ASSOCIATES, P.A. AND SHALL REMAIN THE PROPERTY OF STEVEN L. COHEN AND ASSOCIATES, P.A. ANY REUSE, REPRODUCTION, OR MODIFICATION OF ANY PART OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF STEVEN L. COHEN AND ASSOCIATES, P.A. IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.

**STEVEN L. COHEN
AND ASSOCIATES, P.A.**
ARCHITECTS - INTERIOR DESIGNERS
2300 W. SAMPLE ROAD, SUITE 33073
214 POMPANO BEACH, FLORIDA 33073
PHONE (954) 971-1010
ARCH. REG. NO. 6819 - CORP. NO. A42601442

**VO AN VIETNAMESE RESTAURANT
RENOVATION**
1821 N. STATE ROAD 7
MARGATE, FLORIDA

Revisions:		
No:	Date:	Description:
1		

Date: 05.28.18
Project Number: 12118
Principal: SLC
Project Manager: NVP
Drawn by: NVP

Drawing Name:

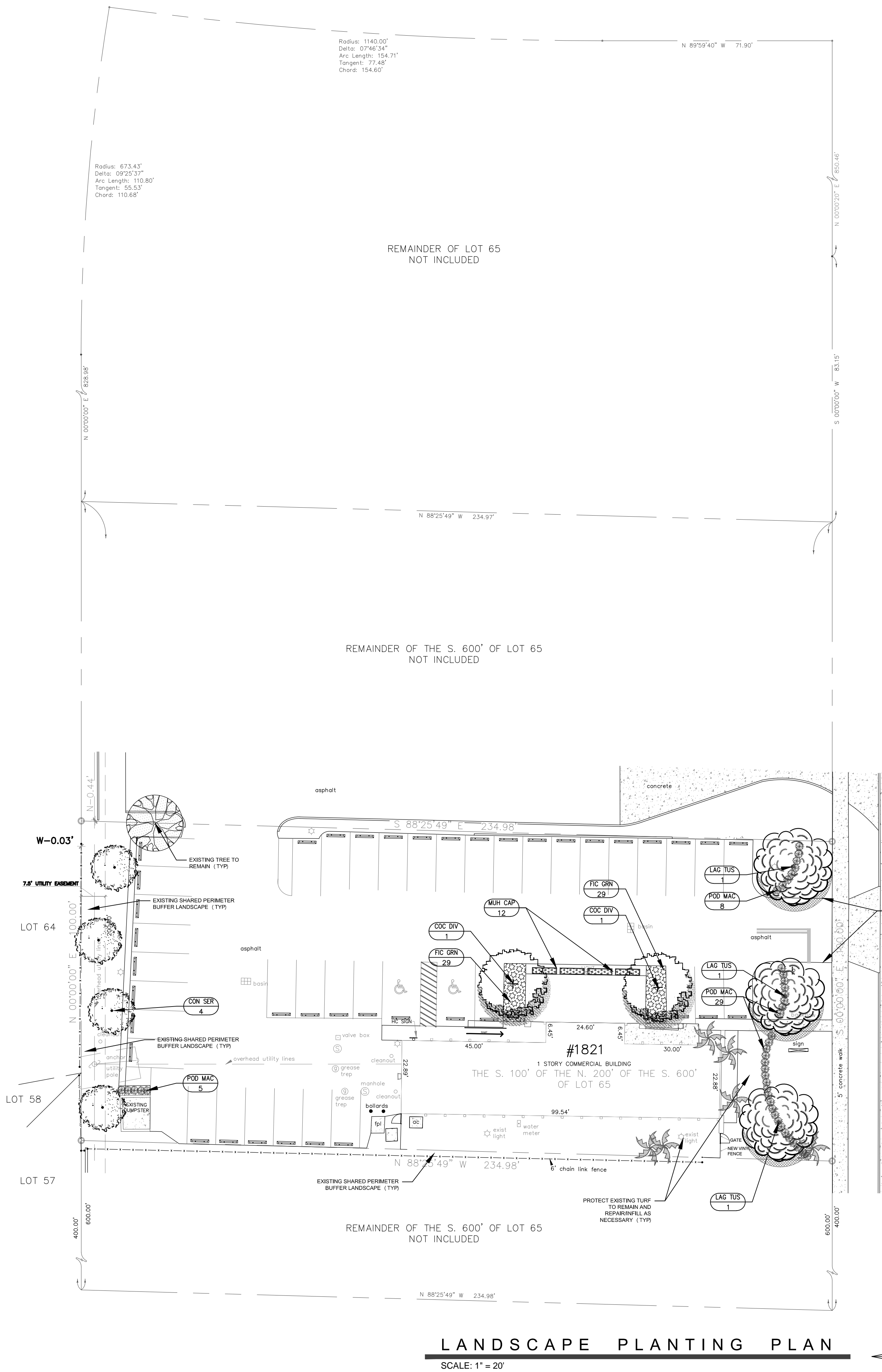
**AS-BUILT
ELEVATIONS**

Drawing No:

A5.0

Total Sheets: #
Issue Date: 05.30.2018

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Green Earth Indscape Architecture shall be without liability to the same.



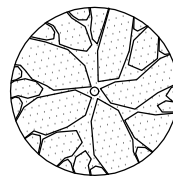
GENERAL NOTES & SPECIFICATIONS

1. All proposed plant material shall be a minimum of Florida No. 1 or better as described in Grades and Standards for Nursery Plants, Parts 1 and II, latest edition published by the Florida Department of Agriculture and Consumer Services.
2. All planted areas shall contain a three (3) inch layer of shredded sterilized Eucalyptus or Melaleuca mulch such as Flori-mulch. Keep mulch a min. 12" away from tree trunks. Create min. 5" diameter mulch tree rings around all trees not within a shrub or groundcover bed.
3. All plant material shall be pruned, if needed, to achieve the shape and form characteristic to their design intent and as specified in the plant list. Pruning shall be in strict accordance with ANSI A300 guidelines and shall be the minimum necessary to achieve the specified result.
4. All sod or seed shall be certified (if applicable), and weed and insect free.
5. Contractor shall be responsible for locating existing utilities or other obstructions which may interfere with plant installation.
6. Call Sunshine One service for underground utility locations 48 hours prior to any excavation or digging 1-800-432-4770.
7. Landscape planting beds and/or sod shall extend to the edge of pavement from vehicular areas, however edges of all plants shall be set back at the following minimum distances from pavement/hardscape edges: Shrubs and sprawling Groundcovers a minimum of 18" setback; Groundcover a minimum of 12" setback.
8. All mechanical equipment, irrigation pumps, electrical transformers, etc. shall be screened on a minimum of three (3) sides by landscape shrubs.
9. Corner clip and visibility triangles shall be maintained for clear sight visibility in accordance with FDOT Index 546 and Index 700 where adjacent to State roadways. Local and County roadway clear sight requirements shall otherwise prevail.
10. No large-statured species of trees shall be planted within 15' of any proposed structures or 8' of proposed concrete pedestrian walks without the use of a root barrier. See Sheet L-201 for root barrier details.
11. The landscape plans were designed to comply with Florida Friendly Landscape principles.
12. A Tree Permit will be required prior to any construction, native vegetative removal within the drip-line of a tree, and/or site tree work.
13. Local Utility and Fire Rescue Clearance Zones shall be provided around all above ground or at grade meters and equipment.
14. Where overhead power lines exist, all proposed trees and palm setbacks shall conform with the Florida Power and Light (FPL) Guidelines for setbacks from overhead utility lines.
15. All planting areas shall be excavated and amended according to the Landscape Details sheet and/or planting detail standards of the regulating agency.
16. Plant quantities are provided for convenience. In the event of discrepancies between plant list counts and plan, plan quantities and layout shall take precedence based on symbols and center-to-center spacing specified on plant list.
17. All landscape planting areas where shrubs and groundcover are planted in mass shall have amended planting soil of uncompacted coarse loam that is a minimum of 12 inches deep. Soils shall be appreciably free of gravel, stones, rubble or trash, except where structural soils have been approved by the Landscape Architect. All compacted soil, contaminated soil or roadbase fill shall be removed. Amended planting soil shall be premixed off site and shall be a ratio by volume mixture of 50% pulverized topsoil/Florida muck organic content and 50% clean, screened sand, free of nematodes and vegetative growth. 10% sphagnum peat or other organic amenity is acceptable in the amended soil mix.
18. All sod shall be St. Augustine "Palmetto" in solid, full pieces except for any areas noted as "BAHIAGRASS SOD" which shall be Bahiagrass Argentine variety. Lay sod tight with staggered joints and roll if necessary to produce a smooth, even finish grade. Use sod staples on slopes greater than 5:1.
19. As part of the scope of this work, landscape contractor is to locate/amend/repair/replace existing irrigation system in place to provide 100%, head-to-head coverage of all previous planted areas on site with a programmable clock timer and a rain sensing device, compliant with SFWMD.
20. All plant materials shall be guaranteed by the contractor for a period of one year to be in a thriving, healthy condition that is indicative of each species. Any plants that fail within that period shall be replaced immediately with like kind, size, and specs.
21. Remove any and all prohibited exotic vegetation from site and maintain it free from prohibited exotics in perpetuity.

EXISTING TREE SYMBOL LEGEND



- EXISTING PALM TO REMAIN
SEE TREE PROTECTION BARRIER
FENCING DETAIL SHEET L-201



- EXISTING TREE TO REMAIN
SEE TREE PROTECTION BARRIER
FENCING DETAIL SHEET L-201

PLANT LIST AND SPECIFICATIONS

TREE AND PALMS							
	SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPREAD	DESCRIPTION
^N	COC DIV	2	Coccoloba diversifolia	PIGEON PLUM	12' HT./2" CAL.	5'	STRAIGHT TRUNK, FULL RADIAL BRANCHING
^N	CON SER	4	Conocarpus erectus 'Sericeus'	SILVER BUTTONWOOD	12 HT.	5'	SINGLE LEADER, STRAIGHT TRUNK, FULL RADIAL BRANCHING
^N	LAG TUS	3	Lagerstroemia fauriei 'Tuscarora'	TUSCARORA CRAPE MYRTLE	12' HT.	5'	SINGLE LEADER TREE FORM, STRAIGHT, FULL RADIAL BRANCHING
SHRUBS AND GROUNDCOVER							
	SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE		DESCRIPTION
	FIC MAC	58	Ficus macrocarpa 'Green Island'	GREEN ISLAND FICUS	18" x 18"		FULL, SPACE 24" ON CENTER
^N	MUH CAP	12	Muhlenbergia capillaris	MUHL Y GRASS	18" x 18"		FULL, INSTALL IN RAISED PLANTER BOXES PER ARCH PLANS
	POD MAC	42	Podocarpus macrophyllus	PODOCARPUS	24" x 24"		FULL, SPACE 24" ON CENTER

*N - ABOVE DENOTES FLORIDA NATIVE SPECIES - SEE NATIVE PERCENTAGE CALCULATIONS IN TABULAR DATA CHART BELOW

BELOW IS AN AUTHORIZED DIGITAL SIGNATURE AND SEAL OF THE PROFESSIONAL LISTED. BY WAY OF THIS SIGNATURE I ATTEST THAT THE DOCUMENTS HEREIN, IF UNDER A VERIFIED ELECTRONIC SEAL, WERE PREPARED, SIGNED AND AUTHORIZED FOR SUBMITTAL BY ME ON THE DATE OF SIGNING, WITH ALL AUTHORITY AND RIGHTS GRANTED TO ME BY THE STATE OF FLORIDA SS 481.303 PART II AND ASSOCIATED REFERENCES THEREIN.

Vietnamese Restaurant
1821 N. State Road 7
Margate, FL

LANDSCAPE PLANTING PLAN

SHEET NUMBER
L-200

No.	REVISIONS	DATE	BY



GREEN EARTH
LANDSCAPE ARCHITECTURE
HOLLYWOOD, FLORIDA
E-MAIL: bvanti@greeneearthla.com PHONE: 954-618-9825

LICENSED PROFESSIONAL

WILLIAM DALE BRYANT

L LICENSE NUMBE

PROJECT #

DATE
771-81

06-28-18

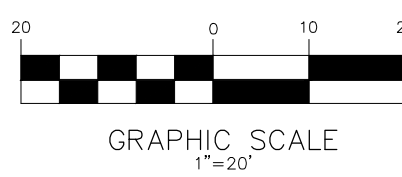
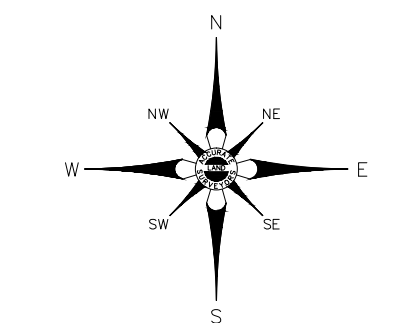
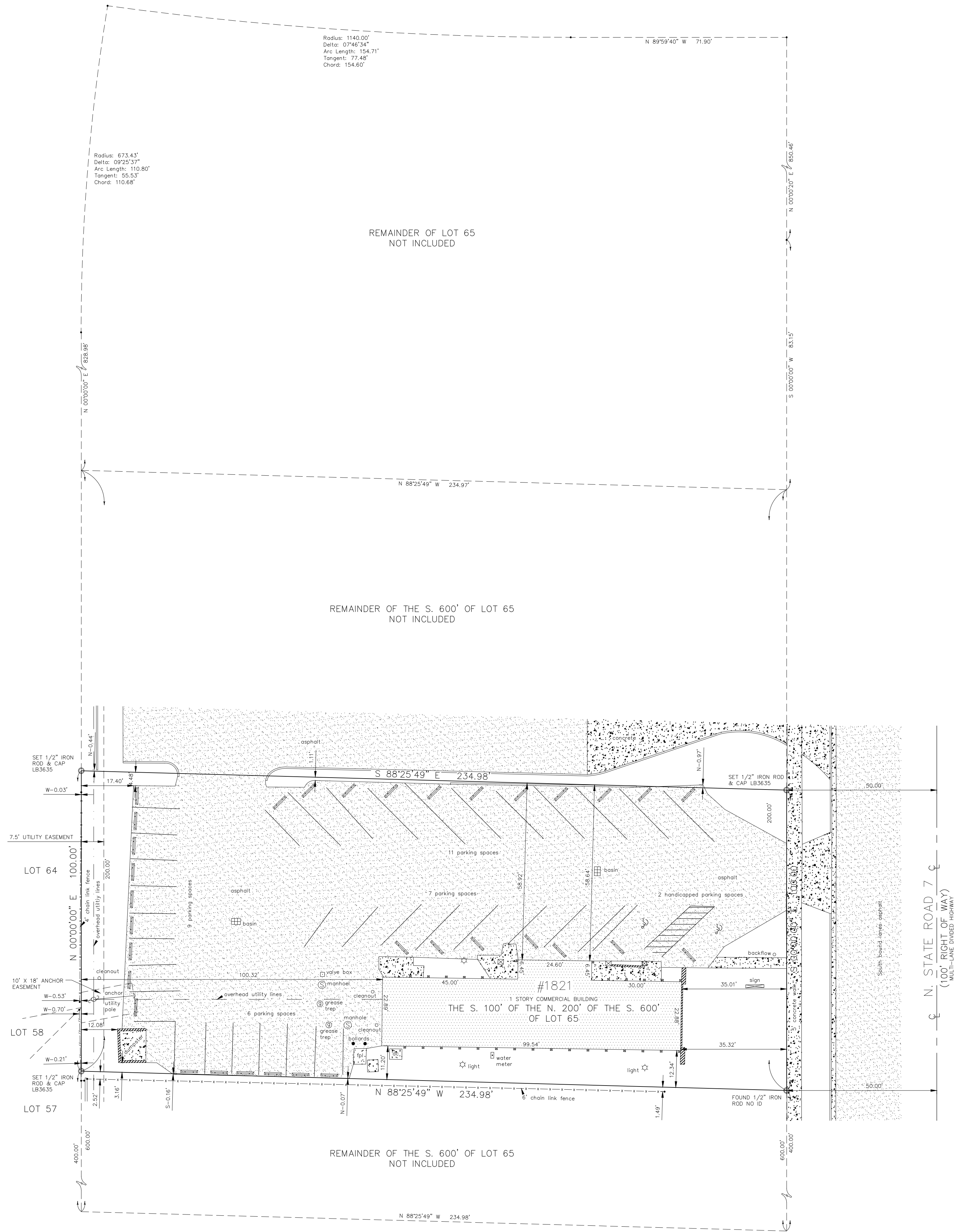
SCALE	AS 3HO
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1

Broward County

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III.



ACCURATE LAND SURVEYORS, INC.

L.B. #3635

1150 E. ATLANTIC BLVD.
POMPANO BEACH, FLORIDA 33069

TEL (954) 782-1441
FAX (954) 782-1442

BOUNDARY SURVEY

LEGEND OF ABBREVIATIONS:

A = CENTRAL ANGLE

A = ARC LENGTH

CB = CHORD BEARING

R = RADIUS

R/W = RIGHT OF WAY

P.C. = POINT OF CURVATURE

P.T. = POINT OF TANGENCY

WM = WATER METER

OH = OVERHANG

N = NORTH

S = SOUTH

E = EAST

W = WEST

CONC. = CONCRETE

D.B. = DEED BOOK

CLF = CHAIN LINK FENCE

BLVD. = BOULEVARD

ENCH. = ENCH.

P.R.M. = PERMANENT REFERENCE MONUMENT

N.A.V.D. = NORTH AMERICAN VERTICAL DATUM

ELEV. = ELEVATION

B.M. = BENCHMARK

SQ. FT. = SQUARE FEET

P.C.P. = PERMANENT CONTROL POINT

P.B.C.R. = PALM BEACH COUNTY RECORDS

P = PLAT

N&D = NAIL & DISC

P.O.C. = POINT OF COMMENCEMENT

P.O.B. = POINT OF BEGINNING

A/C = AIR CONDITIONER

FND. = FOUND

CHATT. = CHATTAHOOCHIE

F.P.L. = FLORIDA POWER & LIGHT

N.T.S. = NOT TO SCALE

B.C.R. = BROWARD COUNTY RECORDS

D.C.R. = DADE COUNTY RECORDS

P.B. = PLAT BOOK

O.R.B. = OFFICIAL RECORDS BOOK

P.F. = FINISHED FLOOR

GAR. = GARAGE

CL = CENTERLINE

MH = MANHOLE

(M) = MEASURED

LP = LIGHT POLE

ELEVATIONS BASED ON N.A.V.D.

STREET ADDRESS:

1821 N. State Road 7
Margate, Florida 33063

LEGAL DESCRIPTION:

The South 100 feet of the north 200 feet of the South 600 feet of Lot 65, IBEC NEIGHBORHOOD NO. 1, according to the Plat thereof, recorded in Plat Book 45, Page 42, of the Public Records of Broward County, Florida.

NOTES:

1. Unless otherwise noted field measurements are in agreement with record measurements.

2. Bearings shown hereon are based on a bearing of South 00°00'00" East along the centerline of State Road 7 Plat Book 45, Page 42, of the Public Records of Broward County, Florida.

3. The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.

4. Ownership of fences and walls if any are not determined.

5. This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.

6. This survey is made for the exclusive use of the certified hereon, to be valid one year from the date of survey as shown hereon.

7. The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.

8. The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.

FLOOD INFORMATION:

Community name and number: Margate 120047

Map and panel number: 12011C0165F

Panel date: 08-18-14

Index date: 08-18-14

Flood zone: "X"

Base flood elevation: N/A

CERTIFY TO:

Phong Thruong
ERICW LLC

DATE OF FIELD SURVEY: 04-12-18	DRAWN BY: MLW	
FIELD BOOK: ALS-SU-18-1139	CHECKED BY: MLW	
REVISIONS	DATE	BY

CERTIFICATION:

This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter 5J-17, Florida Administrative Codes, pursuant to current Section 472.027, Florida Statutes.

ROBERT L. THOMPSON (PRESIDENT)

PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper

SHEET 1 OF 1

SCALE 1"=20'

SKETCH NUMBER SU-18-1139