

CONSTRUCTION PLANS
FOR
CULVER'S RESTAURANT
2000 N. STATE ROAD 7
MARGATE, FLORIDA 33063

UTILITY SERVICE PROVIDERS

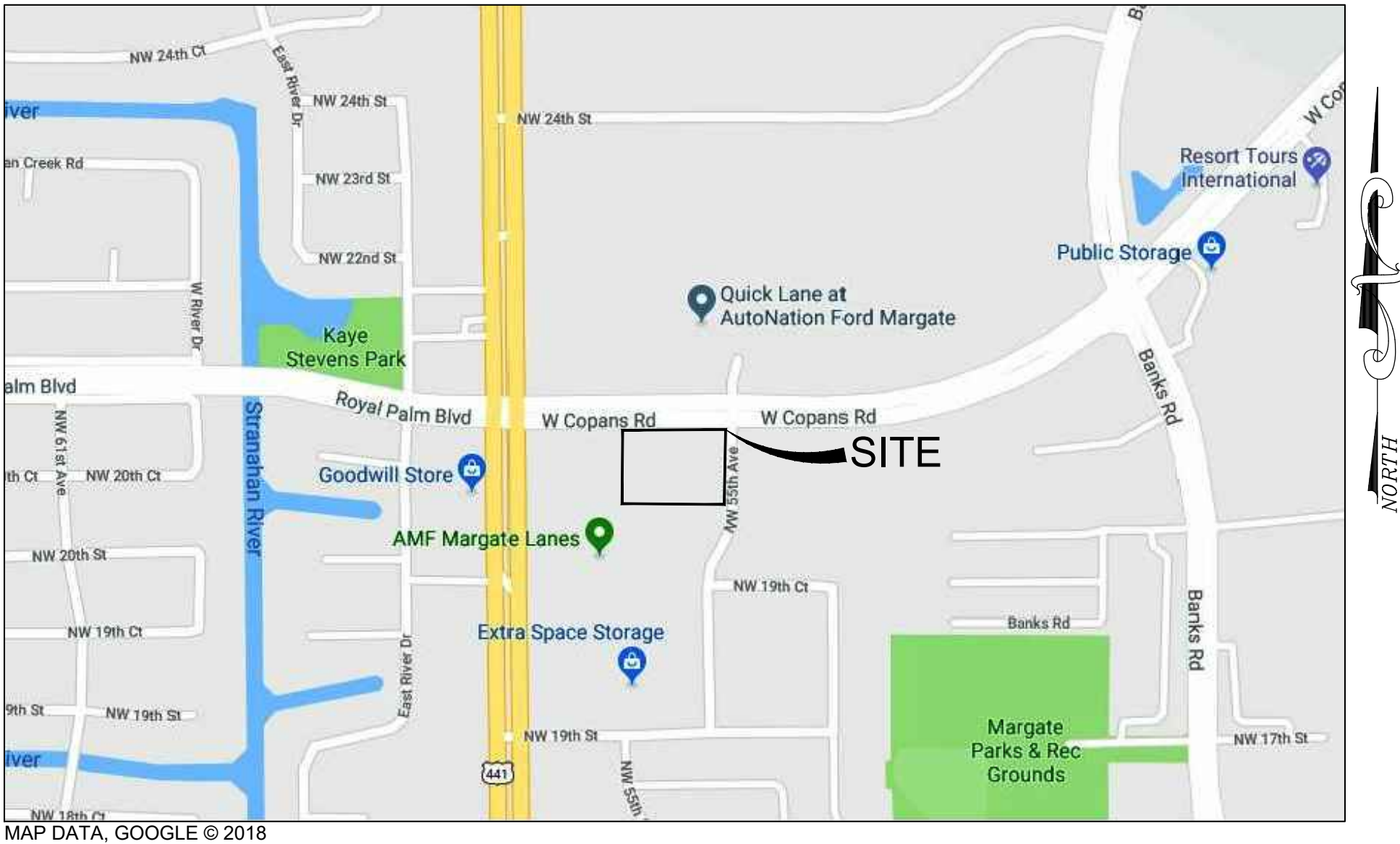
| WATER | PHONE |
|---|---|
| CITY OF MARGATE 901 NW 68TH AVENUE, SUITE A MARGATE, FL 33063 (954) 797 - 5000 | AT&T BRANDON EDMUNDSON 9353 W ATLANTIC BLVD, #26 MARGATE, FL 33063 (954) 956 - 2036 |
| SEWER | NATURAL GAS |
| CITY OF MARGATE 901 NW 68TH AVENUE, SUITE A MARGATE, FL 33063 (954) 797 - 5000 | TECO PEOPLES GAS COMPANY 702 NORTH FRANKLIN STREET PO BOX 2562 TAMPA, FL 33601 (954) 931 - 9742 |
| ELECTRIC | |
| FLORIDA POWER AND LIGHT SHAVONTI ARCHER 330 SW 12TH AVENUE POMPANO BEACH, FL 33069 (954) 956 - 2036 | |

LEGAL DESCRIPTION

PARCEL 1:
A PORTION OF TRACT A, MARGATE DISTRICT HEADQUARTERS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 88, PAGE 14, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT A; THENCE SOUTH 01°10'00" EAST ALONG THE EAST LINE OF SAID TRACT A AND THE WEST RIGHT OF WAY LINE OF N.W. 55TH AVENUE FOR A DISTANCE OF 250.00 FEET TO THE SOUTH LINE OF SAID TRACT A; THENCE SOUTH 89°32'02" WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 293.89 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL; THENCE CONTINUE SOUTH 89°32'02" WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 336.51 FEET TO THE WEST LINE OF SAID TRACT A AND THE EAST RIGHT OF WAY LINE OF STATE ROAD NO. 7; THENCE NORTH 01°00'34" WEST, ALONG SAID WEST LINE OF SAID TRACT A AND THE EAST RIGHT OF WAY LINE OF STATE ROAD NO. 7 FOR A DISTANCE OF 250.18 FEET TO THE NORTH LINE OF SAID TRACT A AND THE SOUTH RIGHT OF WAY LINE OF COPANS ROAD; THENCE NORTH 89°33'02" EAST, ALONG SAID NORTH LINE OF TRACT A AND THE SOUTH RIGHT OF WAY LINE OF COPANS ROAD FOR A DISTANCE OF 338.96; THENCE SOUTH 00°26'58" EAST, DEPARTING SAID SOUTH LINE, FOR A DISTANCE OF 250.07 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A PORTION OF TRACT A, MARGATE DISTRICT HEADQUARTERS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 88, PAGE 14, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT A; THENCE SOUTH 01°10'00" EAST ALONG THE EAST LINE OF SAID TRACT A AND THE WEST RIGHT OF WAY LINE OF N.W. 55TH AVENUE FOR A DISTANCE OF 250.00 FEET TO THE SOUTH LINE OF SAID TRACT A; THENCE SOUTH 89°32'02" WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 293.89 FEET TO A POINT; THENCE NORTH 00°26'58" W FOR A DISTANCE OF 250.07 FEET TO THE NORTH LINE OF SAID TRACT A AND THE SOUTH RIGHT OF WAY LINE OF COPANS ROAD; THENCE NORTH 89°33'02" EAST, ALONG SAID NORTH LINE OF TRACT A AND SOUTH RIGHT OF WAY LINE OF COPANS ROAD FOR A DISTANCE OF 293.89 FEET TO THE POINT OF BEGINNING.

SAID LAND LYING IN BROWARD COUNTY, FLORIDA AND CONTAINS 157,411 SQUARE FEET (3.6137 ACRES), MORE OR LESS.



LOCATION MAP

1" = 500'



Certificate of Authorization License No. 30462

13450 W. Sunrise Boulevard
Suite 320
Sunrise, FL 33323
Phone: (954) 314-8480

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OWNER INFORMATION

OWNER: TVC MARGATE CO, LLC.
ADDRESS: 5757 W. MAPLE ROAD, SUITE 800
WEST BLOOMFIELD, MI 48322

SITE INFORMATION

| | |
|-------------------|---|
| PROJECT AREA: | ±1.68 ACRES |
| PARCEL FOLIO NO.: | 4842-30-05-0020 |
| PARCEL ADDRESS: | 2000 N. STATE ROAD 7, MARGATE FL, 33063 |
| CURRENT ZONING: | TRANSIT ORIENTED CORRIDOR - GATEWAY |
| EXISTING USE: | VACANT |
| PROPOSED USE: | RESTAURANT & GENERAL RETAIL |
| SECTION: | 30 |
| TOWNSHIP: | 48 SOUTH |
| RANGE: | 42 EAST |

SHEET INDEX

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COVER SHEET
CULVER'S RESTAURANT
5510 WEST COPANS ROAD
CITY OF MARGATE
BROWARD COUNTY, FLORIDA



| REVISIONS | | |
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| DATE: | 09/13/2018 | |
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| SHEET | C-1 | |





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EXISTING CONDITIONS PLAN

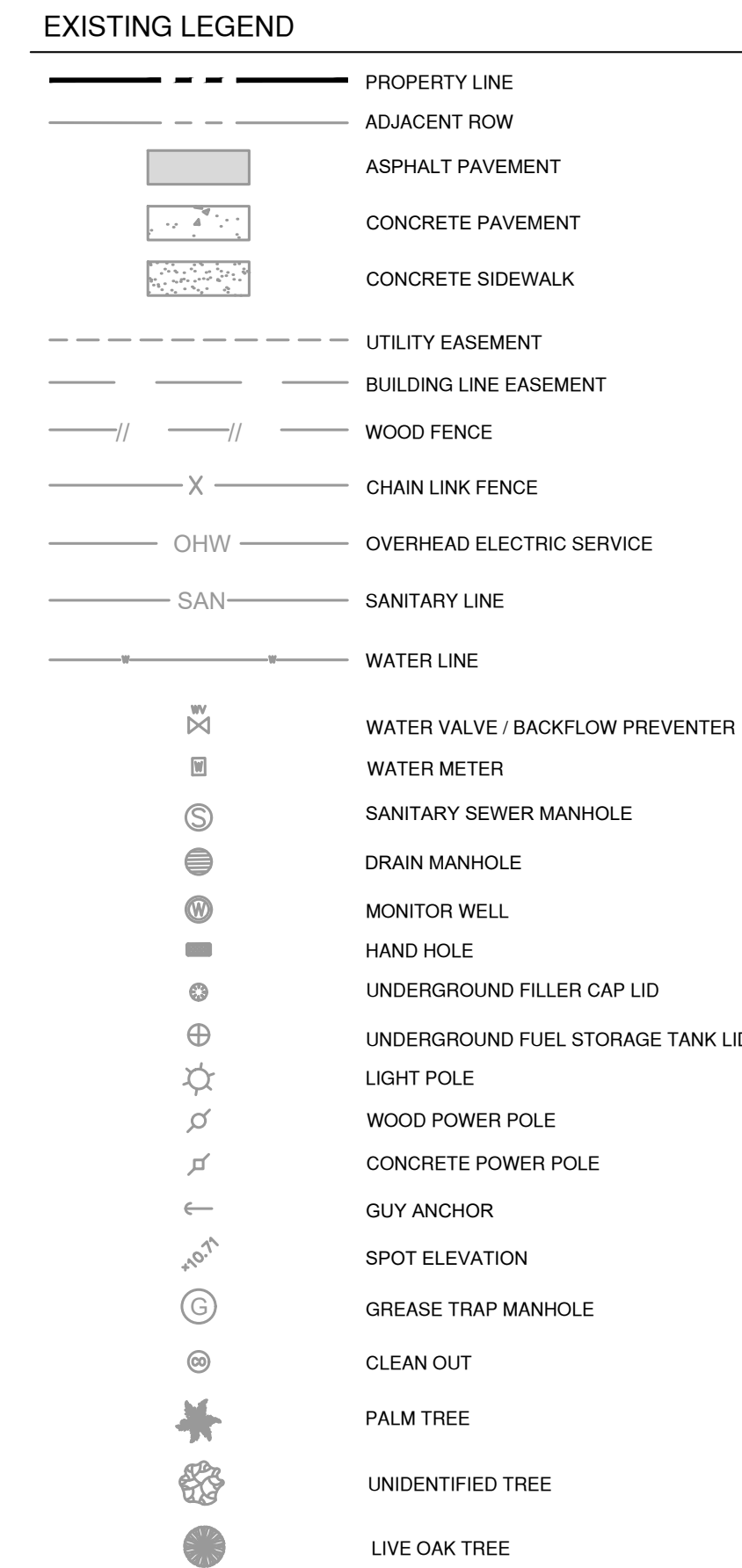
CULVER'S RESTAURANT

5510 WEST COPANS ROAD

CITY OF MARGATE BROWARD COUNTY, FLORIDA



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| SHEET | | C-2 | |



ABBREVIATIONS


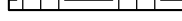

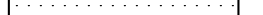
AVE. = AVENUE
 ASPH. = ASPHALT
 CB = CATCH BASIN
 CL = CENTER LINE
 CONC. = CONCRETE
 C&G = CURB AND GUTTER
 DRWY. = DRIVEWAY
 PAVT. = PAVEMENT
 PG = PAGE
 PB = PLAT BOOK
 ROW = RIGHT-OF-WAY
 SS = SANITARY SEWER
 SD = STORM DRAIN

VARIABLE R/W
(O.R.B. 10255, PG. 488, B.C.R.)

Sunshine811.com



| | |
|--|--|
| | PROPERTY LINE |
| | ADJACENT ROW |
| | OVERHANG/CANOPY |
| | EASEMENT |
| | UTILITY EASEMENT |
| | SANITARY LINE |
| | STORM DRAINAGE LINE |
| | ELECTRIC LINE |
| | CONCRETE SIDEWALK |
| | ASPHALT PAVEMENT |
| | STORM MANHOLE |
| | CATCH BASIN |
| | CLEAN OUT |
| | SANITARY SEWER MANHOLE |
| | WATER VALVE / BACKFLOW PREVENTER |
| | WATER METER |
| | FIRE HYDRANT |
| | MONITOR WELL |
| | WOOD UTILITY POLE |
| | ELECTRIC HANDHOLE |
| | UNDERGROUND FUEL STORAGE TANK LID / FILLER CAP |
| | PALM TREE |
| | UNIDENTIFIED TREE |

| | |
|--|---------------------------------------|
|  | EXISTING OPEN SPACE TO BE REMOVED |
|  | EXISTING ASPHALT TO BE REMOVED |
|  | EXISTING RETENTION AREA TO BE REMOVED |
|  | |

1. THE LOCATION OF THE UTILITIES SHOWN HAVE BEEN DETERMINED BY INFORMATION GATHERED AND SHALL NOT BE USED AS EXACT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY EXACT LOCATIONS PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES FOR REMOVAL AND RELOCATIONS OF THE RESPECTIVE UTILITY. THE CONTRACTOR SHALL VERIFY ANY WORK THAT MAY BE DONE BY THE UTILITY COMPANIES.
3. CONTRACTOR SHALL PROTECT THE PUBLIC WITH BEST MANAGEMENT PRACTICES.
4. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING STRUCTURES, PAVEMENT, AND VEGETATION THAT IS NOT TO BE DISTURBED AND IS RESPONSIBLE FOR ANY DAMAGES TO THEM.
5. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM OPERATION ACCORDING TO GOVERNING AUTHORITIES AND SHALL OBTAIN THE PROPER PERMITS REQUIRED FOR DISPOSAL AND DEMOLITION.
6. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND AVOID ANY PROPERTY DAMAGE DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO DEMOLITION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
9. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES, TANKS, ETC.
10. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
11. ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY REMOVED OR REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
12. LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS. ANY DAMAGE TO ANY SURROUNDING AREAS SHALL BE REPAIRED / REPLACED AT THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROTECT EXISTING ADJACENT STRUCTURES, PAVEMENT, UTILITIES, LANDSCAPE, ETC. FROM DAMAGE DURING CONSTRUCTION.
13. CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL UTILITIES TO BE REMOVED HAS BEEN DISCONTINUED AND SHUT OFF. ALL UTILITY LINES SHALL BE CAPPED PER UTILITY COMPANY STANDARDS.
14. EXISTING PERIMETER TREES & LANDSCAPING TO REMAIN WHEREVER POSSIBLE.
15. EXISTING WELLS SHALL BE REMOVED OR RELOCATED BY CERTIFIED WELL CONTRACTOR
16. EXISTING HYDRAULIC LIFTS AND ASSOCIATED TANKS SHALL BE REMOVED BY CERTIFIED CONTRACTOR. CONTRACTOR SHALL CONTACT APTM AT 321-622-9437 TO OBSERVE REMOVAL.

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C&G = CURB AND GUTTER
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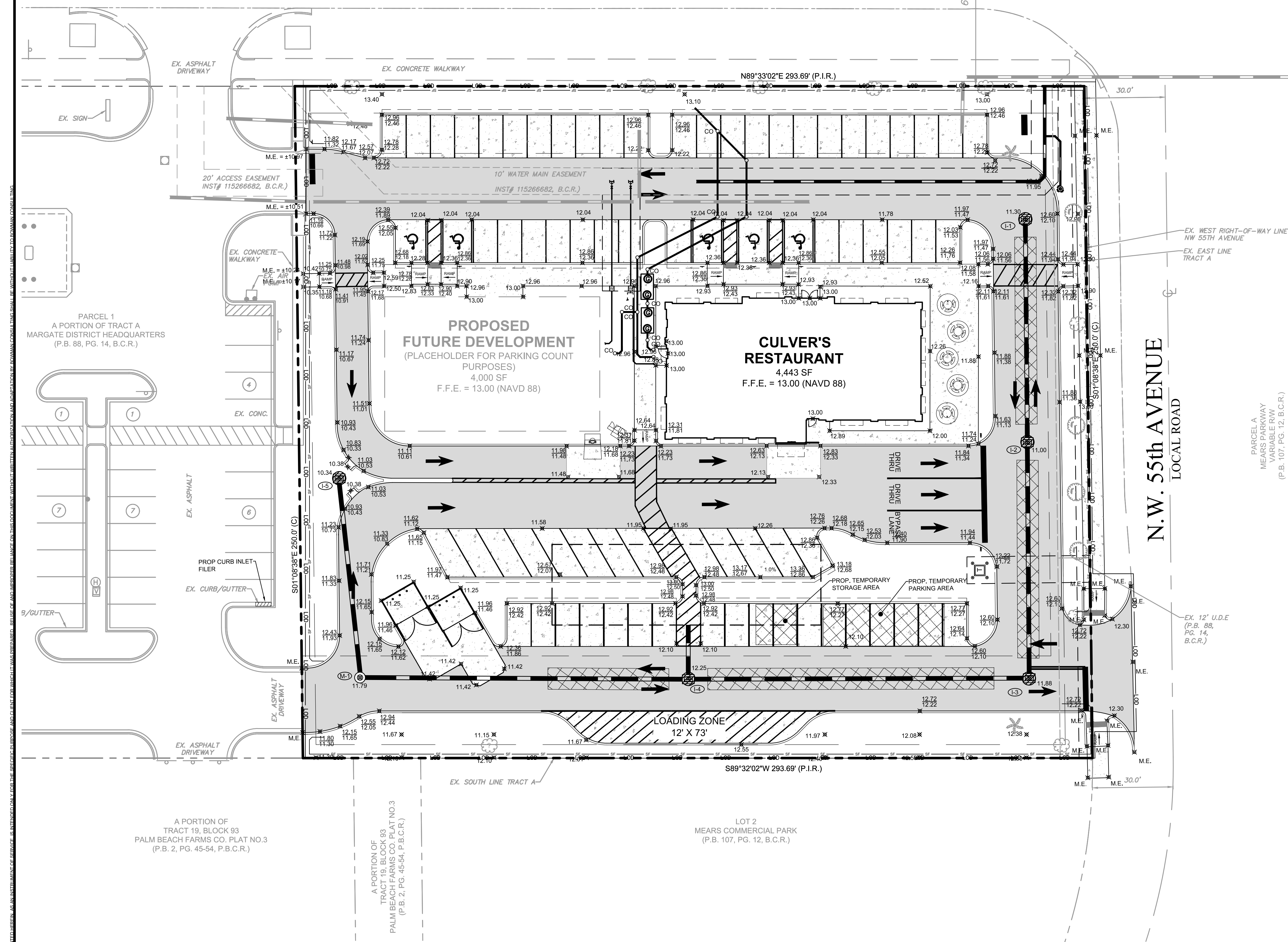
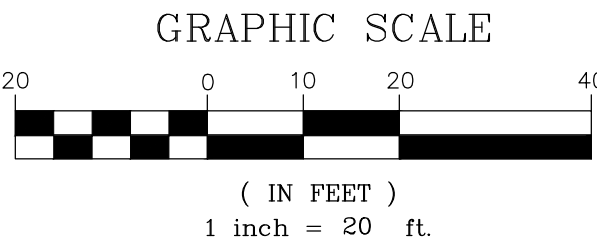
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CITY OF MARGATE
BROWARD COUNTY, FLORIDA

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W. COPANS ROAD
COUNTY ROAD



EXISTING LEGEND

- | | | |
|------------------------|-----|----------------------------------|
| PROPERTY LINE | OHW | OVERHEAD ELECTRIC SERVICE |
| ADJACENT ROW | SAN | SANITARY LINE |
| ASPHALT PAVEMENT | | WATER LINE |
| CONCRETE PAVEMENT | | WATER VALVE / BACKFLOW PREVENTER |
| CONCRETE SIDEWALK | | WATER METER |
| UTILITY EASEMENT | | SANITARY SEWER MANHOLE |
| BUILDING LINE EASEMENT | | DRAIN MANHOLE |
| WOOD FENCE | | MONITOR WELL |
| CHAIN LINK FENCE | | HAND HOLE |
| LIGHT POLE | | CLEAN OUT |
| WOOD POWER POLE | | UNIDENTIFIED TREE |
| CONCRETE POWER POLE | | LIVE OAK TREE |
| GUY ANCHOR | | PALM TREE |
| SPOT ELEVATION | | |
| GREASE TRAP MANHOLE | | |

SEDIMENT & EROSION CONTROL LEGEND

- | | |
|--------------------------------|------------------------------|
| STABILIZED CONCRETE ENTRANCE | |
| TEMPORARY PARKING/STORAGE AREA | |
| LOD | LIMITS OF DISTURBANCE |
| SF | SILT FENCE |
| | FILTER SACK INLET PROTECTION |
| | TREE BARRIER |
| | CURB INLET FILTER |

GENERAL EROSION CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SODDED/LANDSCAPED PER PLANS. THESE AREA SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
- CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

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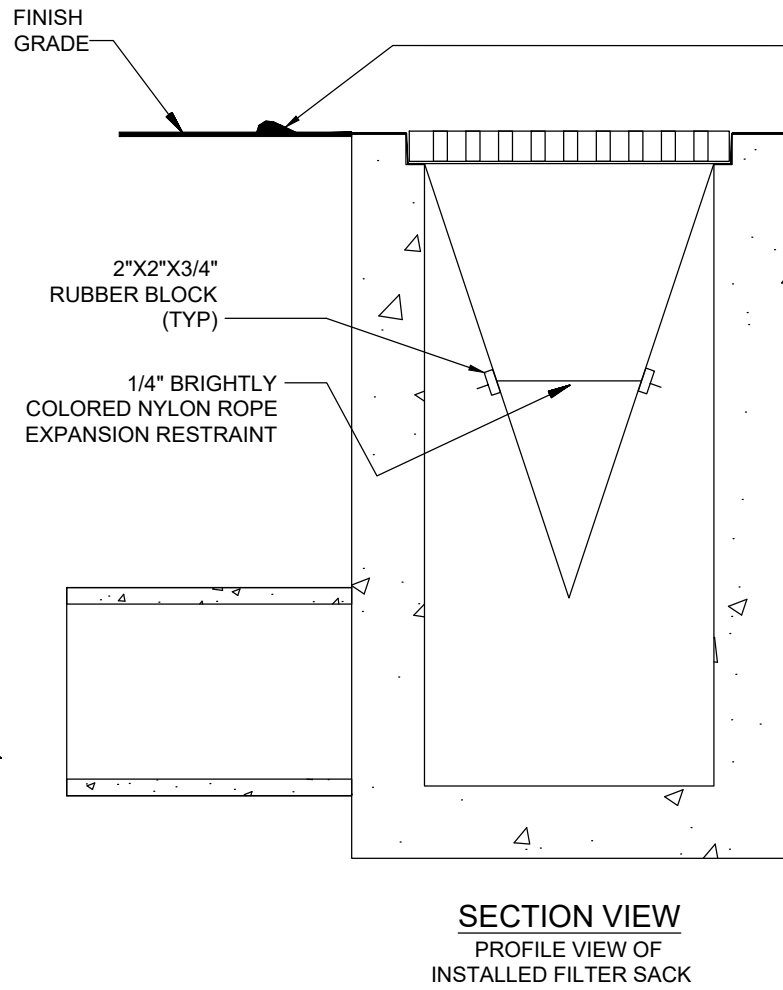
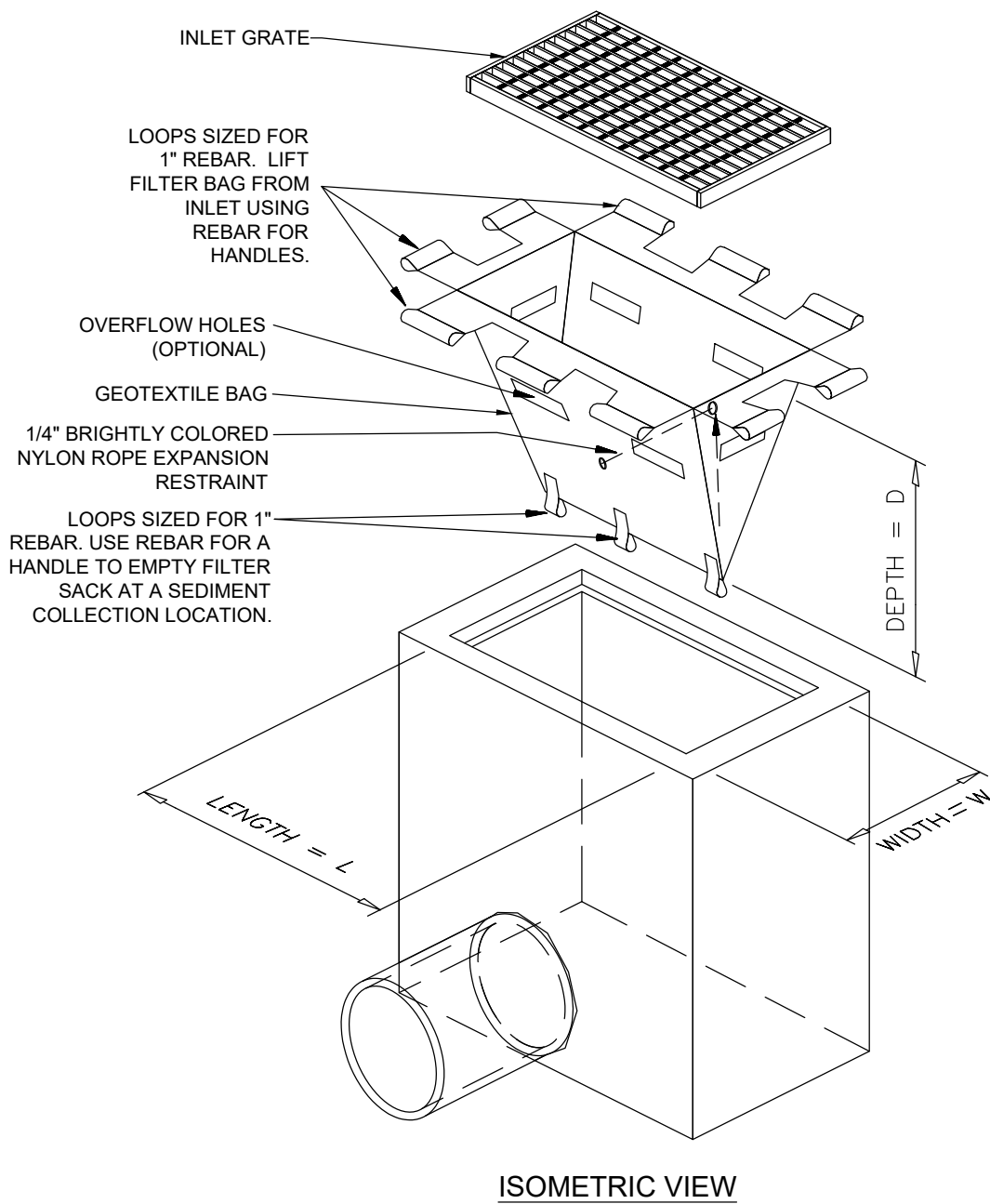
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SEDIMENT AND EROSION CONTROL PLAN - PHASE II
CULVER'S RESTAURANT
5510 WEST COPANS ROAD
CITY OF MARGATE, BROWARD COUNTY, FLORIDA



| REVISIONS | | |
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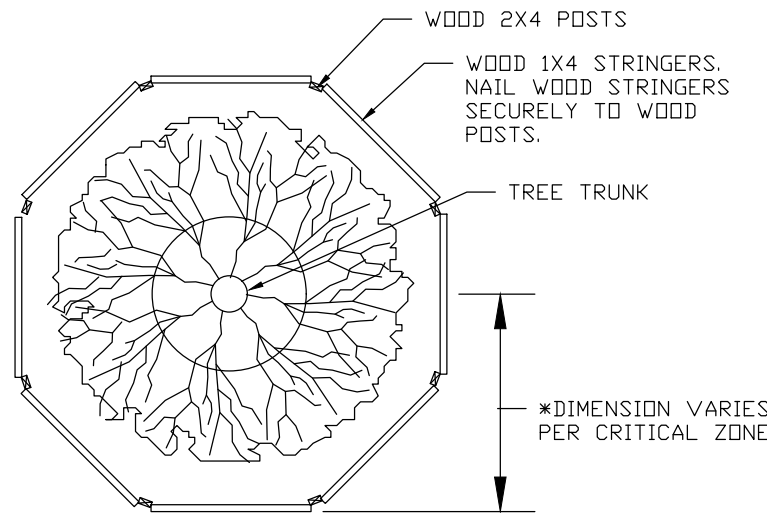
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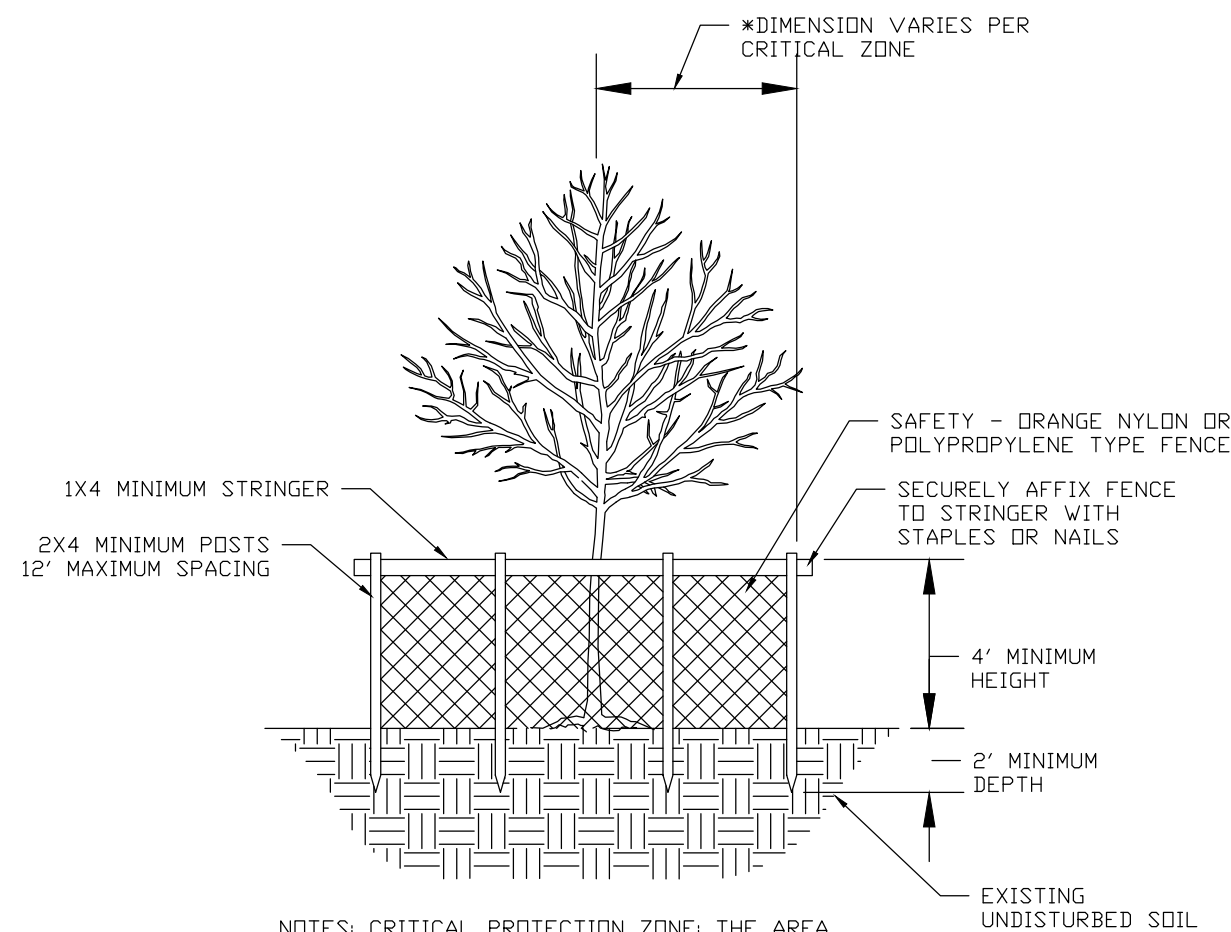
INLET FILTER DETAIL
SCALE: NONE

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

| LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE | | |
|---|-------------|-------------------|
| PROPERTIES | TEST METHOD | UNITS |
| GRAB TENSILE STRENGTH | ASTM D-4632 | 300 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4633 | 120 LBS |
| MULLEN BURST | ASTM D-3786 | 800 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 120 LBS |
| UV RESISTANCE | ASTM D-4355 | 90 % |
| APARENT OPENING SIZE | ASTM D-4751 | 40 US SIEVE |
| FLOW RATE | ASTM D-4491 | 40 GAL/MIN/SQ FT |
| PERMITTIVITY | ASTM D-4491 | 0.55 SEC -1 |
| MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE | | |
| PROPERTIES | TEST METHOD | UNITS |
| GRAB TENSILE STRENGTH | ASTM D-4632 | 265 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4633 | 135 LBS |
| MULLEN BURST | ASTM D-3786 | 420 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 45 LBS |
| UV RESISTANCE | ASTM D-4355 | 90 % |
| APARENT OPENING SIZE | ASTM D-4751 | 20 US SIEVE |
| FLOW RATE | ASTM D-4491 | 200 GAL/MIN/SQ FT |
| PERMITTIVITY | ASTM D-4491 | 1.5 SEC -1 |



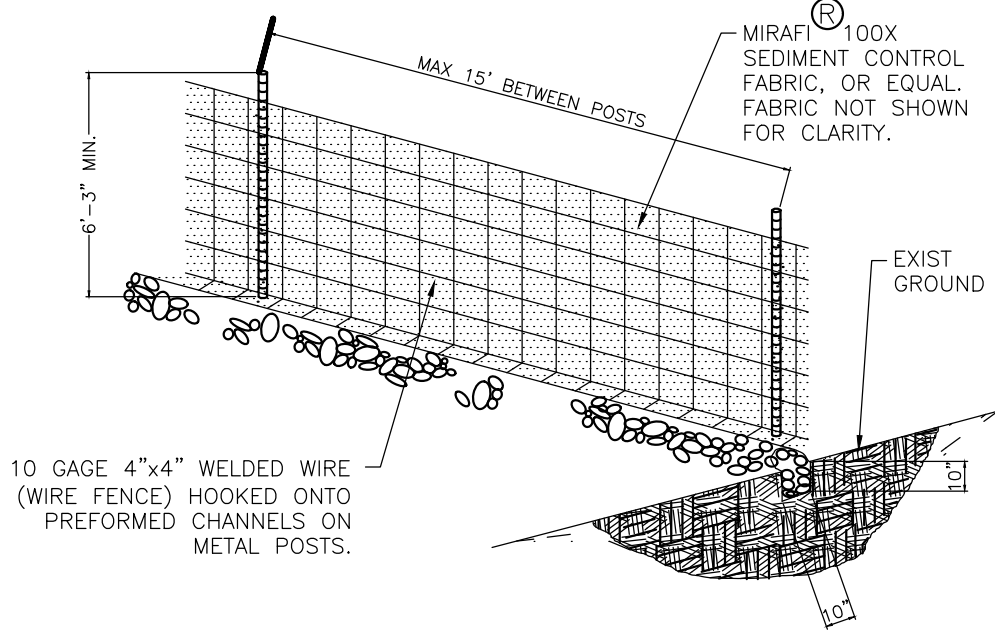
NOTE: FOR GROUPS OF TREES, PLACE
BARRICADES BETWEEN TREES AND
CONSTRUCTION ACTIVITY.



NOTES: CRITICAL PROTECTION ZONE: THE AREA
SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY
A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE
TRUNK DIAMETER AT 54" ABOVE FINISHED GRADE. FOR
GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES
AND CONSTRUCTION ACTIVITY.

* TREE PROTECTION BARRICADES SHALL BE LOCATED
TO PROTECT A MINIMUM OF 75% OF THE CRITICAL
PROTECTION ZONE

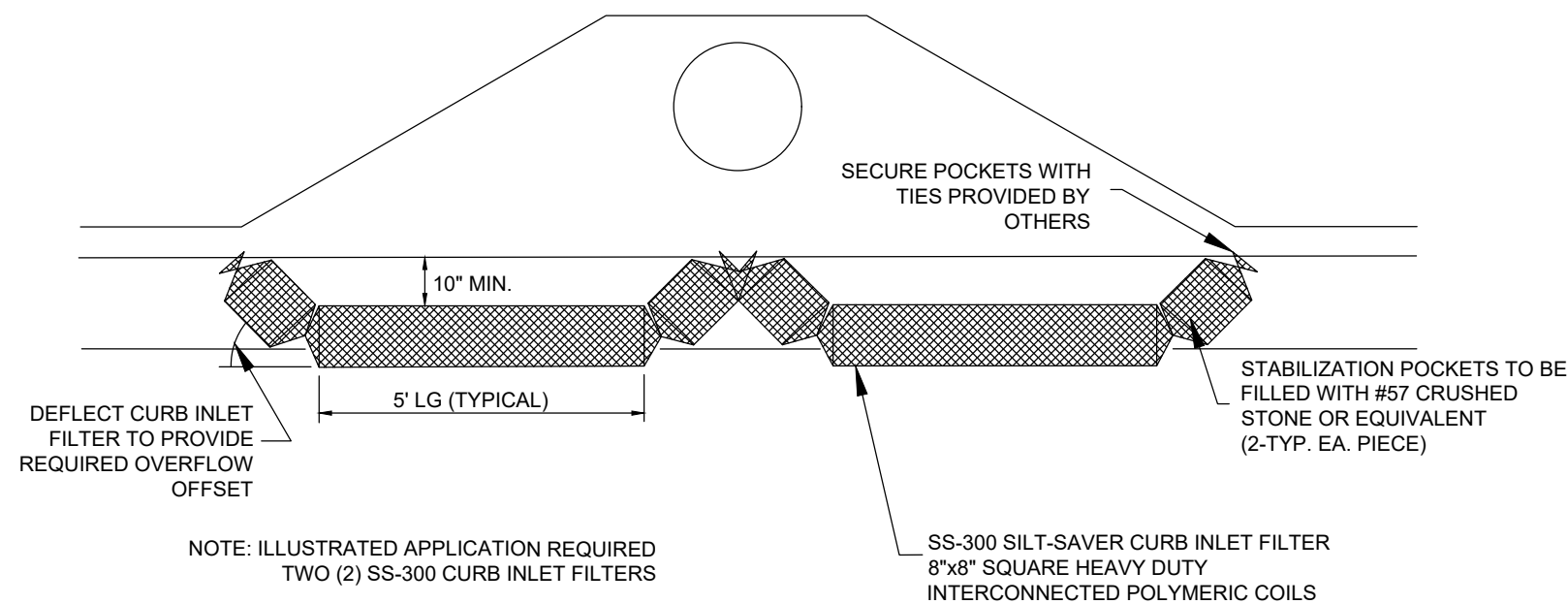
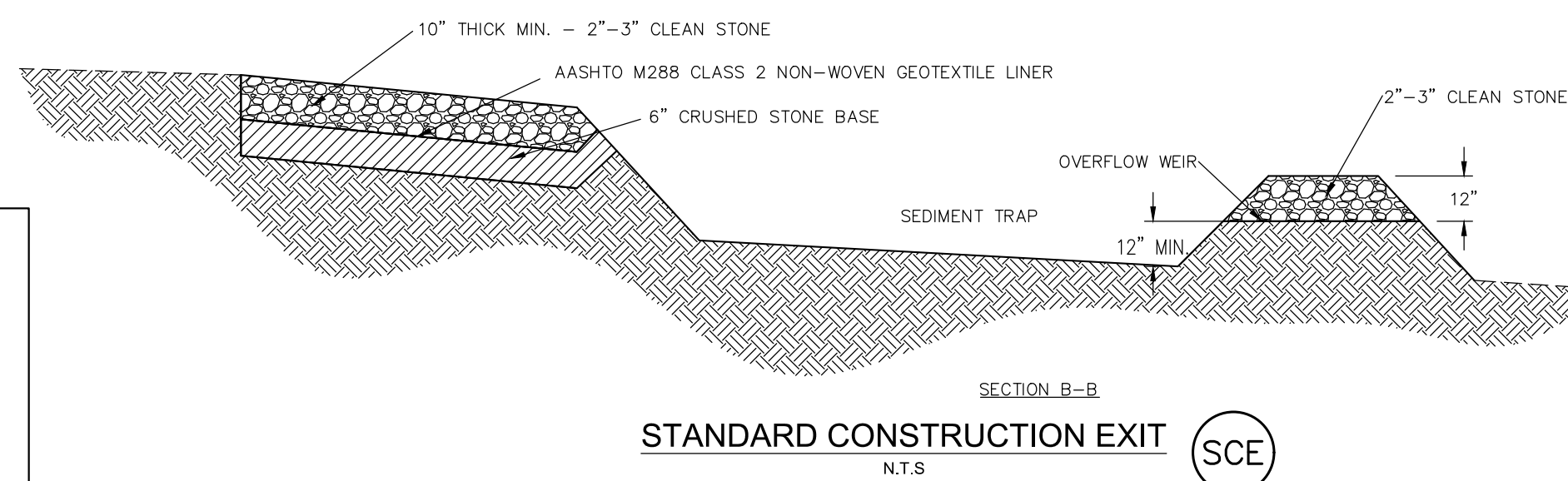
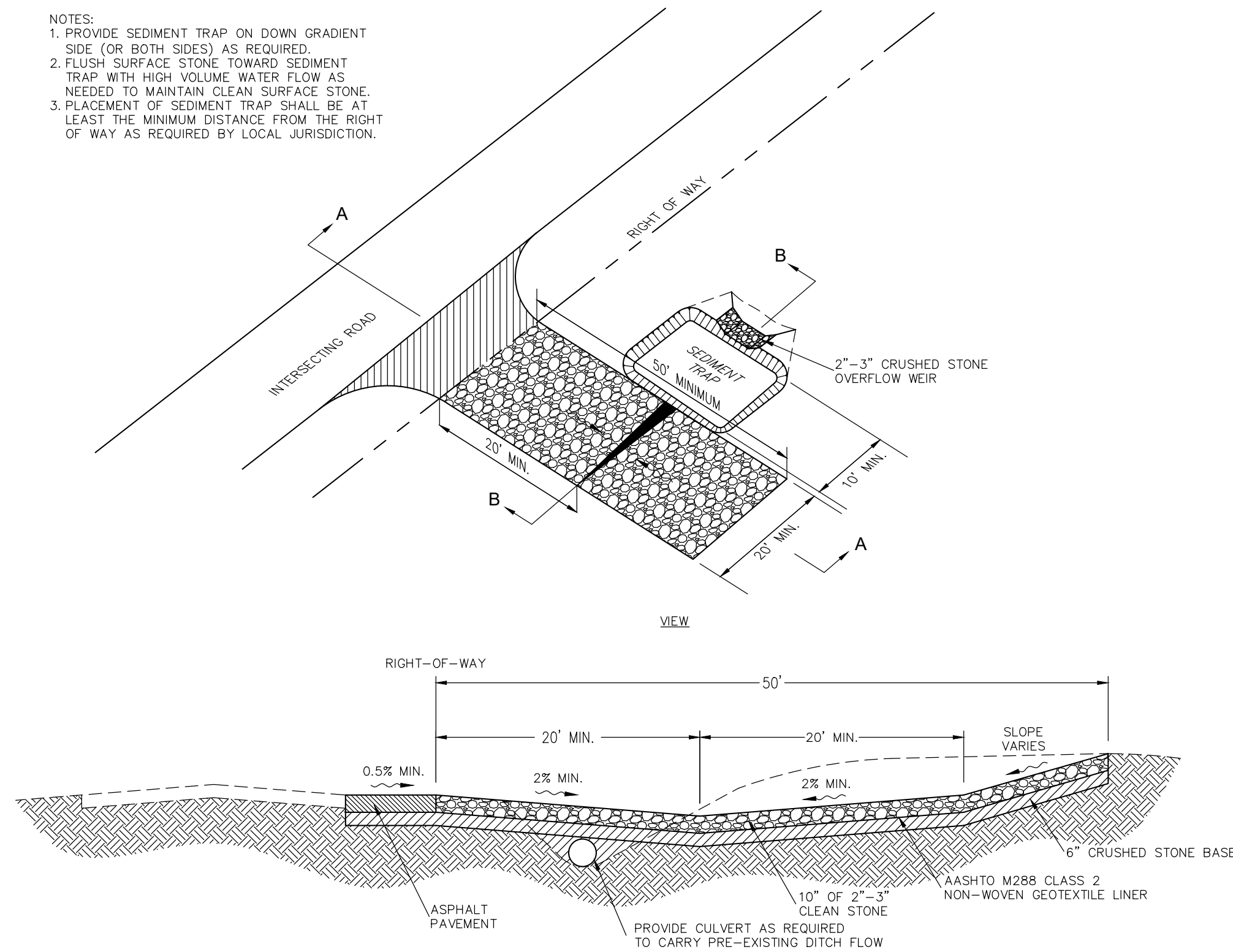
TREE BARRICADE
SCALE: NONE



- NOTES:
1. DRIVE WOOD POSTS (1.3 LBS/FT MIN) 18" MIN INTO GROUND AND EXCAVATE A 4"x4" TRENCH UPHILL 5' LONG (MIN) ALONG LINE OF POSTS. WOOD.
 2. POSTS 4" IN DIAMETER OR 2"x4" MAY BE USED. ATTACH WIRE FENCE TO POSTS AND EXTEND THE BOTTOM OF THE FENCE 8" INTO THE EXCAVATED TRENCH. ALTERNATE : USE SEDIMENT CONTROL FABRIC WITH PRE-SEWN POCKETS FOR POSTS SO THAT WIRE FENCE IS NOT REQ'D.
 3. ATTACH THE SEDIMENT CONTROL FABRIC (36" WIDE) TO THE WIRE FENCE W/METAL CLIPS OR WIRE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
 4. BOTTOM OF SEDIMENT CONTROL FABRIC MUST BE PLACED IN TRENCH AND SECURED WITH GRANULAR FILL TO A HEIGHT OF 6" ABOVE GROUND LEVEL, SO THAT RUNOFF IS FORCED TO GO THROUGH THE FENCE AND CANNOT GO UNDER IT.
 5. SILT FENCE SHALL BE MAINTAINED AND TRAPPED SEDIMENTS SHALL BE REMOVED BY THE CONTRACTOR PERIODICALLY AS DETERMINED BY THE ENGINEER OR AS NECESSARY (MAX. 6 MONTHS).
 6. THE CONTRACTOR IS REQUIRED TO REMOVE ALL SILT FENCES AND AREA TO BE RESTORED TO THE ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.

SILT FENCE DETAIL

- NOTES:
1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.
 2. FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
 3. PLACEMENT OF SEDIMENT TRAP SHALL BE AT LEAST THE MINIMUM DISTANCE FROM THE RIGHT OF WAY AS REQUIRED BY LOCAL JURISDICTION.



- INSTALLATION PROCEDURE:
1. IDENTIFY OPENING DIMENSIONS TO DETERMINE THE NUMBER OF SS-300 CURB INLET FILTERS THAT WILL BE REQUIRED.
 2. COMPLETELY FILL THE STABILIZATION CHAMBER ON EACH END OF EACH SS-300 CURB INLET FILTER WITH #57 CRUSHED STONE.
 3. SECURE ENDS OF THE STABILIZATION POCKETS WITH TIES TO BE PROVIDED BY OTHERS.
 4. PLACE THE SS-300 CURB INLET FILTER(S) IN FRONT OF THE CURB INLET OR OPENING TO PREVENT THE MIGRATION OF SILT INTO THE STORM DRAIN SYSTEM.

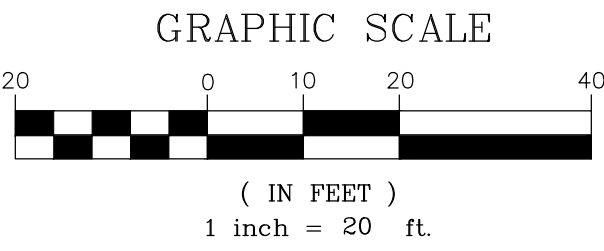
CURB INLET FILTER
NOT TO SCALE

W. COPANS ROAD
COUNTY ROAD

VARIABLE R/W
(O.R.B. 10255, PG. 488, B.C.R.)

Always call 811 two full business days before you dig to
have underground utilities located and marked.

Sunshine811.com



GENERAL SITE NOTES

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURBING SHALL BE PER THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 300.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION AND DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- ALL SIGNS SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT. ALL SIGNS SHALL BE INSTALLED AND MOUNTED PER FDOT STANDARD INDEX 11860.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.D. AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 613, 616, AND 660.
- ALL CURB RAMP SHALL HAVE DETECTABLE WARNINGS PER FDOT STANDARD INDEX 304.
- ALL ADA STRIPING AND SIGNAGE SHALL BE PER FDOT STANDARD INDEX 17346 AND 17355.
- ALL UNPAVED DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SODED.
- ALL PLANS SUBMITTED FOR PERMITTING SHALL MEET THE COUNTY'S CODES AND THE APPLICABLE BUILDING CODES IN EFFECT AT THE TIME OF PERMIT APPLICATION.

| SITE CALCULATIONS | | | | |
|-------------------------------|--|-----------|-------------|--------|
| AREA | | SF | ACRES | % |
| GROSS SITE AREA | | 73,005 SF | (1.68 A.C.) | (100%) |
| TOTAL PERVIOUS AREA | | 19,958 SF | (0.46 A.C.) | (27%) |
| TOTAL IMPERVIOUS AREA | | 53,047 SF | (1.22 A.C.) | (73%) |
| BUILDING AREA | | 8,443 SF | (0.19 A.C.) | (12%) |
| CURRENT ZONING | TOC-G (TRANSIT ORIENTED CORRIDOR) | | | |
| FUTURE LAND USE MAP | TOC (TRANSIT ORIENTED CORRIDOR) | | | |
| PROPOSED USES | 4,443 SF RESTAURANT 4,000 SF RETAIL | | | |
| DISTRICT REQUIREMENTS | | | | |
| BUILDING | REQUIRED | PROVIDED | | |
| HEIGHT | - | 23' | | |
| FLOOR AREA RATIO | - | 0.12 | | |
| BUILDING SETBACKS | REQUIRED | PROVIDED | | |
| FRONT (NORTH) | 25' | 76.9' | | |
| SIDE (WEST) | 0' | 32.5' | | |
| REAR (SOUTH) | 38' | 120.3' | | |
| SIDE STREET (EAST) | 15' | 61.2' | | |
| LANDSCAPE BUFFERS | REQUIRED | PROVIDED | | |
| FRONT (NORTH) | 10' | 10' | | |
| SIDE STREET (EAST) | 10' | 10' | | |
| SIDE INTERIOR (WEST) | 5' | 13.6' | | |
| REAR (SOUTH) | 5' | 21.8' | | |
| PARKING CALCULATIONS | | | | |
| USE | RATIO | SPACES | | |
| SPACES REQUIRED (REST.) | - | 60 | | |
| SPACES REQUIRED (RETAIL) | 3 / 1000 SF | 12 | | |
| SPACES PROVIDED | - | 74 | | |
| HANDICAP SPACES REQUIRED | 4 | 5 | | |
| TOTAL BICYCLE SPACES REQUIRED | - | 0 | | |
| TOTAL BICYCLE SPACES PROVIDED | - | 5 | | |

* 1 / 30 SF OF PATRON AREA. (1 / 30 SF)(1,794 SF) = 60 SPACES

EXISTING LEGEND

| | | | |
|------------------------|-----|---------------------------|---------------------|
| PROPERTY LINE | OHW | OVERHEAD ELECTRIC SERVICE | LIGHT POLE |
| ADJACENT ROW | SAN | SANITARY LINE | WOOD POWER POLE |
| ASPHALT PAVEMENT | | | CONCRETE POWER POLE |
| CONCRETE PAVEMENT | | | GUY ANCHOR |
| CONCRETE SIDEWALK | | | SPOT ELEVATION |
| UTILITY EASEMENT | | | GREASE TRAP MANHOLE |
| BUILDING LINE EASEMENT | | | CLEAN OUT |
| WOOD FENCE | | | PALM TREE |
| CHAIN LINK FENCE | | | |
| | | | UNIDENTIFIED TREE |
| | | | LIVE OAK TREE |

PROPOSED LEGEND

| | |
|------------------------------|----------------------------------|
| PROPERTY LINE | FPL EASEMENT |
| HEAVY DUTY CONCRETE PAVEMENT | ELECTRIC TRANSFORMER W/ BOLLARDS |
| CONCRETE PAVEMENT | PARKING COUNT |
| TYPE "F" CURB & GUTTER | PARKING STRIPING |
| TYPE "D" CURB | SIGN |
| BUILDING SETBACK LINE | MONUMENT SIGN |
| LANDSCAPE BUFFER LINE | TYPE "C" INLET |
| | RAMP |

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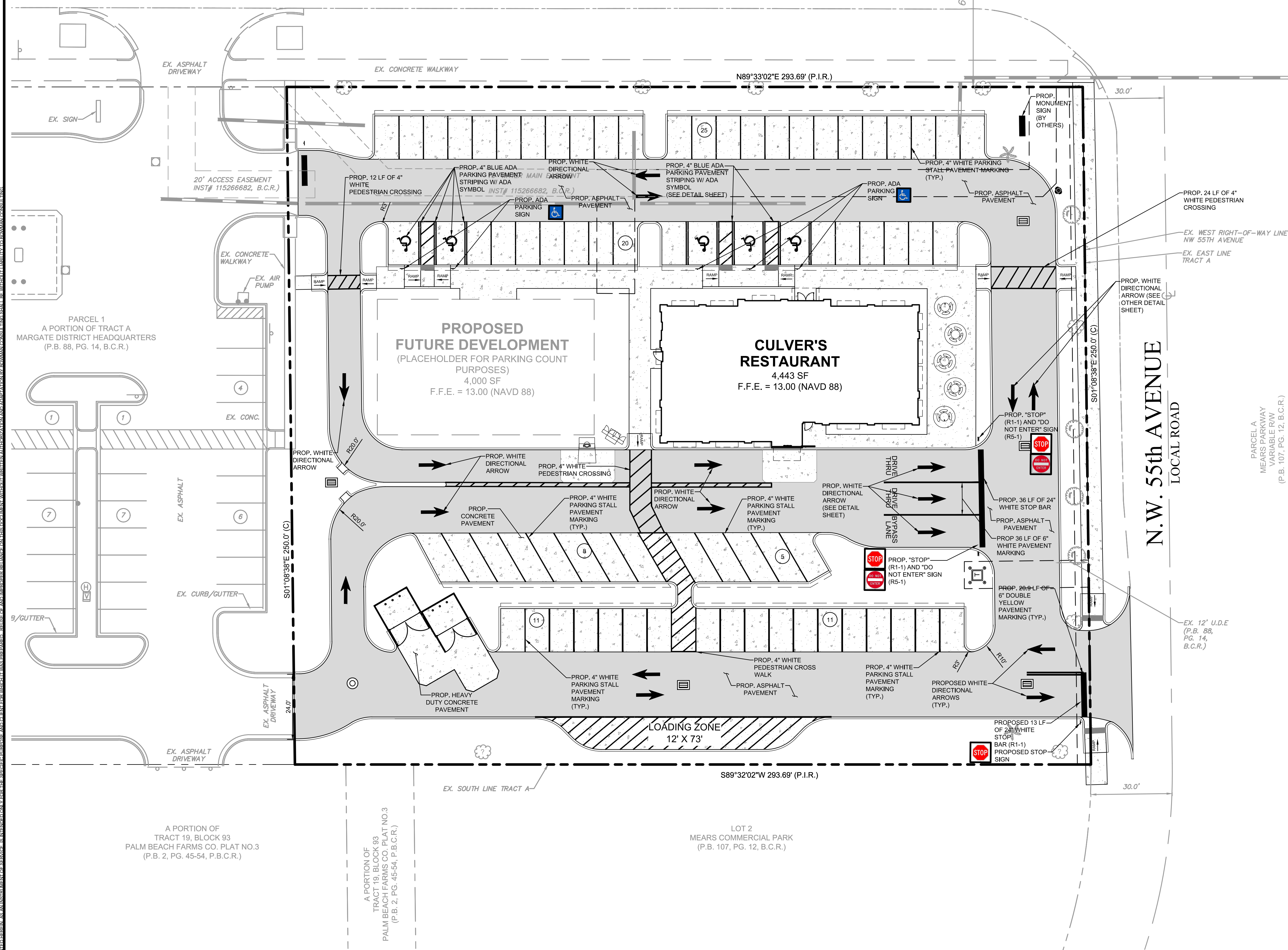
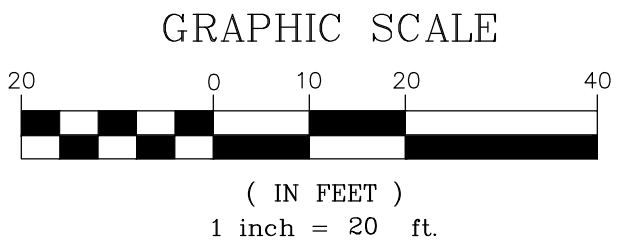
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SITE PLAN
CULVER'S RESTAURANT
5510 WEST COPANS ROAD
BROWARD COUNTY, FLORIDA



| REVISIONS | | | |
|-----------|---------------|------|------|
| | | | |
| | | | |
| | | | |
| DATE | DESCRIPTION | | |
| JN | SU | BR | CHKD |
| DESIGN | DRAWN | CHKD | |
| SCALE: | 1" = 20' | | |
| JOB No.: | 010594-01-001 | | |
| DATE: | 09/13/2018 | | |
| FILE: | | | |
| SHEET | C-7 | | |

W. COPANS ROAD
COUNTY ROAD



EXISTING LEGEND

- PROPERTY LINE
- ADJACENT ROW
- CONCRETE SIDEWALK
- CHAIN LINK FENCE
- OHW
- OVERHEAD ELECTRIC SERVICE
- SANITARY LINE
- WATER VALVE
- WATER METER
- CLEAN OUT
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- DRAINAGE MANHOLE
- DRAINAGE INLET
- LIGHT POLE
- ELECTRIC METER
- SPOT ELEVATION

PROPOSED LEGEND

- PROPERTY LINE
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE PAVEMENT
- TYPE "F" CURB & GUTTER
- TYPE "D" CURB
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER LINE
- FPL EASEMENT
- ELECTRIC TRANSFORMER W/ BOLLARDS
- PARKING COUNT
- PARKING STRIPING
- SIGN
- MONUMENT SIGN
- TYPE "C" INLET
- RAMP



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PAVEMENT, MARKING & SIGNAGE PLAN
CULVER'S RESTAURANT
5510 WEST COPANS ROAD

BROWARD COUNTY, FLORIDA

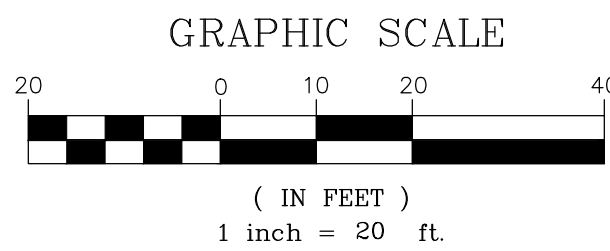
CITY OF MARGATE



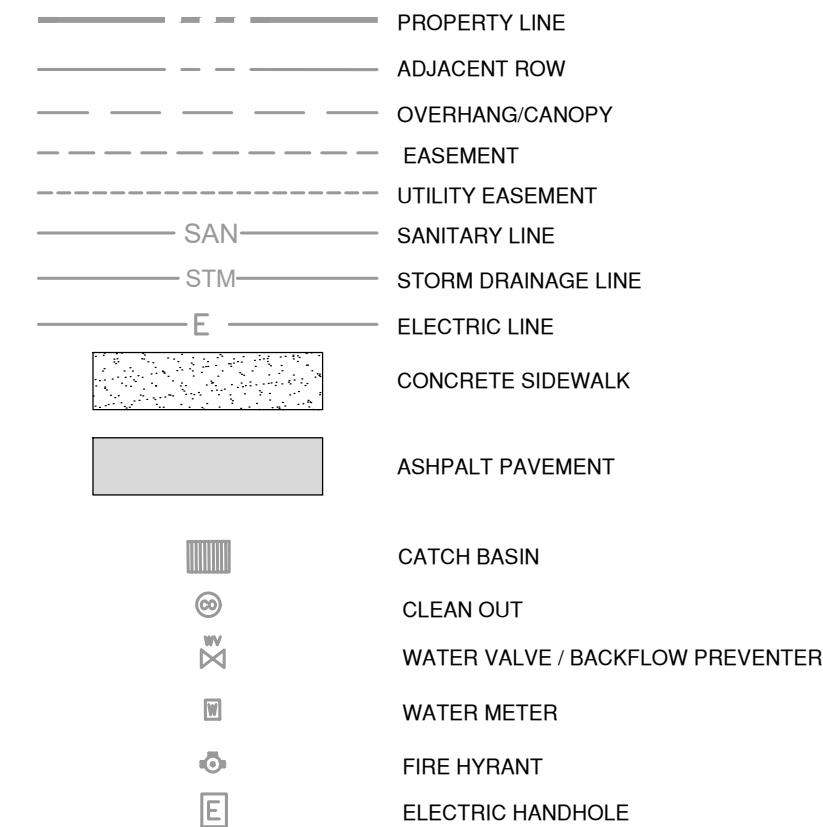
| REVISIONS | | |
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| DATE | DESCRIPTION | |
| JN | SU | BR |
| DESIGN | DRAWN | CHKD |
| SCALE: 1" = 20' | | |
| JOB No.: 010594-01-001 | | |
| DATE: 09/13/2018 | | |
| FILE: | | |
| SHEET C-8 | | |

CAD file name: V:\010594 - Culver's Restaurant\010594-01-001 (ENG) - Copans Rd. and 55th Ave. - Margate\Engineering\Engineering Plans\Construction Plans\CAD Files\Sheet Files\DET.dwg 7/16/2018

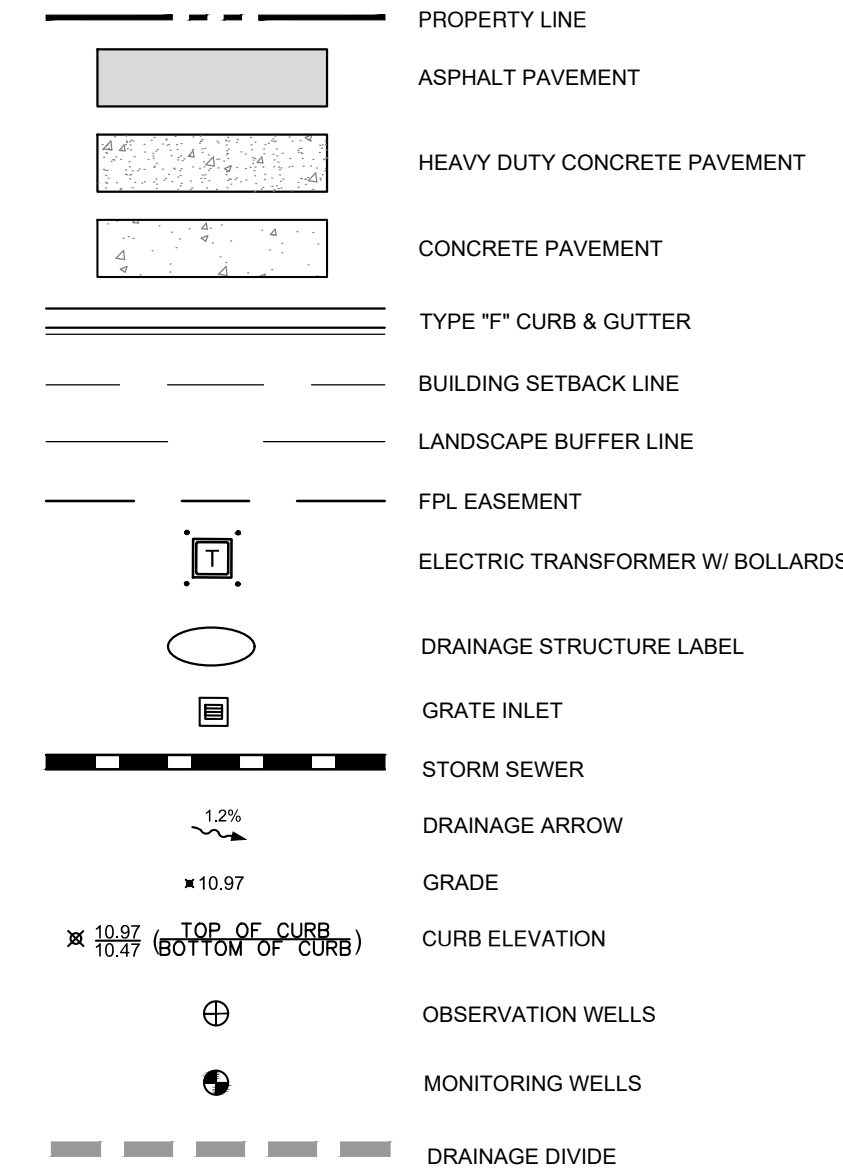
W. COPANS ROAD
COUNTY ROAD



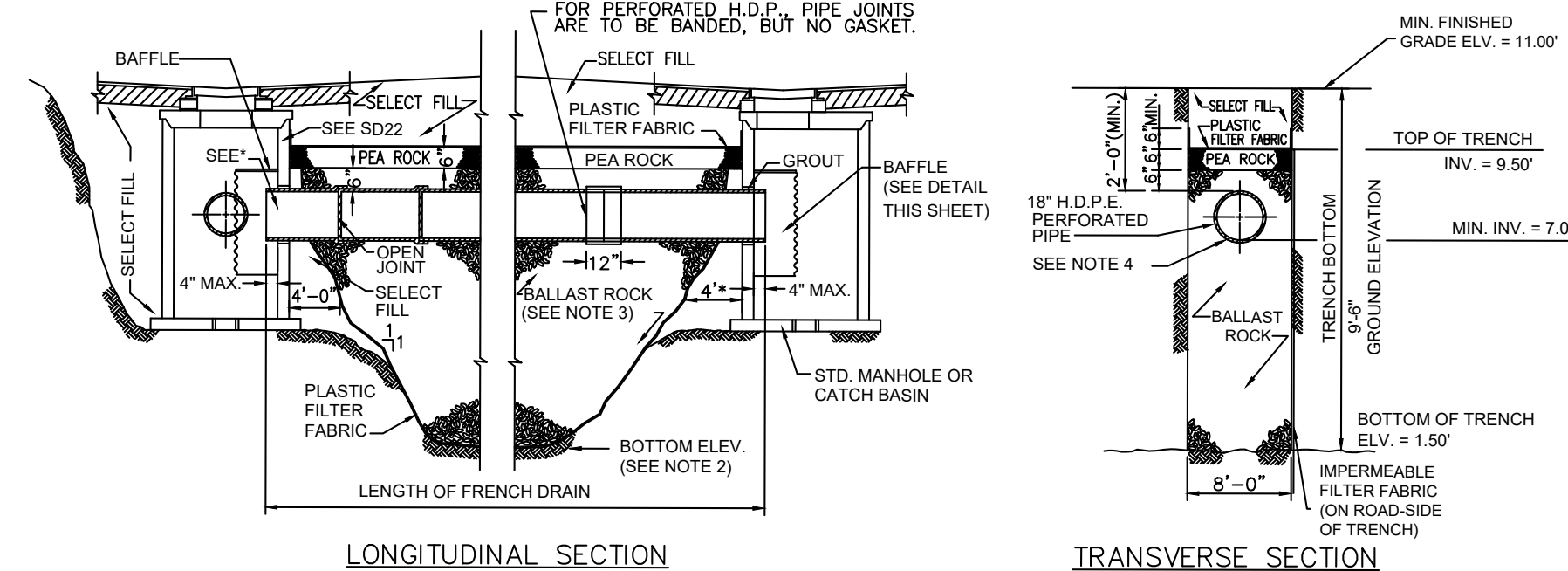
EXISTING LEGEND



PROPOSED LEGEND



| EXFILTRATION | DEPTH |
|-------------------------------|-------------------------------|
| DEPTH TO WATER TABLE (H2) | 4.22' |
| UNSATURATED TRENCH DEPTH (DU) | 2.50' BELOW TOP OF TRENCH |
| SATURATED TRENCH DEPTH (DS) | 5.50' BELOW UNSATURATED DEPTH |



- NOTES:
1. PLASTIC FILTER FABRIC (AT EA. SIDE) SHALL BE USED IN ALL AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.
 2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 9'-6" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE, AND CHANGE IS APPROVED BY THE OWNER AND PROJECT ENGINEER.
 3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THESE DETAILS.
 4. INVERT ELEVATION TO BE AS SHOWN IN DRAINAGE STRUCTURE SCHEDULE (SHEET C4) AVERAGE OCTOBER GROUND WATER LEVEL = 7.0

EXFILTRATION
TRENCH DETAIL

VARIABLE R/W
(O.R.B. 10255, PG. 488, B.C.R.)

EX. ASPHALT DRIVEWAY

EX. CONCRETE WALKWAY

N89°33'02"E 293.69' (P.I.R.)

20' ACCESS EASEMENT
INST# 11526682, B.C.R.)

10" WATER MAIN EASEMENT
INST# 11526682, B.C.R.)

DRAINAGE AREA I-1
10,970 SF

PROPOSED 80 LF OF 18" HDPE
PIPE W/ 70 LF OF EXFILTRATION
TRENCH @ 0% SLOPE

EX. WEST RIGHT-OF-WAY LINE
NW 55TH AVENUE
EX. EAST LINE
TRACT A

PROP. 5'
CITY OF MARGATE
PUBLIC SIDEWALK
EASEMENT

N.W. 55th AVENUE
LOCAL ROAD

PARCEL A
MEARS PARKWAY
VARIABLE R/W
(P.B. 107, PG. 12, B.C.R.)

PROPOSED 84 LF OF 18" HDPE
PIPE W/ 74 LF OF EXFILTRATION
TRENCH @ 0% SLOPE

EX. 12" U.D.E.
(P.B. 88,
PG. 14,
B.C.R.)

CULVER'S
RESTAURANT
4,443 SF
F.F.E. = 13.00 (NAVD 88)

PROPOSED
FUTURE DEVELOPMENT
(PLACEHOLDER FOR PARKING COUNT
PURPOSES)
4,000 SF
F.F.E. = 13.00 (NAVD 88)

DRAINAGE AREA I-2
13,733 SF

DRAINAGE AREA I-3
13,733 SF

DRAINAGE AREA I-4
5,287 SF

DRAINAGE AREA I-5
5,648 SF

DRAINAGE AREA I-6
16,390 SF

DRAINAGE AREA I-7
13,733 SF

DRAINAGE AREA I-8
13,733 SF

DRAINAGE AREA I-9
13,733 SF

DRAINAGE AREA I-10
13,733 SF

DRAINAGE AREA I-11
13,733 SF

DRAINAGE AREA I-12
13,733 SF

DRAINAGE AREA I-13
13,733 SF

DRAINAGE AREA I-14
13,733 SF

DRAINAGE AREA I-15
13,733 SF

DRAINAGE AREA I-16
13,733 SF

DRAINAGE AREA I-17
13,733 SF

DRAINAGE AREA I-18
13,733 SF

DRAINAGE AREA I-19
13,733 SF

DRAINAGE AREA I-20
13,733 SF

DRAINAGE AREA I-21
13,733 SF

DRAINAGE AREA I-22
13,733 SF

DRAINAGE AREA I-23
13,733 SF

DRAINAGE AREA I-24
13,733 SF

DRAINAGE AREA I-25
13,733 SF

DRAINAGE AREA I-26
13,733 SF

DRAINAGE AREA I-27
13,733 SF

DRAINAGE AREA I-28
13,733 SF

DRAINAGE AREA I-29
13,733 SF

DRAINAGE AREA I-30
13,733 SF

DRAINAGE STRUCTURE TABLE

| STRUCTURE NUMBER | STRUCTURE TYPE | STRUCTURE BOTTOM | RIM | N. INVERT | S. INVERT | E. INVERT | W. INVERT | REMARKS | PRB LOCATION |
|------------------|----------------|------------------|-------|-----------|-----------|-----------|-----------|--------------------------|----------------|
| I-1 | TYPE "C" | TYPE "P" | 11.30 | 7.00 | 7.00 | 7.00 | 7.00 | SEE FDOT INDEX 200 & 232 | (S) INVERT |
| I-2 | TYPE "C" | TYPE "P" | 11.00 | 7.00 | 7.00 | 7.00 | 7.00 | SEE FDOT INDEX 200 & 232 | (N),(S) INVERT |
| I-3 | TYPE "C" | TYPE "P" | 11.88 | 7.00 | 7.00 | 7.00 | 7.00 | SEE FDOT INDEX 200 & 232 | (N),(W) INVERT |
| I-4 | TYPE "C" | TYPE "P" | 11.42 | 7.00 | 7.00 | 7.00 | 7.00 | SEE FDOT INDEX 200 & 232 | (E),(W) INVERT |
| I-5 | TYPE "2" | TYPE "L/K" | 10.43 | 7.00 | 7.00 | 7.00 | 7.00 | SEE FDOT INDEX 200 & 232 | ----- |
| M-1 | TYPE "C" | TYPE "P" | 11.79 | 7.00 | 7.00 | 7.00 | 7.00 | SEE FDOT INDEX 200 & 232 | ----- |

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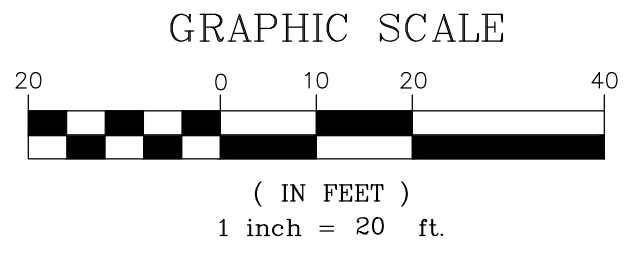
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PAVING, GRADING & DRAINAGE PLAN
CULVER'S RESTAURANT
5510 WEST COPANS ROAD
BROWARD COUNTY, FLORIDA



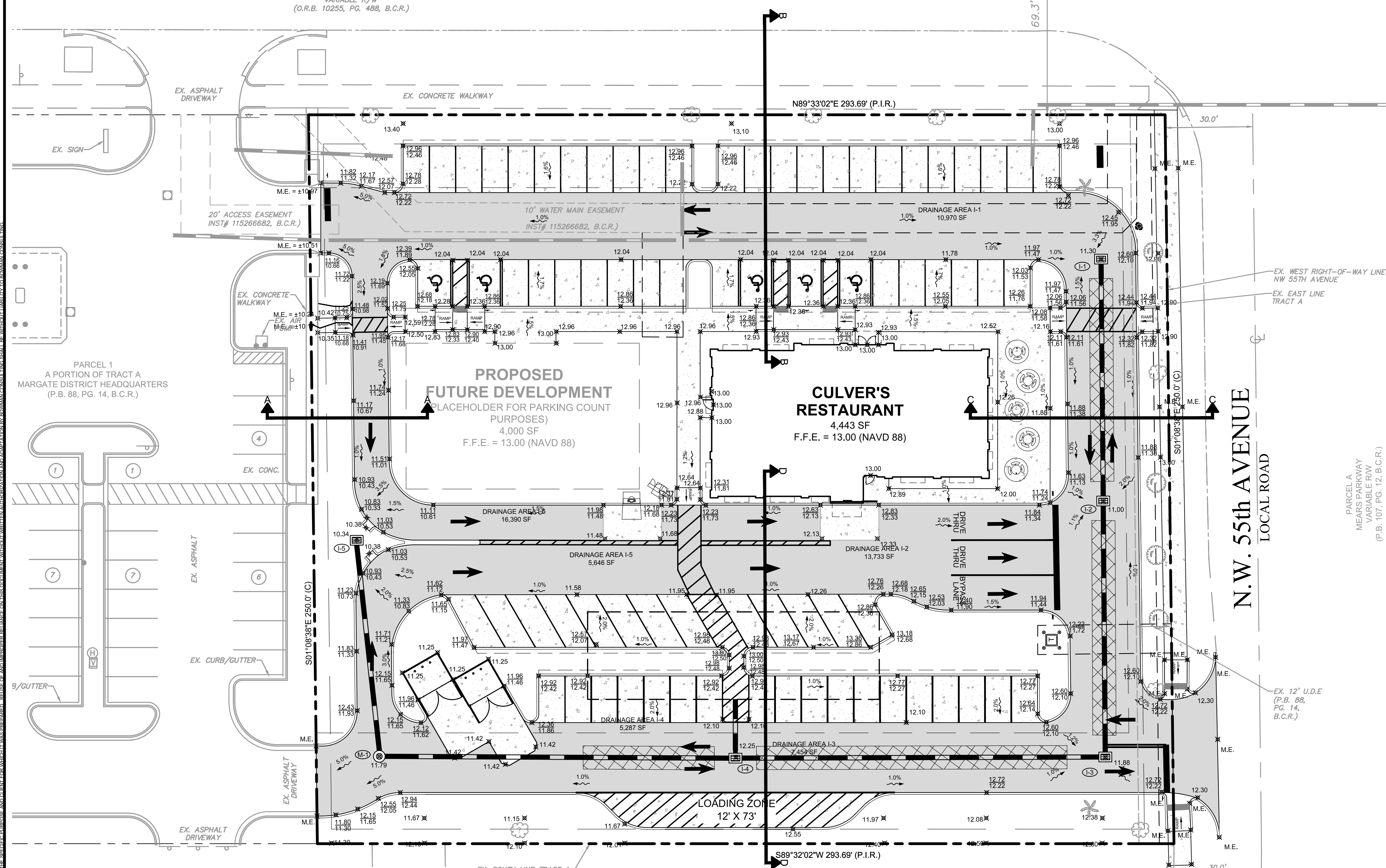
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|-----------------------|-------------|------|
| DATE | DESCRIPTION | |
| JN | SU | BR |
| DESIGN | DRAWN | CHKD |
| SCALE: 1" = 20' | | |
| JOB NO: 010594-01-001 | | |
| DATE: 09/13/2018 | | |
| SHEET C-10 | | |

W. COPANS ROAD
COUNTY ROAD



- EXISTING LEGEND
- PROPERTY LINE
 - ADJACENT ROW
 - OVERHANG/CANOPY
 - EASEMENT
 - UTILITY EASEMENT
 - SANITARY LINE
 - STORM DRAINAGE LINE
 - ELECTRIC LINE
 - CONCRETE SIDEWALK
 - ASHPALT PAVEMENT
 - CATCH BASIN
 - CLEAN OUT
 - WATER VALVE / BACKFLOW PREVENTER
 - WATER METER
 - FIRE HYDRANT
 - ELECTRIC HANDHOLE

- PROPOSED LEGEND
- PROPERTY LINE
 - ASHPALT PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - CONCRETE PAVEMENT
 - TYPE "F" CURB & GUTTER
 - BUILDING SETBACK LINE
 - LANDSCAPE BUFFER LINE
 - FPL EASEMENT
 - ELECTRIC TRANSFORMER W/ BOLLARDS
 - DRAINAGE STRUCTURE LABEL
 - GRATE INLET
 - STORM SEWER
 - DRAINAGE ARROW
 - GRADE
 - CURB ELEVATION
 - OBSERVATION WELLS
 - MONITORING WELLS



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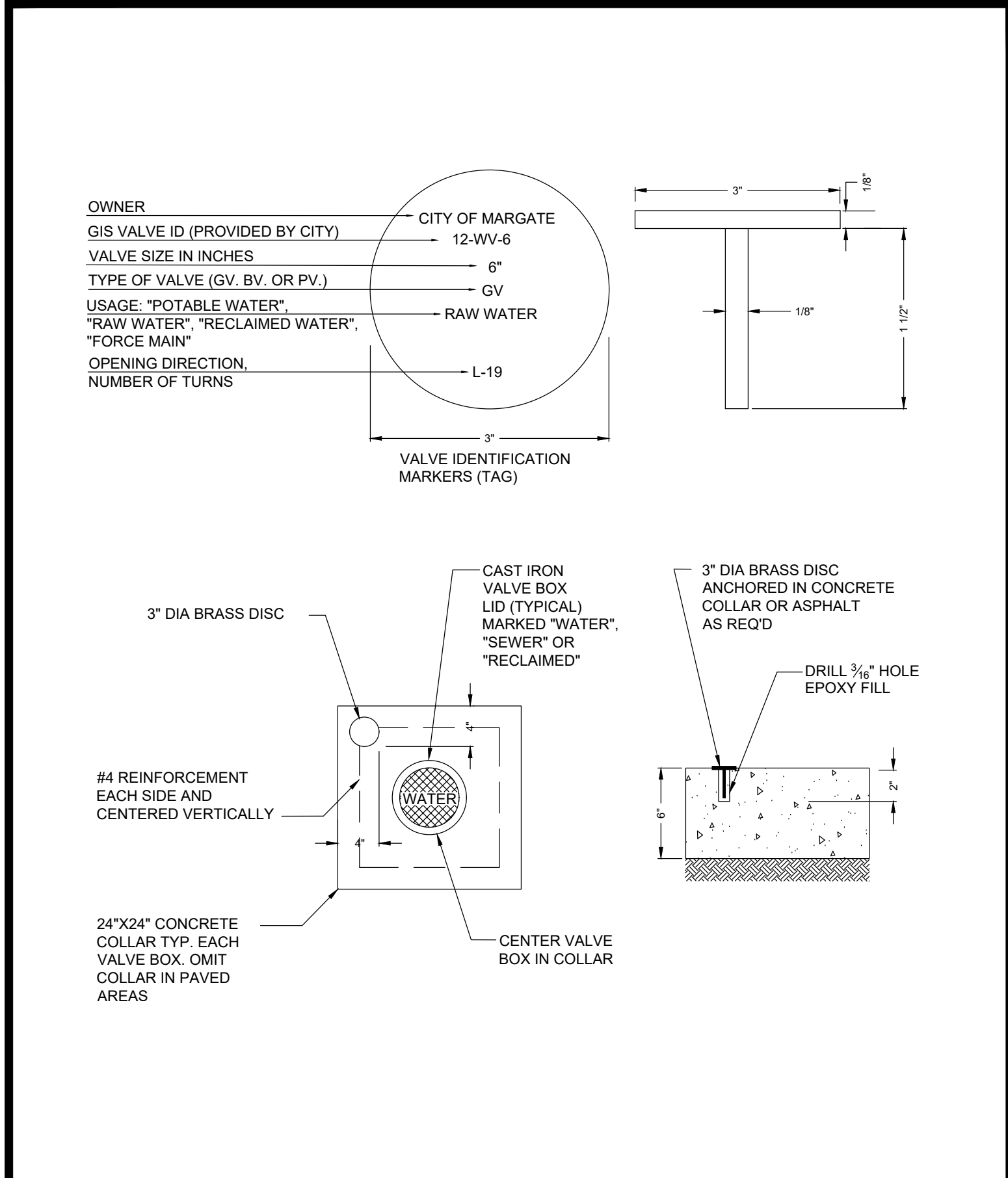
SITE CROSS SECTION PLAN
CULVER'S RESTAURANT
5510 WEST COPANS ROAD
CITY OF MARGATE
BROWARD COUNTY, FLORIDA



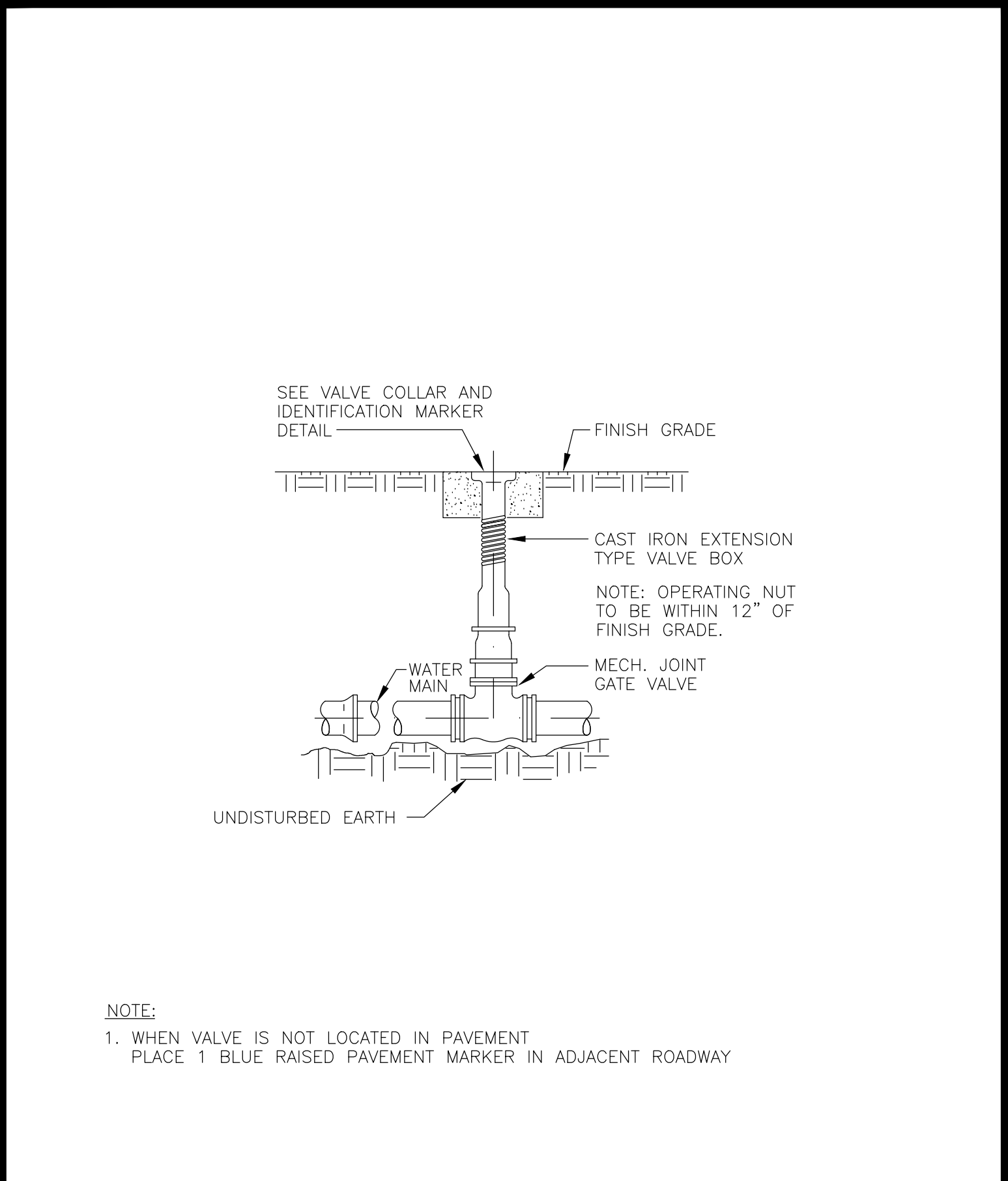
| REVISIONS | | |
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| DATE | DESCRIPTION | |
| JN | SU | BR |
| DESIGN | DRAWN | CHKD |
| SCALE: | | 1" = 20' |
| JOB No.: | | 010594-01-001 |
| DATE: | | 09/13/2018 |
| FILE: | | |
| SHEET | | C-12 |



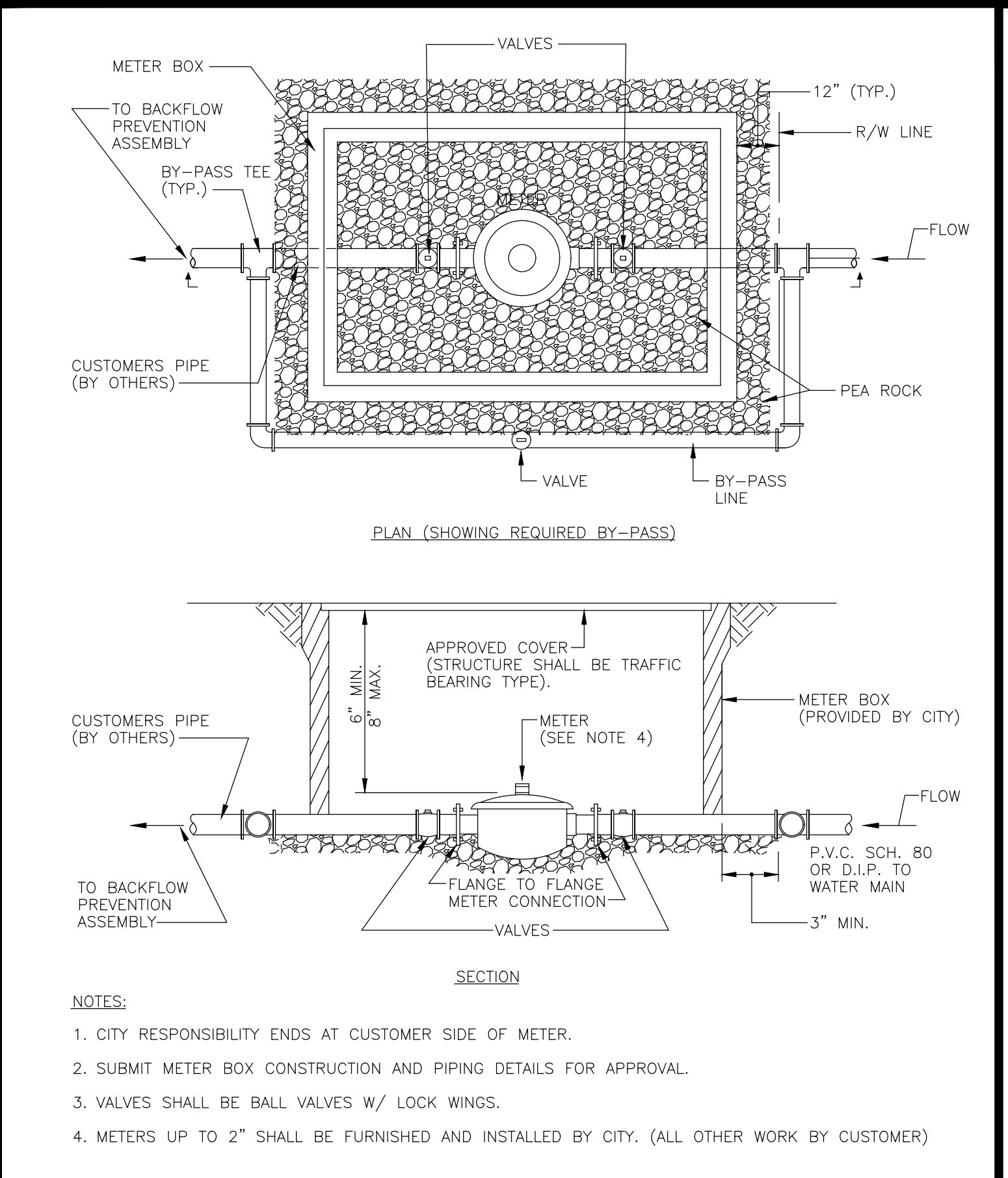
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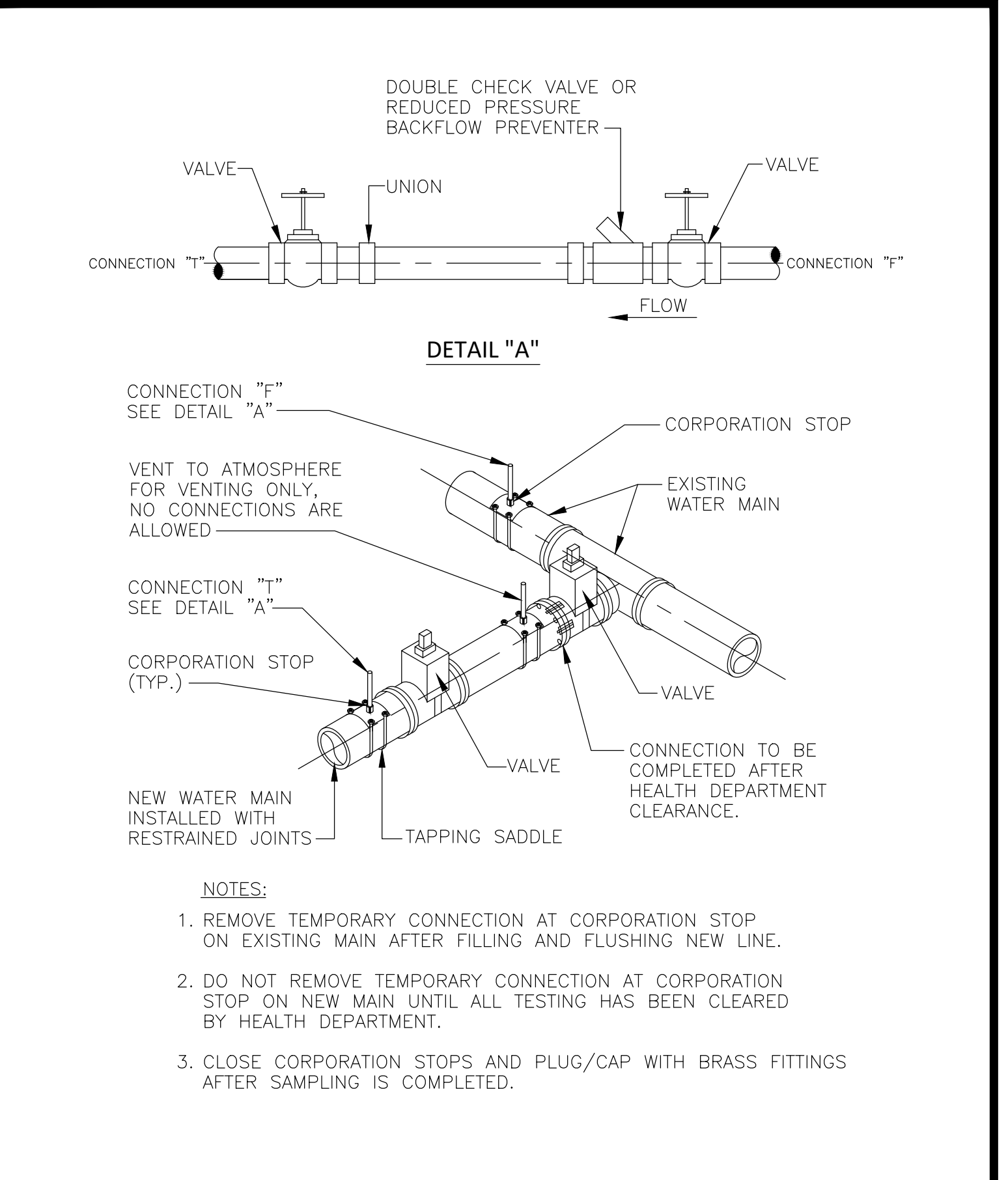
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|---|----------------|--|-----|
| DATE: 12-12-16 | DRAWN: JWEAVER | VALVE COLLAR AND IDENTIFICATION MARKER | G-5 |
| CITY OF MARGATE, FLORIDA DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES | | | |



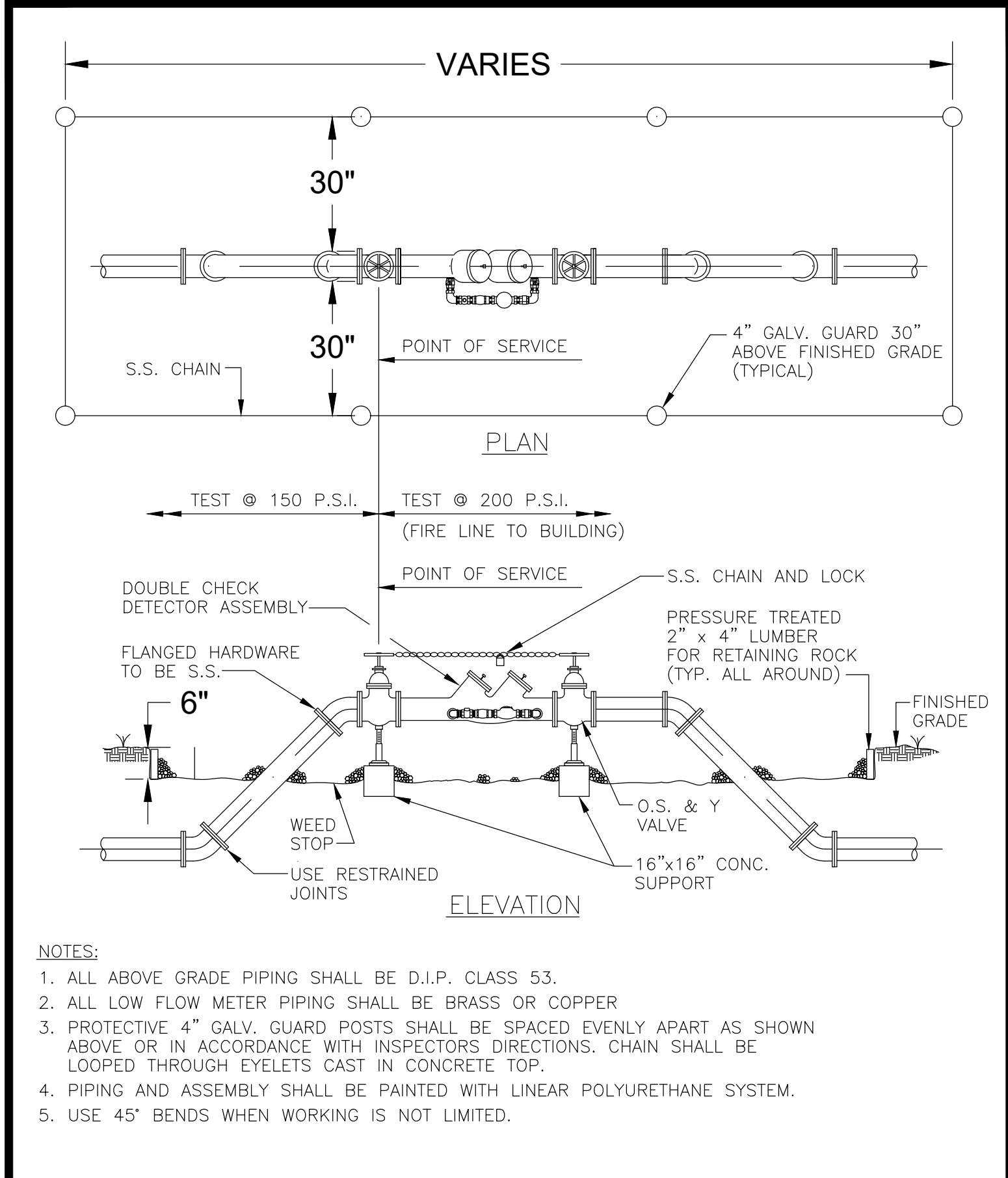
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| DATE: 12-14-16 | DRAWN: JWEAVER | VERTICAL GATE VALVE | W-13 |
| CITY OF MARGATE, FLORIDA DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES | | | |



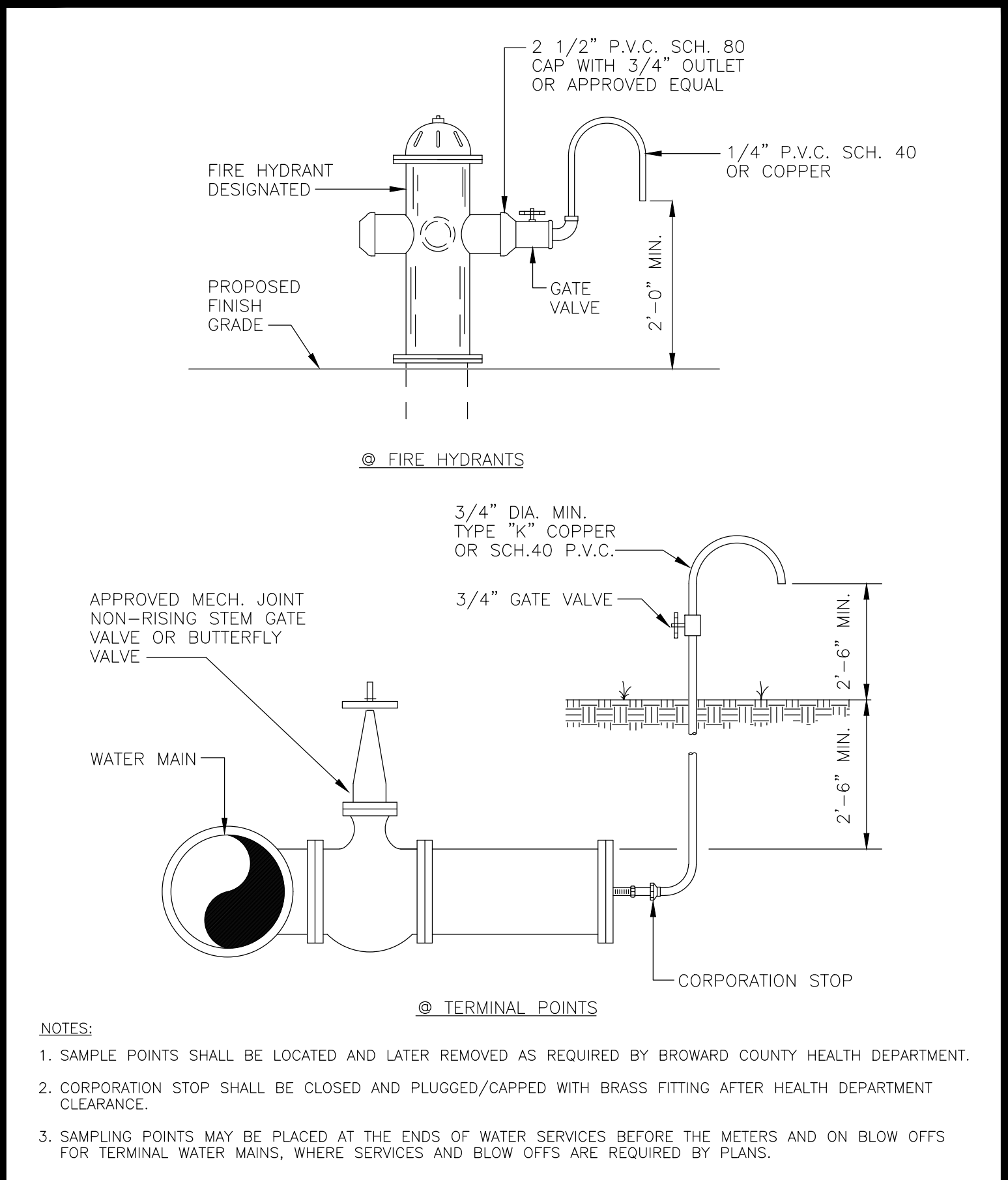
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|---|----------------|---|-----|
| DATE: 12-14-16 | DRAWN: JWEAVER | METER INSTALLATION FOR 2" METERS (BELOW GROUND) | W-5 |
| CITY OF MARGATE, FLORIDA DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES | | | |



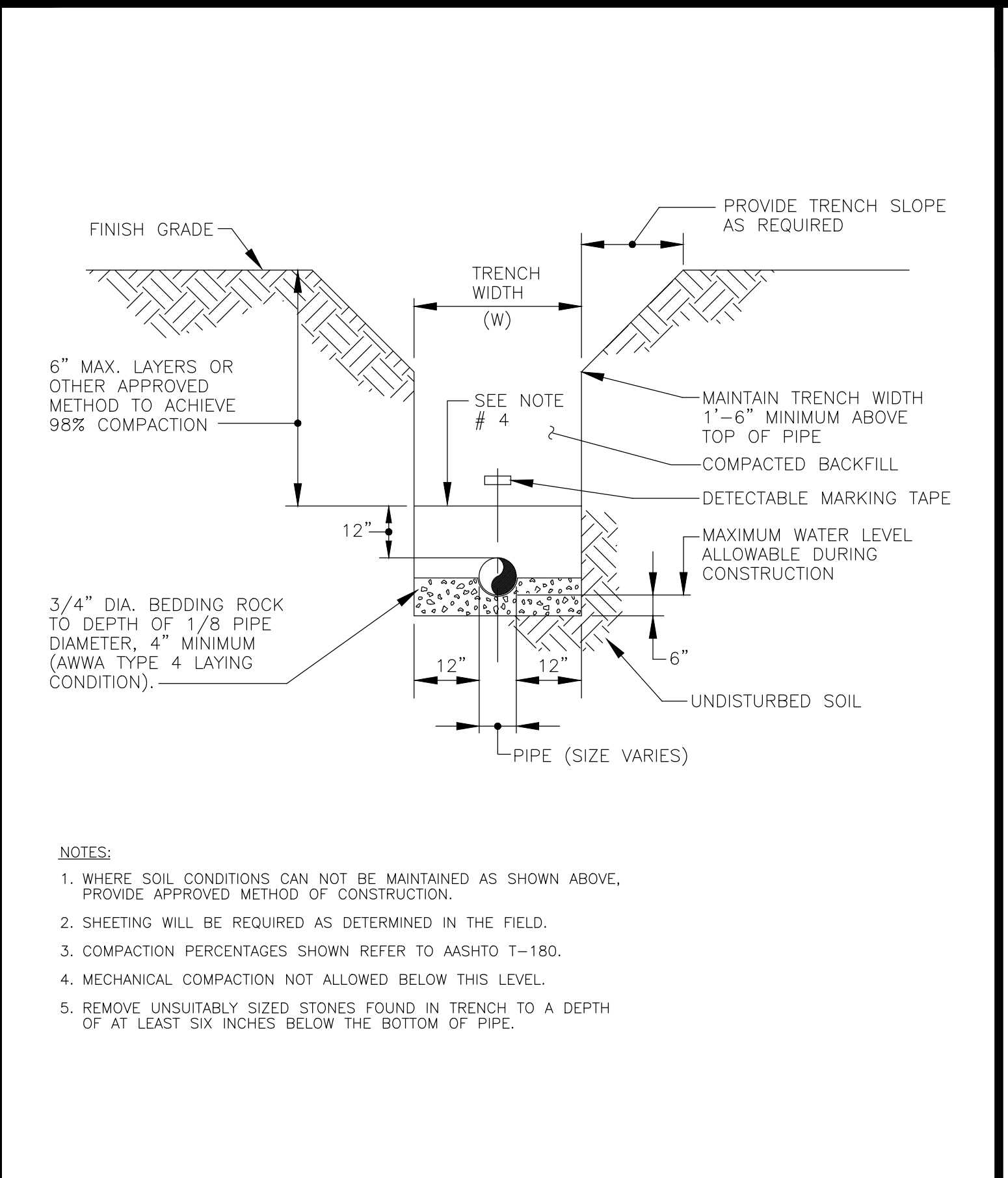
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|---|----------------|----------------------|------|
| DATE: 12-14-16 | DRAWN: JWEAVER | FILLING AND FLUSHING | W-15 |
| CITY OF MARGATE, FLORIDA DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES | | | |



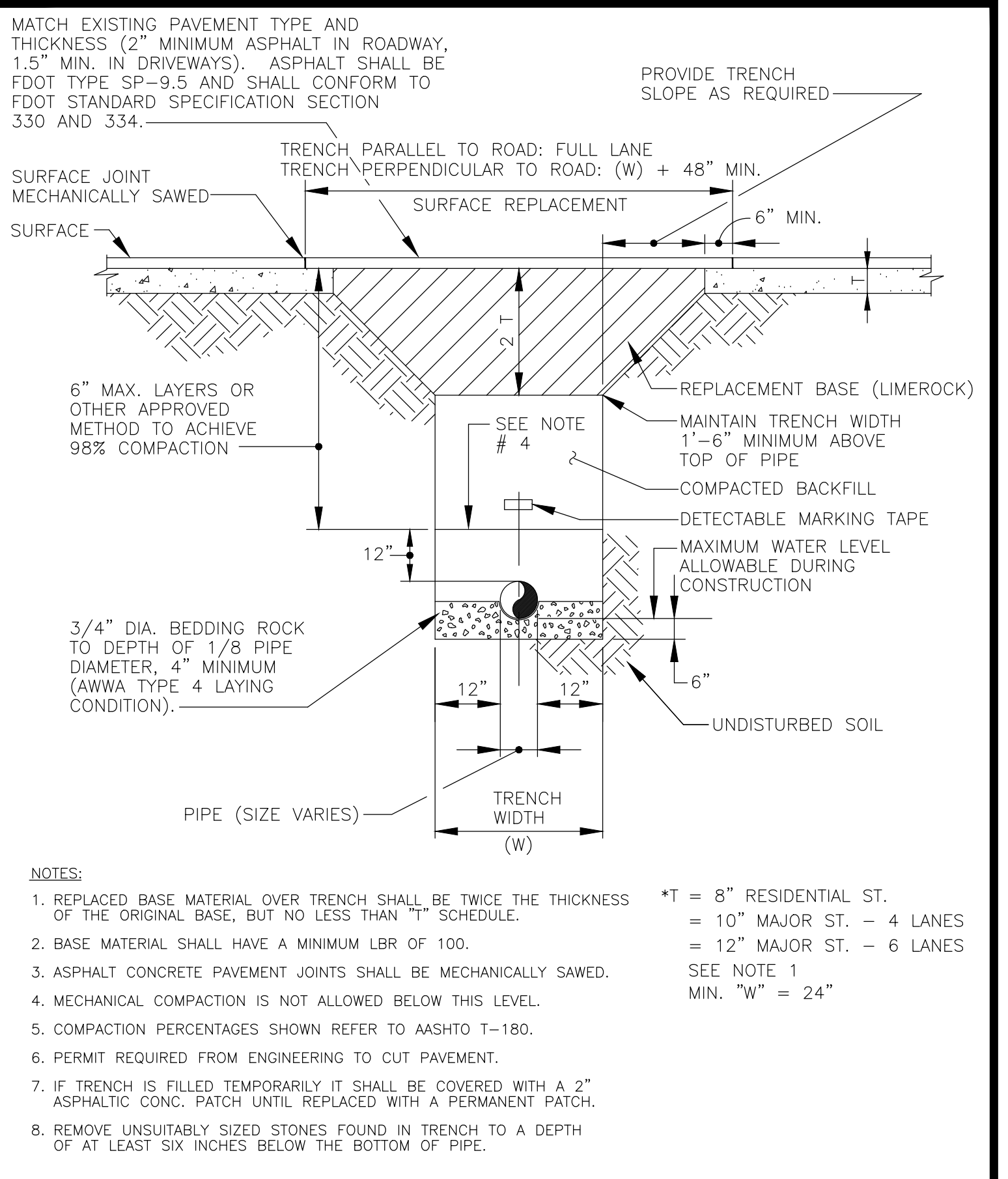
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|---|----------------|--|-----|
| DATE: 12-14-16 | DRAWN: JWEAVER | DOUBLE CHECK DETECTOR BACKFLOW PREVENTION ASSEMBLY | W-9 |
| CITY OF MARGATE, FLORIDA DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES | | | |



| | | | |
|---|----------------|--------------|------|
| DATE: 12-14-16 | DRAWN: JWEAVER | SAMPLE POINT | W-16 |
| CITY OF MARGATE, FLORIDA DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES | | | |



| | | | |
|---|----------------|-------------------------------|-----|
| DATE: 12-12-16 | DRAWN: JWEAVER | TRENCH DETAIL (UNPAVED AREAS) | G-7 |
| CITY OF MARGATE, FLORIDA DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES | | | |



| | | | |
|---|----------------|-----------------------------|-----|
| DATE: 12-12-16 | DRAWN: JWEAVER | TRENCH DETAIL (PAVED AREAS) | G-6 |
| CITY OF MARGATE, FLORIDA DEPARTMENT OF ENVIRONMENTAL AND ENGINEERING SERVICES | | | |

Bowman
CONSULTING

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Suite 320
Sunrise, FL 33323
Phone: (954) 814-9480
www.bowmanconsulting.com
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Certificate of Authorization License No. 30462

UTILITY DETAILS

CULVER'S RESTAURANT

5510 WEST COPANS ROAD

CITY OF MARGATE

BROWARD COUNTY, FLORIDA

REVISIONS

| DATE | DESCRIPTION |
|-----------|-------------|
| JN DESIGN | SU DRAWN |
| | BR CHKD |

SCALE: 1" = 20'

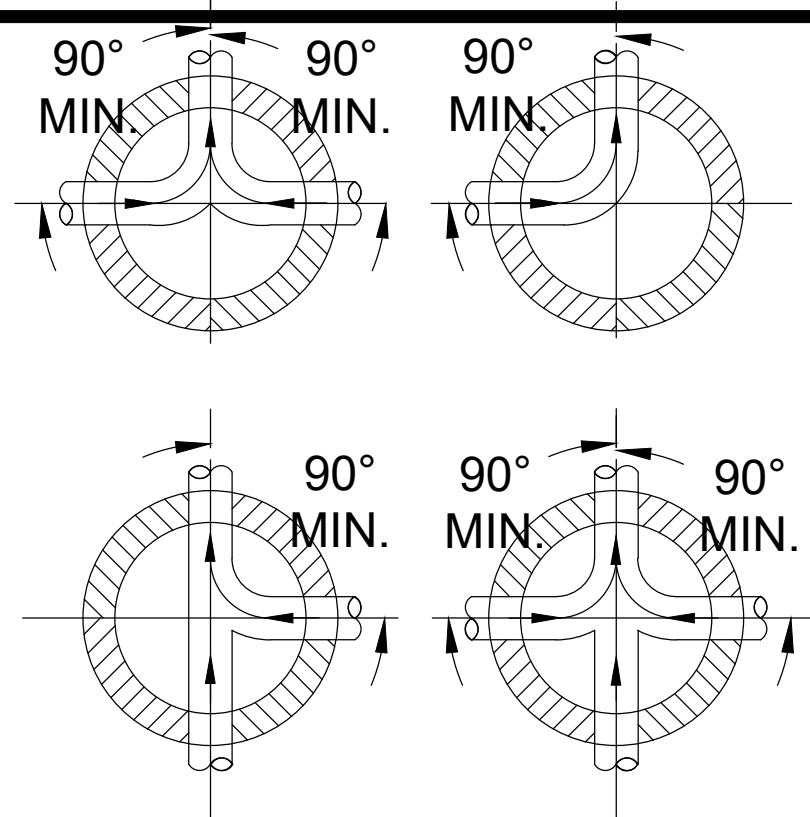
JOB No.: 010594-01-001

DATE: 09/13/2018

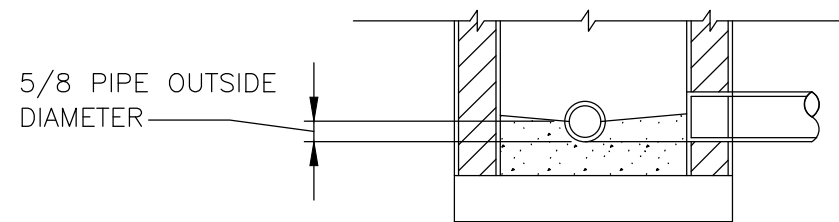
FILE:

SHEET C-15

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PLAN OF BOTTOM & FLOW CHANNELS



TYPICAL SECTION

NOTES:

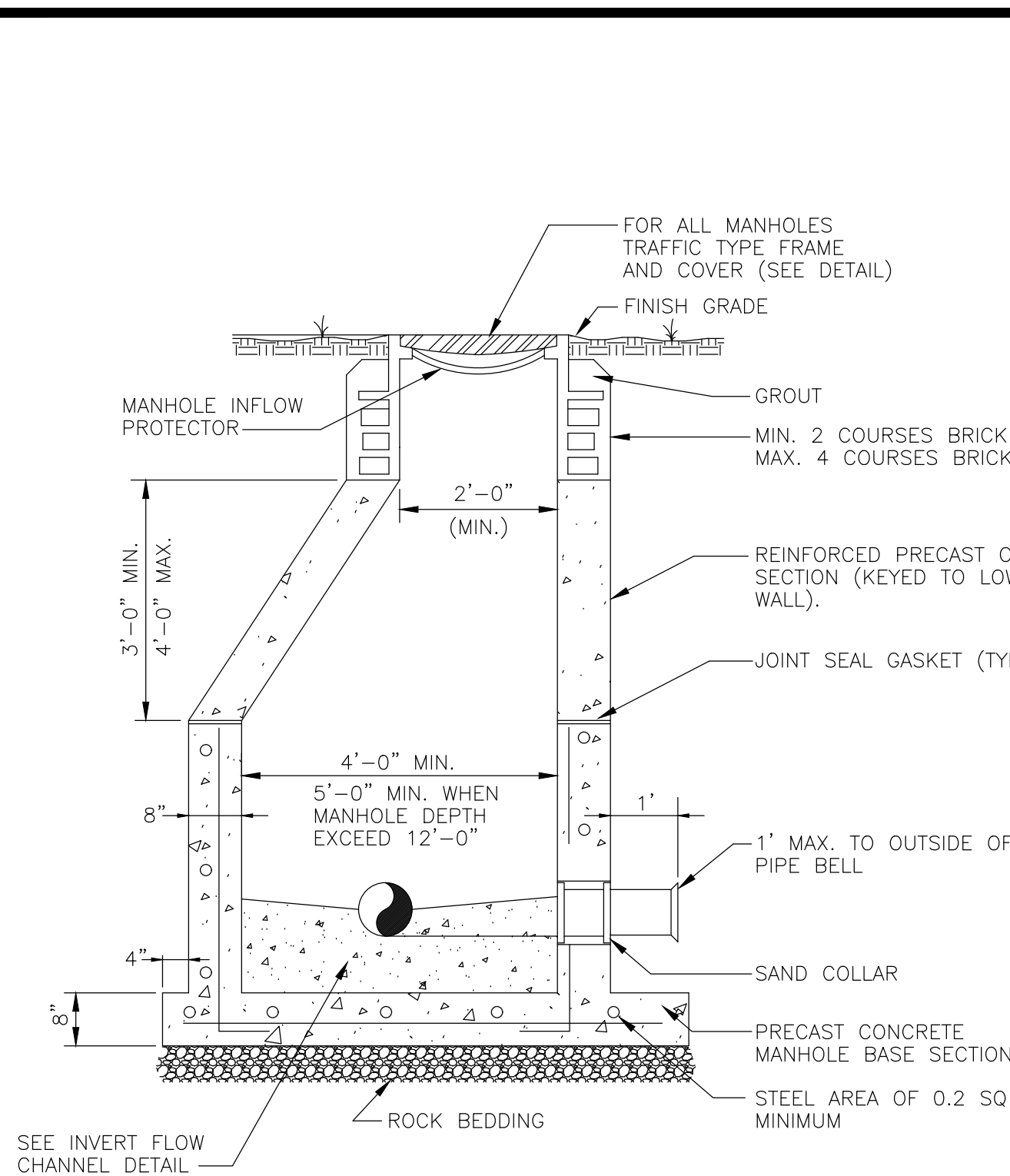
1. PROVIDE SPILLWAY FOR SMOOTH FLOW BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS.
2. SLOPE MAINTENANCE ACCESS STRUCTURE SHELF WITH 1" DROP/FT. FROM MAINTENANCE ACCESS STRUCTURE WALL TO CHANNEL.
3. INVERT CHANNEL TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
4. ALL CONCRETE SHALL USE TYPE II CEMENT ONLY.
5. BRICK IS PERMITTED AS FLOW CHANNEL BUILD UP.
6. INVERT CHANNELS TO BE CONSTRUCTED TO ACCEPT USE OF FLOW PLUGS AND VIDEO CAMERA INSERTION.

DATE: 12-14-14 DRAWN: JWEAVER

CITY OF MARGATE, FLORIDA
DEPARTMENT OF ENVIRONMENTAL
AND ENGINEERING SERVICES

INVERT FLOW CHANNEL

WW-6



NOTES:

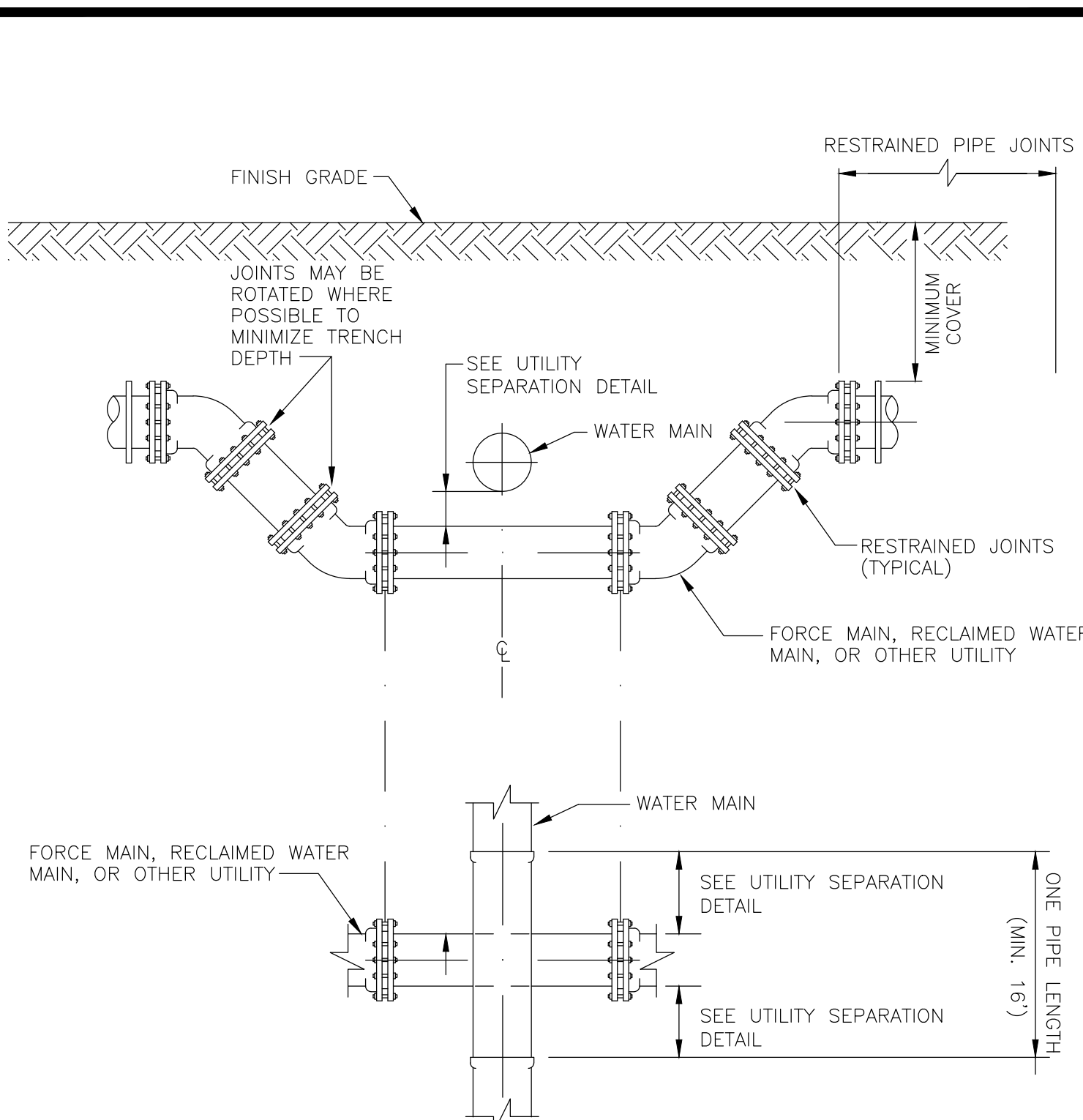
1. PAINT INSIDE WALLS WITH TWO COATS AND OUTSIDE WALLS WITH ONE COAT OF APPROVED COATING SYSTEM.
2. PRECAST CONCRETE MANHOLES AND ACCESSORIES SHALL BE AS SPECIFIED.
3. ALL JOINTS TO BE GROUTED INSIDE AND OUT.

DATE: 12-14-16 DRAWN: JWEAVER

CITY OF MARGATE, FLORIDA
DEPARTMENT OF ENVIRONMENTAL
AND ENGINEERING SERVICES

STANDARD MANHOLE

WW-4



NOTES:

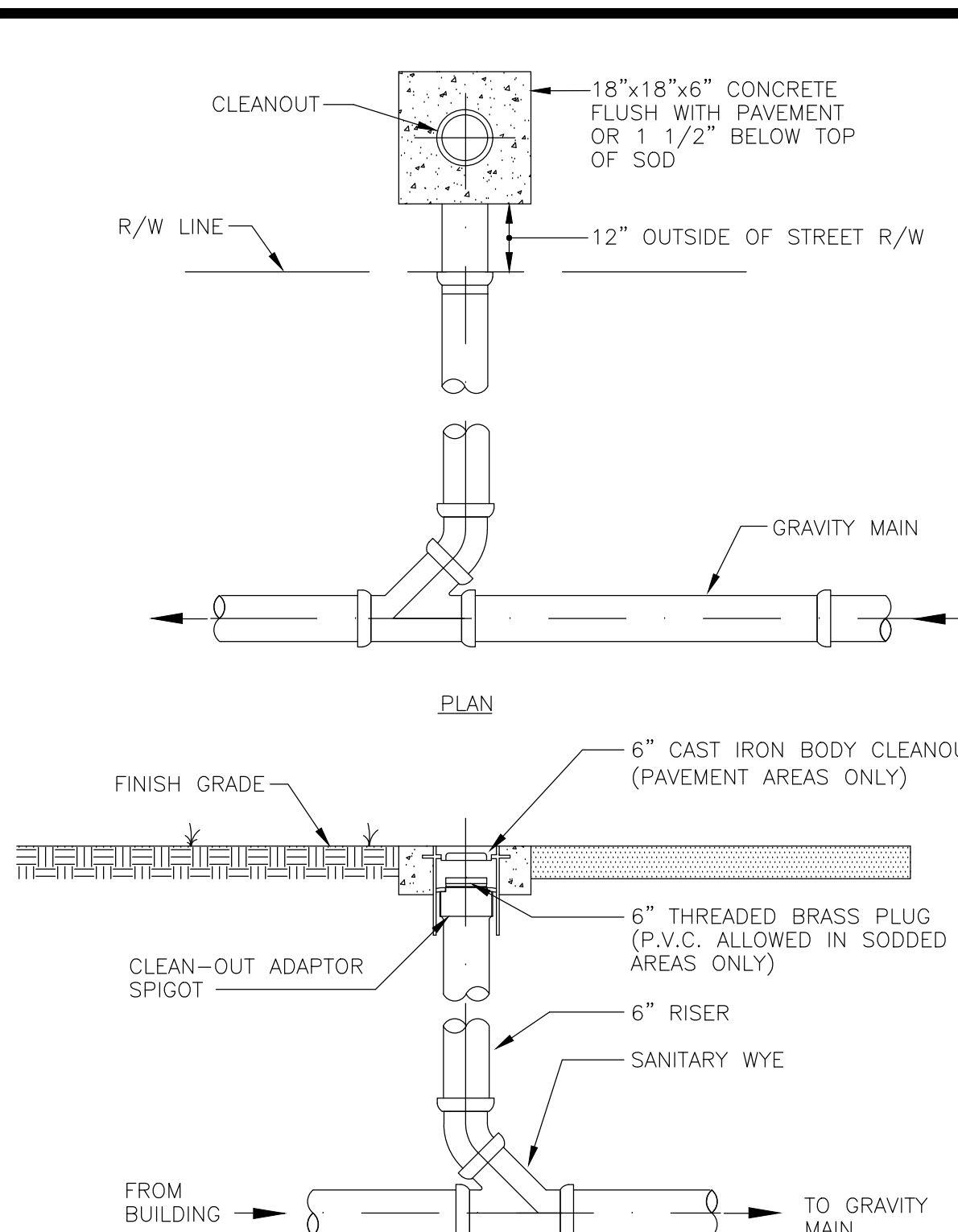
1. MINIMUM COVER IS 30" FOR D.I.P. AND 36" FOR P.V.C.
2. WHEREVER POSSIBLE DEFLECTION OF THE PIPE WILL BE USED TO AVOID EXISTING OBSTRUCTIONS. THIS CROSSING SHALL BE USED ONLY WHEN ORDERED BY THE ENGINEER AND APPROVED BY THE INSPECTOR.

DATE: 12-12-16 DRAWN: JWEAVER

CITY OF MARGATE, FLORIDA
DEPARTMENT OF ENVIRONMENTAL
AND ENGINEERING SERVICES

SPECIAL UTILITY CROSSING

G-2



NOTE:

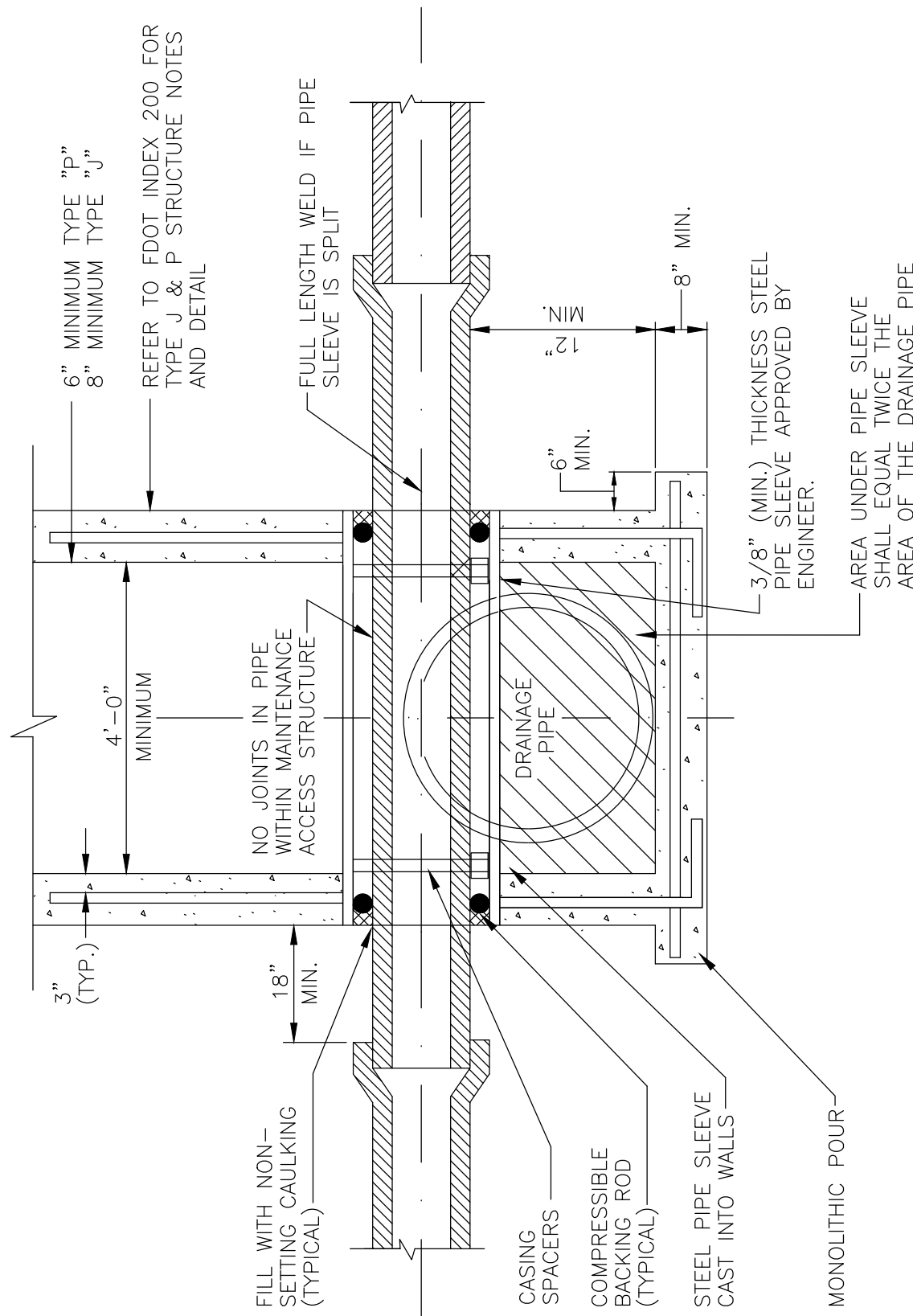
PIPING AND FITTINGS SHALL BE P.V.C. SDR-35

DATE: 12-14-16 DRAWN: JWEAVER

CITY OF MARGATE, FLORIDA
DEPARTMENT OF ENVIRONMENTAL
AND ENGINEERING SERVICES

CLEANOUT

WW-3



NOTES:

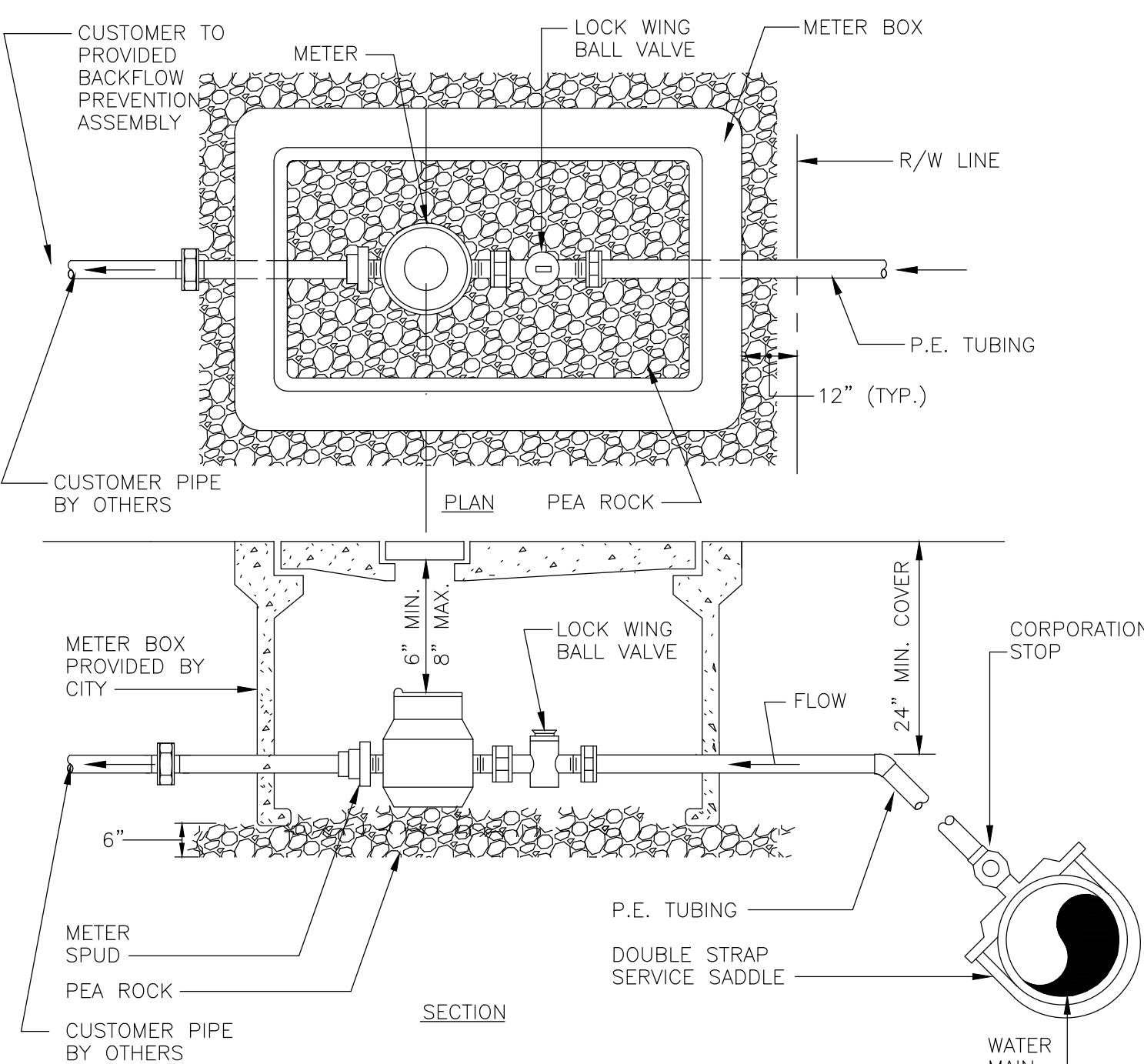
1. ALL CONFLICT MAINTENANCE ACCESS STRUCTURES SHALL CONFORM TO THE DETAILS SHOWN ON THIS DRAWING AND TO THE REQUIREMENTS OF ASTM C-478.
2. POTABLE WATER PIPE SHALL NOT PASS THROUGH OR CONTACT SANITARY SEWER MAINTENANCE ACCESS STRUCTURE.

DATE: 12-12-16 DRAWN: JWEAVER

CITY OF MARGATE, FLORIDA
DEPARTMENT OF ENVIRONMENTAL
AND ENGINEERING SERVICES

CONFLICT MAINTENANCE
ACCESS STRUCTURE

G-4



NOTES:

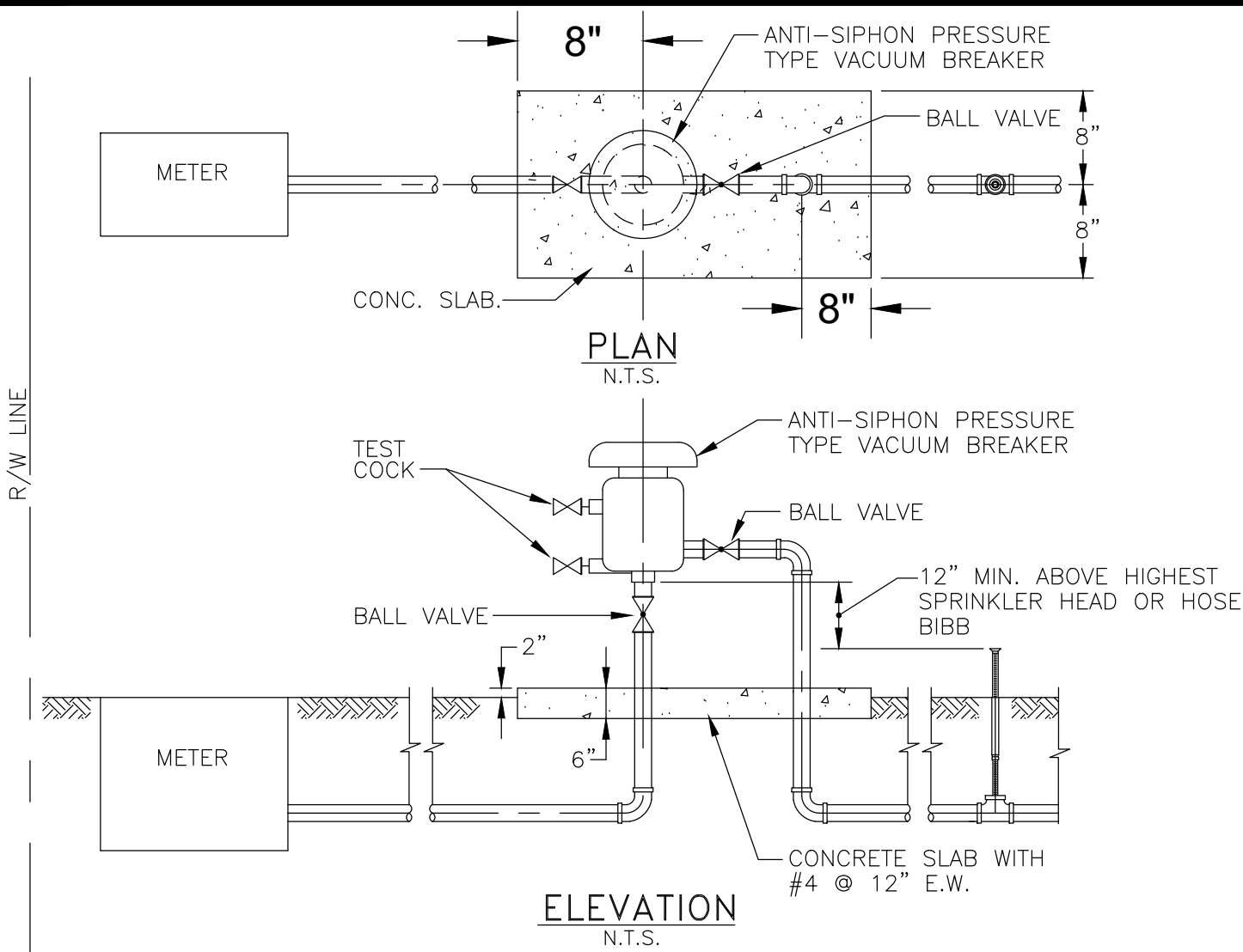
1. LOCATE BOX 12" OUTSIDE OF STREET R/W LINE.
2. CITY RESPONSIBILITY ENDS AT CUSTOMER SIDE OF METER.
3. METERS UP TO 2" SHALL BE FURNISHED AND INSTALLED BY CITY. (ALL OTHER WORK BY CUSTOMER)
4. MINIMUM RADIUS OF TUBING CURVE SHALL BE 21".

DATE: 12-14-16 DRAWN: JWEAVER

CITY OF MARGATE, FLORIDA
DEPARTMENT OF ENVIRONMENTAL
AND ENGINEERING SERVICES

METER INSTALLATION FOR
1 1/2" AND 2" METERS

W-3



NOTES:

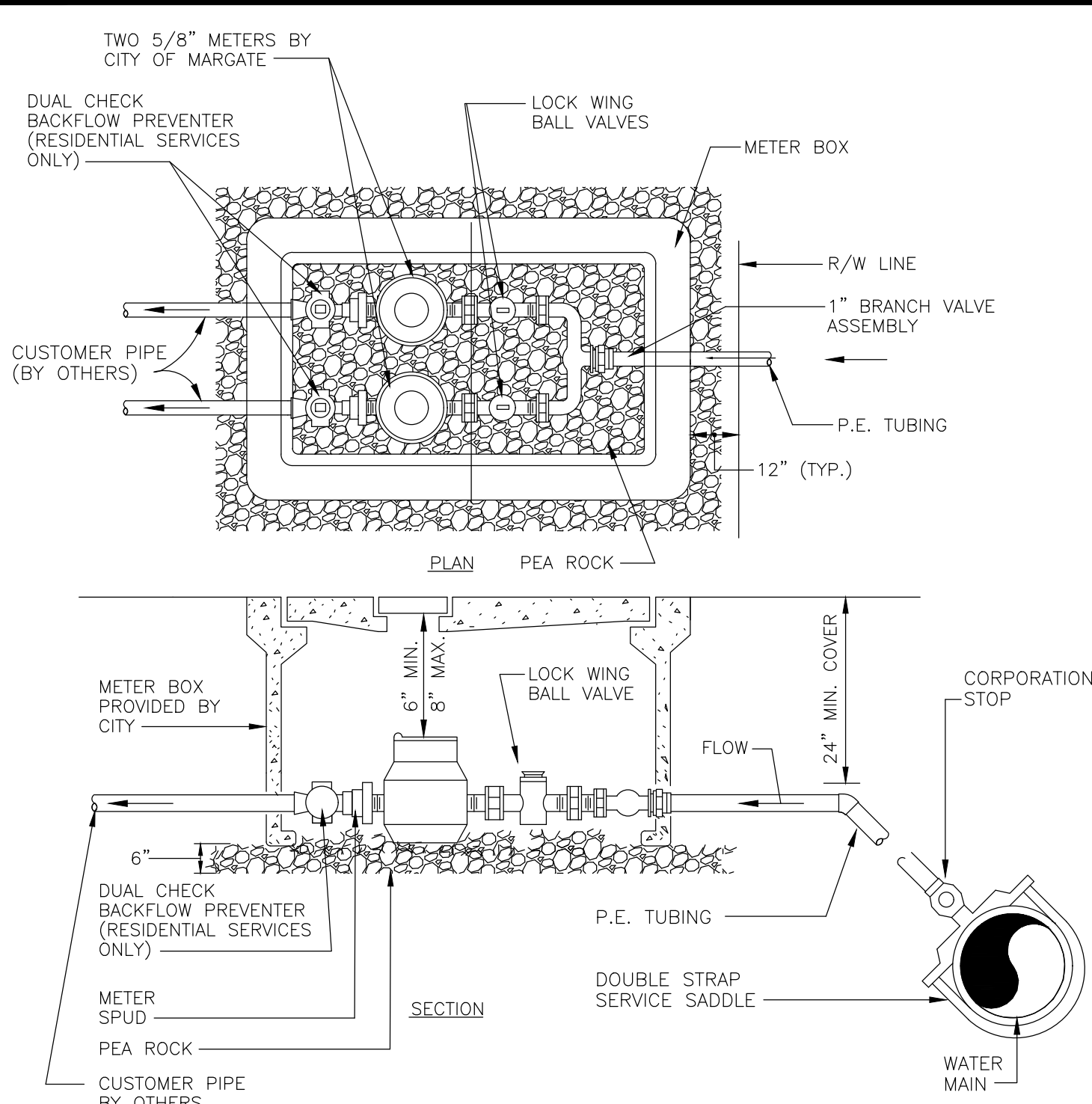
1. THE ASSEMBLY SHALL BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCES OF 30 INCHES FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
2. GUARD POSTS SHALL BE INSTALLED IF THE ASSEMBLY IS EXPOSED TO POSSIBLE DAMAGE FROM VEHICULAR TRAFFIC, AS DETERMINED BY THE DEPARTMENT AND THE INSPECTOR.
3. THE ASSEMBLY SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION, APPROVED BY THE DEPARTMENT AND THE INSPECTOR.
4. PIPING SHALL BE BRASS OR COPPER WITH THREADED FITTINGS.
5. ALL EXPOSED METALLIC THREADS SHALL BE PAINTED WITH BITUMASTIC PAINT.
6. THE DEPARTMENT SHALL HAVE UNRESTRICTED AND CONTINUOUS ACCESS TO THE VACUUM BREAKER ASSEMBLY.

DATE: 12-14-16 DRAWN: JWEAVER

CITY OF MARGATE, FLORIDA
DEPARTMENT OF ENVIRONMENTAL
AND ENGINEERING SERVICES

PRESSURE VACUUM BREAKER
BACKFLOW PREVENTION ASSEMBLY
(IRRIGATION ONLY)

W-10



NOTES:

1. LOCATE BOX 12" OUTSIDE OF STREET R/W LINE.
2. CITY RESPONSIBILITY ENDS AT CUSTOMER SIDE OF METER OR AFTER DUAL CHECK, IF PRESENT.
3. METERS UP TO 2" SHALL BE FURNISHED AND INSTALLED BY CITY. (ALL OTHER WORK BY CUSTOMER)
4. MINIMUM RADIUS OF TUBING CURVE SHALL BE 14".

DATE: 12-14-16 DRAWN: JWEAVER

CITY OF MARGATE, FLORIDA
DEPARTMENT OF ENVIRONMENTAL
AND ENGINEERING SERVICES

DOUBLE METER
BOX INSTALLATION

W-4

Bowman
CONSULTING

Certificate of Authorization License No. 30462

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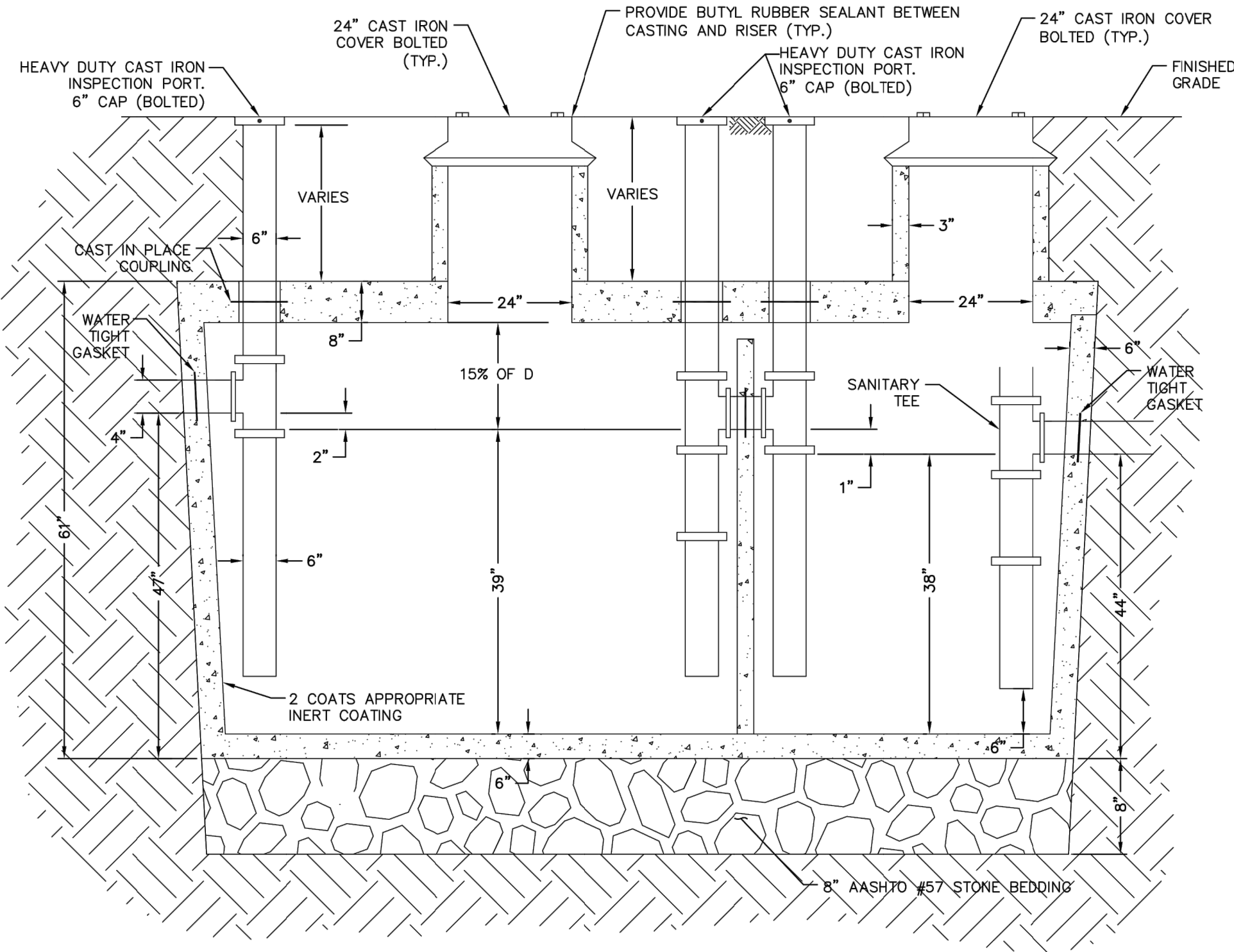
UTILITY DETAILS
CULVER'S RESTAURANT
5510 WEST COPANS ROAD
BROWARD COUNTY, FLORIDA

CITY OF MARGATE



| REVISIONS | | |
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| | | |
| DATE | DESCRIPTION | |
| JN DESIGN | SU DRAWN | BR CHKD |
| SCALE: 1" = 20' | | |
| JOB No.: 010594-01-001 | | |
| DATE: 09/13/2018 | | |
| FILE: | | |
| SHEET C-16 | | |

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN, IS PRESENTED HEREIN AS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND MODIFICATIONS BELONG TO THE DOCUMENT WITHOUT WRITTEN AUTHORIZATION BY BOWMAN CONSULTING. THIS SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING.

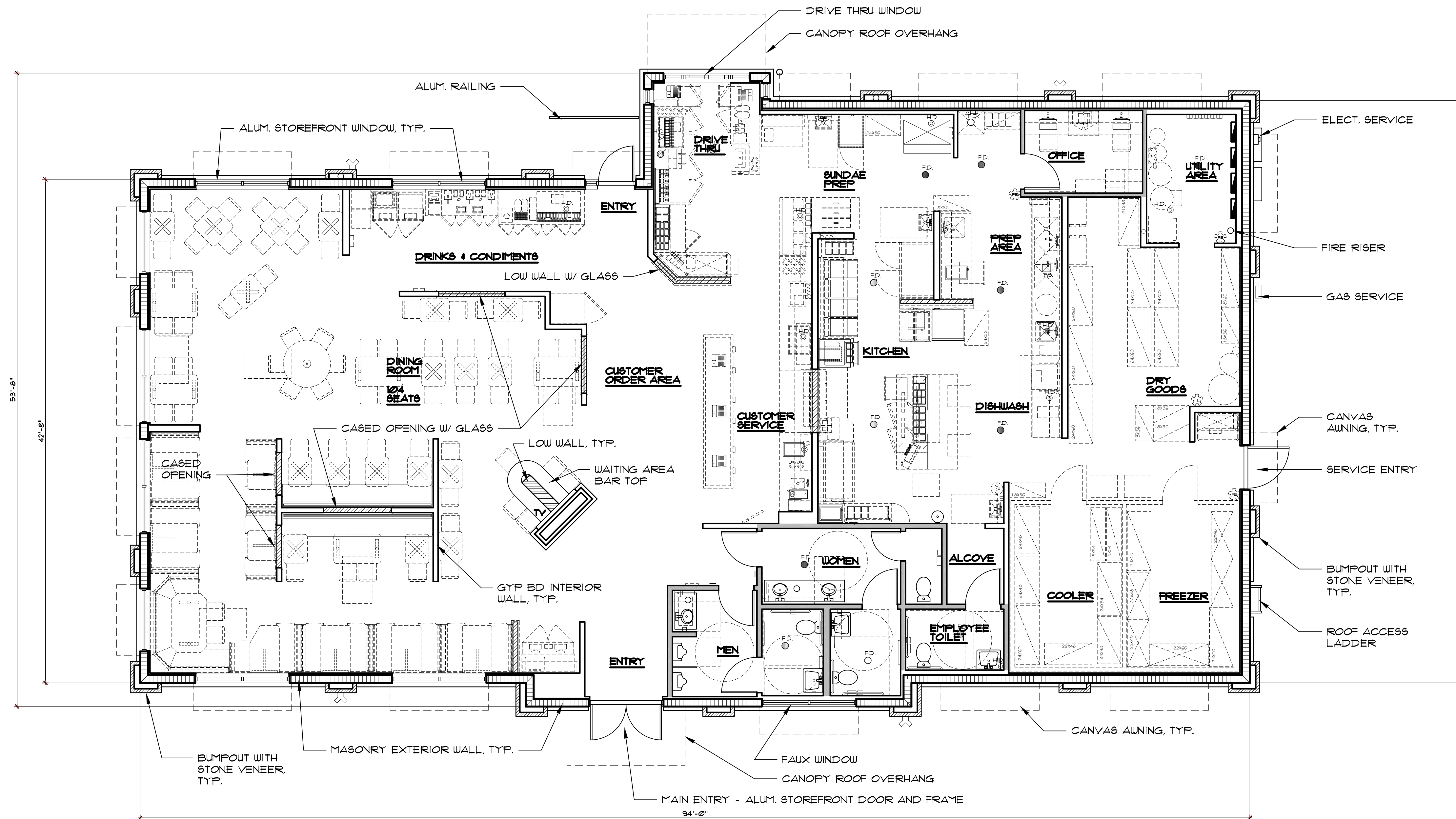


NOTE: 1250 GALLON (2 COMPARTMENT) TANK
GREASE TRAP DETAIL
NTS

- ALL INLET AND OUTLET PIPES SHALL BE INSTALLED NO MORE THAN 6" FROM THE BOTTOM OF THE GREASE TRAP. TANK TAPERS TOP TO BOTTOM AND IS TRAPEZOIDAL IN CROSS SECTION. TANK IS 5000 PSI CONCRETE--STEEL REINFORCED (Ø 28 DAYS) CONCRETE CONFORMS TO ACI 318-16-4.5.1 AND 318-16-4.5.2, ASTM A615 AND A185
- DIMENSION: 10'7" INTERIOR/ 11'7" EXTERIOR LENGTH x 5'2" INTERIOR/ 6'2" EXTERIOR WIDTH
- NOTES:
- 1) WHEN LOCATED IN DRIVEWAYS OR PAVED AREAS, GREASE TRAP TO BE DESIGNED FOR APPROPRIATE LOAD BEARING CONDITIONS. GREASE TRAP SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADING.
 - 2) ALL PIPE PENETRATIONS SHALL BE WATERTIGHT.
 - 3) GREASE TRAP SHALL BE PROVIDED WITH GAS-TIGHT MANHOLE COVERS, IN ACCORDANCE WITH TOWNSHIP STANDARD SPECIFICATIONS.
 - 4) PRECAST CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH 5000 PSI.
 - 5) EXTERIOR CONCRETE SURFACES BELOW GRADE SHALL HAVE 2 COATS OF COAL TAR EPOXY.
 - 6) SPECIFIC SEALANT DETAIL AT CONCRETE RISER TO CONCRETE VAULT INTERFACE SHALL BE WATERTIGHT. AT A MINIMUM, THE JOINT SHALL BE SEALED WITH BUTYL RUBBER SEALANT (KENT SEAL #2 OR APPROVED EQUIVALENT) AND THE EXTERIOR OF THE JOINT SHALL BE SEALED WITH NON-SHRINK GROUT IN CONFORMANCE WITH THE TOWNSHIP STANDARD GREASE TRAP DETAIL.
 - 7) TANK SHALL BE TESTED FOR WATER TIGHTNESS BY FILLING FOR 24 HRS. TO SOAK, THEN TOPPED OFF, AND THEN WATCHED FOR 24 HRS. NO DROP IN WATER IS ALLOWED.
 - 8) CAST IRON SHALL BE BOLTED TO CONCRETE WITH MASTIC TAPE (KENT SEAL OR APPROVED EQUIVALENT) SEALANT.
 - 9) MAXIMUM EARTH COVER=5.0', HS-20 LOADING.
 - 10) INLET AND OUTLET EQUIPPED WITH PIPE SEALS.



| REVISIONS | | |
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| | | |
| DATE | DESCRIPTION | |
| JN | SU | BR |
| DESIGN | DRAWN | CHKD |
| SCALE: | | 1" = 20' |
| JOB No.: 010594-01-001 | | |
| DATE: 09/13/2018 | | |
| FILE: | | |
| SHEET | C-17 | |



BUILDING GROSS AREA = 4,443 SQ. FT.

104 SEATS SHOWN IN DINING AREA

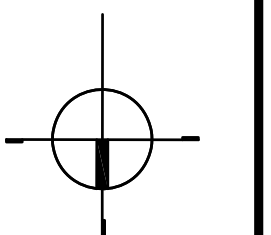
2,180 S.F. OF PATRON AREA

1 PROPOSED FLOOR PLAN SCALE: 3/16" = 1'-0"

| REVISIONS | BY |
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| | |

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AA 000221
Member of the American Institute of Architects
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DESIGN
DEVELOPMENT
SCHEME "B"

New Free Standing
Calvin's
5510 W. Copans Road
Margate, Florida 33063
Broward County

Date: 08. 30. 18

Scale: AS NOTED

Project Mgr: DG

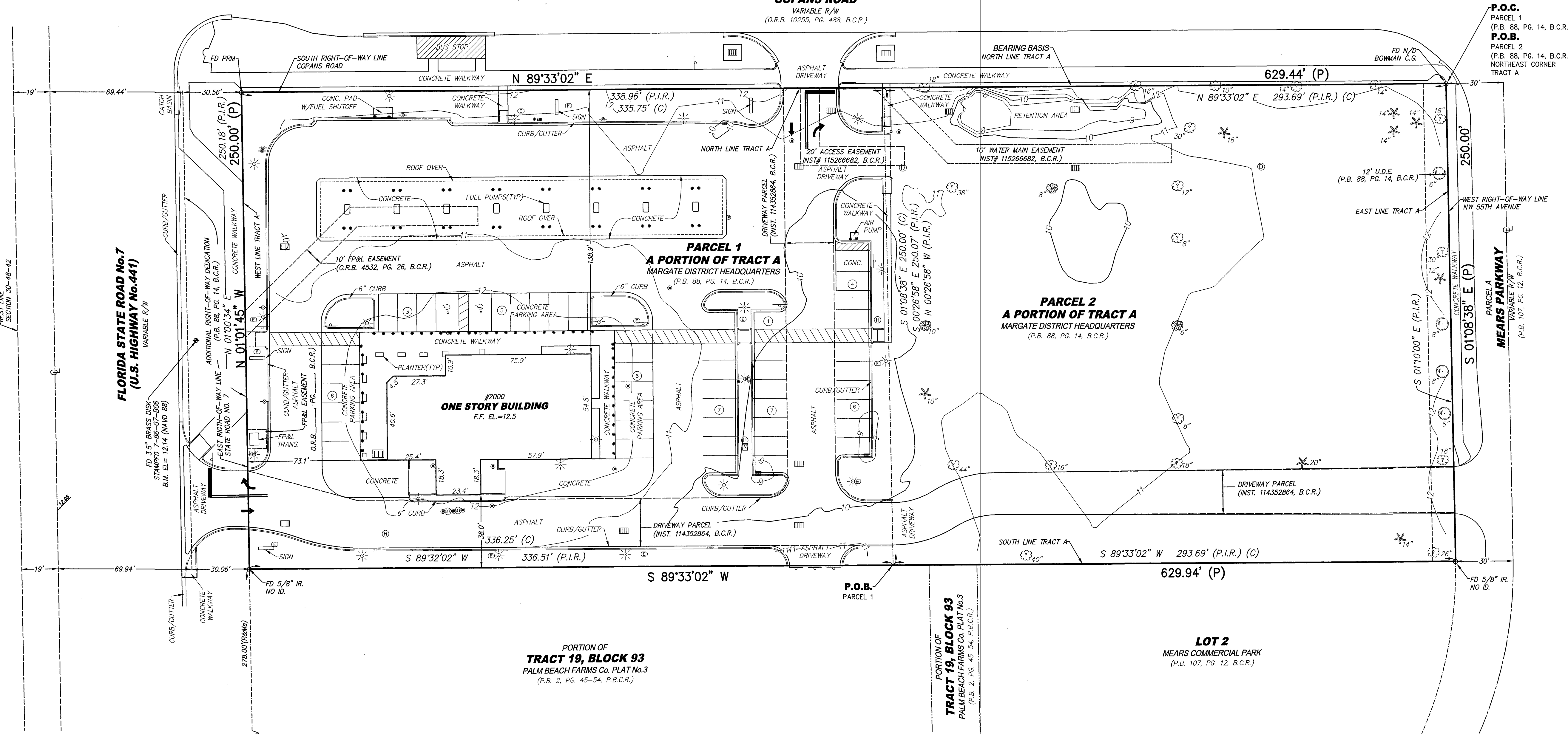
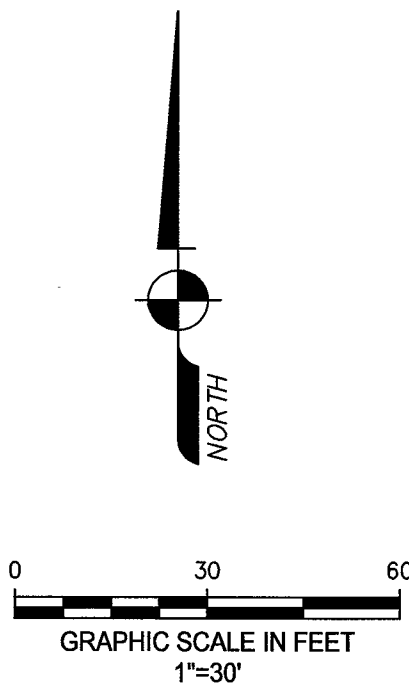
Drawn: GNIII

Job: 18-016

Sheet

A1

ALTA / NSPS LAND TITLE SURVEY



SURVEYOR'S REPORT:

- Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
- The property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in the Property Information Report issued by Fidelity National Title Insurance Company, Order No. 6753619. Where applicable, these instruments are shown on the survey (see SUMMARY TABLE). Aviom & Associates, Inc. did not research the public records for easements, rights-of-way, ownership or other instruments of record.
- The land description shown hereon is in accord with the Property Information Report.
- No underground improvements were located.
- Bearings, distances and/or angles shown hereon are in accord with the plat and/or deed of record and agree with the survey measurements, unless otherwise noted. Bearings are based on the west line of Tract A having a bearing of N01°00'34\"W.
- Elevations shown hereon are in feet and based on the North American Vertical Datum of 1988 (NAVD 1988).
- Benchmark Description: A 3.5\" Brass Disk in concrete stamped 7-86-07-B06, Elevation = 12.14 feet (NAVD 1988).
- Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
- This map is intended to be displayed at a scale of 1\"=30' (1:360).
- Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'.
- The species of trees as shown hereon were identified to the best of knowledge and ability of the surveyor, without the benefit of an arborist or biologist. It is the responsibility of the end user to verify the identity of the species.
- Abbreviation Legend: ALTA = American Land Title Association; B.C.R. = Broward County Records; B.M. = Benchmark; C = Centerline; (C) = Calculated; CONC = Concrete; EL = Elevation; FD = Found; F.F. = Finished Floor; FP&L = Florida Power & Light; ID. = Identification; IR. = Iron Rod; LB = Licensed Business; (Ms) = Measured; NAVD = North American Vertical Datum; N/D = Nail & Disk; NSPS = National Society of Professional Surveyors; O.R.B. = Official Records Book; (P) = Plat; P.B. = Plat Book; PG. = Page; P.B.C.R. = Palm Beach County Records; P.I.R. = Property Information Report; P.L.S. = Professional Land Surveyor; PRM = Permanent Reference Monument; R/W = Right-of-Way; U.D.E. = Underground Drainage Easement.
- The provided land description does not form a mathematically closed parcel of land. The property described is larger than said Tract A, per the plat \"MARGATE DISTRICT HEADQUARTERS\".

LAND DESCRIPTION:

PARCEL 1:

A portion of Tract A, Margate District Headquarters, according to the plat thereof, as recorded in Plat Book 88, Page 14, of the Public Records of Broward County, Florida, being more particularly described as follows:

Commence at the Northeast corner of said Tract A; thence South 01°10'00\" East along the East line of said Tract A and the West right of way line of N.W. 55th Avenue for a distance of 250.00 feet to the South line of said Tract A; thence South 89°32'02\" West, along said South line, for a distance of 293.69 feet for the Point of Beginning of the herein described parcel; thence continue South 89°32'02\" West, along said South line, for a distance of 336.51 feet to the West line of said Tract A and the East right of way line of State Road No. 7; thence North 01°00'34\" West, along said West line of said Tract A and the East right of way line of State Road No. 7 for a distance of 250.07 feet to the North line of said Tract A and the South right of way line of Copans Road; thence North 89°33'02\" East, along said North line of Tract A and the South right of way line of Copans Road for a distance of 338.96; thence South 00°26'58\" East, departing said South line, for a distance of 250.07 feet to the Point of Beginning.

PARCEL 2:

A portion of Tract A, Margate District Headquarters, according to the plat thereof, as recorded in Plat Book 88, Page 14, of the Public Records of Broward County, Florida, being more particularly described as follows:

Commence at the Northeast corner of said Tract A; thence South 01°10'00\" East along the East line of said Tract A and the West right of way line of N.W. 55th Avenue for a distance of 250.00 feet to the South line of said Tract A; thence South 89°32'02\" West, along said South line, for a distance of 293.69 feet to a point; thence North 00°26'58\" W for a distance of 250.07 feet to the North line of said Tract A and the South right of way line of Copans Road; thence North 89°33'02\" East, along said North line of Tract A and South right of way line of Copans Road for a distance of 293.69 feet to the Point of Beginning.

Said land lying in Broward County, Florida and contains 157,411 square feet (3.6137 acres), more or less.

SUMMARY TABLE FOR: SCHEDULE B, SECTION 2 EXCEPTIONS PROPERTY INFORMATION REPORT ORDER NO. 6753619 (SEE SURVEYOR'S REPORT #2)

| EXCEPTION NUMBER AND RECORDING INFORMATION | AFFECTS SUBJECT PROPERTY | AFFECTED AREA |
|--|--------------------------|---------------|
| A P.B. 88/14 | Yes | Shown |
| B INST. 114352864 | Yes | Shown |
| C O.R.B. 453226 | Yes | Shown |
| D INST. 114220263 | Yes | Memorandum |

CERTIFICATION:

To: TVC Margate CO., L.L.C.
The Private Bank & Trust Company now known as CIBC
Wawa Florida LLC
Broward County, City of Margate and all municipal agencies and departments thereof
Fidelity National Title Insurance Company

THIS IS TO CERTIFY that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(B), 8, 9, 11, 16 and 20 of Table A thereof. The field work was completed on August 24, 2018.

Date: 02/24/2018

JOHN T. DOOGAN, P.L.S.
Florida Registration No. 4409
AVIROM & ASSOCIATES, INC.
L.B. No. 3300
EMAIL: john@aviromsurvey.com

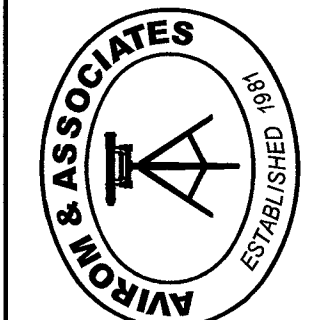
ALTA/NSPS LAND TITLE SURVEY

TRACT A

2000 STATE ROAD NO. 7
MARGATE DISTRICT HEADQUARTERS
(P.B. 88, PG. 14, B.C.R.)
CITY OF MARGATE
BROWARD COUNTY, FLORIDA

SCALE: 1\"=30'
DATE: 04/19/2017
BY: KSB
CHECKED: J.T.D.
F.B. 1852 PG. 24
SHEET: 1 OF 1
JOB #: 10482

AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
(561) 392-2584 / WWW.AVIROMSURVEY.COM
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| REVISIONS | DATE | BY | DESCRIPTION |
|-----------|------------|--------|-----------------------------------|
| 1 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 2 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 3 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 4 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 5 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 6 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 7 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 8 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 9 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 10 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 11 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 12 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 13 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 14 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 15 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 16 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 17 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 18 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 19 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |
| 20 | 02/27/2018 | J.T.D. | REVISION FOR NEW TITLE COMMITMENT |

- UNA-CLAD COPING
REGAL BLUE
- EIPS CORNICE
TIKI HUT - SW 1509
- LIGHTING
WHITE
- STUCCO PIERS
TIKI HUT - SW 1509
- AWNING CANVAS
ROYAL BLUE



1 PROPOSED SOUTH EXTERIOR ELEVATION (ENTRY)
SCALE: 3/16" = 1'-0"

- STUCCO FIELD
TONY TAUPE - SW 1038
- METAL CANOPY
NATURAL ALUMINUM
- CULTURED STONE
LANNER NEWBERRY
TUSCAN LEDGE



2 PROPOSED EAST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



3 PROPOSED NORTH EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

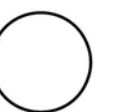


4 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

| REVISIONS | BY |
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| | |

OLIVERI ARCHITECTS
AA 0002921
Member of the American Institute of Architects
3270 US Hwy. 91, Suite 100, Palm Harbor, FL 34684
Phone: 727.961.7525 • Fax: 727.961.7526 • www.oliveriarchitects.com

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DESIGN
DEVELOPMENT
SCHEME 'A'

New Free Standing
Culver's
W. Copans Road
Margate, Florida 33036
Broward County

Date: 05. 08. 18
Scale: AS NOTED
Project Mgr: DG
Drawn: GNIII
Job: 18-016
Sheet

A5

- UNA-CLAD COPING
REGAL BLUE
- EIFS CORNICE
TIKI HUT - SW 1503
- LIGHTING
WHITE
- STUCCO PIERS
TIKI HUT - SW 1503
- AWNING CANYAS
ROYAL BLUE



1 PROPOSED NORTH EXTERIOR ELEVATION (ENTRY)
SCALE: 3/16" = 1'-0"

- STUCCO FIELD
TONY TAUPE - SW 1038
- METAL CANOPY
NATURAL ALUMINUM
- CULTURED STONE
BORAL - COUNTRY
LEDGESTONE - ASPEN



2 PROPOSED EAST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



3 PROPOSED SOUTH EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



4 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

| REVISIONS | BY |
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OLIVERI ARCHITECTS

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DESIGN
DEVELOPMENT
SCHEME "B"

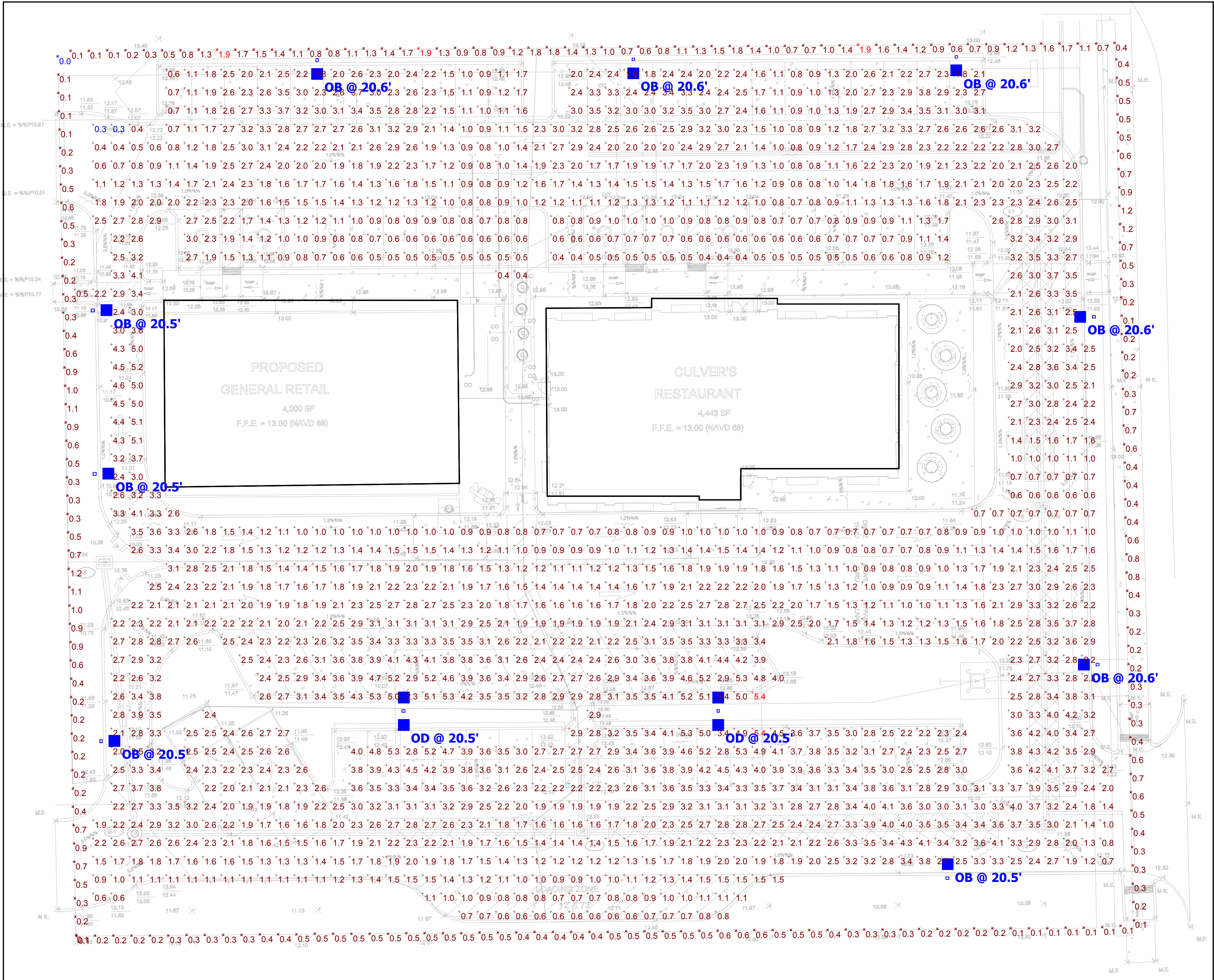
New Free Standing

Culver's
5510 W. Copans Road
Margate, Florida 33063
Broward County

Date: 08. 30. 18
Scale: AS NOTED
Project Mgr: DG
Drawn: GNIII
Job: 18-016
Sheet

A4

CRESCENT ELECTRIC SUPPLY COMPANY
GARY MANDERS AT 1 800 236 9008
EMAIL: CULVERS@CESCO.COM
VERIFY THAT THE ATTACHED LAYOUT
MEETS LOCAL CODE REQUIREMENTS

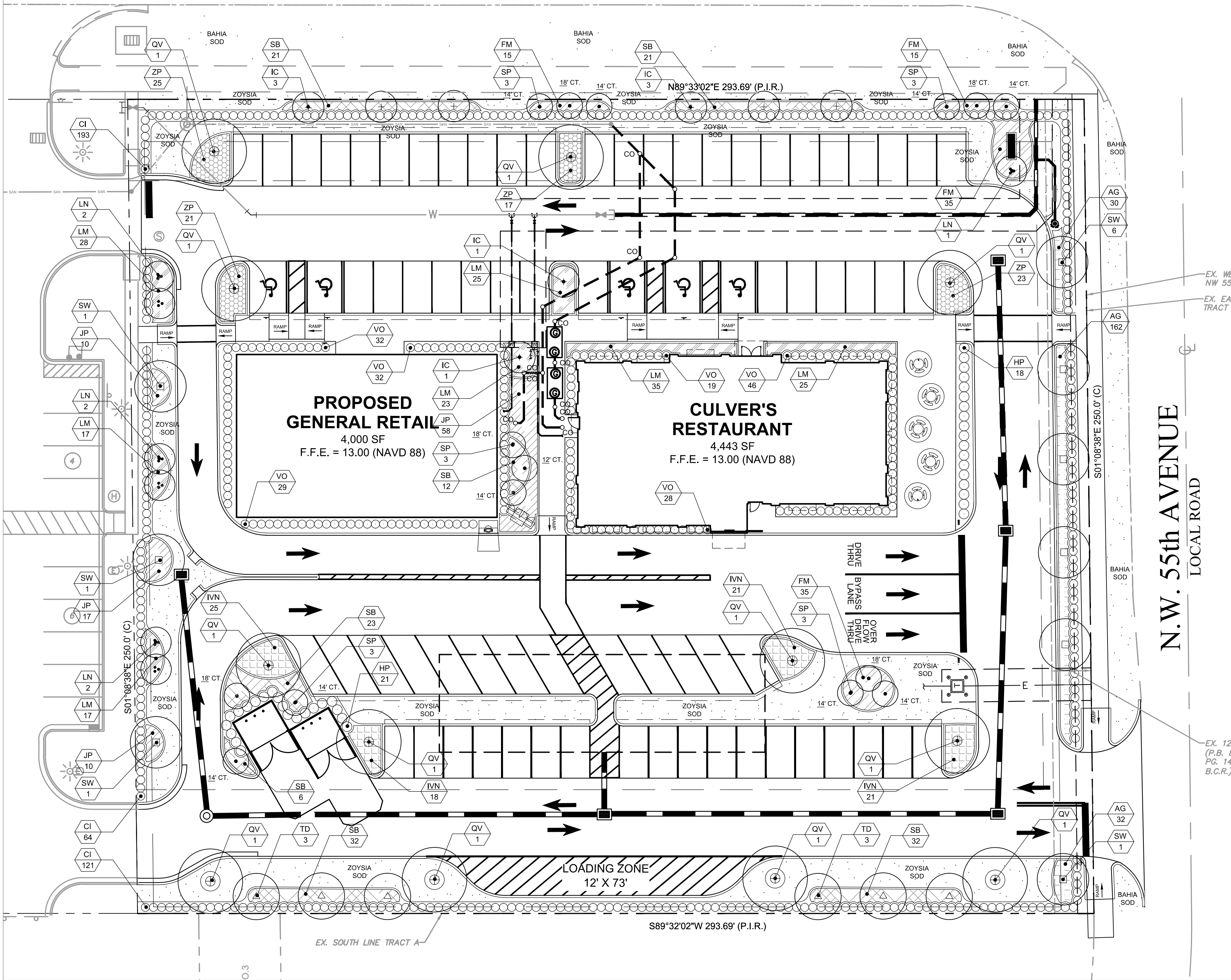


Plan View
Scale - 1" = 16ft

| Statistics | | | | | | |
|---------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| PARKING LOT | + | 2.2 fc | 5.4 fc | 0.3 fc | 18.0:1 | 7.3:1 |
| PROPERTY LINE | ✕ | 0.6 fc | 1.9 fc | 0.0 fc | N/A | N/A |

| Schedule | | | | |
|--|-------|----------|--------------|----------------|
| Symbol | Label | Quantity | Manufacturer | Catalog Number |
| <div><div></div><div></div></div> | OB | 9 | CREE, INC. | ARE-EDG |
| <div><div></div><div></div><div></div></div> | OD | 2 | Cree Inc. | ARE-EDG |

W. COPANS ROAD
COUNTY ROAD



MARGATE LANDSCAPING REQUIREMENTS

LANDSCAPING ABUTTING R-O-W:
MINIMUM 10' WIDE LANDSCAPE STRIP WITH CONTINUOUS HEDGE ONE (1) SHADE TREE PER 40 L.F. OF FRONTAGE.
GROUNDCOVERS SHALL COVER A MINIMUM 50% OF REQUIRED LANDSCAPE STRIP.

W. COPANS RD.:
(OVERHEAD UTILITIES)

293 L.F. / 40 L.F. 8 SHADE TREES AND A CONTINUOUS HEDGE REQUIRED
6 TREES, 6 PALMS AND A CONTINUOUS HEDGE PROVIDED

NW 55TH AVE.:

210 L.F. / 40 L.F. 6 SHADE TREES AND A CONTINUOUS HEDGE REQUIRED
6 SHADE TREES AND A CONTINUOUS HEDGE PROVIDED

LANDSCAPING ADJACENT TO OTHER PERIMETERS:
MINIMUM 10' WIDE LANDSCAPE STRIP WITH CONTINUOUS HEDGE ONE (1) SHADE TREE PER 75 L.F. OF COMMON PROPERTY LINE.
GROUNDCOVERS SHALL COVER A MINIMUM 30% OF REQUIRED LANDSCAPE STRIP.

NW 55TH AVE.:

210 L.F. / 40 L.F. 6 SHADE TREES AND A CONTINUOUS HEDGE REQUIRED
6 SHADE TREES AND A CONTINUOUS HEDGE PROVIDED

SOUTH PROPERTY LINE:

293 L.F. / 75 L.F. 4 SHADE TREES AND A CONTINUOUS HEDGE REQUIRED
4 SHADE TREES AND A CONTINUOUS HEDGE PROVIDED

SOUTH PROPERTY LINE:

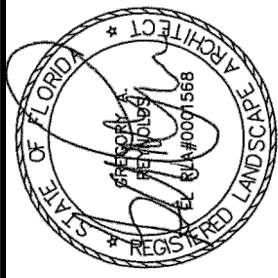
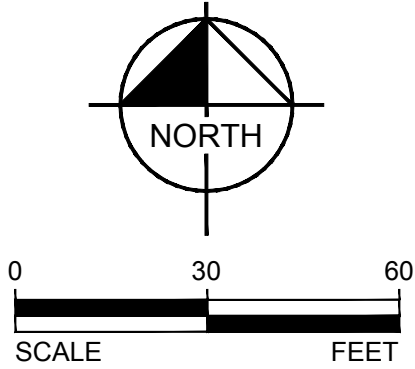
250 L.F. / 75 L.F. 4 SHADE TREES AND A CONTINUOUS HEDGE REQUIRED
4 SHADE TREES AND A CONTINUOUS HEDGE PROVIDED

LANDSCAPE PLANT MATERIALS

| QTY. | SYM. | BOTANICAL NAME/ COMMON NAME | SPECIFICATIONS |
|-----------------------|-------|---|---|
| TREES / PALMS | | | |
| 8 | IC | ILEX CASSINE 'NATIVA' / DAHOON HOLLY | 45 GAL., 2.5" CALIPER, 10' HT. X 4' SPD. |
| 7 | LN | LAGERSTROEMIA INDICA/ 'MATCHEZ' WHITE CRAPE MYRTLE | 45 GAL., 2.5" CALIPER, 11' HT. X 5' SPD., STANDARD |
| 9 | SW | SWIETENIA MAHOGONI/ SWAMP MAHOGANY | 65 GAL., 2 1/2" CALIPER, 9'-10' HT. X 4'-5' SPD., MATCHING |
| 12 | QV | QUERCUS VIRGINIANA QVITA pp 11219 / 'HIGHRISE' LIVE OAK | 65 GAL., 3" CALIPER, 12'-13' HT. X 5'-6' SPD., MATCHING |
| 15 | SP | SABAL PALMETTO/ SABAL PALM | FIELDGROWN, 12'-18" CLEAR TRUNK HT., SEE PLAN FOR C.T. HTS. |
| SHRUBS / GROUNDCOVERS | | | |
| 224 | AG | ARACHIS GLABRATA 'ECOTURF' / PERENNIAL PEANUT | 1 GAL., FULL, 18" O.C. |
| 379 | CI | CHRYSOBALANUS ICACO/ RED TIP COCOPLUM | 7 GAL., 30" HT. X 18" SPD., FULL, 30" O.C. |
| 65 | FM | FICUS MICROCARPA/ 'GREEN ISLAND' FICUS | 3 GAL., 15" HT. X 15" SPD., FULL, 30" O.C. |
| 39 | HP | HAMELIA PATENS/ FIREBUSH | 7 GAL., 36" HT. X 24" SPD., FULL, 36" O.C. |
| 85 | IVN | ILEX VOMITORIA 'NANA'/ DWARF SCHILLING'S HOLLY | 5 GAL., 24" HT. X 24" SPD., FULL, 30" O.C. |
| 37 | JP | JUNIPERUS CONFERTA/ BLUE PACIFIC JUNIPER | 3 GAL., 6"-9" HT. X 12"-15" SPD., FULL, 30" O.C. |
| 170 | LM | LIRIOPE MUSCARI 'SUPER BLUE'/ BORDER GRASS | 1 GAL., FULL, 24" O.C. |
| 92 | SB | SPARTINA BAKERI/ SAND CORDOGRASS | 3 GAL., 18"-24" HT. X 12" SPD., FULL, 36" O.C. |
| 186 | VO | VIBURNUM OBOVATUM/ WALTER'S VIBURNUM | 7 GAL., 30" HT. X 18" SPD., FULL, 30" O.C. |
| 86 | ZP | ZAMIA PUMILA/ COONTIE FERN | 3 GAL., 15" HT. X 15" SPD., FULL, 30" O.C. |
| SOD/ MULCH | | | |
| CY. | MULCH | DOUBLE- GROUND HARDWOOD MULCH, COCOA BROWN COLOR | 3" THICK IN ALL PLANTING AREAS. |
| S.F. | SOD | ZOYSIA JAPONICA/ 'EMPIRE' ZOYSIA GRASS | CONTRACTOR TO VERIFY S.F. QTY.- SEE PLAN FOR LOCATIONS |
| S.F. | SOD | ARGENTINE BAHIA GRASS (R-O-W & RETENTION POND ONLY) | CONTRACTOR TO VERIFY S.F. QTY.- SEE PLAN FOR LOCATIONS |

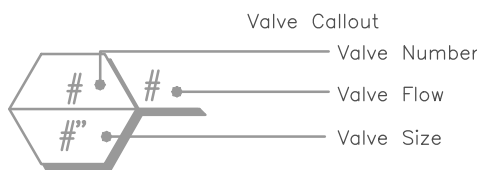
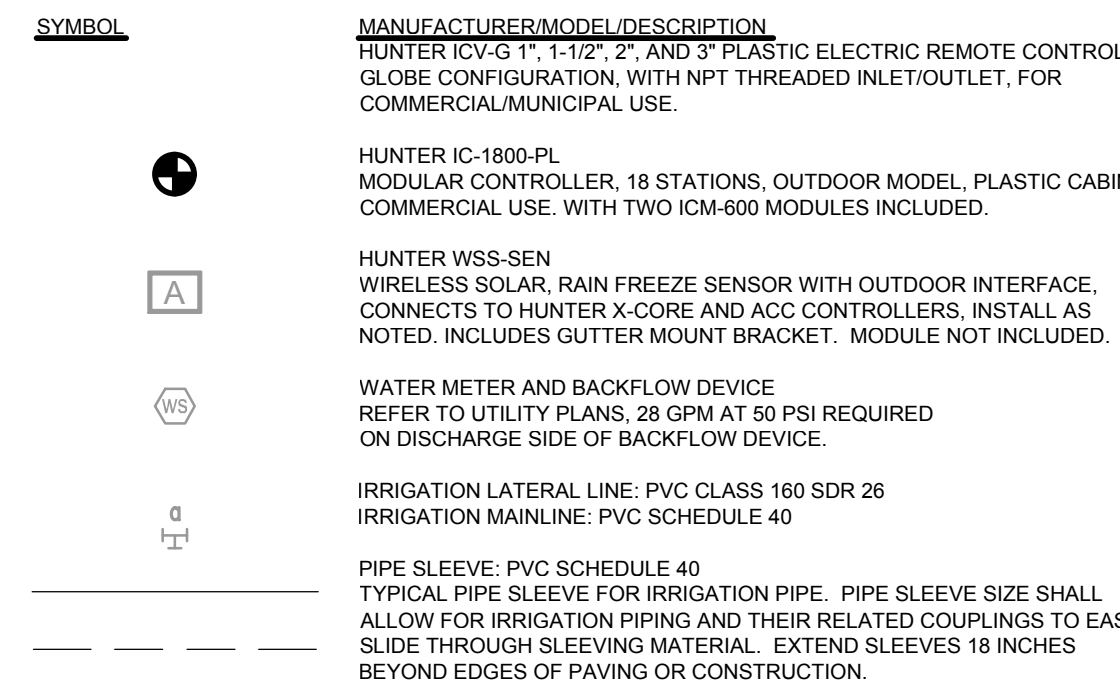
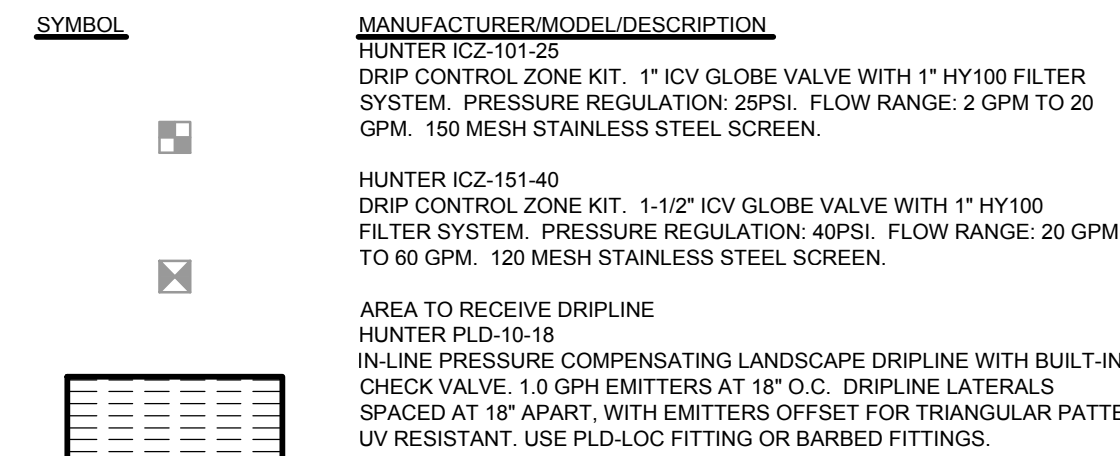
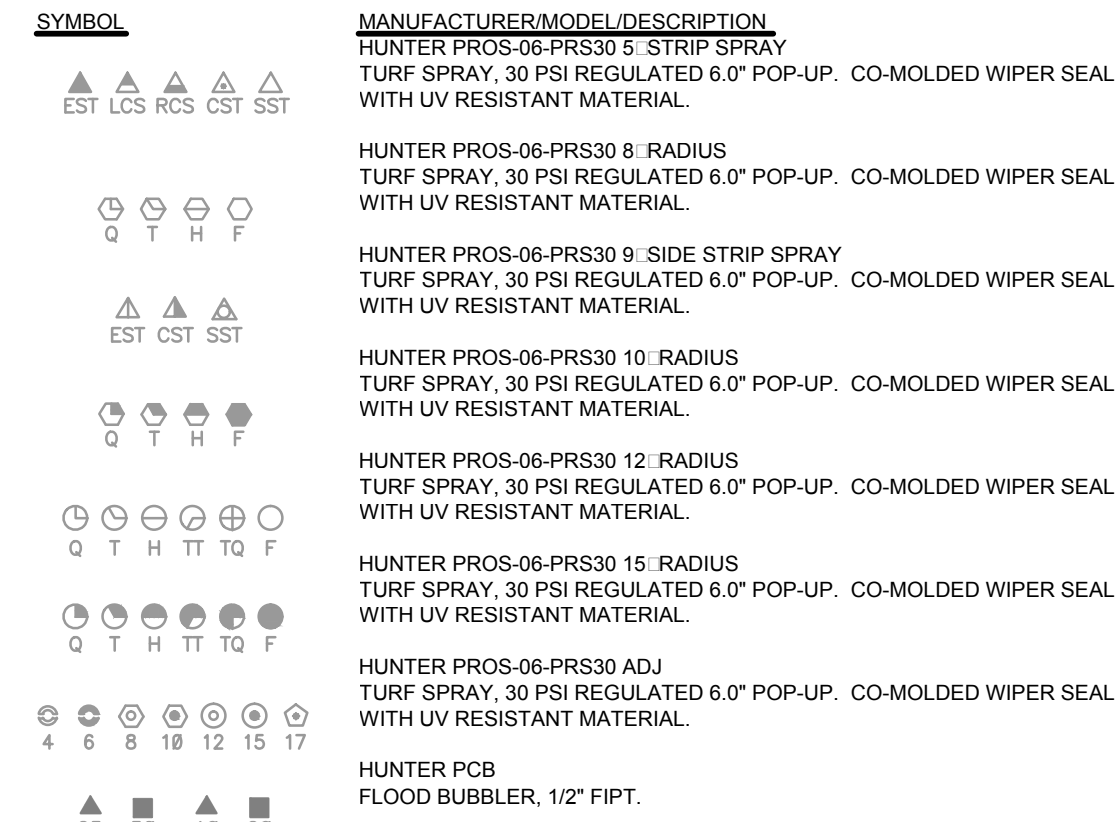
STANDARD LANDSCAPING SPECIFICATIONS:

- ALL TOPSOIL SHALL BE A MINIMUM 4" IN ALL SOD AREAS AND 8" IN TREE, SHRUB AND GROUND COVER BEDS, INCLUDING PARKING LOT ISLAND BEDS. IT SHALL BE APPROVED BY A WAWA CONSTRUCTION REPRESENTATIVE, PRIOR TO INSTALLATION.
- PLANTING BEHIND PERPENDICULAR PARKING IS TO BE LOCATED A MINIMUM OF 5' BEHIND THE CURB LINE.
- ALL LANDSCAPE AND GRASS AREAS ARE TO BE HAND RAKED AND LEFT CLEAR OF ALL STONES, ROCK, CONSTRUCTION DEBRIS AND ANY UNSUITABLE MATERIALS.
- ALL LANDSCAPE AND GRASS AREAS ARE TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM. (SEE IRRIGATION SPECIFICATION.)
- LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
- ALL AREAS TO BE LANDSCAPED OR COVERED WITH STONE MUST BE TREATED WITH A PRE-EMERGENCE HERBICIDE (SURFLAN, DACTAL OR APPROVED EQUAL) IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE REGULATIONS AND THE MANUFACTURER'S INSTRUCTIONS.
- ALL LANDSCAPE BEDS ARE TO BE DELINEATED WITH 5 1/2" ALUMINUM LANDSCAPE EDGING, STAKED AT 3' INTERVALS. ALUMINUM EDGING IS TO BE CLEANLINE 3/16" X 5 1/2" X 16" BY PERMALOC. (800-356-9660, WWW.PERMALOC.COM.) FOLLOW MANUFACTURER'S INSTALLATION DIRECTIONS
- LANDSCAPE CONTRACTOR TO SUPPLY AND INSTALL A PERVIOUS WEED BARRIER (DEWITT, DUPONT OR APPROVED EQUAL) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITHIN ALL LANDSCAPES, INCLUDING STONE AND MULCH BEDS. ALL WEED BARRIER WILL BE OVERLAPPED A MINIMUM OF 6" AT ALL SEAMS. AT PLANT LOCATIONS, BARRIER SHOULD BE CUT IN AN "X" PATTERN SO TO ACCOMMODATE ROOT BALL AND REPLACED AFTER PLANT HAS BEEN INSTALLED.
- WEED BARRIER SHALL NOT BE VISIBLE IN AREAS DESIGNATED FOR STONE MULCH. WHEN STONE IS CALLED FOR ADJACENT TO CURB OR SIDEWALKS, IT SHALL BE FEATHERED DOWN TO CURB LEVEL FROM A DISTANCE 24" FROM THE CURB.
- ALL PLANT MATERIAL INSTALLED SHALL MEET OR EXCEED "FLORIDA NO. 1" STANDARD.
- ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY. THEY ARE TO HAVE NORMAL VIGOROUS ROOT SYSTEMS, FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1
- ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE "AMERICAN ASSOCIATION OF NURSERYMEN" AND STATE NURSERY/ LANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUYING.
- ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMB AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR MATCHES, OR IS NO MORE THAN TWO (2) INCHES ABOVE, FINISHED GRADE. REPLACE AMENDED BACKFILL IN 6-INCH LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR-INCH HIGH EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING PIT. CONTRACTOR SHALL WATER NEWLY PLANTED VEGETATION PRIOR TO MULCHING PLANTING PIT. ALL VOIDS SHALL BE FILLED AND SETTLED MITIGATED AS REQUIRED. ALUMINUM EDGING SHALL BE INSTALLED AROUND ALL PLANTING AREAS TO DELINEATE BETWEEN DIFFERENT LANDSCAPE MATERIALS.
- AFTER INITIAL WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENT HERBICIDES AS REQUIRED TO ELIMINATE ANY WEED SEEDS OR PLANTS PRESENT ON ROOT BALL.
- ALL PLANTING BEDS AND PITS EXCEPT FOR LANDSCAPE ISLANDS ADJACENT TO THE BUILDING AND DESIGNATED AREA AT THE FUEL VENT STACKS, SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH AT A MINIMUM DEPTH OF 3". LANDSCAPE ISLANDS ADJACENT TO DESIGNATED AREA AT FUEL STACKS SHALL BE MULCHED WITH 1.5'-3" DIA. BROWN "RIVER ROCK".
- IN AREAS DESIGNATED AS SOD, THE SPECIFIED SOD SPECIES IS TO BE INSTALLED ON MINIMUM 4" TOPSOIL. AREAS TO BE SODDED ARE TO BE PREPARED AS NOTED ABOVE FOR SEEDBED AREAS.
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETENESS. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGH LOSS OF BRANCHES AND/OR FOLIAGE. LAWNS THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETENESS.
- ALL PLANT BEDS AND LANDSCAPE ISLANDS MUST BE FREE OF LIME ROCK, CONSTRUCTION DEBRIS, AND ANY IMPERVIOUS MATERIAL. EXCAVATION AND BACKFILLING MAY BE REQUIRED.





IRRIGATION SCHEDULE



GENERAL IRRIGATION NOTES:

1. IRRIGATION SYSTEM DESIGN REQUIREMENTS: 28 GPM / MINIMUM OF 90 PSI AT THE POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY THE AVAILABLE GPM AND PSI PRIOR TO INSTALLATION OF THE SYSTEM.
2. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM IF ANY OF THE FOLLOWING WHEN IT IS OBVIOUS IN THE FIELD THAT CONDITIONS EXIST THAT MIGHT NOT BE CONSIDERED IN THE DESIGN PROCESS, FOR EXAMPLE: OBSTRUCTIONS, GRADE DIFFERENCES, WATER LEVELS, DIMENSIONAL DIFFERENCES, ETC. REFER TO THE LANDSCAPE PLAN TO AVOID CONFLICTS WITH PROPOSED TREES OR SHRUBS.
3. PIPING MAY SOMETIMES BE INDICATED AS BEING LOCATED IN UNLIKELY AREAS: I.E. UNDER BUILDINGS OR PAVEMENT, OUTSIDE OF PROPERTY LINES, IN LAKE OR DITCHES, ETC. THIS IS DONE FOR GRAPHIC CLARITY ONLY. WHENEVER POSSIBLE, PIPING IS TO BE INSTALLED IN OPEN, GREEN AREAS.
4. IF REQUIRED, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE NECESSARY "RIGHT OF WAY" USE PERMITS.
5. PIPE SIZES SHALL CONFORM TO THOSE ON THE DRAWINGS, SUBSTITUTING WITH SMALLER PIPE SIZES WILL NOT BE PERMITTED.
6. MAINLINE IS TO BE INSTALLED WITH A MINIMUM OF 18" DEPTH OF COVER. LATERAL LINES ARE TO BE INSTALLED WITH A MINIMUM OF 12" DEPTH OF COVER.
7. UNLESS OTHERWISE INDICATED, ALL SLEEVES ARE TO BE PVC SCH 40 AND TWO (2) NOMINAL SIZES LARGER THAN THE PIPE TO BE SLEEVED. FOR EXISTING SLEEVES, USE PIPE SIZES 2" OR SMALLER. NO IRRIGATION SLEEVES SHALL BE SMALLER THAN 2".
8. WHEREVER PRACTICAL, INSTALL VALVES IN MULCHED BEDS AND/OR OUT OF HIGH TRAFFIC AREAS. ALL VALVES, FLUSH VALVES AND WIRE SPLICES SHALL BE INSTALLED IN RAIN BIRD WIDE FLANGED, STRUCTURAL FOAM "PLASTIC" VALVES BOXES AS FOLLOWS:
- REMOTE CONTROL VALVES
ISOLATION GATE VALVES
WIRE SPLICES
DIPRIZ ZONE VALVE / FILTER ASSY
- #VB-STD (18"xW 21"x L 12") STD. RECT. BOX
#VB-TRND (9"DIA. X 9"H) 7" ROUND BOX
#VB-18RD (10"DIA. X 10"H) 10" ROUND BOX
#VB-SPR (23"x W 33"x L 15") SUPER JUMBO RECT. BOX
9. REFER TO VALVE DESIGNATION SYMBOLS FOR CONTROLLER, STATION NUMBER AND DESIGNED FLOW RATE FOR EACH REMOTE CONTROL VALVE. ALL 24 VOLT CONTROL CABLE TO BE UL LISTED, SINGLE STRAND, TYPE 600 VOLT CONTROL CABLE. SIZE AND COLOR AS FOLLOWS:
- COMMON WIRES
HOT WIRES
SPARE WIRES
- SIZE AWG #14 OR LARGER AND WHITE IN COLOR.
-SIZE AWG #16 OR LARGER AND RED IN COLOR.
-SIZE AWG #16 OR LARGER AND BLUE IN COLOR.
11. SPLICES TO THE 24 VOLT CONTROL WIRING SHALL BE MADE WITH RAIN BIRD #DBTWC 24-600 VOLT, DIRECT BURY SPICE KITS.
12. ALL CONTROL VALVE WIRES SHALL BE BUNDLED AND TAPED TOGETHER AT 20' INTERVALS AND PLACED ALONG THE SIDE OF THE MAINLINE PIPE.
13. ALL POP-UP SPRINKLER HEADS SHALL BE INSTALLED LEVEL AND FLUSH TO GRADE. MOUNT ALL SPRINKLERS ON FLEXIBLE CONNECTIONS AS FOLLOWS:
- 12" INLET SPRAY HEADS
3/4" INLET ROTOR HEADS
- 18" OF HEAVY WALL PVC IPS HOSE
18" OF HEAVY WALL PVC IPS HOSE
14. THE TOPS OF ALL SHRUB SPRINKLERS SHALL BE INSTALLED 12" ABOVE THE HEIGHT OF THE SURROUNDING PLANT MATERIAL. FOR PLANT HEIGHTS OF 12" OR MORE, SUPPORT THE RISER WITH A #5 REBAR STAKE AND NYLON CABLE TIE. ALL RISERS SHALL BE BUNDLED A MINIMUM OF 12" FROM ANY SIDEWALK, EDGE OF PAVEMENT OR STRUCTURE.
15. LOCATION OF ALL SPRINKLER HEADS SHALL BE SITE ADJUSTED TO MINIMIZE WATER OVERTHROW ONTO BUILDING SURFACES AND WALKWAYS. THROTTLE VALVES ON SPRAY ZONES AS REQUIRED TO PREVENT FOGGING.
16. INSTALL TUBING AT GRADE AND COVER WITH MULCH. TYPICAL SPACING FOR DRIP TUBING IS 18" TO 24" ON CENTER, SPACING TO BE DETERMINED BY PLANT LAYOUT. REFER TO SCHEDULING PLAN, ANCHOR TUBING EVERY 7' WITH 8" LONG WIRE TUBING STAKES. INSTALL FLUSH-VALVE ASSEMBLIES AT ALL TUBING "DEAD ENDS".
17. EXACT CONTROLLER LOCATION(S) SHALL BE COORDINATED WITH AN OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. UNLESS OTHERWISE STATED, THE GENERAL CONTRACTOR SHALL PROVIDE 110 VOLT POWER TO THE CONTROLLER LOCATION(S). THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE CONNECTION FROM THE POWER SOURCE TO THE CONTROLLER(S).
18. AT EACH IRRIGATION CONTROLLER, INSTALL A "SECONDARY SURGE ARRESTER" TO THE INCOMING (120 VOLT) POWER SUPPLY (INTERMATIC #AG2401 OR EQUAL).
19. AT EACH IRRIGATION CONTROLLER, INSTALL AN "SUPPLEMENTARY EARTH GROUND GRID" WITH A MINIMUM OF TWO (2) 4" X 6" GROUNDING PLATES. TEST THE RESISTANCE TO EARTH PER NFPA STANDARD #780. A ACCEPTABLE EARTH GROUND SHOULD HAVE 15 OHMS OR LESS RESISTANCE. USE MORE PLATES OR GROUNDING RODS AS NEEDED TO ACHIEVE THE DESIRED RESISTANCE READING.
20. A RAIN SWITCH SHALL BE CONNECTED TO THE IRRIGATION CONTROLLER. THE SWITCH SHALL BE INSTALLED TO MEET LOCAL CODES AND/OR MINIMUM MANUFACTURER'S RECOMMENDATIONS. OBSTRUCTIONS, VANDALISM AND EASE OF SERVICE SHALL BE CONSIDERED IN LOCATING THE DEVICE.
21. THE IRRIGATION CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON REPRODUCIBLE PAPER DETAILING THE ACTUAL INSTALLATION OF THE IRRIGATION SYSTEM. THE AS-BUILT DRAWINGS SHALL LOCATE ALL MAIN LINE PIPING, CONTROL WIRES, WIRE SPLICES, SLEEVES AND VALVES BY SHOWING EXACT MEASUREMENTS FROM PERMANENT FEATURES (BUILDINGS, EDGE OF PAVEMENT, POWER POLES, FIRE HYDRANTS, ETC.). INCLUDE DEPTH OF COVER ON MAINLINE AND SLEEVES.

[illegible]



| | |
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| DATE | 09/06/18 |
| PROJECT NO. | . |
| SHEET NUMBER | LA-4 |