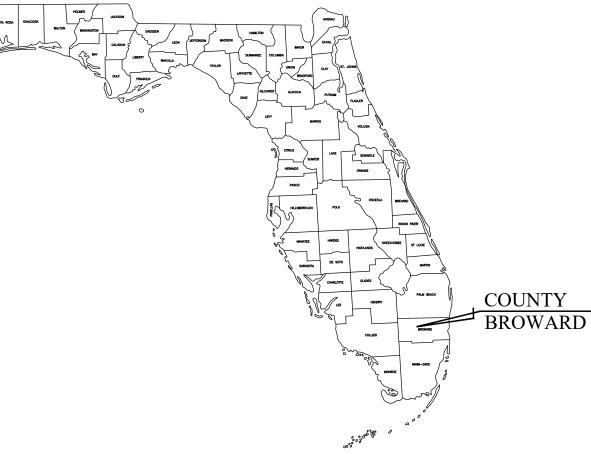
SITE PLAN/ SPECIAL EXCEPTION APPLICATION FOR CLUTCH COFFEE FOLIO #484231150016 5300 COCONUT CREEK PKWY. MARGATE, FLORIDA 33083



PROJECT LOCATION

PROJECT CONTACTS:

<u>OWNER:</u> CLUTCH COFFEE EXPANSION, LLC 112 DAVENTRY PLACE MOORESVILLE, NC 28117 (541) 643-1144 CONTACT: DARREN SPICER

ARCHITECT: PRISM ARCHITECTURE 100 SE 3RD AVE., FORT LAUDERDALE, FL 33394 (561) 719-4224 CONTACT: MICHAEL GARRISON

ENGINEER OF RECORD: DYNAMIC ENGINEERING CONSULTANTS, P.C. 100 NE 5TH AVE, SUITE B2 DELRAY BEACH, FL 33483 (561) 921-8570 CONTACT: MICHAEL D. MILES, P.E.

LANDSCAPE ARCHITECT: SCOTT BARBER DESIGNS, PA. 1551 WYNDCLIFF DR. WELLINGTON, FL 33414 (561) 309-7263 CONTACT: SCOTT BARBER

<u>SURVEYOR:</u> PULICE LAND SURVERYORS, INC. 5381 NOB HILL RD. SUNRISE, FL 33351 (954) 572-1777 CONTACT: JOHN F. PULICE

TRAFFIC ENGINEER: KBP CONSULTING, INC. 8400 N UNIVERSITY DR, STE. 309, TAMARAC, FL 33321 (954) 560-7103 CONTACT: KARL B. PETERSON, P.E. LAND USE ATTORNEY: DUNAY, MISKEL & BACKMAN, LLP 14 SE 4TH ST, STE. 36, BOCA RATON, FL 33432 (561) 405-3350 CONTACT: MATTHEW H. SCOTT

AGENCY CONTACTS:

PLANNING AND ZONING: THE CITY OF MARGATE 901 NW 66TH AVE MARGATE, FL 33063 (954) 979-6213 CONTACT: ANDREW PINNEY

PLANNING AND ZONING: THE CITY OF MARGATE 901 NW 66TH AVE MARGATE, FL 33063 (954) 884-3685 CONTACT: ALEXIA HOWALD

<u>FIRE_RESCUE:</u> CITY_OF_MARGATE 1811 BANKS RD. MARGATE, FL 33063 (954) 971-7010 CONTACT: ROBERTO LORENZO

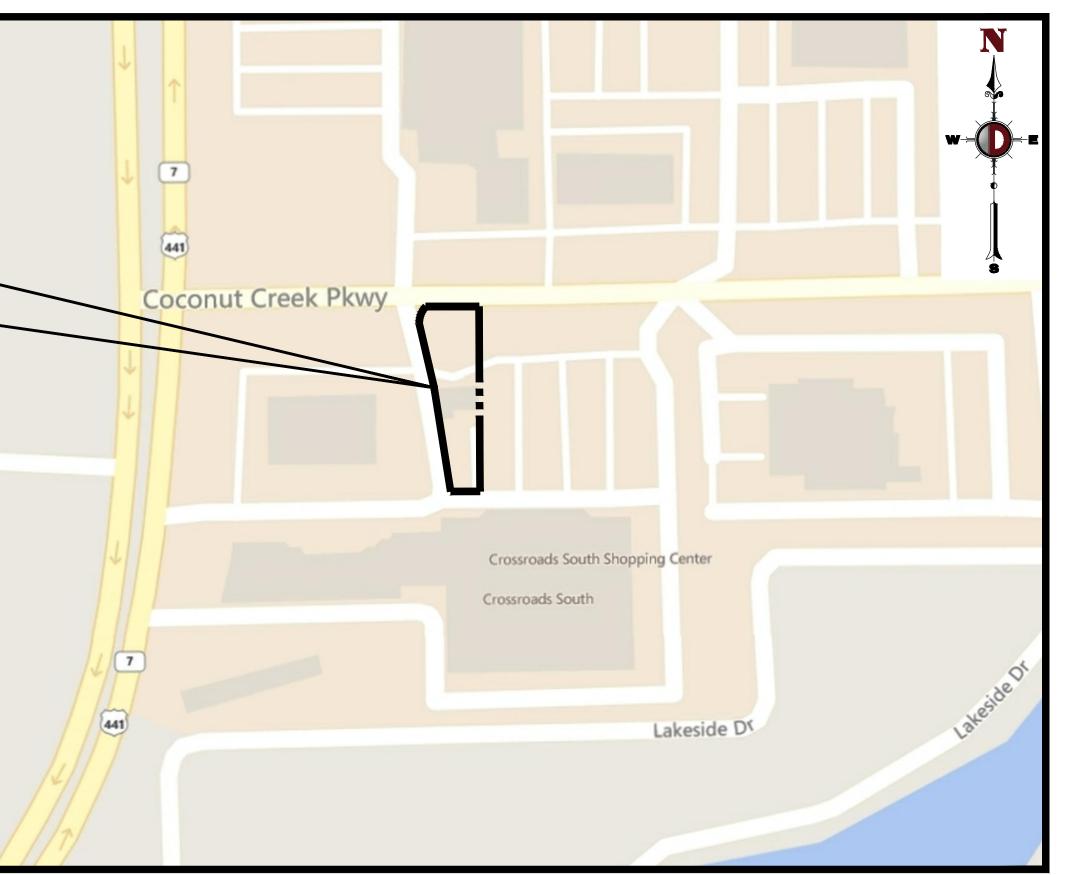
<u>UTILITIES:</u> CITY OF MARGATE UTILITIES DIVISION 901 NW 66TH AVE MARGATE, FL 33063 (954) 884-3666 CONTACT: DANIELLA CARVAJAL

CABLE UTILITIES: COMCAST 2601 SW 145TH AVE MARGATE, FL 33027 (754) 221-1254 CONTACT: LEONARD MAXWELL-NEWBOLD

ELECTRIC UTILITIES: FLORIDA POWER & LIGHT 3951 POWERLINE ROAD, POMPANO BEACH, FL 33073 (386) 586-6403 CONTACT: JOEL BRAY



PREPARED FOR: CLUTCH COFFEE EXPANSION, LLC MAY 2020



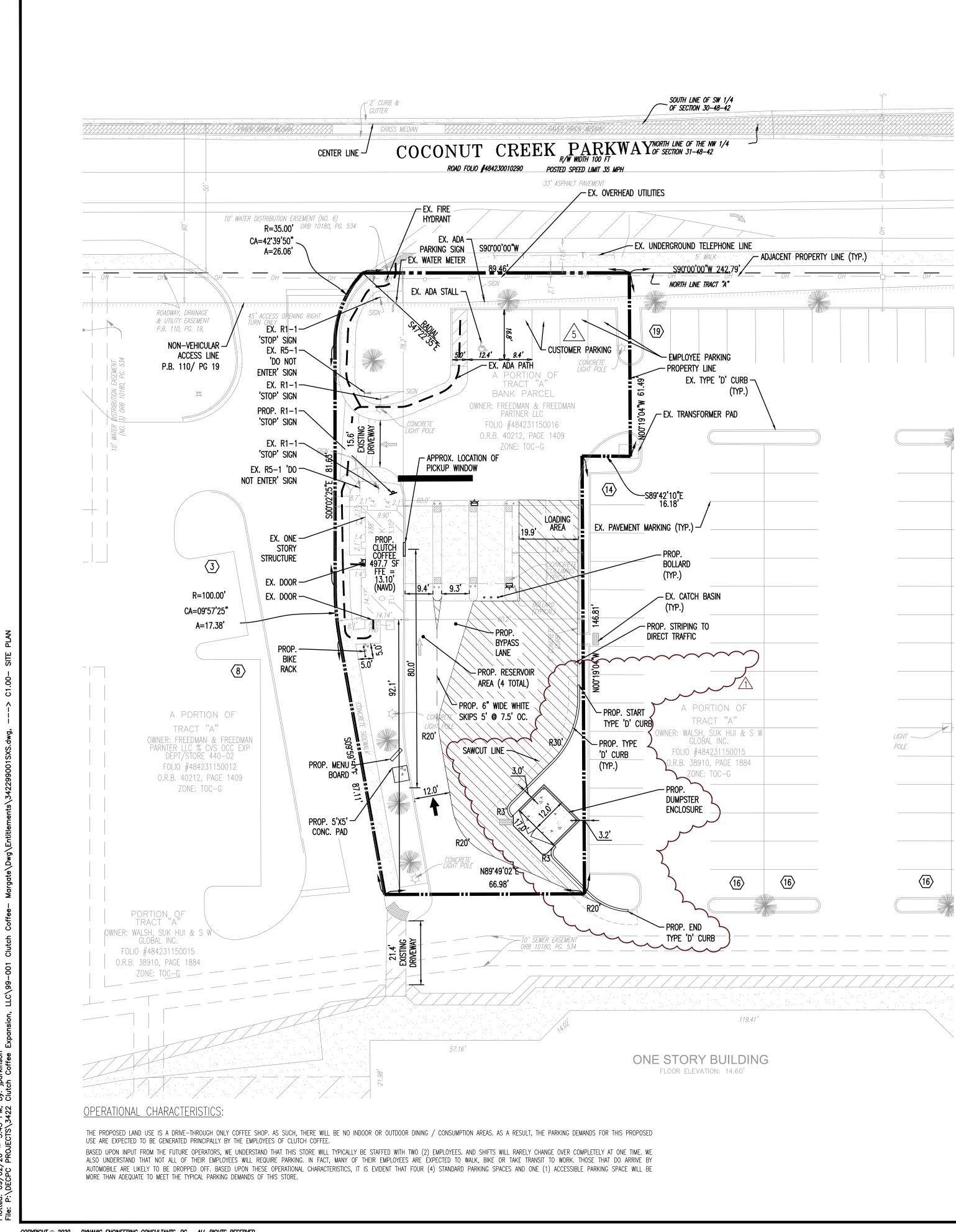
VICINITY MAP SCALE: NOT TO SCALE SECTION 30, TOWNSHIP 48S, RANGE 42E

PREPARED BY DYNAMIC ENGINEERING CONSULTANTS, P.C. 100 N.E. 5TH AVENUE - SUITE B2 DELRAY BEACH, FLORIDA 33483 WWW.DYNAMICEC.COM

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SHEET No:											

	DRAWING INDEX						
C0.00	COVER SHEET						
<u>C100</u>	SITE PLAN						
C1.01	LOADING TRUCK ROUTE PLAN						
C2.00	DEMOLITION AND EROSION CONTROL PLAN						
C3.00	PAVING, GRADING AND DRAINAGE PLAN						
<u></u> C4.00	CONSTRUCTION DETAILS						
C4.01	CONSTRUCTION DETAILS						
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L1.00	LANDSCAPE PLAN						
L1.01	LANDSCAPE DETAILS						
L2.00	IRRIGATION PLAN						
L2.01	IRRIGATION DETAILS						
	SHEETS BY OTHERS						
1 OF 4	EXISTING & DEMOLITION PLAN						
2 OF 4	PROPOSED FLOOR PLAN						
3 OF 4	ARCHITECTURAL ELEVATIONS						
4 OF 4	ARCHITECTURAL ELEVATIONS						
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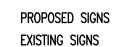


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	OVERALL SI	TE DAT
SITE AREA COMMERCIAL:	338,746 SF (7.7	77 AC)
ZONING DISTRICT:	TOC-G	
ITEMS:	REQUIRED:	
MIN. LOT SIZE	100' FRONTAG	ĴΕ
	10,000 SF	
MAX. HEIGHT	100'	
CLUTCH COFFEE AREA TABULATION DATA:	SF	AC
BUILDING	497.70	0.01
PAVING/SIDEWALKS	13,132.57	0.30
LANDSCAPE/OPEN SPACE	3,812.73	0.09
TOTALAREA	17,443.00	-0.40
CROSSROADS SHOPPING CENTER AREA	·	
TABULATION DATA:	SF	AC
	94,212.00	2.16
PAVING/SIDEWALKS	203,428.00	4.67
LANDSCAPE/OPEN SPACE	41,468.00	0.94
TOTALAREA	<u>~338,746.00</u>	~7.77
PARKING ANALYSIS:	STREET ADDRE	
CVS PHARMACY	1200 FL-7	14,0
PROPOSED DRIVE-THROUGH COFFEE	5300*	448
DOLLAR GENERAL	5000*	59,1
VACANT	5100*	4,97
VACANT	5130*	2,45
ORIENTAL MASSAGE & SPA	5140*	1,35
MANNINO'S PIZZA RESTAURANT	5150*	1,20
ROSANAS HAIR BOTOX CENTER	5160*	1,34
PAS	5170*	900
DR. GOMEZ DDS	5180*	1,10
MEXICAN RESTARUANT AND BAR	5190*	1,35
VACANT	5200*	1,55
VACANT	5220*	1,55
VACANT	5230*	4,00
	TALS:	95,4
TOTAL PARKING PROVIDED:	STANDARD	320
	ADA	8
		0
	OTAL:	328

LEGEND:







PROPOSED WHITE PAINTED THROUGH LANE-USE ARROW IN DRIVE AISLES PER FDOT INDEX 711-001.

PROPOSED 24" WHITE PAINTED STOP BAR

PROPOSED YELLOW 8" WIDE 45' 4' O.C. PER MUTCD 3B.24.05



EXISTING SIDEWALK

EXISTING DIRECTIONAL ARROW

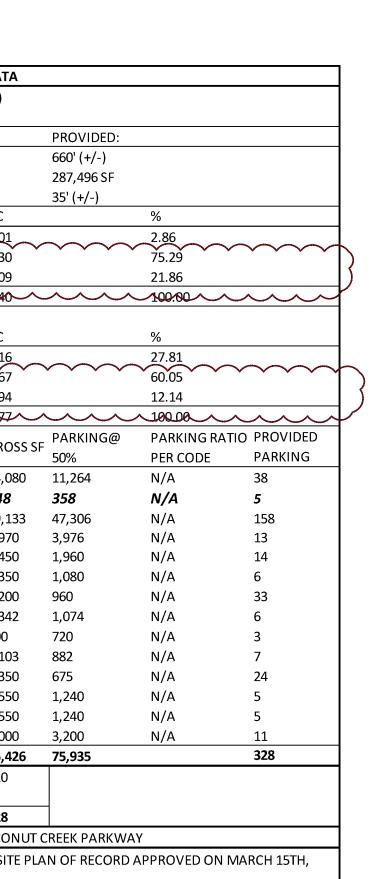


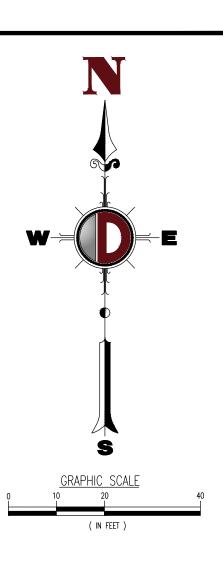
PROPOSED CONCRETE PAD

(16)

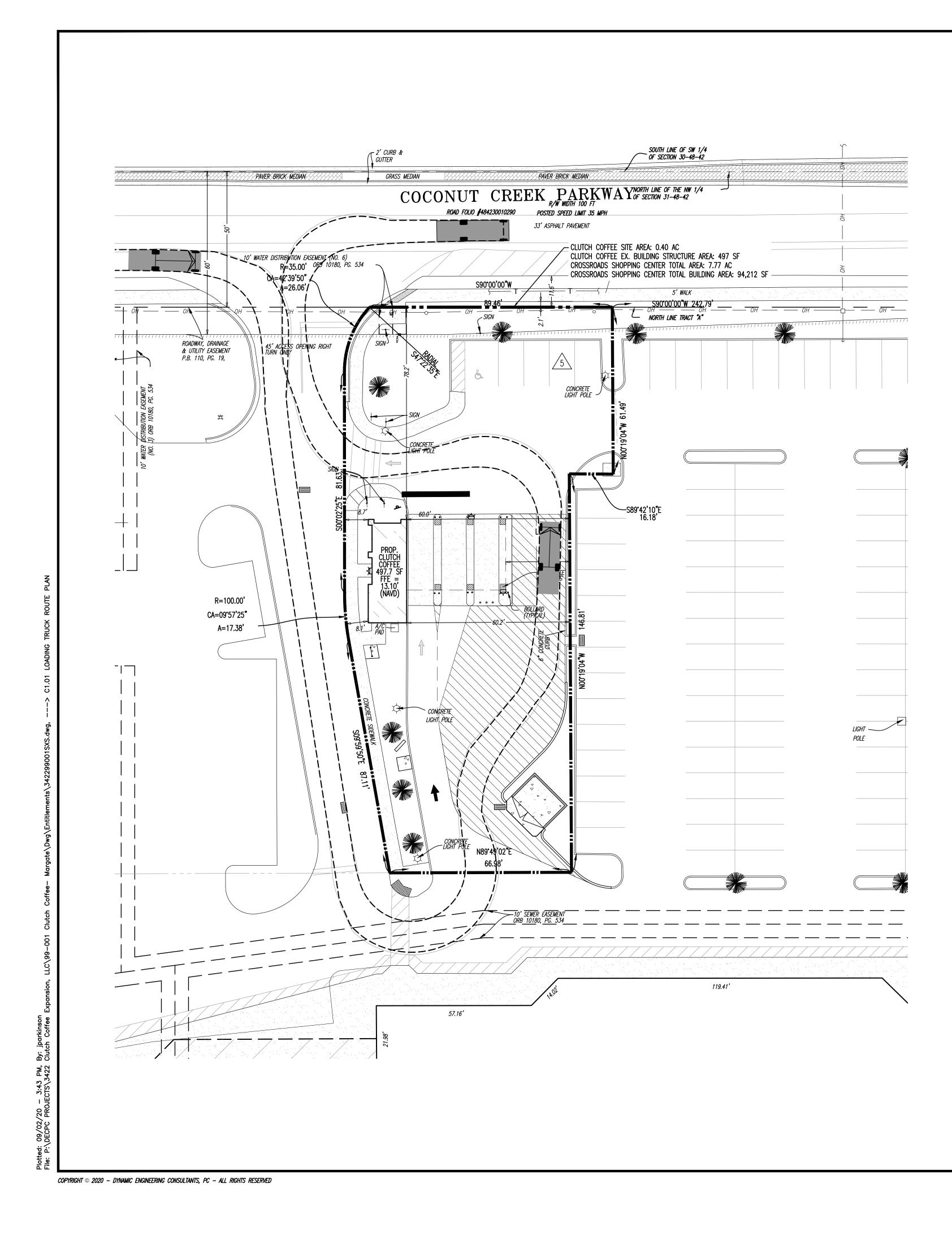
PARKING COUNT (ONSITE)

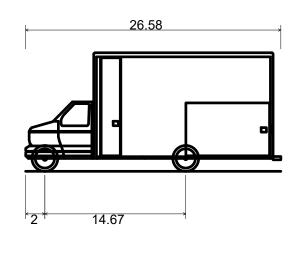
PARKING COUNT (OFFSITE)





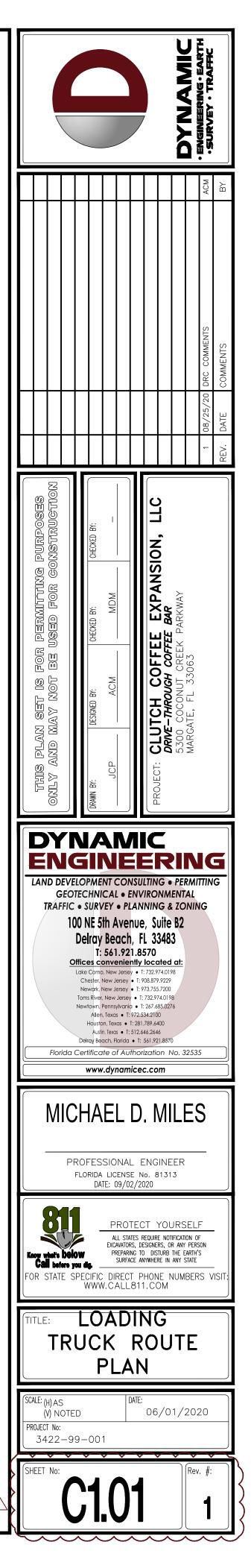
	DYNAMIC SURVEY - TRAFFIC													
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	THIS PLAN SET IS FOR PERMITTING PURPOSES	ONLY AND MAY NOT BE USED FOR CONSTRUCTION			DRAWN BY: DESIGNED BY: CHECKED BY: CHECKED BY:	JCP ACM MDM -			PROFECT CILITCH COFFEE FYPANSION I	DRIVE-THROUGH COFFEE BAR	5300 COCONUT CREEK PARKWAY	MARGATE, FL 33063		
		RAF	FIC 1(<u>م</u>	• S)0 N Del ffice Lake Ch New New Lake Cert	es co Comc ester, 1 wark, 1 wark, 1 s River, town, 1 Allen Houstc	(EY th A Be 561 561 500 561 500 561 500 561 500 561 500 561 500 561 500 561 500 561 500 561 500 561 500 500 500 500 500 500 500 500 500 50	Pl Ve ach ach Jerse rersey versey Jerse s • T: as • s s • T: f Au	AN NUE 1, F 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.1 1.8 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1	e, Si L 3. 570 1000000	G 8 uite 348 348 348 348 348 348 348 348	8 ZC B2 3 1 at: 278 8 76	ININ		
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FLORIDA LICENSE No. 81313 DATE: 09/02/2020 PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM														
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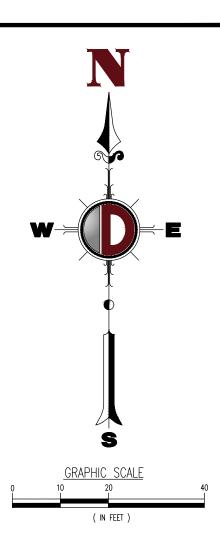




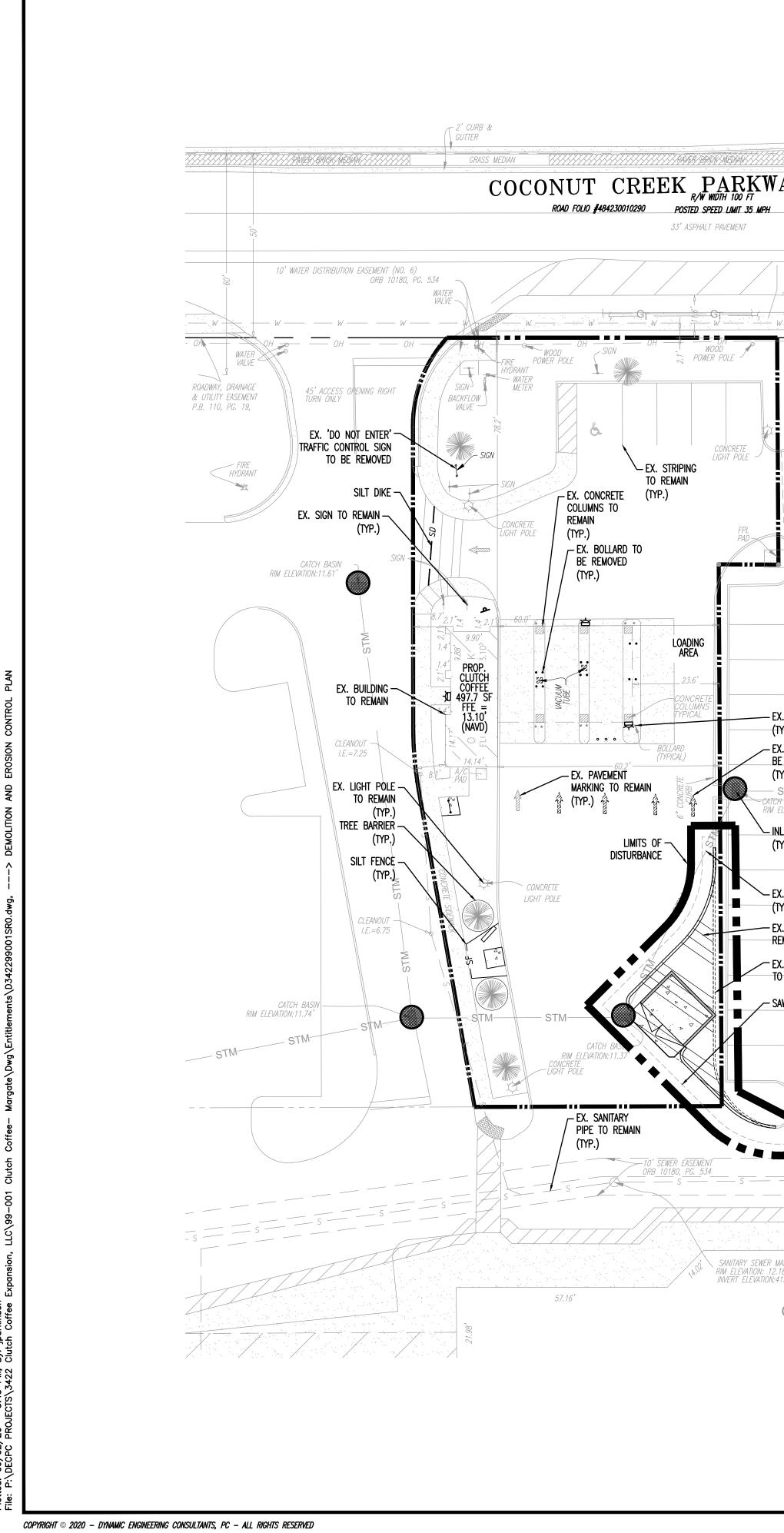
20 FT UHAUL Overall Length Overall Width Overall Body Height Min Body Ground Clearance Track Width Lock-to-lock time Max Steering Angle (Virtual)

LOADING TRUCK









PH			H0 H0	
	<u>WALK</u> W	W	 CONCR	VHATER MAIN
– EX. BOLLARD TO REMA – (TYP.) – EX. PAVEMENT MARKING BE_REMOVED (TYP.) 24" PIPE (TYP.) 24" PIPE STM STM STM CATCH BASIN RIM ELEVATION:11.42'	g to	STM	 STM	
 RIM ELEVATION: 11.42' INLET_PROTECTION (TYP.) EX. STM PIPE TO REM/ (TYP.) EX. PAVEMENT TO BE REMOVED 			LIGHT POLE	
- Ex. 84 lf type 'd' ci to b e removed - Sawcut line	URB			
			 <u> </u>	

ONE STORY BUILDING FLOOR ELEVATION: 14.60'

<u>DEMOLITION NOTES:</u>

- 1. ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- 2. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL, RELOCATION, AND PROTECTION INFORMATION. ANY AREAS FOR LANDSCAPING SHALL HAVE ALL BASE AND SUBGRADE MATERIAL REMOVED TO A DEPTH OF 3 FEET.
- 3. ALL VALVE BOXES, MANHOLES, CATCH BASINS, AND OTHER ITEMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
- 4. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FORM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
- 5. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
- 6. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION AND DEWATERING PERMITS, IF APPLICABLE.
- 7. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE.
- 8. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
- 9. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL. 10. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- 11. ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
- 12. WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS. CONTRACTOR SHALL REPLACE DAMAGED STRUCTURES AT THEIR EXPENSE.
- 13. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. AS APPROVED BY THE CITY OF PALM BEACH GARDENS AND CONSTRUCTION MANAGER.
- 14. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES AND CONSTRUCTION OF NEW FACILITIES. SIGNAGE SHALL BE POSTED TO DIRECT THE PUBLIC TO THE PATH OF TRAVEL.
- 15. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.

EROSION CONTROL NOTES:

- 1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
- 2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- 3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- 4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- 5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
- 6. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- 9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
- CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
- 12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- 13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
- 15. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
- 16. CONTRACTOR MUST INCORPORATE MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
- 17. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
- 18. NOI SHALL BE POSTED ON SITE.
- 19. DEWATERING ACTIVITIES:

a. DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS. b. CONTRACTOR MUST HAVE A TRANSFERABLE SFWMD DEWATERING PERMIT. C. NO HYDRAULIC PUMPS MAY BE USED FOR DEWATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA.

PHASING NOTES:

1. CONTRACTOR MAY PHASE EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH SITE CONSTRUCTION PHASING.

- 2. CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION AREA IS SEPARATED FROM THE AREA NOT UNDER CONSTRUCTION WITH A TEMPORARY CHAIN LINK FENCE AND ENSURE THE SAFETY OF THE PUBLIC.
- 3. CONTRACTOR SHALL PROVIDE SWPPP AS REQUIRED FOR THE PROPOSED PAVING, GRADING AND DRAINAGE PLAN. SEE ATTACHED DETAILS AS NECESSARY.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR	TO COMPL	ete table	e with sf	PECIFIC P	ROJECT S	SHEDULE																		
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION ENTRANCE																								
TEMPORARY CONTROL MEASURES																								
STRIP & STOCKPILE TOPSOIL																								
ROUGH GRADE																								
STORM FACILITIES																								

LEGEND:

LIMITS OF EXISTING SITE FEATURES TO BE REMOVED

- TREE BARRIER
- SILT FENCE
- ______ *SD* ______ SILT DIKE

EXISTING CURB TO BE REMOVED

INLET PROTECTION

- EXISTING PAVEMENT TO BE REMOVED
- LIMITS OF DISTURBANCE

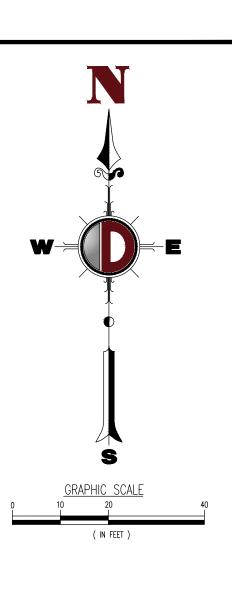
7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.

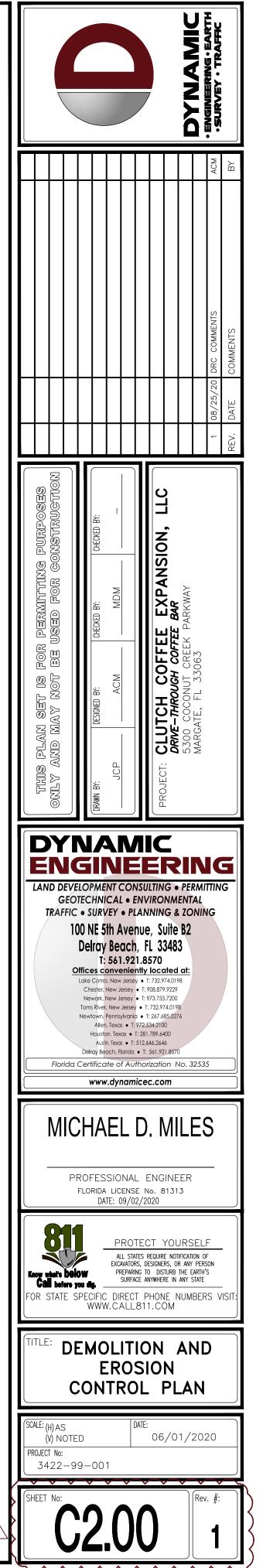
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE

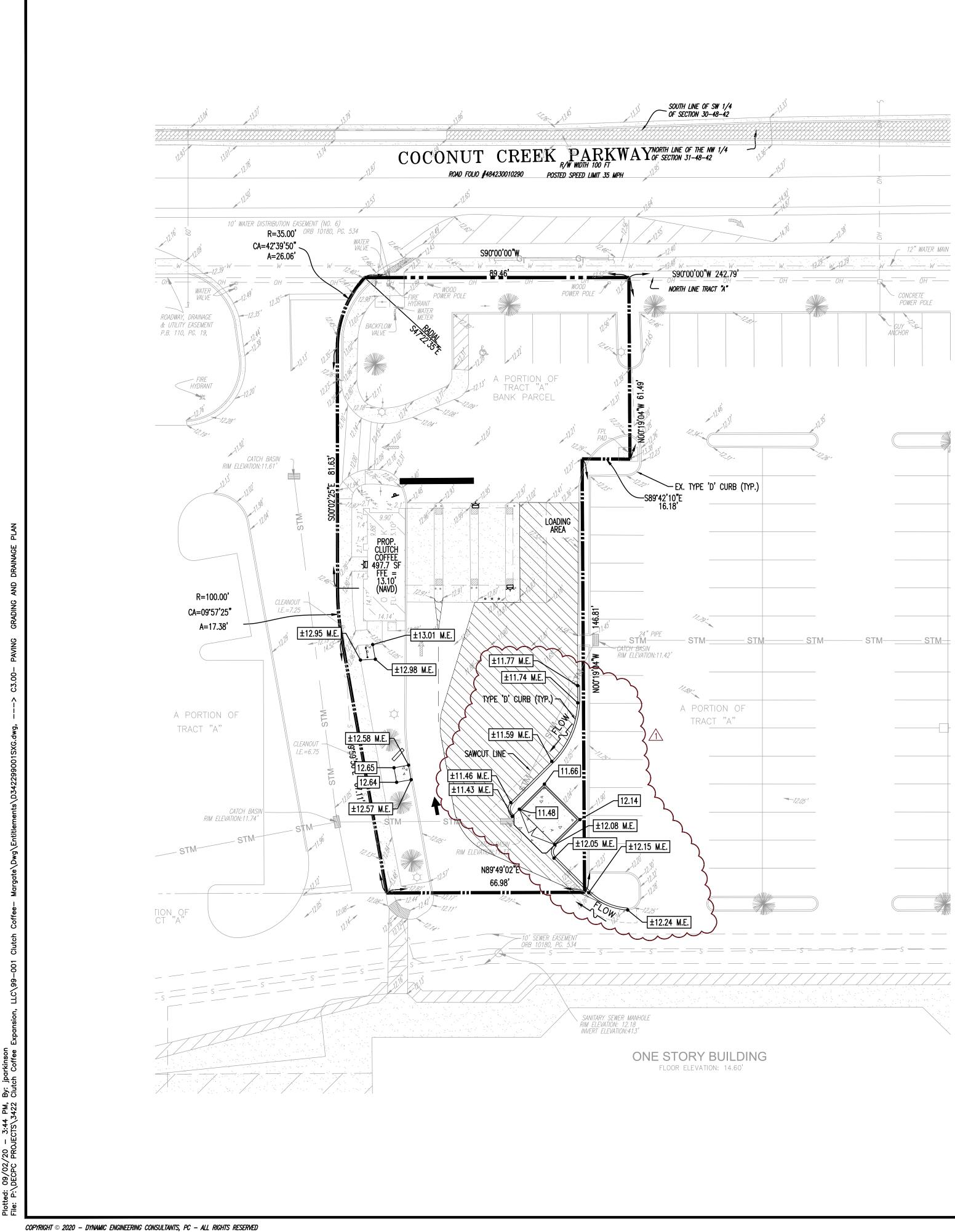
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT

11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE

14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND COUNTY PERMITS.







PAVING, GRADING & DRAINAGE NOTES:

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN PUBLIC RIGHT—OF—WAY SHALL BE IN ACCORDANCE WITH LOCAL, COUNTY OR FDOT REQUIREMENTS.
- 2. ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. '88).
- 3. THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0%. THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 1V:12H (8.3%). ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2.0% IN ANY DIRECTION (INCLUDING DIAGONAL).
- 4. ALL RAMPS SHALL COMPLY WITH FDOT INDEX 522.
- 5. CONTRACTOR SHALL CLEAN ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AND PIPES UPON COMPLETION OF CONSTRUCTION.
- 6. PROPOSED ELEVATIONS OF CURB REPRESENT TOP OF CURB ELEVATIONS UNLESS OTHERWISE NOTED.
- 7. ALL STRIPING IS TO BE PAINTED IN ACCORDANCE WITH FDOT REQUIREMENTS UNLESS OTHERWISE NOTED.
- 8. ALL PAVEMENT MARKING AND STRIPING, EXCLUDING PARKING STALL STRIPING, SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS.

<u>LEGEND:</u>



12.14

±11.74 M.E.

EXISTING CONCRETE SIDEWALK & PAVEMENT SECTIONS

PROPOSED CONCRETE SIDEWALK & PAVEMENT SECTIONS

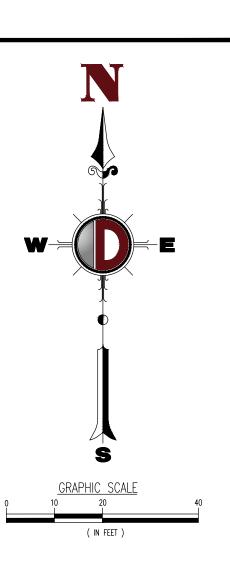
PROPOSED GRADES

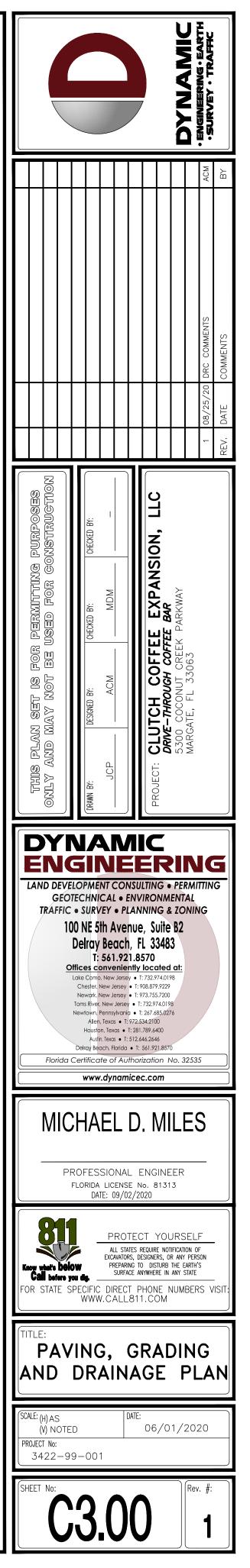
MATCH EXISTING GRADES @ TOP OF CURB

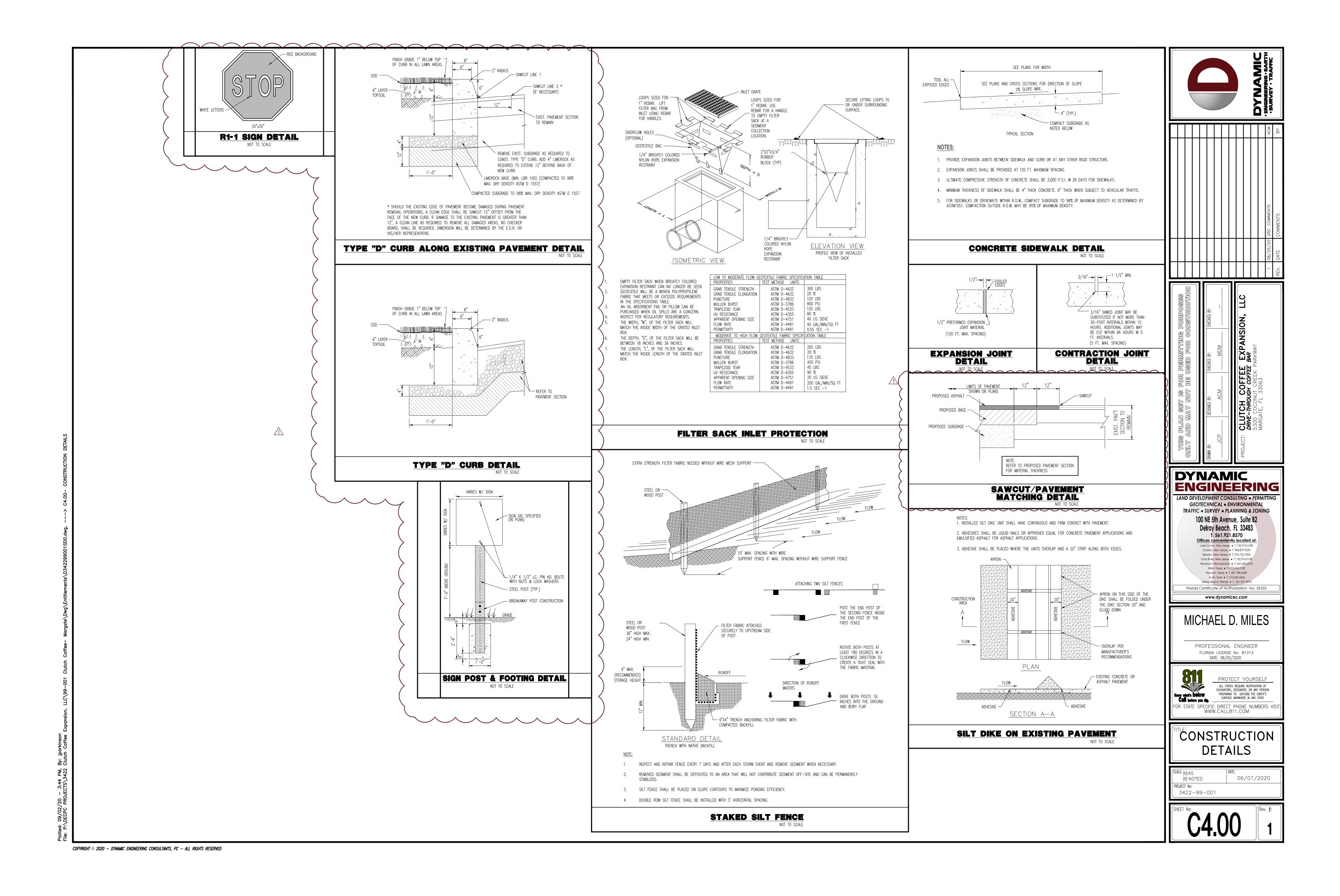
EXISTING GRADES

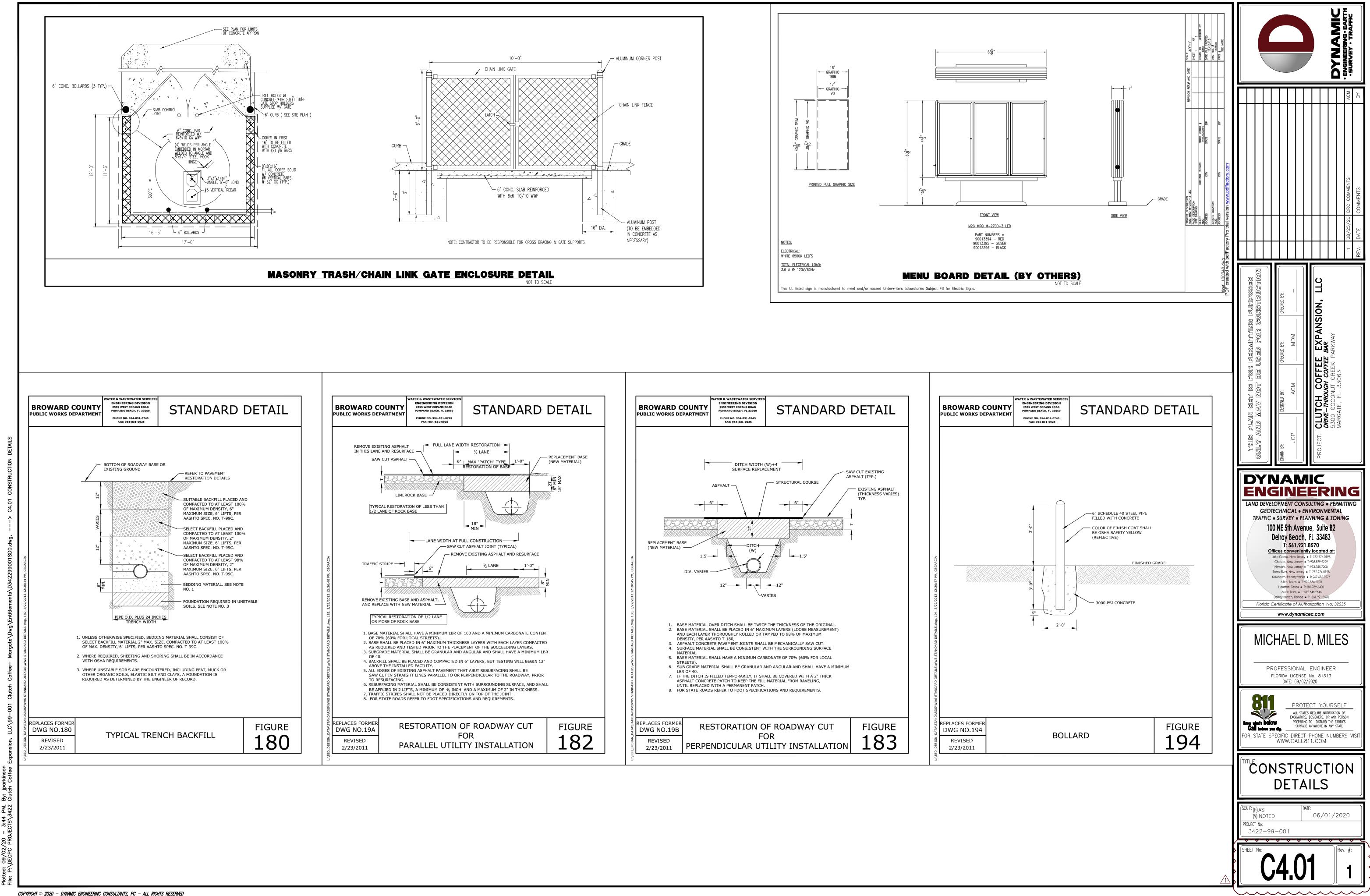
FLOW

DIRECTION OF FLOW

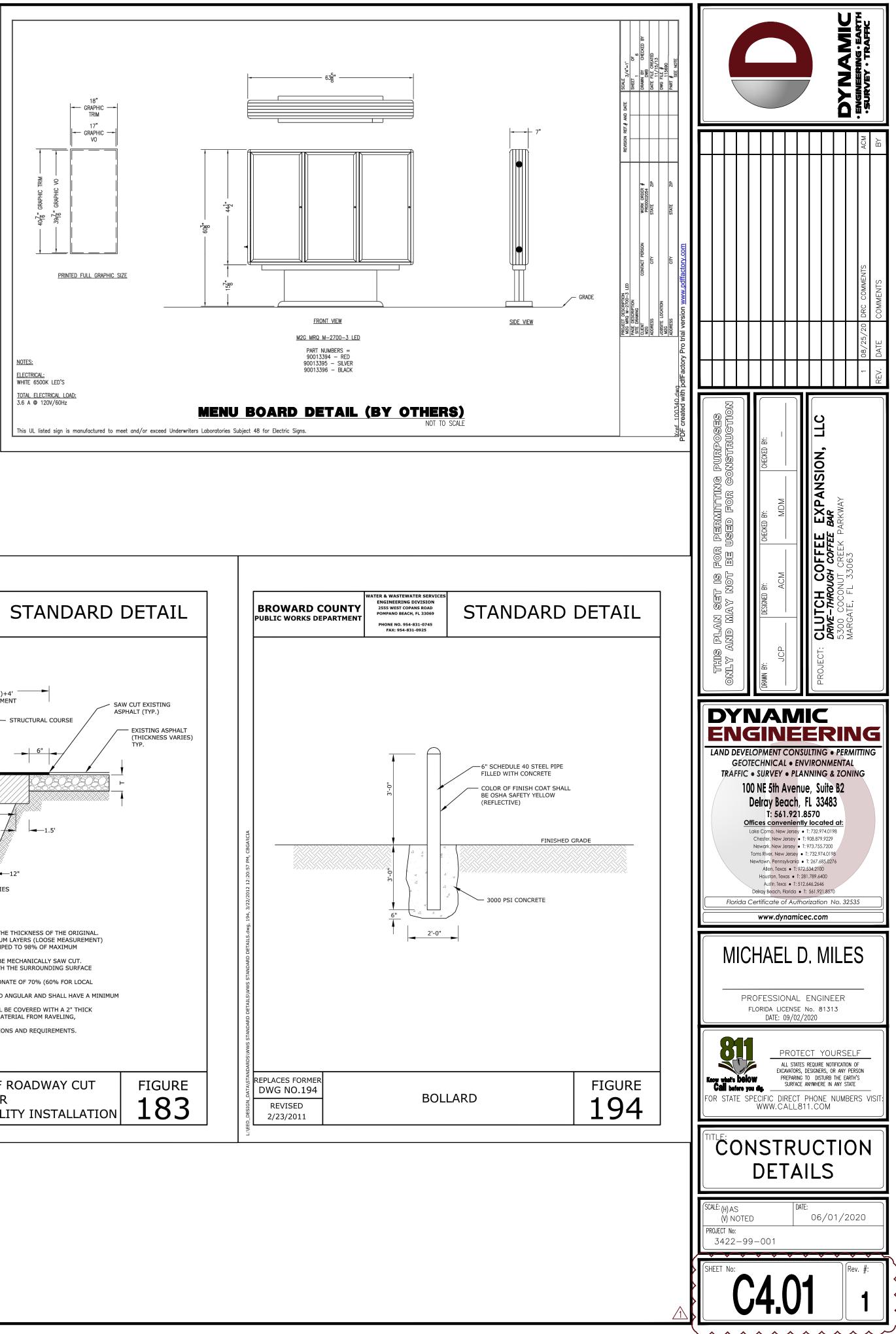


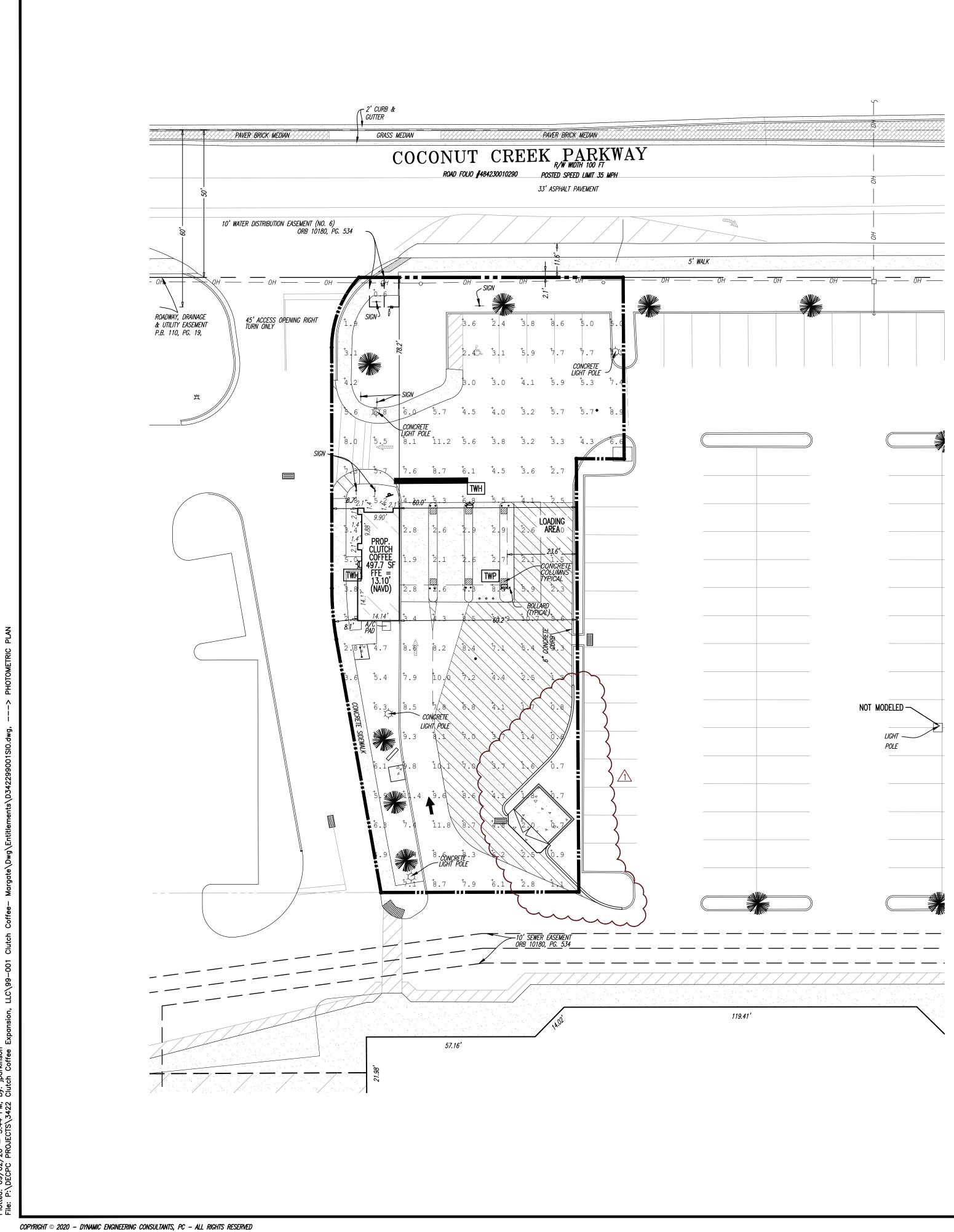






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STATISTICAL AREA SUMMARY									
LABEL	CALC. TYPE	UNITS	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.		
PIQ	ILLUMINANCE	FC	5.15	11.9	0.6	8.58	19.83		

GENERAL NOTES

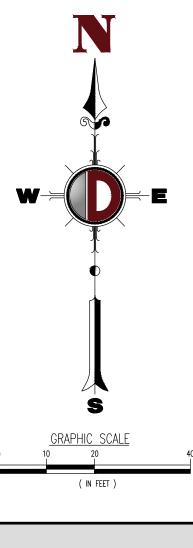
- 1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS. 2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- 3. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.

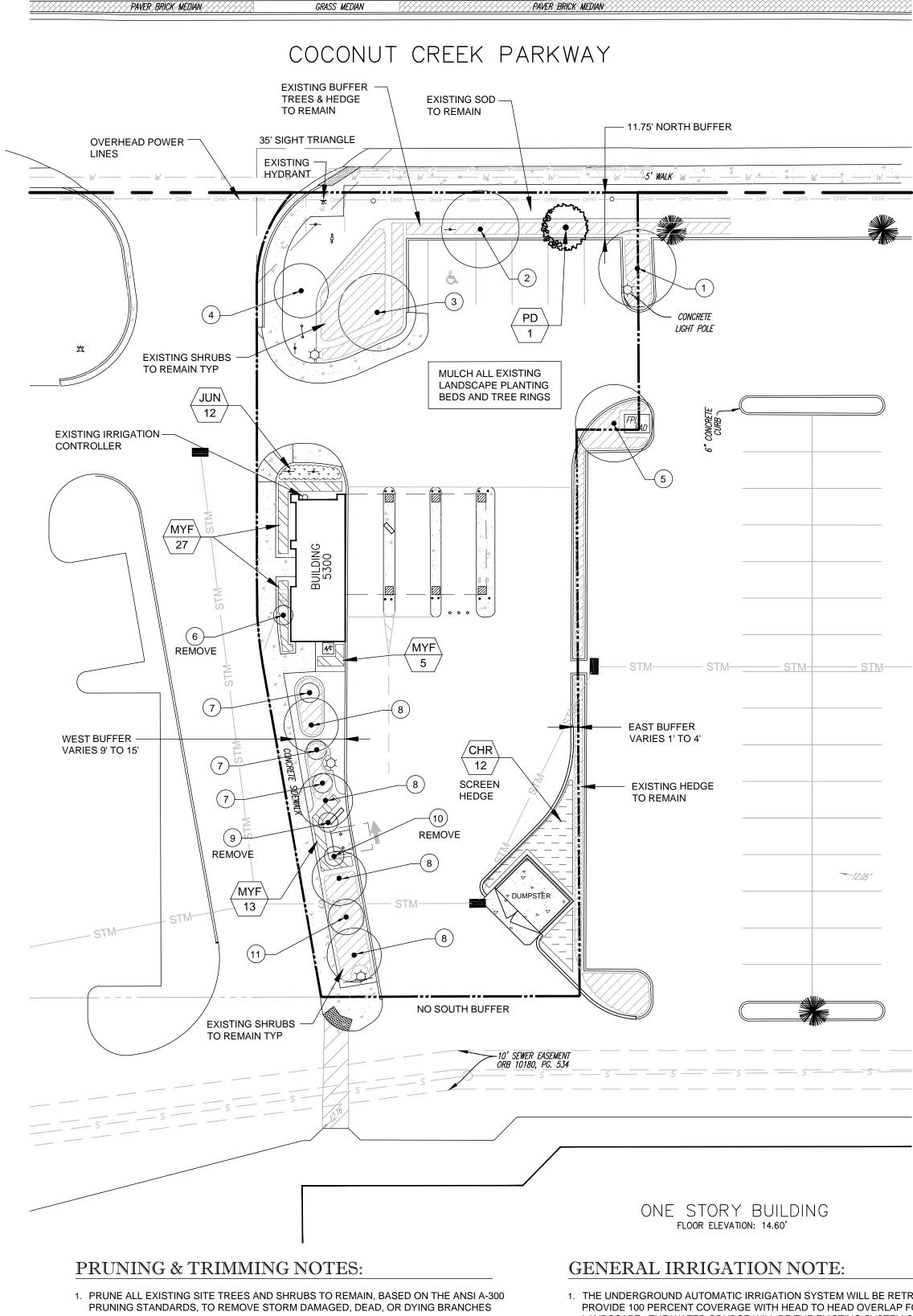
4. LIGHTING LEVELS HAVE BEEN CALCULATED USING AGi32-19.3.

5. REFER TO MEP FOR POWER/CONDUIT ROUTING PLAN.

	LIGHTING LUMINAIRE SCHEDULE									
SYMBOL	QUANTITY	LABEL	Mounting Height	ARRANGEMENT	LIGHT LOSS FACTOR	TOTAL LAMP LUMENS	DESCRIPTION	IES FILE		
¢	4	MS2A	25'	SINGLE	1.00	39000	EXISTING HOLOPHANE METAL HALIDE MIRROR STAR	MS2A400MH00H3		
曱	1	TWH	12'	WALL MOUNT	1.00	N/A	PROP. LITHONIA LIGHTING TWH WALL PACK	TWH_LED_ALO_40K		
曱	2	TWP	12'	WALL MOUNT	1.00	N/A	PROP. LITHONIA LIGHTING TWP WALL PACK	TWP_LED_ALO_30K_T3M		

									7				• ENGINEERING • EARTH • SURVEY • TRAFFIC	
													ACM	BY
													08/25/20 DRC COMMENTS	DATE COMMENTS
													1 08	REV. D,
	THIS PLAN SET IS FOR PERMITTING PURPOSES	ONLY AND MAY NOT BE USED FOR CONSTRUCTION			DRAWN BY: DESIGNED BY: CHECKED BY: CHECKED BY:	JCP ACM MDM -			DEVIEW CILITCH COFFEE EXPANSION IIC	DRIVE-THROUGH COFFEE BAR	5300 COCONUT CREEK PARKWAY	MARGATE, FL 33063		
Contraction of the second seco														
	_	M	PI	201		SIO	NA	L E e n	ΞΝG ο. ε	INE	ER		5	
FLORIDA LICENSE No. 81313 DATE: 09/02/2020 PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM														
	TLE	P	H	C	T(F			۸ ۱4	-	T	R		2	
PR	(0JEC 34	22	OTE		00	1		DATE:	06	/0	1/			
	EET	190:))			Kev	, #: ¶	





- 2. EDGE AND WEED ALL EXISTING PLANTING BEDS TO REMAIN, AND MOW GRASS AREAS
- 3. REMOVE ALL DEBRIS OFF-SITE. DO NOT USE CHIPPED TRIMMINGS AS SITE MULCH

1. THE UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WILL BE RETROFITTED TO PROVIDE 100 PERCENT COVERAGE WITH HEAD TO HEAD OVERLAP FOR ALL NEW LANDSCAPE. THE WATER SOURCE WILL BE THE EXISTING SYSTEM SOURCE. NEW TURF, SHRUBS, AND TREES WILL BE WATERED ON SEPARATE ZONES. THE EXISTING CONTROLLER AND RAIN SENSOR WILL BE TESTED AND UTILIZED. ALL NON-OPERATIONAL EQUIPMENT THAT SUPPORTS THE PROPOSED RETROFIT WILL BE REPAIRED OR REPLACED.

SITE DATA:

ZONING: TOC-G SITE AREA: 17,446 SF (.40 AC) BUILDING AREA: 498 SF VEHICLE USE AREA: 11,365 SF (.26 AC) PARKING SPACES: 5 (ON SITE)

LANDSCAPE CALCULATIONS:

- INTERIOR VUA AREA LANDSCAPE (20 SF PER PK SPACE): REQUIRED - 20 SF x 5 SPACES = 100 SF LANDSCAPE AREA REQUIRED - 1 TREE + 5 SHRUBS / 200 SF = 1 TREE + 5 SHRUBS (30% MAX TURF AREA) PROPOSED - 1,145 SF LANDSCAPE AREA PROPOSED - 2 EXISTING TREES, 45 ISLAND SHRUBS, 0% SF TURF
- PERIMETER BUFFERS: WEST - REQUIRED - NONE
- PROPOSED 9' TO 15' WIDE BUFFER, 4 EXIST PALMS, 1 EXIST TREE, 67 SHRUBS, 300 SF SOD NORTH - 10' WIDE R/W BUFFER (90 LF) (OVERHEAD WIRES) (ACTUAL 11.75' WIDE) REQUIRED - 1 CAT 1 / 40 LF OR 2 CAT 2 TREES / 18 LF + CONTINUOUS HEDGE (36" ON CENTER),
- EAST REQUIRED NONE PROPOSED - 1' TO 4' WIDE BUFFER, EXISTING HEDGE SOUTH - REQUIRED - NONE
- PROPOSED NONE
- NATIVE PLANT REQUIREMENTS: REQUIRED - 50% NATIVE (ALL SPECIES) PROPOSED - 60% NATIVE (ALL SPECIES COUNTING EXISTING SHRUBS AND TREES)

PLANT SCHEDULE

	-							
SYMBOL	QTY.	BOTANICAL	NAME	COMMON NAME	MINIMUN	I SPECIFICATIONS	NATIVE	DROUGHT TOLERANCE
				TREE	S			
PD	1 Coccoloba diversifolia Pigeon Plu			Pigeon Plum	8' Ht x 1.	5" Cal.	Y	HIGH
SHRUBS								
CHR	38	Chrysobalanus icaco 'Red Tip' Red Tip Cocoplum			10G, 36"	Ht x 24", 30" On Center	Y	HIGH
MYF	45	Myrcianthes f	ragrans	Simpson's Stopper	3G, 24" ł	Ht x 18", 24" On Center	Y	HIGH
			GRO	UND COVER	L. L		•	
JUN	12	Juniperus da	vurica ' Parsonii'	Parson's Juniper	3G, 18"	Full, 24" On Center	N	HIGH
				SOL)			
SOD	REPA	IR**	Stenotaphrum s	ecundatum ' Floratam'	St. Augustine	Tight Joints, Neat, Level	N	HIGH
MULCH								
MULCH 18 CY 3" Layer of Double Ground Hardwood (Cocoa Brown)								

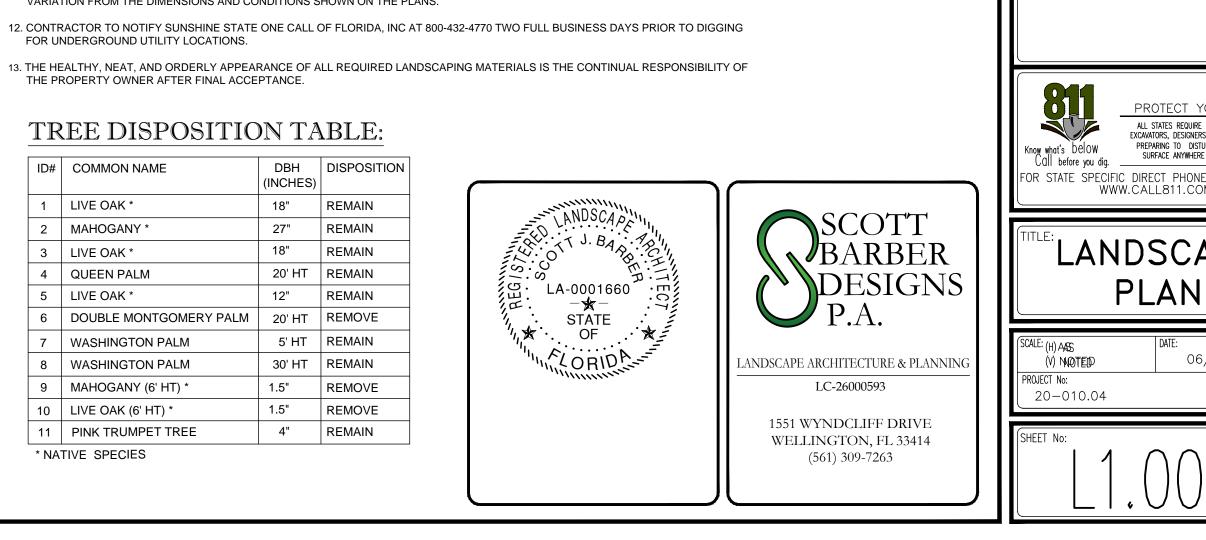
GENERAL LANDSCAPE NOTES:

- 1. NO REFERENCE TO ENGINEERING SHOULD BE MADE FROM THIS SHEET. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- 2. IF ANY, TEMPORARY BARRICADES SHALL BE REMOVED PROMPTLY UPON COMPLETION OF THE WORK. 3. EXCAVATIONS AND DISTURBANCES CAUSED TO TURF AND LANDSCAPED AREAS ON SITE SHALL BE BACKFILLED AND GRADED SO AS TO BE FREE OF TRIPPING HAZARDS.
- 4. CONTRACTOR IS RESPONSIBLE TO REPLACE AND RESTORE DAMAGED SITE LIGHTING, DEAD OR DYING LANDSCAPE MATERIALS/PLANTS, PARKING LOT PAVING, SIDEWALK PAVING, CURBS, SIGNS, IRRIGATION EQUIPMENT OR ANY OTHER DAMAGED ITEMS DUE TO CONSTRUCTION ACTIVITIES.
- 5. THE CONTRACTOR SHALL KEEP ALL PROPERTY FREE OF CONSTRUCTION MATERIALS, DEBRIS, AND ANY RELATED ITEMS AT ALL TIMES. AREAS WHERE SOIL, MUD OR SAND HAS BEEN DEPOSITED ONTO THE PROPERTY DUE TO CONSTRUCTION ACTIVITIES SHALL BE CLEANED IMMEDIATELY.
- 6. EXCAVATIONS AND DISTURBANCES CAUSED TO LANDSCAPED AREAS SHALL BE BACKFILLED AND GRADED SO AS TO BE FREE OF TRIPPING HAZARDS.
- 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND WRITTEN SPECIFICATIONS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL BY THE OWNER'S REP.
- REQUIREMENTS.
- ANY PLAN DISCREPANCIES PRIOR TO CONSTRUCTION. RESOLUTION OF DISCREPANCIES FOUND DURING CONSTRUCTION SHALL BE IN FAVOR OF THE OWNER.
- 10. ANY DEVIATION FROM PLANT QUANTITY, SIZE OR GRADE MAY JEOPARDIZE THE CERTIFICATE OF OCCUPANCY. 11. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS ARE MINIMUMS ONLY. CONTRACTOR
- VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE PLANS.
- FOR UNDERGROUND UTILITY LOCATIONS.
- THE PROPERTY OWNER AFTER FINAL ACCEPTANCE.

TREE DISPOSITION TABLE:

ID#	COMMON NAME	DBH (INCHES)	DISPOSITIO
1	LIVE OAK *	18"	REMAIN
2	MAHOGANY *	27"	REMAIN
3	LIVE OAK *	18"	REMAIN
4	QUEEN PALM	20' HT	REMAIN
5	LIVE OAK *	12"	REMAIN
6	DOUBLE MONTGOMERY PALM	20' HT	REMOVE
7	WASHINGTON PALM	5' HT	REMAIN
8	WASHINGTON PALM	30' HT	REMAIN
9	MAHOGANY (6' HT) *	1.5"	REMOVE
10	LIVE OAK (6' HT) *	1.5"	REMOVE
11	PINK TRUMPET TREE	4"	REMAIN
* NIA			

* NATIVE SPECIES



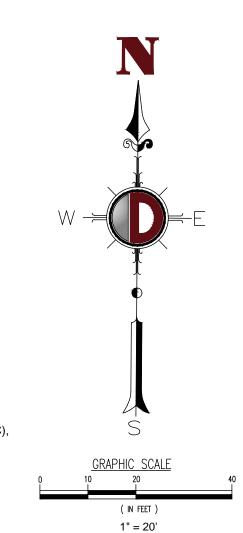
SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. OWNER'S REP SHALL BE NOTIFIED OF ANY

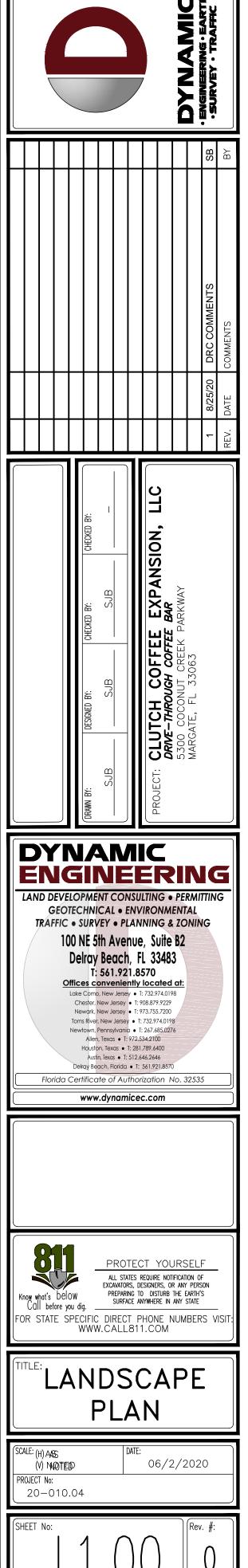
9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MATERIALS AND QUANTITIES PRIOR TO BIDDING, AND NOTIFY OWNER'S REP OF

8. THE LANDSCAPE PLANTINGS SHALL BE INSTALLED IN COMPLIANCE WITH EXISTING CODES AND APPLICABLE DEED RESTRICTIONS OR

** CONTRACTOR TO VERIFY SOD NECESSARY TO REPAIR DAMAGED EXISTING GRASS DURING CONSTRUCTION

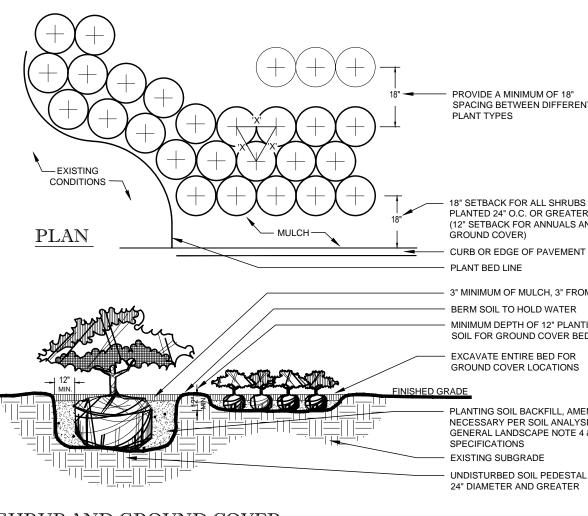
50% AREA WITHOUT TREES AND SHRUBS IS COVERED WITH GROUND COVER PROPOSED - 2 EXIST. CAT 1 TREES, 1 NEW CAT 2 TREE, 1 EXIST. PALM + CONTINUOUS HEDGE (30" OC), 50% AREA WITHOUT TREES AND SHRUBS IS COVERED WITH GROUND COVER





NOTES: 1. CONTRACTOR SHALL ENSURE FREE DRAINAGE/PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION.

- 2. ALL PLANTING PITS SHOULD HAVE VERTICAL SIDES AND BE APPROXIMATELY TWO TIMES LARGER THAN ROOT BALL 3. PLANT MATERIAL SHALL BE INSTALLED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL. 4. WHERE GROUND COVERS ARE USED IN MASSES, THE ENTIRE BED SHALL BE EXCAVATED PRIOR TO RECEIVING PLANT MATERIAL AND PLANTING SOIL EXCEPT WHERE SPECIFIED.
- 5. ALL PLANT MATERIAL MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED. REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING 'X'.
- 6. PLANT MATERIAL INSTALLED ADJACENT TO STRAIGHT EDGES SHALL BE SPACED IN ROWS PARALLEL TO THE STRAIGHT EDGE. THOSE INSTALLED ADJACENT TO CURVED EDGES SHALL BE PLANTED IN ROWS PARALLEL TO THE CURVED EDGE



SHRUB AND GROUND COVER SCALE: NTS

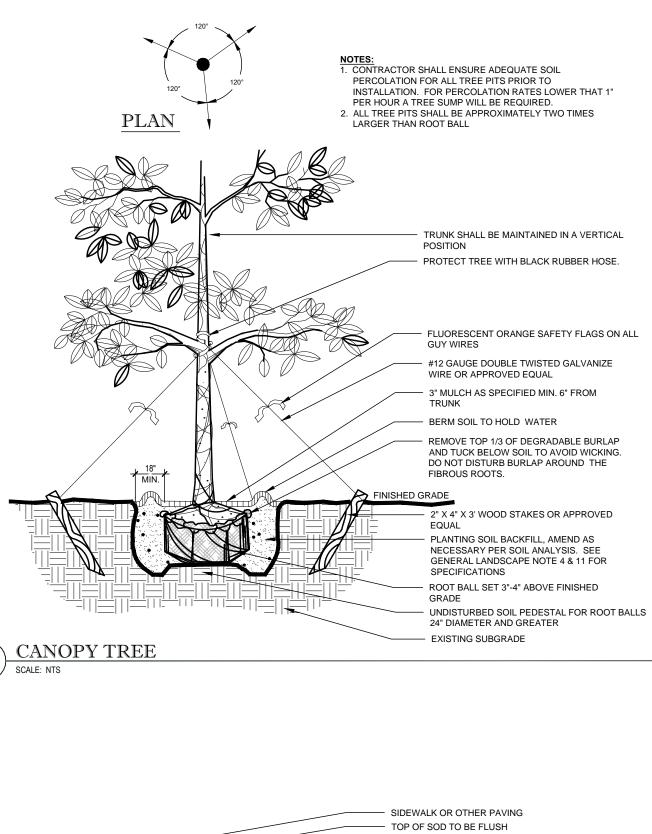
SCALE: NTS

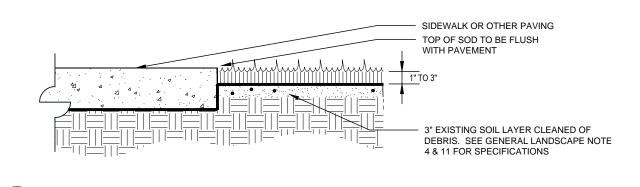
NOTES: 1. ALL MULCH SHALL BE PEST AND INSECT FREE. 2. COMPLETELY REMOVE EXISTING SOD AS REQUIRED PRIOR TO PLACING	MULCH.
	 — 3" MIN. MULCH (SEE PLANT SCHEDUL SPECIFICATIONS) — PLANTING SOIL (FINE RAKED AND FF AND OTHER DELETERIOUS MATERIA SPECIFICATIONS.)
MULCH APPLICATION	

CANOPY TREE PLANTING NOTES:

SIGN.

- 1. EACH TREE SHALL RECEIVE SIX "AGRIFORM" 21 GRAM TABLETS PER MANUFACTURER'S DIRECTIONS.
- 2. ALL TREES SHALL HAVE A MINIMUM CLEARANCE OF 15' FROM LIGHT POLES, AND SHALL NOT BE INSTALLED WITHIN 10 FT. OF ANY ABOVE GROUND UTILITIES OR WITHIN 30 FT. OF THE FACE OF A STOP
- 3. ALL TREE TRIMMING SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI)A-300 PRUNING STANDARDS.





2 SOD APPLICATION SCALE: NTS

- AND STANDARDS,

- CONSTRUCTION.

- ACCEPTABLE.

- OVERALL SHOPPING CENTER.
- THE FLATWORK.
- DISCRETION.
- CONTRACTOR SHALL VERIFY SOD QUANTITY.

SPACING BETWEEN DIFFERENT

18" SETBACK FOR ALL SHRUBS PLANTED 24" O.C. OR GREATER (12" SETBACK FOR ANNUALS AND

3" MINIMUM OF MULCH, 3" FROM TRUNK MINIMUM DEPTH OF 12" PLANTING SOIL FOR GROUND COVER BEDS

PLANTING SOIL BACKFILL, AMEND AS NECESSARY PER SOIL ANALYSIS. SEE GENERAL LANDSCAPE NOTE 4 & 11 FOR

- UNDISTURBED SOIL PEDESTAL FOR ROOT BALLS
 - GE BETWEEN
 - JLE FOR
 - REE OF WEEDS LS, SEE

GENERAL PLANTING NOTES:

1. NUISANCE, EXOTIC PLANT SPECIES REMOVAL SHALL BE COMPLETED IN ACCORDANCE WITH SECTIONS OF THE MUNICIPAL REGULATIONS, GUIDELINES AND STANDARDS.

2. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER, AS SET FORTH BY THE LATEST EDITION OF FLORIDA GRADES

3. PLANT MATERIAL SHALL BE LOCAL FLORIDA NURSERY STOCK.

4. THE LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL ANALYSIS REPORT FOR THE EXISTING TOPSOIL AND NOTIFY THE OWNER OF ANY IMPROPER SOIL CONDITIONS (WETNESS, MUCK, DEBRIS, ETC.) PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL AMENDMENTS AND/OR FERTILIZER RECOMMENDED BY THE SOIL ANALYSIS REPORT FOR HEALTHY, VIGOROUS PLANT GROWTH. SEE NOTE 11.

5. ALL PLANT MATERIAL HOLES SHALL BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES OR PROJECT IMPROVEMENTS.

6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPE ELEMENTS UNTIL CONSTRUCTION IS COMPLETE AND ACCEPTED BY THE OWNER'S REP. THIS MAINTENANCE SHALL INCLUDE BUT MAY NOT BE LIMITED TO MOWING, EDGING AND TRIMMING GRASS, KEEPING PLANTING BEDS FREE OF DEBRIS AND WEEDS, MANAGING ALL DISEASE OR INFESTATION, WATERING OF PLANT MATERIALS, AND MAINTAINING MULCH.

7. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM THE DATE OF COMPLETION OF

8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND STAKE ALL UTILITIES. A MINIMUM OF TEN FEET SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREE PLANTINGS. IN ADDITION, ALL TREES SHALL BE LOCATED AT LEAST SIX FEET AWAY FROM THE FLOW LINE OF SWALES AND PROPOSED OR EXISTING STORM WATER INLETS.

9. NEW PLANT MATERIAL TO BE INSTALLED WILL BE FIELD ADJUSTED TO ACCOMMODATE EXISTING PLANT MATERIAL SUCH AS OVERHEAD CANOPY TREES, UNDER-STORY TREES AND SHRUBS OR GROUND COVER. THIS WILL ENSURE EXISTING PLANT MATERIAL TO REMAIN IN ITS NATURAL STATE. THEREFORE, NO EXISTING PLANT MATERIAL WILL BE ALTERED BY REMOVING, CUTTING TRIMMING OR DESTROYING IN ORDER TO INSTALL NEW PLANT MATERIAL.

10. ALL PLANT MATERIALS TO BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED. BAG GROWN PLANTS ARE NOT

11. THE PLANTING SOIL USED IN THE PLANTING OPERATIONS SHALL BE A MIXTURE OF 2 PARTS EXISTING TOPSOIL AND 1 PART CLEAN SAND. THE TOPSOIL SHALL CONSIST OF NATURAL, FRIABLE, FINE LOAM SOIL WITH A pH OF 5.5 TO 7.0, AND 3-5% ORGANIC MATTER. IT SHALL BE FREE OF WEED SEEDS, PATHOGENS, LITTER, SOD, CLAY, ROAD BASE, STONES, ROOTS AND STUMPS. SOIL DEPTH SPECIFIED ON THE PLANS IS MEASURED AFTER LIGHT COMPACTION. TOP SOIL THAT DOES NO T MEET THIS SPEC SHALL BE SUBSTITUTED WITH PROPER BORROW SOIL. SEE NOTE 4.

12. BED PREPARATION: LOOSEN SOIL TO A MINIMUM DEPTH OF TWELVE INCHES AND REMOVE ALL DEBRIS. RE-GRADE THE BED TO ITS ORIGINAL GRADE. DIG PLANTING PITS AT 2 TIMES THE DIAMETER OF THE POT. FILL PLANT PIT WITH SPECIFIED PLANTING MIX AND COMPACT SO THAT THE TOP OF ROOT BALL WILL SETTLE 1/8 DEPTH OF THE ROOT BALL ABOVE FINISH GRADE. SET PLANT AND FILL REMAINDER OF HOLE WITH PLANTING MIX. FERTILIZE EACH PLANT WITH THE RECOMMENDED RATE BASED ON SOIL ANALYSIS AND RECOMMENDATIONS. WATER IN THOROUGHLY. RESET ANY PLANTS THAT SETTLE TOO DEEP. REMOVE SPOIL SOIL AND RAKE THE BED TO ITS FINISH GRADE. COVER ALL BED AREAS WITH A 3" DEPTH OF APPROVED ORGANIC MULCH, ENSURE MULCH OVER ROOT BALLS DOES NOT EXCEED A DEPTH OF ONE INCH. REMOVE ALL DEBRIS FROM THE MULCH. WATER BED THOROUGHLY.

13. ALL PROPOSED PLANTING AREAS SHALL RECEIVE A THREE INCH LAYER OF MULCH. ALL TREES NOT LOCATED WITHIN A PLANTING BED SHALL RECEIVE A FOUR FEET DIAMETER MULCH RING. MULCH SHALL MATCH THE TYPE USED ON THE

14. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HOLDING THE FINE GRADING OF PLANTING AREAS TO ENSURE AT LEAST THREE PERCENT POSITIVE DRAINAGE AWAY FROM BUILDINGS AND INTO TURF AREAS, PONDS, STREETS OR OTHER DRAINAGE WAYS. IN ADDITION, THE FINISH MULCH ELEVATION AT THE BUILDINGS SHALL BE AT LEAST SIX INCHES BELOW FINISH FLOOR OF THE ADJACENT BUILDING. PARKING LOT ISLANDS SHALL SLOPE AT THREE PERCENT FROM CENTER. TURF AND PLANTING BEDS SHALL MEET SIDEWALKS AND FLATWORK AT TWO INCHES BELOW

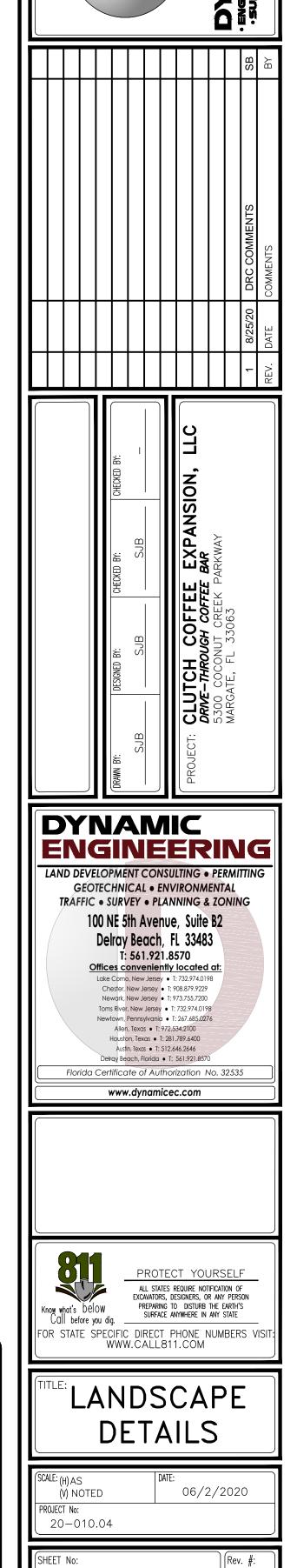
15. SLOPES GREATER THAN 4:1 SHALL REQUIRE SODDING FOR STABILIZATION.

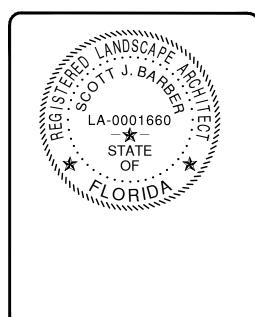
16. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE AND MAYBE UTILIZED AT THE OWNERS

17. IF ALTERNATIVE VEGETATION IS UTILIZED (I.E. MATCHING AND/OR EXTENDING EXISTING SHRUB BED, THE INSTALLED MATERIAL MUST BE HEAL THY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASES. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO.1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. MATERIAL IN SOME INSTANCES SHALL EXCEED NO. 1 GRADE, IN ORDER TO MEET THE MINIMUM REQUIREMENTS OF THIS PROJECT.

18. SOD SHALL BE INSTALLED IN ALL DISTURBED LANDSCAPE AREAS THAT ARE NOT PLANTED OR HARDSCAPED.

19. LANDSCAPE CONTRACTOR SHALL REPAIR, RELOCATE AND/OR REPLACE ANY CONSTRUCTION DAMAGED OR REMOVED LANDSCAPE MATERIALS, ON OR OFF SITE, THAT ARE NOT DELINEATED ON THE DEMOLITION PLANS. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO ANY REMEDIATION LANDSCAPE EFFORTS.

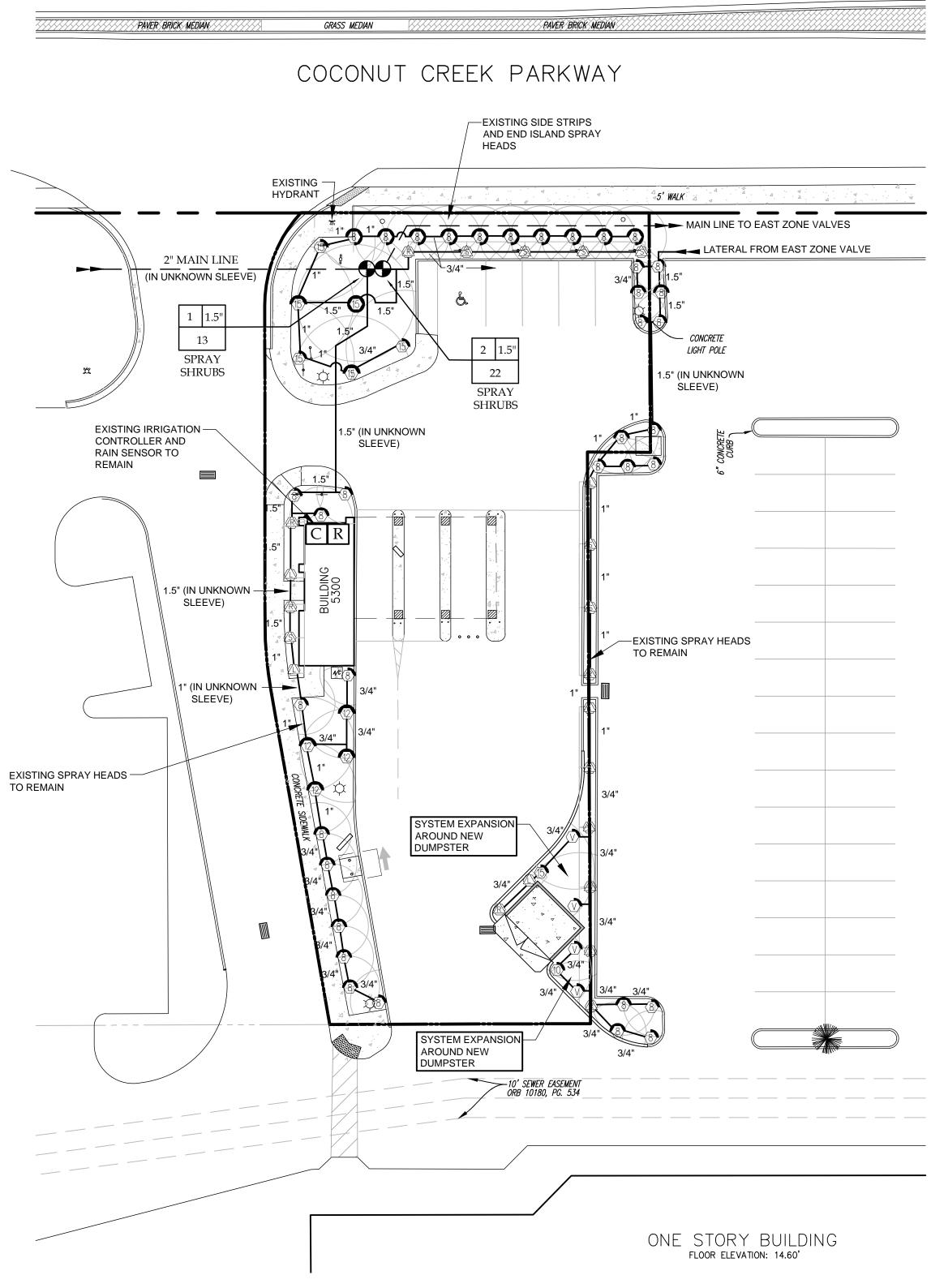






ANDSCAPE ARCHITECTURE & PLANNIN LC-26000593

> 1551 WYNDCLIFF DRIVE WELLINGTON, FL 33414 (561) 309-7263



GENERAL IRRIGATION NOTES

- 1. THE MAIN LINE CONNECTION IS SCHEMATIC ONLY. THE CONTRACTOR SHALL VERIFY AND ADJUST ANY NEW EQUIPMENT TO FIELD CONDITIONS, WITHIN THE LANDSCAPE AREAS.
- 2. CLEAN AND TEST EXISTING SPRAY HEADS SO THEY ARE OPERATIONAL. REPLACE ANY BROKEN OR DAMAGED NOZZLES AND OTHER EQUIPMENT IN KIND.
- 3. SCHEDULE THE SYSTEM TO RUN BETWEEN 10 PM AND 6 AM.
- 4. TRENCHING IN TREE ROOT PROTECTION ZONES IS PROHIBITED. EQUIPMENT LOCATIONS ON THIS PLAN ARE CONCEPTUAL AND MAY REQUIRE FIELD ADJUSTMENTS.

IRRIGATION SCHEDULE

(CONTRACTOR TO VERIFY QUANTITIES)	

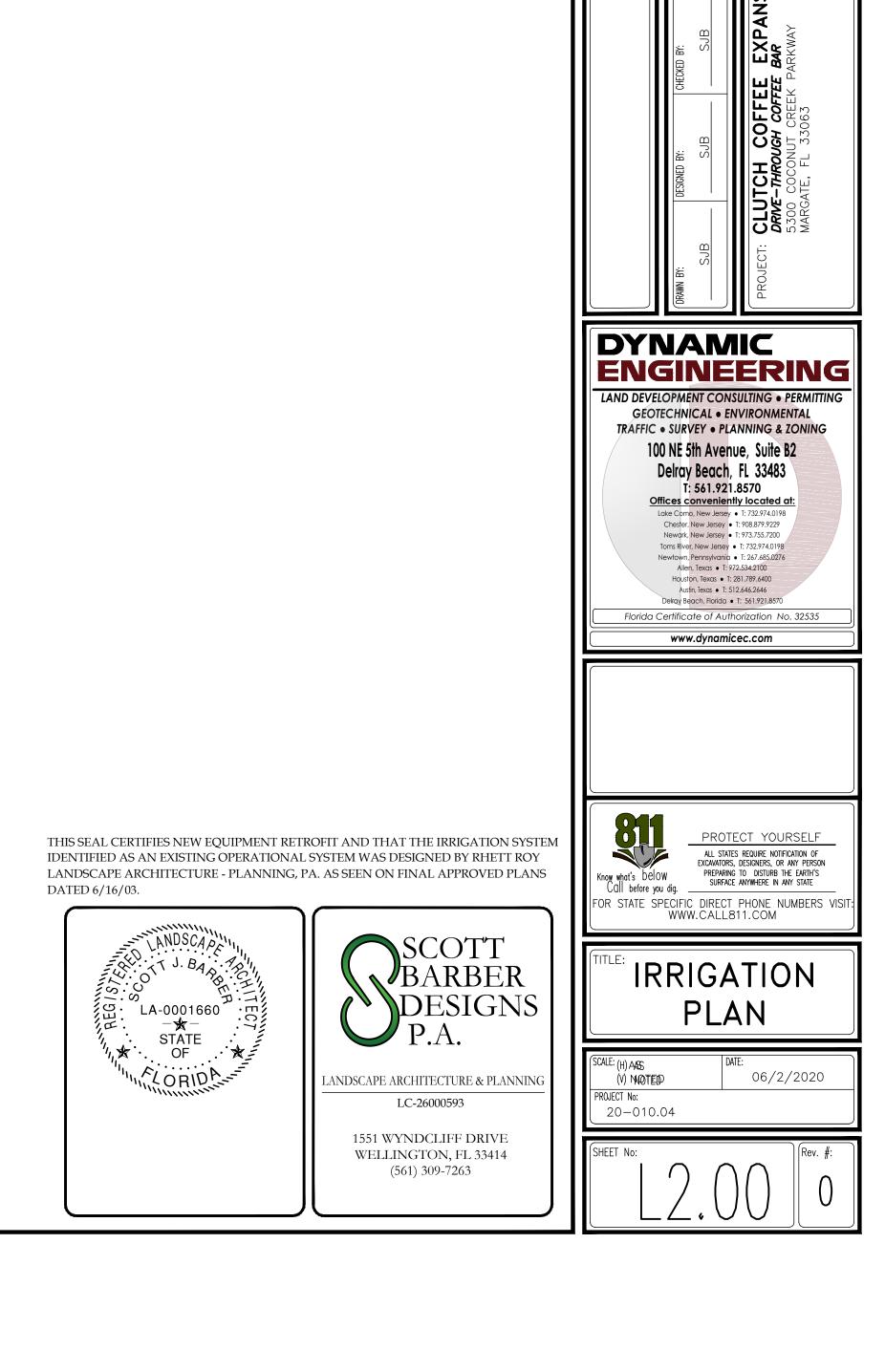
SYMBOL	MANUFACTURER/MODEL	ACTURER/MODEL ARC PSI						
	Rainbird 1800 / MPR	LST or	RST	25	.47	4'x15'		
	Rainbird 1800 / MPR	MPR SST				4'x30'		
8	Rainbird 1800 / MPR	8Q	90	25	.25	7'		
8	Rainbird 1800 / MPR	8H	180	25	.47	7'		
3	Rainbird 1800 / MPR	8TQ	270	25	.93	7'		
10 10	Rainbird 1800 / MPR	10Q or	Var.	25	.35	9'		
12	Rainbird 1800 / MPR	12H	180	25	1.20	11'		
15 🕐	Rainbird 1800 / MPR	15Q or	Var.	25	.93	14'		
15	Rainbird 1800 / MPR	15H	180	25	1.80	14'		
(5)	Rainbird 1800 / MPR	15H	360	25	3.60	14'		
R	(Mount on north building ex Existing Rain Sensor (Mount on north building ex Existing Rainbird 1.5" Electro Existing Irrigation Lateral transition pipe sizes of 1" a plan, with all others being	terior) onic Plas Line: PV nd abov	C pip	e. Onl	ly lateral	l		
	New Irrigation Lateral Lin PVC irrigation pipe. Only I and above are indicated on being 3/4" in size.	ateral tr	ansiti	on pip	e sizes 1	"		
	— Existing Irrigation Mainlin	e: PVC S	Schedu	ıle 40	(2")			
	PIPE SIZING CHA EXISTING PIPE SIZES ARE EST AND SHALL BE VERIFIED BY T CONTRACTOR	IMATED	,					
	SIZE PIPE SO NOT TO EXCE A MAXIMUM FLOW OF 5 FEI PER SECOND (fps)							

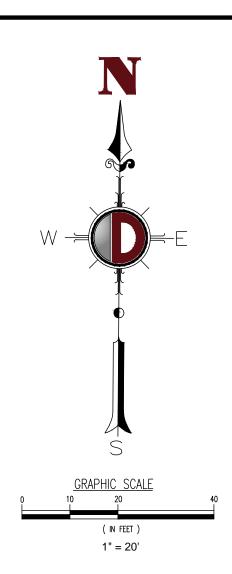
A MAXIMUM FLOW OF 5 FEET
PER SECOND (fps)
PIPE SIZE GUIDELINE:
3/4" (0-9 GPM)
1" (10-16 GPM)
1 1/4" (16-25 GPM)
1 1/2" (25-35 GPM)

2" (35-52 GPM)

SYSTEM SCHEDULE (3/4 INCH PER DAY)

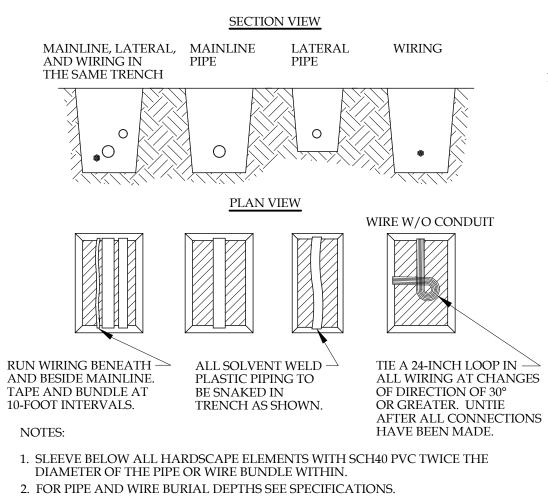
No.	TYPE	SIZE	GPM	PRECIP (IN/HR)	RUN TIME (Min.)
ZONE 1	SHRUB SPRAY	1.5"	13	.85	26
ZONE 2	SHRUB SPRAY	1.5"	22	.85	26



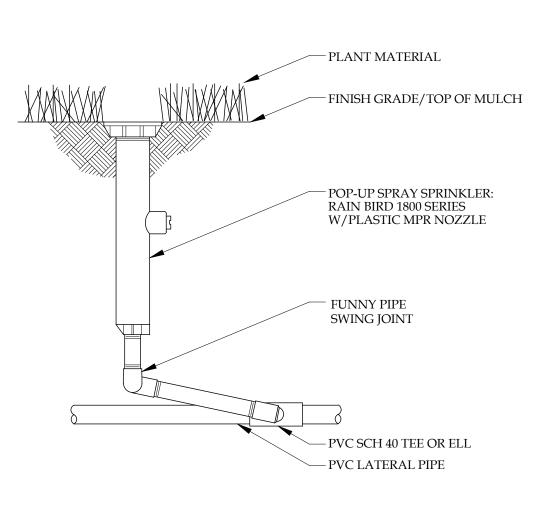


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PIPE & WIRE TRENCHING DETAIL



POP-UP SPRAY DETAIL

TESTING & MAINTENANCE

TESTING: testing, until the standard can be achieved and verified.

SYSTEM MAINTENANCE: Every month the irrigation system shall be inspected to ensure that the various components and functions of the irrigation system are functioning properly. The scope of work includes, but is not limited to, the point of connection, piping system, electrical system, sprinkler heads, nozzles, drip components, valves, controller and weather/soil sensors.

DEPTH OF COVERAGE PER FLORIDA BUILDING CODE (Appendix F)

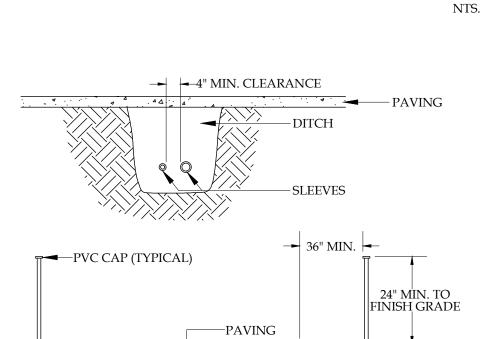
For Non-traffic Areas												
Pipe Diameter	Minimum depth of Cover											
$\frac{1}{2}$ " through 1 $\frac{1}{4}$ "	6" - 12" **											
$1 rac{1}{2}$ " through 2"	12" - 18" ***											
2 ½ " through 3"	18" - 24"											
6" and larger	24" - 36"											

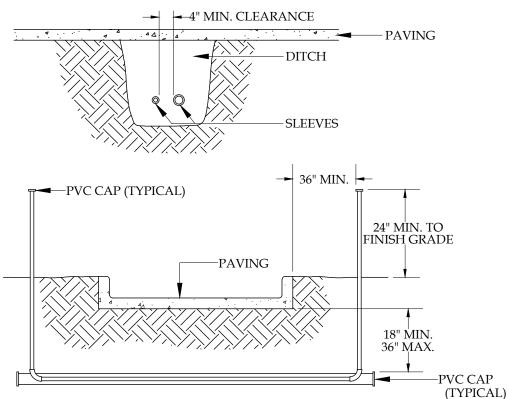
	For Traffic Areas									
	Pipe Diameter	Minimum depth of Cover								
	$\frac{1}{2}$ " through 2 $\frac{1}{2}$ "	18" - 24"								
5	3" through 5"	24" - 30"								
	6" and larger	30" - 36"								

NTS.

NTS.

Upon completion of main line and prior to backfill, pressure test the entire water-filled main line (with valves and backflow closed) at (150) pounds per square inch for 30 minutes using a pump and pressure gauge. Repair any systems which exceed (5) pounds per square inch drop in 30 minutes of





NOTES:

1. ALL PVC IRRIGATION SLEEVES TO BE SCH40 PIPE.

2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT. 3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER

SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.

4. MECHANICALLY TAMP TO 95% PROCTOR.

REMOTE CONTROL VALVE

PIPE AND WIRE SLEEVE DETAIL

NTS.

30-INCH LINEAR LENGTH OF WIRE,

COILED

- ID TAG

- FIELD DECODER

12-INCH SIZE

- PVC SCH 40 ELL

- BRICK (1 OF 4)

PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)

- PVC MAINLINE PIPE

– PVC SCH 40 TEE OR ELL

– PVC LATERAL PIPE

- PVC SCH 40 MALE ADAPTER

3.0-INCH MINIMUM DEPTH OF

3/4-INCH WASHED GRAVEL

– VALVE BOX WITH COVER:

- FINISH GRADE/TOP OF MULCH

SCH 80 NIPPLE (2-INCH LENGTH,

HIDDEN) AND SCH 40 ELL

REMOTE CONTROL VALVE:

- PVC SCH 80 NIPPLE (CLOSE)

SYSTEM SCHEDULING

Before scheduling run times, the site should be "walked" and planted areas inspected to observe plant stress and health. Soil moisture levels should be inspected throughout planted areas, and appropriate adjustments made to the irrigation schedule. Each irrigation session should be scheduled to encourage deep roots through deep watering and minimal runoff. This can be achieved through use of multiple short repeat cycles when necessary, especially on slopes and sites with compacted soils. Watering times should deliver enough water to soak the ground to a depth of 12 inches. Run times should be adjusted accordingly to soil type and plant water requirements. Less water is needed to soak a sandy soil compared to a clay soil. Soils should be allowed to dry to a 50% moisture depletion level between irrigations to avoid root rot and allow adequate air to be present in the soil. Run times shall be adjusted seasonally.

GENERAL SYSTEM NOTES

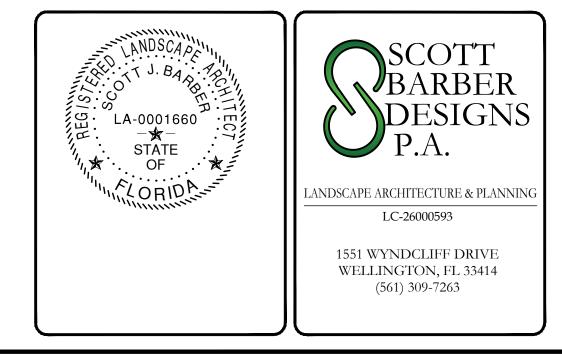
- 1. The irrigation system is existing and operational. The Contractor must retrofit the existing automatic underground irrigation system and provide 100% coverage and head to head coverage of all new landscape material. The system has a potable water source through a 2" meter, backflow preventer, and main line from the lot to the west. No data is available regarding design pressure and volume. The contractor shall verify that the source prior to expanding zone valves.
- 2. The Controller and rain sensor are existing, operational and located on the north side of the building. Contractor will reprogram the controller to meet the needs of new plantings during establishment.
- 3. The Contractor must comply with the current Florida Building Code.

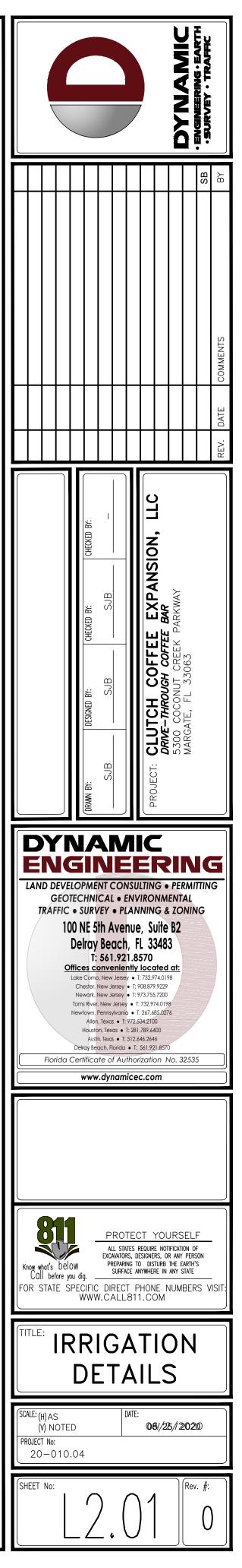
INSTALLATION NOTES

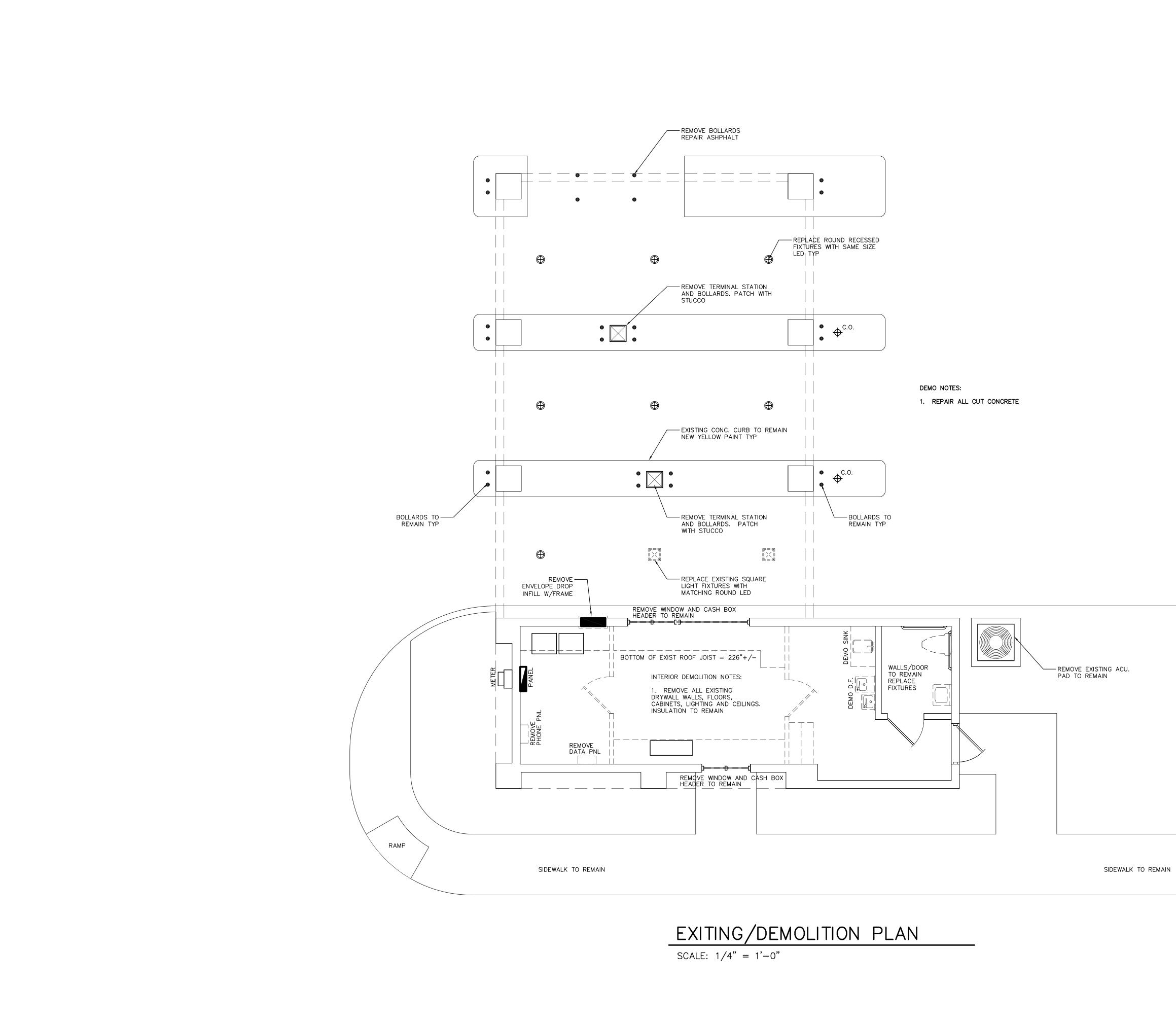
The following notes apply to new retrofitted equipment only.

- 1. No product substitutions or changes will be allowed without the written approval of the Owner and Irrigation Designer.
- 2. The Contractor is responsible for all permits and fees
- 3. Over-spray onto buildings, signs or pavement is prohibited. 4. The Contractor is responsible for locating utilities prior to digging.
- 5. No rocks or other extraneous materials to be used in backfilling of pipe trenches.
- 6. All pipe to be installed as per manufacturer's specifications.
- 7. All threaded joints to be coated with Teflon tape or liquid Teflon.
- 8. All pipes to be thoroughly flushed before installation of heads. 9. All low voltage electrical connections made in the field to be installed
- in valve boxes with waterproof connectors. 10. The Contractor shall be responsible for proper coverage of all landscape areas.
- 11. The Contractor to supply to the Owner with operation manuals and two (2) wrenches for adjusting each valve and head type.
- 12. All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
- 13. All control wires shall be minimum #14 AWG. Run two (2) spare control wires and identify them in the valve box.
- 14. All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers. All shall be marked indicating station numbers.
- 15. 120 VAC electrical power source at controller location is existing. The contractor shall verify connections are operational.
- 16. The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
- 17. Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- 18. All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- 19. The irrigation contractor shall install check valves on all irrigation heads as needed to prevent low head drainage where possible post valve shut-off draining will occur.
- 20. Installer is required to conduct final testing and adjustment to achieve design specification prior to completion of the system and acceptance by the owner or owner's representative.
- 21. Contractor to provide owner with post construction documentation, including as-built drawings, recommended maintenance schedules and activities, operational schedule, design precipitation rates, system adjusting methods for decreasing water once landscape is established, water source and shutoff method and all operational guides for controller.

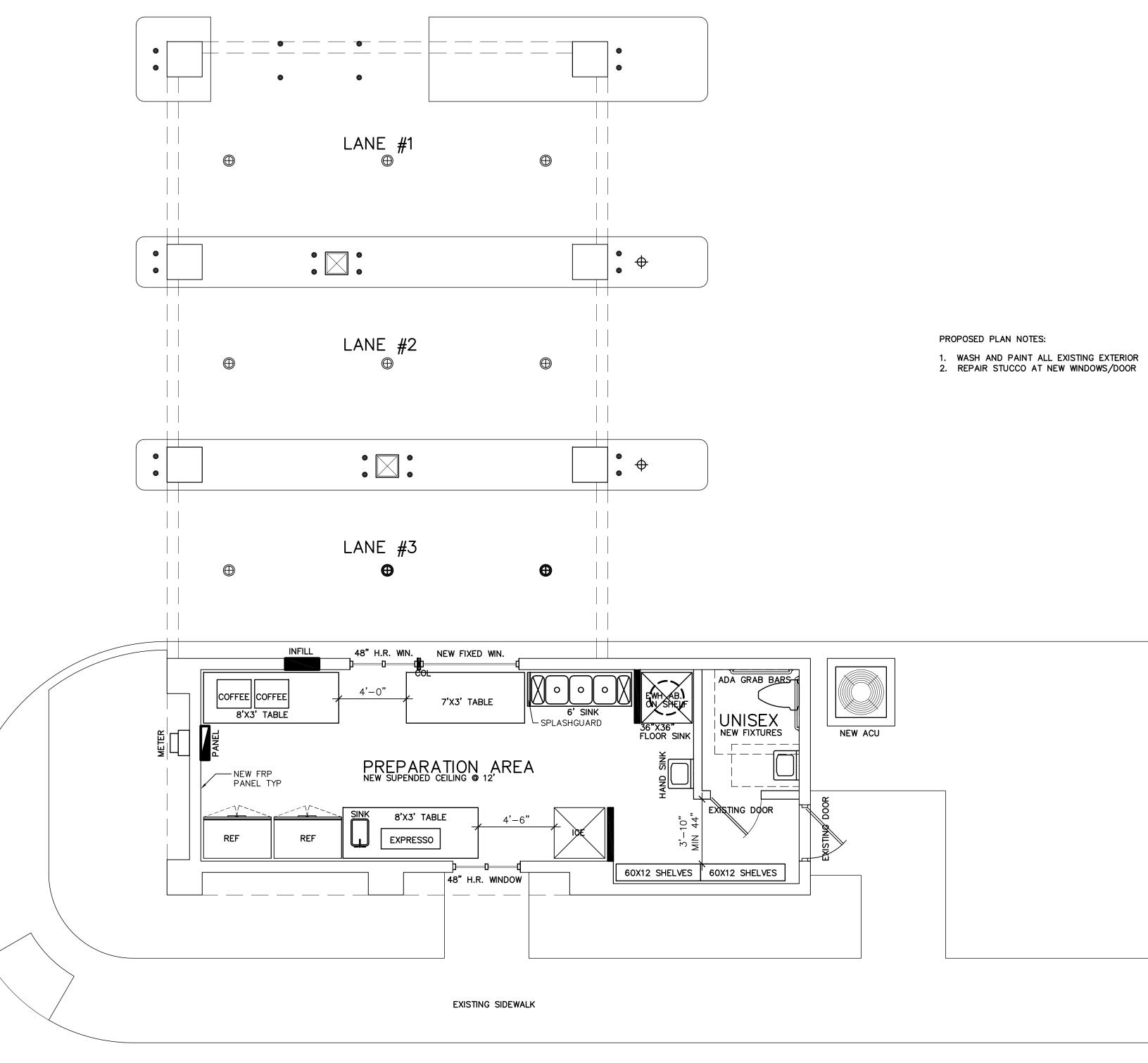
THIS SEAL CERTIFIES NEW EQUIPMENT RETROFIT AND THAT THE IRRIGATION SYSTEM IDENTIFIED AS AN EXISTING OPERATIONAL SYSTEM WAS DESIGNED BY RHETT ROY LANDSCAPE ARCHITECTURE - PLANNING, PA. AS SEEN ON FINAL APPROVED PLANS DATED 6/16/03.







ARCHITECTURE BY: PRIS ARCHITE LLC CERT. OF AUTH. AU JAMES G. CEN AR #001 I 101 BRICK 8TH FLOOR, SO MIAMI, FL: 5G1.719.4 INFO@PRISMA	TANNI, JR 5973 ELL AVE UTH TOWER 33131 2224 /
DRC SUBMITTAL DOCUMENTS FOR: CLUTCH COFFEE	© 5300 COCONUT CREEK PARKWAY, MARGATE, FL
REVISIONS/SUBMITTA	LS:



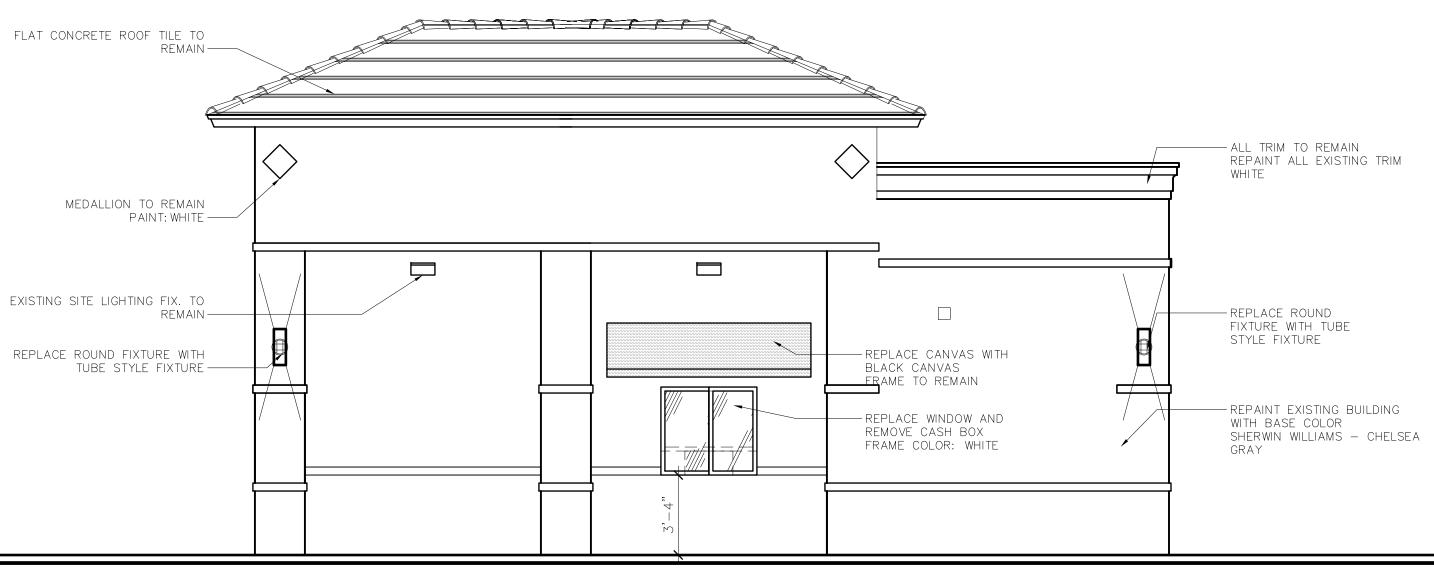
PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

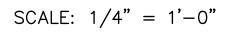
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DRC SUBMITTAL DOCUMENTS FOR: CLUTCH COFFEE	© 5300 COCONUT CREEK PARKWAY, MARGATE, FL
REVISIONS/SUBMITTA ID DESC	ALS: MSG JC 05.18.2020
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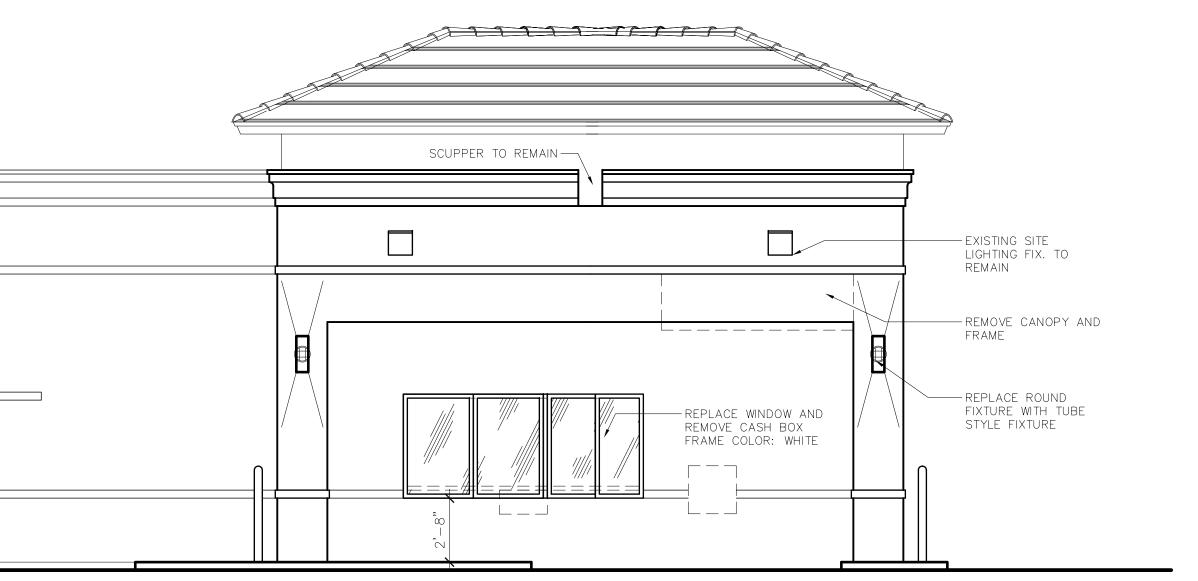
REPLACE ROUND FIXTURE WITH TUBE STYLE FIXTURE -----

EXISTING SITE LIGHTING FIX. TO REMAIN -----



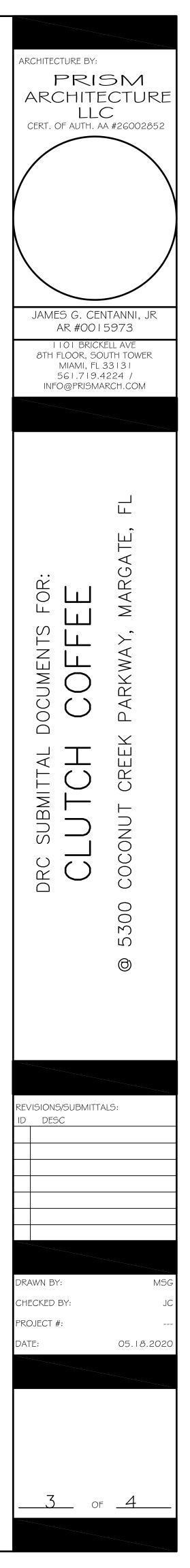






EAST ELEVATION

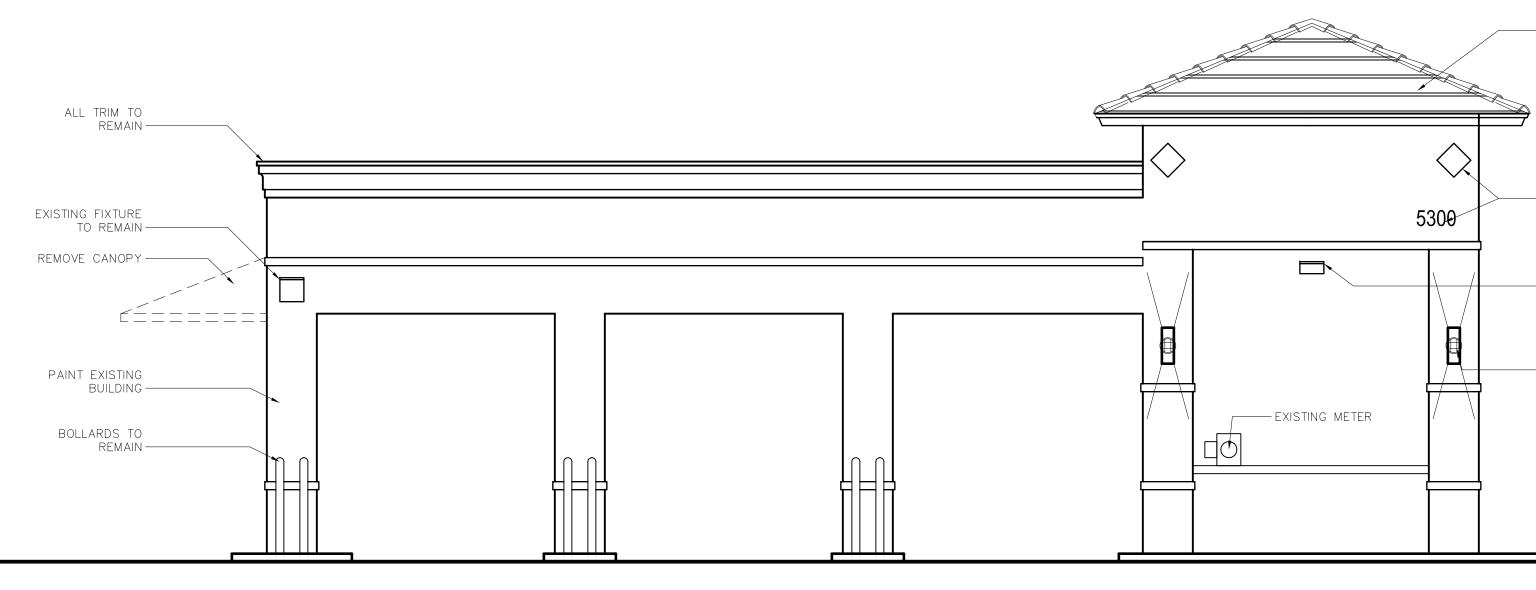
SCALE: 1/4" = 1'-0"

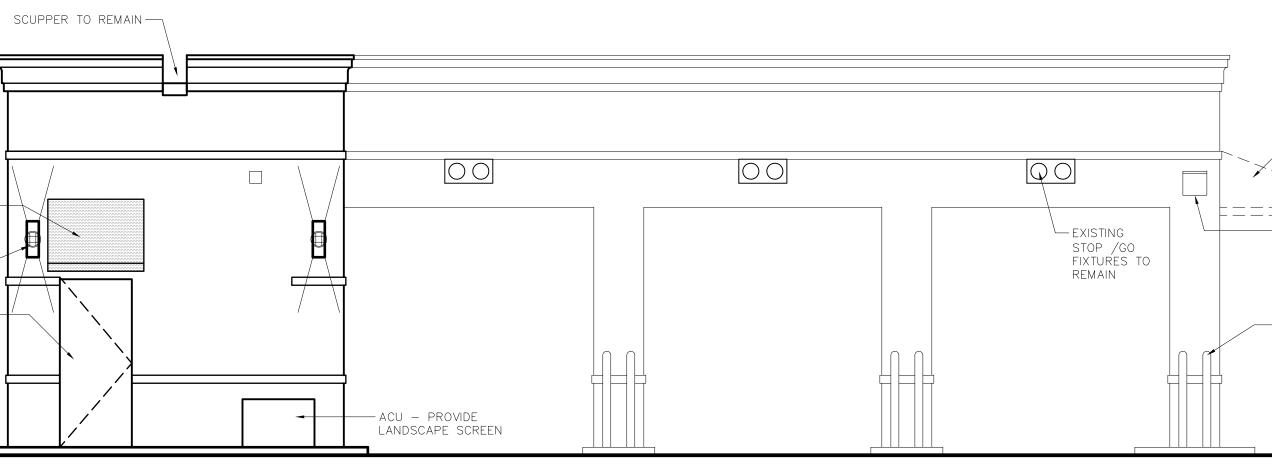




REPLACE CANVAS WITH BLACK VANAS FRAME TO REMAIN— REPLACE ROUND FIXTURE WITH TUBE STYLE FIXTURE -----

EXISTING DOOR TO REMAIN PAINT WHITE -----







SCALE: 1/4" = 1'-0"

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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DA			05.18.2020

— FLAT ROOF TILES TO REMAIN

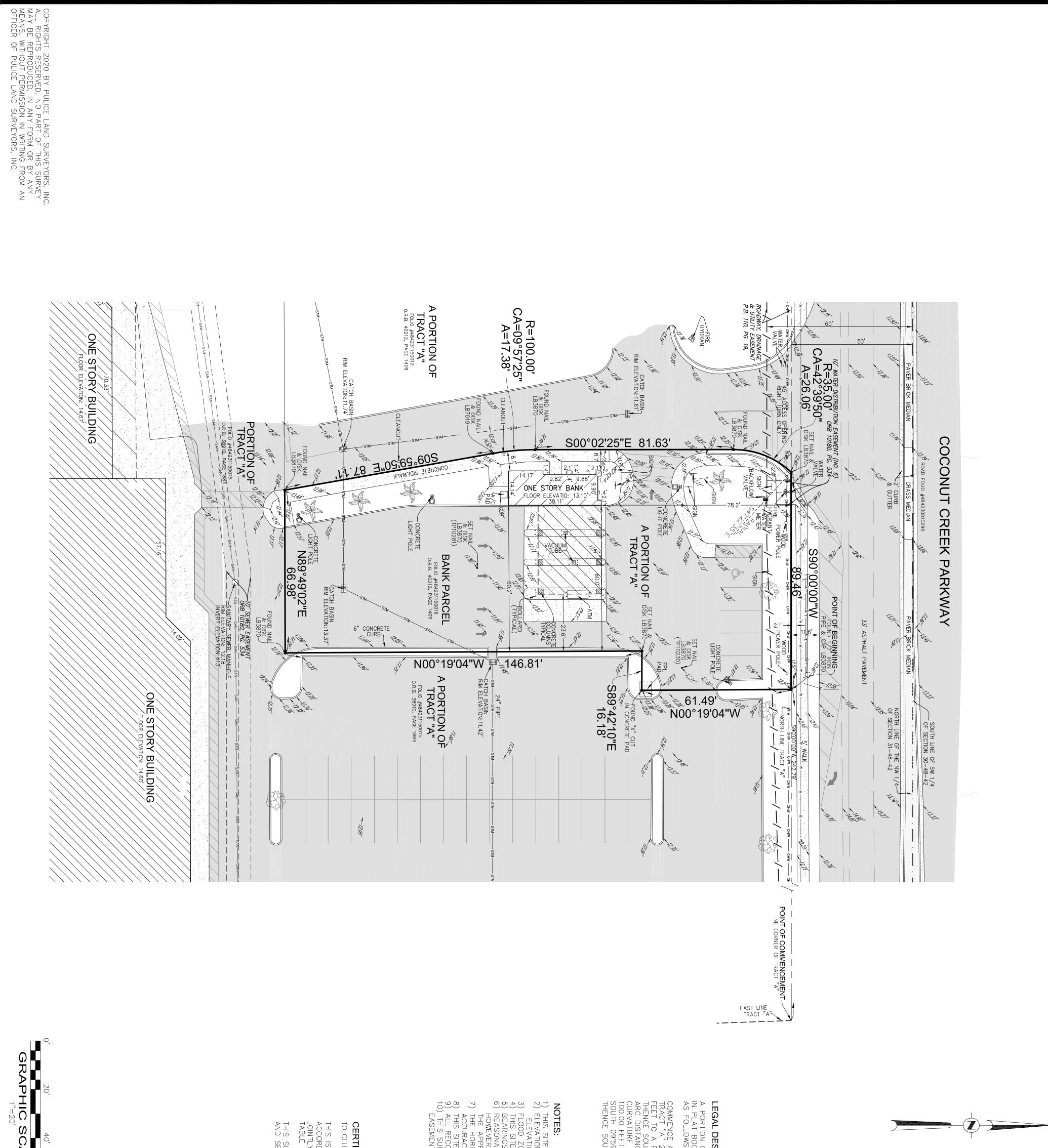
—— MEDALLIONS/BUILDING #'S TO REMAIN

— EXISTING SITE LIGHTING FIX. TO REMAIN

- REPLACE ROUND FIXTURE WITH TUBE STYLE FIXTURE

— BOLLARDS TO REMAIN REPAINT: YELLOW

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| BRADON-FARRIS DEVELOPMENTS PLAT NO.2

 | | INFORMATION ONLY) | |

 | IPTION: BANK PARCEL
Ract "A", "brandon—farris developments plat no. 2" according t
10, page 19, of the public records of broward county, florida, | HE NORTHEAST CORNER OF SAID TRACT "A". THENCE SOUTH 90°00'00" WEST ON THE
 | THEAST CORNER OF SAID TRACT "A"; THENCE SOUTH 90°00'00
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IE ARC OF A CIRCULAR CURVE CONCAVE EAST, WITH A RADIA
THE ARC OF SAID CURVE, WITH A RADIUS OF 35.00 FEET ANI
FFFT TO A POINT OF TANGENCY: THENCE SOUTH 00°02'25" I | LAR CURVE CONCAVE EAST; THENCE SOUTHERLY ON THE ARC
TRAL ANGLE OF 09°57'25" AN ARC DISTANCE OF 17.38 FEET
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" EAST 16.18 FEET; THENCE NORTH 00°19'04" WEST 61.49 FEE | NTAINS 17,443 SQUARE FEET (0.4004 ACRES) MORE OR LESS. | ED ON NORTH AMERICAN VERTICAL DATOM OF 1988. BROWARD COUNTE BENCHMARK #14-
-EET.
E FLOOD ELEVATION: NONE; COMMUNITY 120047; PANEL 12011C0355H; MAP DATE: 8/18
CTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
CTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
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S WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES
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 | ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION
ILITY COMPANIES FOR FIELD VERIFICATION.
ITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ± 0.07 '. THE VE
FIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ± 0.07 '.
5 TOTAL PARKING SPACES (4 REGULAR & 1 DISABLED). | SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR A DIGITAL SIGNATURE
SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. | JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2
BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
MICTOR R. CHRERT BEOFESSIONAL SUBVEYOR AND MAPPER L | ATE OF FLORIDA BANK PARCEL
 | CROSSROADS SHOPP
COCONUT CREEK PARKWAY, EAS
MARGATE, BROWARD | | | 60'
TELEPHONE: (954) 572–1777
FAX: (954) 572–1778
E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
 | FILE: CLUTCH | CHECKED BY: J.F.P. SURVEY DATE: 1/31/20 ORDER NO.: 66808 |

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TO AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(c), 8, 9, & 11 OF
SURVEYOR AND MAPPER.
ELOHN F. PULCE, FROFESSIONAL SURVEYOR AND MAPPER L32691
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CHOOFFEE EXPANSION LLC; DUNAY MISKEL BACKMAN LLP.
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ESTABLISHED AND ADOPTED BY ALTA AND THE SURVEYOR AND MADPER LS263
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