

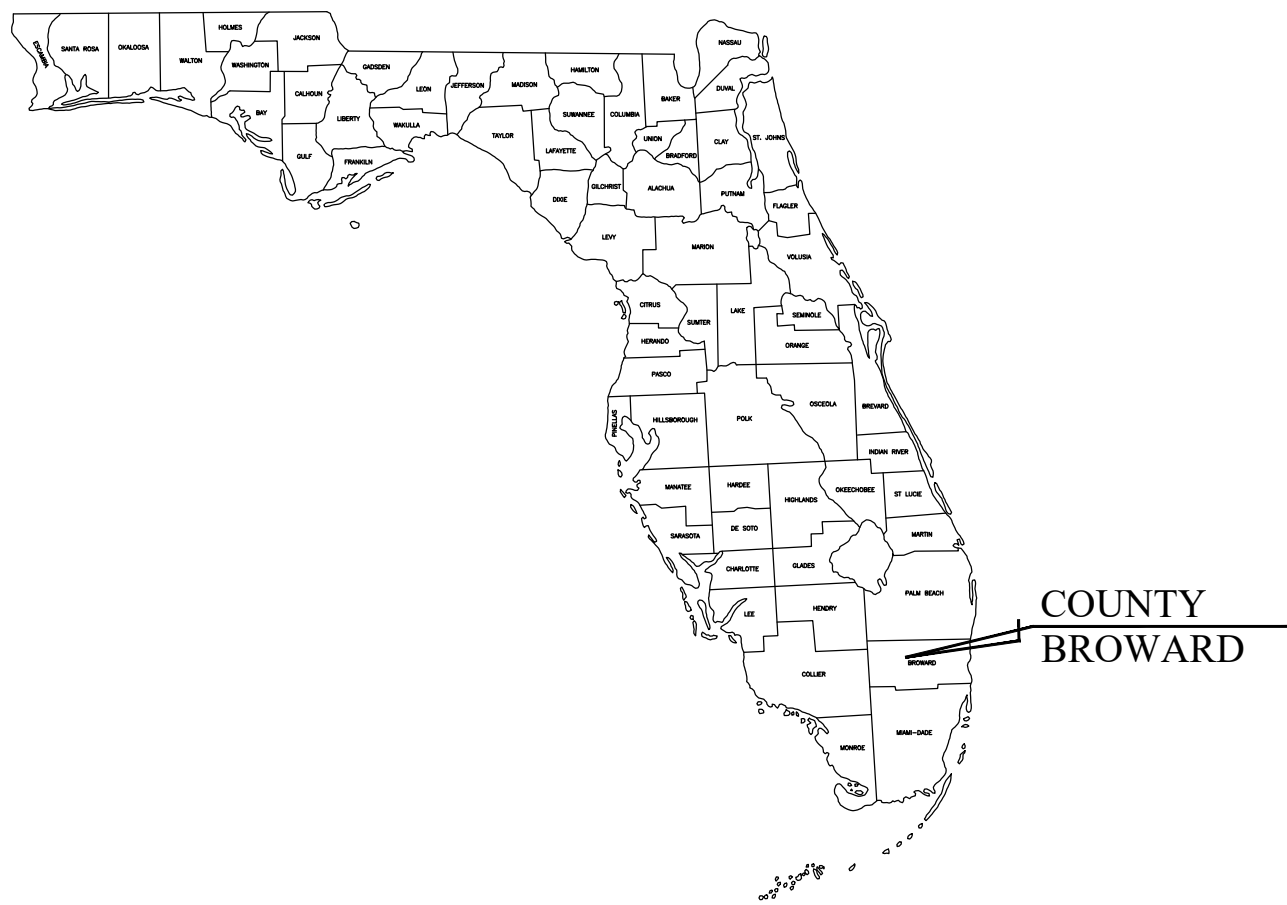
SITE PLAN/ SPECIAL EXCEPTION APPLICATION
FOR

CLUTCH COFFEE

FOLIO #484231150016

5300 COCONUT CREEK PKWY.

MARGATE, FLORIDA 33083



PREPARED FOR:
CLUTCH COFFEE EXPANSION, LLC
MAY 2020

PROJECT LOCATION

PROJECT CONTACTS:

OWNER:
CLUTCH COFFEE EXPANSION, LLC
112 DAVENTRY PLACE
MOORESVILLE, NC 28117
(541) 643-1144
CONTACT: DARREN SPICER

ARCHITECT:
PRISM ARCHITECTURE
100 SE 3RD AVE.,
FORT LAUDERDALE, FL 33394
(561) 719-4224
CONTACT: MICHAEL GARRISON

ENGINEER OF RECORD:
DYNAMIC ENGINEERING CONSULTANTS, P.C.
100 NE 5TH AVE, SUITE B2
DELRAY BEACH, FL 33483
(561) 921-8570
CONTACT: MICHAEL D. MILES, P.E.

LANDSCAPE ARCHITECT:
SCOTT BARBER DESIGNS, PA.
1551 WYNDCLIFF DR.
WELLINGTON, FL 33414
(561) 309-7263
CONTACT: SCOTT BARBER

SURVEYOR:
PULICE LAND SURVEYORS, INC.
5381 NOB HILL RD.
SUNRISE, FL 33351
(954) 572-1777
CONTACT: JOHN F. PULICE

TRAFFIC ENGINEER:
KBP CONSULTING, INC.
8400 N UNIVERSITY DR, STE. 309,
TAMARAC, FL 33321
(954) 560-7103
CONTACT: KARL B. PETERSON, P.E.

LAND USE ATTORNEY:
DUNAY, MISKEL & BACKMAN, LLP
14 SE 4TH ST, STE. 36,
BOCA RATON, FL 33432
(561) 405-3350
CONTACT: MATTHEW H. SCOTT

AGENCY CONTACTS:

PLANNING AND ZONING:
THE CITY OF MARGATE
901 NW 66TH AVE
MARGATE, FL 33063
(954) 979-6213
CONTACT: ANDREW PINNEY

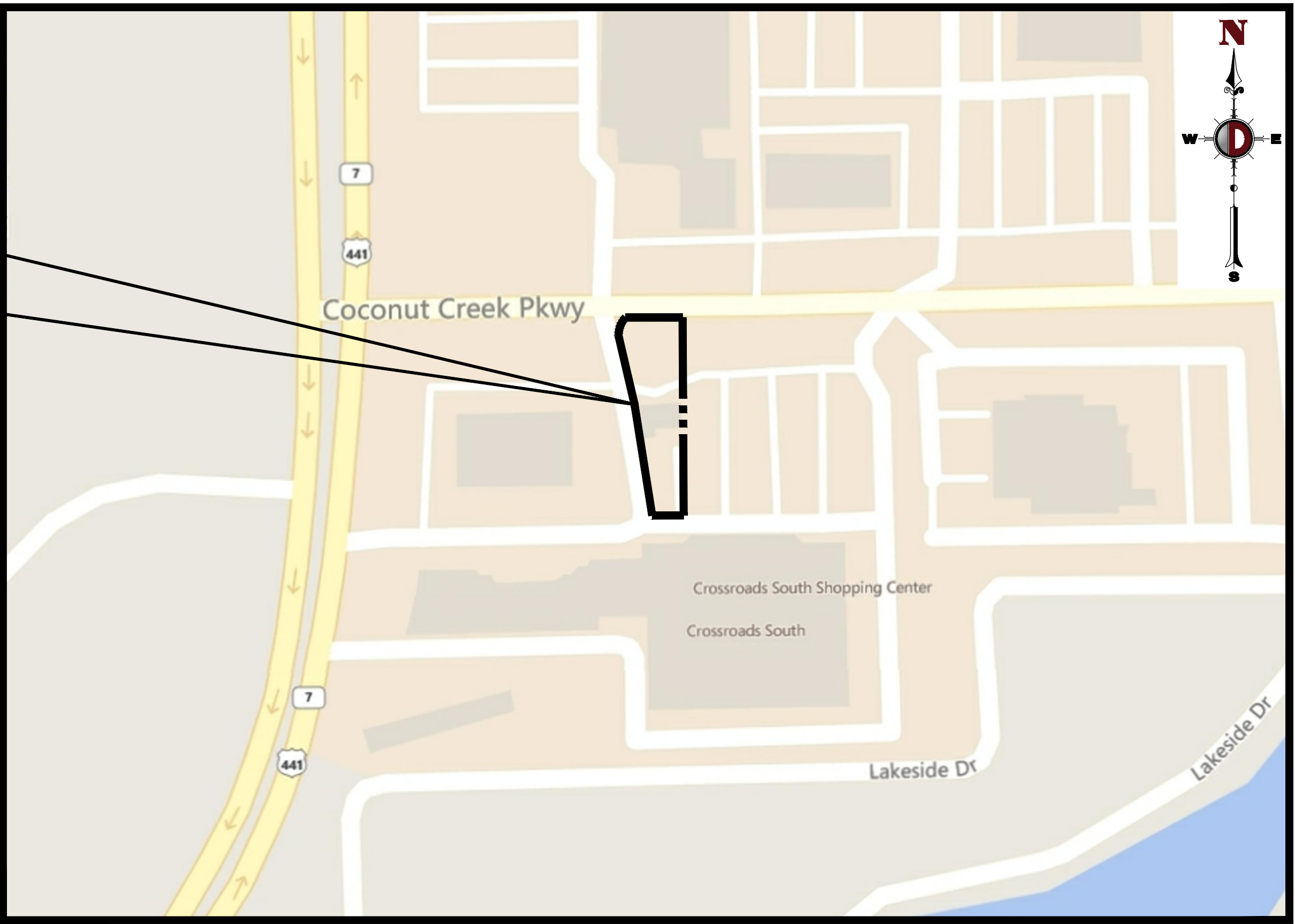
PLANNING AND ZONING:
THE CITY OF MARGATE
901 NW 66TH AVE
MARGATE, FL 33063
(954) 884-3685
CONTACT: ALEXIA HOWALD

FIRE RESCUE:
CITY OF MARGATE
1811 BANKS RD.
MARGATE, FL 33063
(954) 971-7010
CONTACT: ROBERTO LORENZO

UTILITIES:
CITY OF MARGATE UTILITIES DIVISION
901 NW 66TH AVE
MARGATE, FL 33063
(954) 884-3666
CONTACT: DANIELLA CARVAJAL

CABLE UTILITIES:
COMCAST
2601 SW 145TH AVE
MARGATE, FL 33027
(754) 221-1254
CONTACT: LEONARD MAXWELL-NEUBOLD

ELECTRIC UTILITIES:
FLORIDA POWER & LIGHT
3951 POWERLINE ROAD,
POMPANO BEACH, FL 33073
(386) 586-6403
CONTACT: JOEL BRAY



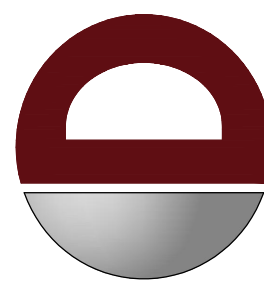
VICINITY MAP

SCALE: NOT TO SCALE

SECTION 30, TOWNSHIP 48S, RANGE 42E

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PROJECT:
CLUTCH COFFEE EXPANSION, LLC
5300 COCONUT CREEK PARKWAY
MARGATE, FL 33083

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Houston, TX • T: 281.462.0070
Alhambra, CA • T: 951.454.0100
New York, NY • T: 212.789.4400
Austin, TX • T: 512.446.2446
Delray Beach, Florida • T: 561.921.8870
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www.dynamiccec.com

MICHAEL D. MILES

PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 09/02/2020

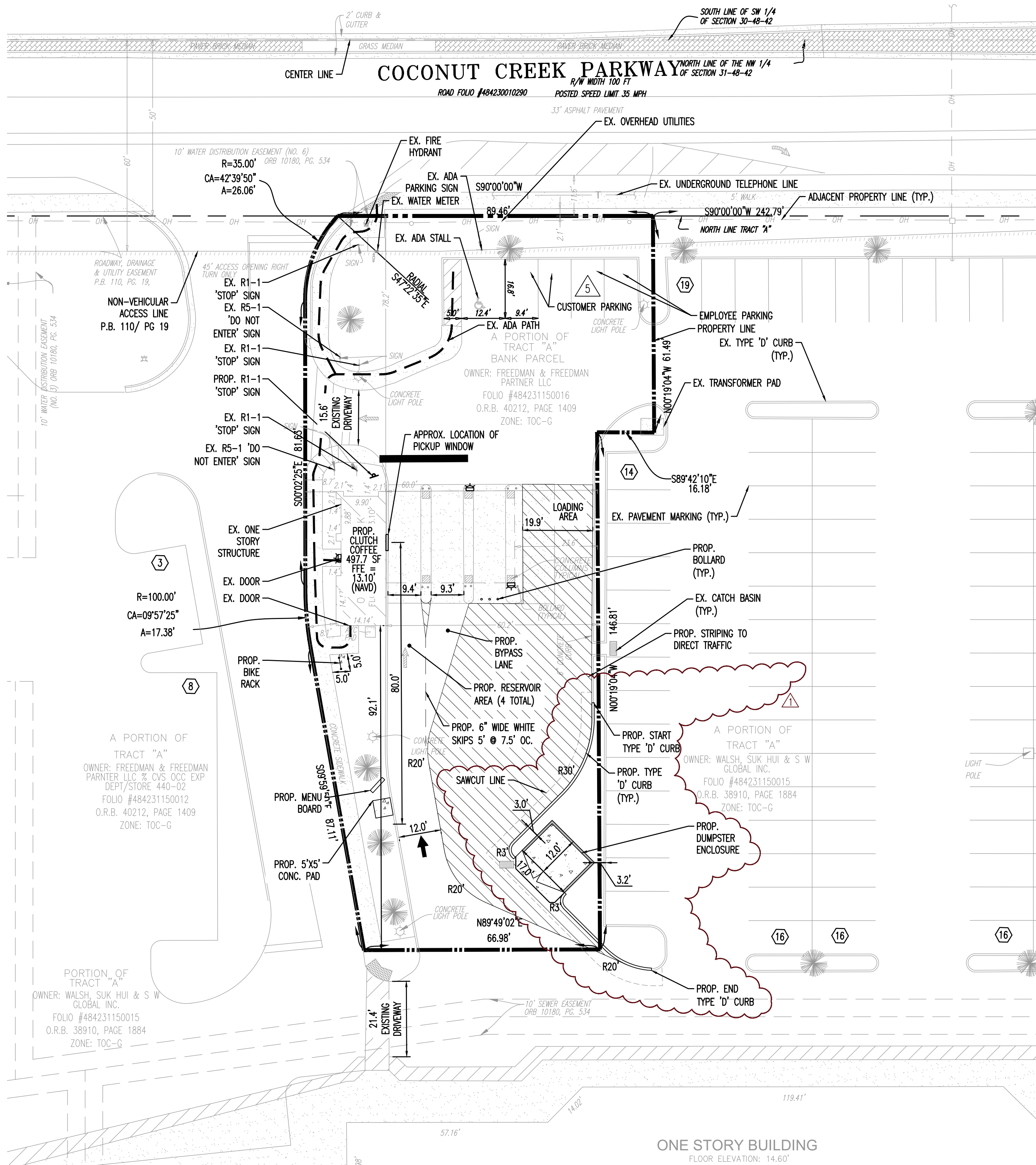
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TITLE:
COVER SHEET

SCALE (H) AS NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: C0.00 Rev. #: 1

Plotted: 09/02/20 - 3:43 PM, By: jparkinson
File: F:\DEPC PROJECTS\442 Clutch Coffee Expansion, LLC\99-001 Clutch Coffee- Mangata Dwg\Entitlements\44299001SVS.dwg, ----> C1.00- SITE PLAN



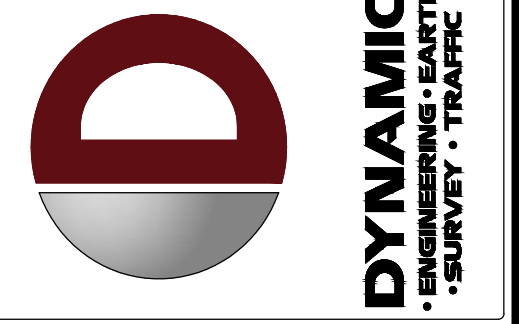
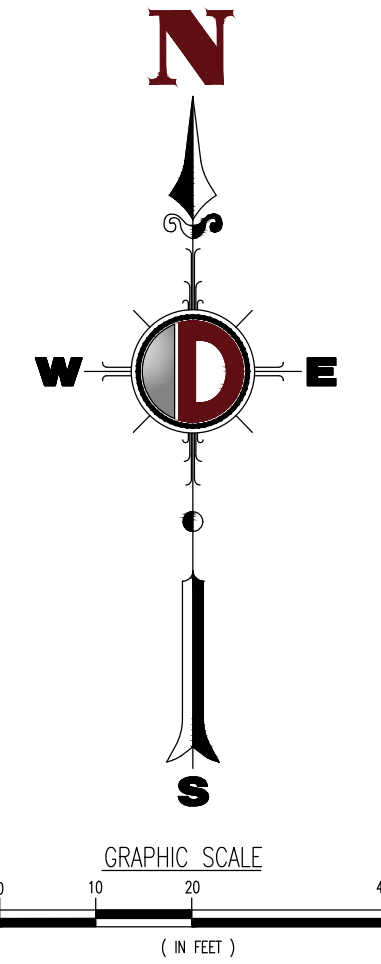
OPERATIONAL CHARACTERISTICS:

THE PROPOSED LAND USE IS A DRIVE-THROUGH ONLY COFFEE SHOP. AS SUCH, THERE WILL BE NO INDOOR OR OUTDOOR DINING / CONSUMPTION AREAS. AS A RESULT, THE PARKING DEMANDS FOR THIS PROPOSED USE ARE EXPECTED TO BE GENERATED PRINCIPALLY BY THE EMPLOYEES OF CLUTCH COFFEE.
BASED UPON INPUT FROM THE FUTURE OPERATORS, WE UNDERSTAND THAT THIS STORE WILL TYPICALLY BE STAFFED WITH TWO (2) EMPLOYEES, AND SHIFTS WILL RARELY CHANGE OVER COMPLETELY AT ONE TIME. WE ALSO UNDERSTAND THAT NOT ALL OF THEIR EMPLOYEES WILL REQUIRE PARKING. IN FACT, MANY OF THEIR EMPLOYEES ARE EXPECTED TO WALK, BIKE OR TAKE TRANSIT TO WORK. THOSE THAT DO ARRIVE BY AUTOMOBILE ARE LIKELY TO BE DROPPED OFF, BASED UPON THESE OPERATIONAL CHARACTERISTICS, IT IS EVIDENT THAT FOUR (4) STANDARD PARKING SPACES AND ONE (1) ACCESSIBLE PARKING SPACE WILL BE MORE THAN ADEQUATE TO MEET THE TYPICAL PARKING DEMANDS OF THIS STORE.

OVERALL SITE DATA				
SITE AREA COMMERCIAL:	338,746 SF (7.77 AC)			
ZONING DISTRICT:	TOC-G			
ITEMS:	REQUIRED:	PROVIDED:		
MIN. LOT SIZE	100' FRONTAGE	660' (+/-)		
	10,000 SF	287,496 SF		
MAX. HEIGHT	100'	35' (+/-)		
CLUTCH COFFEE AREA TABULATION DATA:				
	SF	AC	%	
BUILDING	497.70	0.01	2.86	
PAVING/SIDEWALKS	13,132.57	0.30	75.29	
LANDSCAPE/OPEN SPACE	3,812.73	0.09	21.86	
TOTAL AREA	17,443.00	0.40	100.00	
CROSSROADS SHOPPING CENTER AREA				
TABULATION DATA:				
	SF	AC	%	
BUILDING	94,212.00	2.16	27.81	
PAVING/SIDEWALKS	203,428.00	4.67	60.05	
LANDSCAPE/OPEN SPACE	41,468.00	0.94	12.14	
TOTAL AREA	338,746.00	7.77	100.00	
PARKING ANALYSIS:				
	STREET ADDRESS	GROSS SF	PARKING@ 50%	PARKING RATIO PROVIDED PER CODE
CVS PHARMACY	1200 FL-7	14,080	11,264	N/A
PROPOSED DRIVE-THROUGH COFFEE	5300*	448	358	N/A
DOLLAR GENERAL	5000*	59,133	47,306	N/A
VACANT	5100*	4,970	3,976	N/A
VACANT	5130*	2,450	1,960	N/A
ORIENTAL MESSAGE & SPA	5140*	1,350	1,080	N/A
MANNINO'S PIZZA RESTAURANT	5150*	1,200	960	N/A
ROSANAS HAIR BOTOX CENTER	5160*	1,342	1,074	N/A
PAS	5170*	900	720	N/A
DR. GOMEZ DDS	5180*	1,103	882	N/A
MEXICAN RESTAURANT AND BAR	5190*	1,350	675	N/A
VACANT	5200*	1,550	1,240	N/A
VACANT	5220*	1,550	1,240	N/A
VACANT	5230*	4,000	3,200	N/A
TOTALS:		95,426	75,935	328
TOTAL PARKING PROVIDED:		STANDARD	320	
		ADA	8	
TOTAL:		328		
**NOTE: ALL STREET ADDRESSES (UNLESS OTHERWISE STATED) ARE COCONUT CREEK PARKWAY				
**NOTE: THE ABOVE SITE DATA INFORMATION IS DERIVED FROM THE SITE PLAN OF RECORD APPROVED ON MARCH 15TH, 2004				

LEGEND:

- PROPOSED SIGNS
- EXISTING SIGNS
- PROPOSED 24" WHITE PAINTED STOP BAR
- PROPOSED WHITE PAINTED THROUGH-LANE-USE ARROW IN DRIVE AISLES PER FOOT INDEX 711-001.
- PROPOSED YELLOW 8" WIDE 45' 4" O.C. PER MUTCD 38.24.05
- EXISTING DIRECTIONAL ARROW
- EXISTING SIDEWALK
- PROPOSED CONCRETE PAD
- PARKING COUNT (ONSITE)
- PARKING COUNT (OFFSITE)



REV.	DATE	COMMENTS	BY
1	08/25/20	UPC COMMENTS	ACM

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PROJECT: CLUTCH COFFEE EXPANSION, LLC
5300 COCONUT CREEK PARKWAY
MARGATE, FL 33063

CHECKED BY: JCP
CHECKED BY: ACM
CHECKED BY: MDW

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MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 08/02/2020

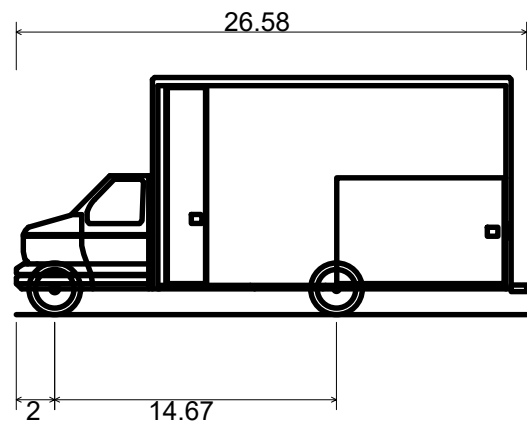
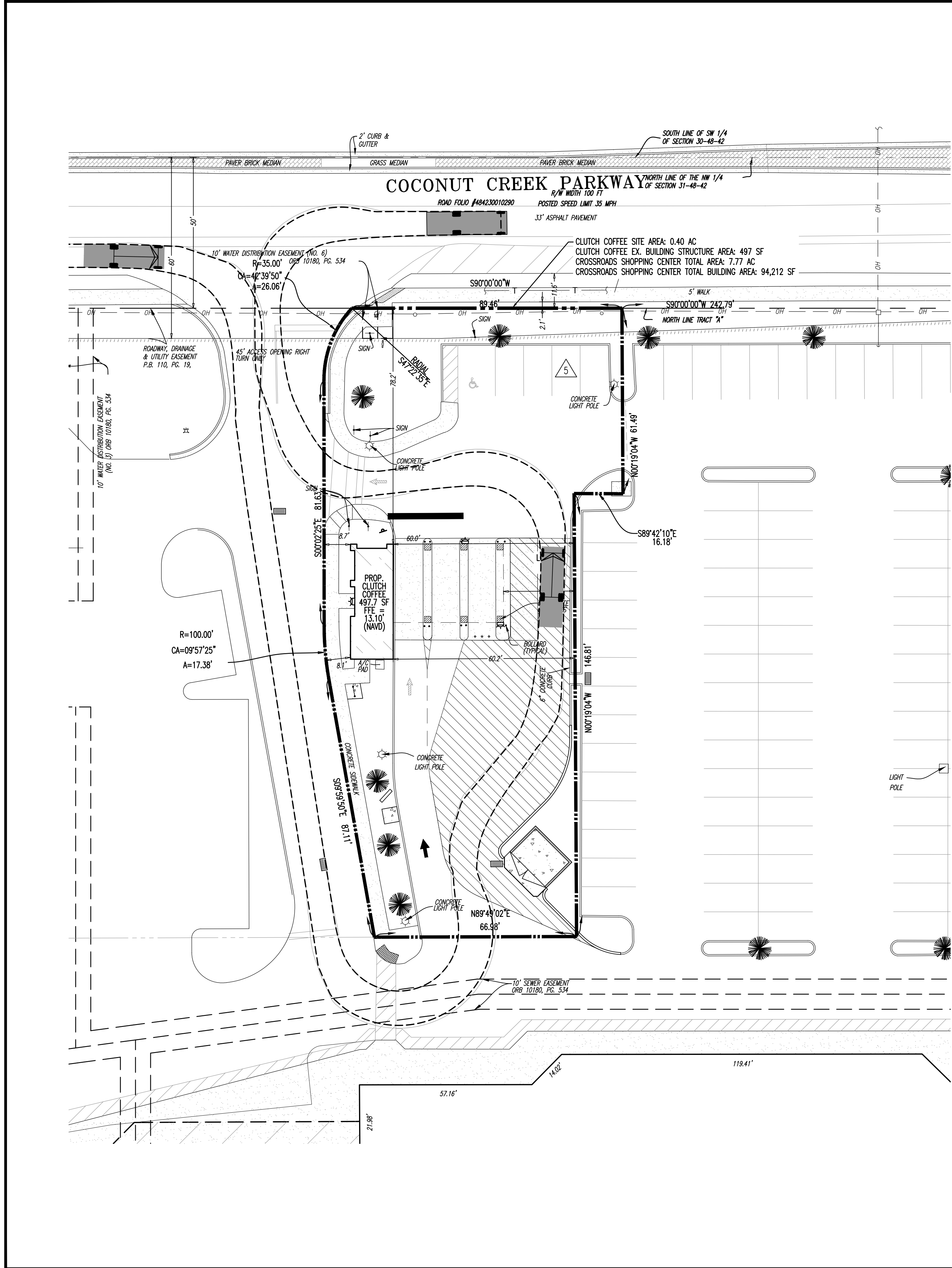
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TITLE:
SITE PLAN

SCALE (H) AS NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: **C1.00** Rev. #: **1**

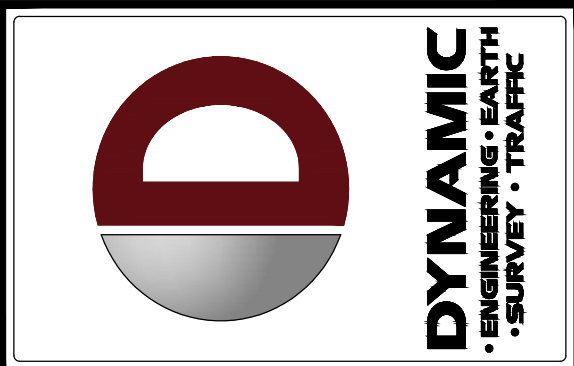
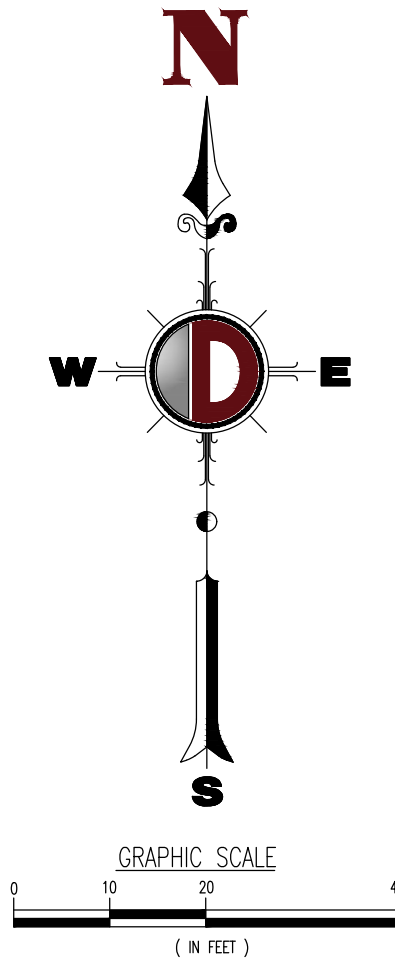
Plotted: 09/02/20 -- 3:43 PM, By: jparkinson
File: F:\DEPC PROJECTS\3422 Clutch Coffee Expansion, LLC\99-001 Clutch Coffee- Mangata Dwg\Entitlements\342299001\SXS.dwg, ----> C1.01 LOADING TRUCK ROUTE PLAN



20 FT UHAUL
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Steering Angle (Virtual)

LOADING TRUCK

26.580ft
7.670ft
12.353ft
1.204ft
7.670ft
5.00s
31.80°



REV.	DATE	COMMENTS	ACD	BY
1	08/25/20	DPC COMMENTS		

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DESIGNED BY: JCP
CHECKED BY: JCP
MDM
ACM

PROJECT: CLUTCH COFFEE EXPANSION, LLC
DRIVE-THROUGH COFFEE BAR
5330 COCONUT CREEK PARKWAY
MARGATE, FL 33063

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MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 09/02/2020

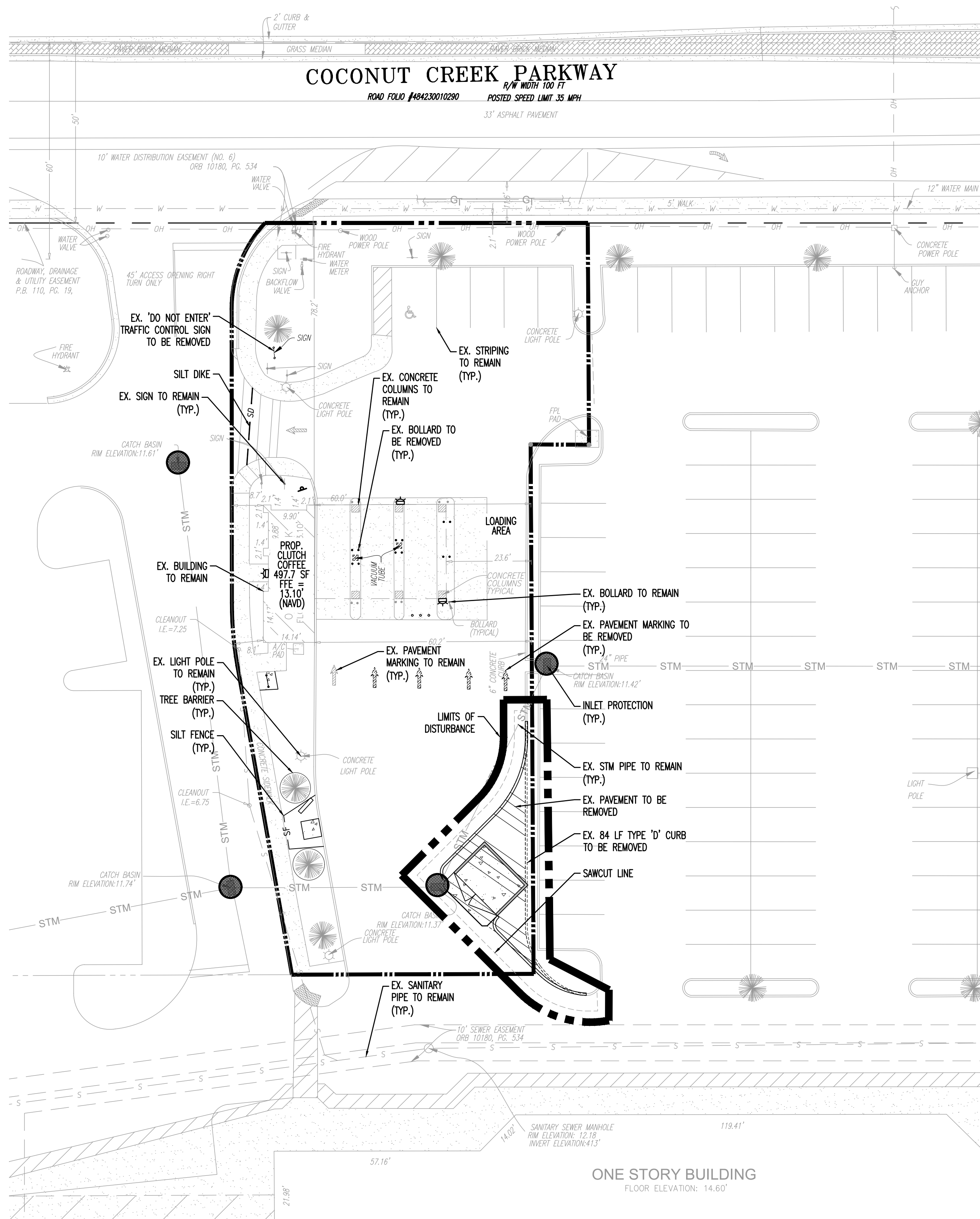
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TITLE: **LOADING TRUCK ROUTE PLAN**

SCALE: (H) AS NOTED (M) NOTED
DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: **C1.01** Rev. #: 1

Plotted: 09/02/20 - 3:43 PM, By: jparkinson
File: F:\DEPC PROJECTS\3422 Clutch Coffee Expansion, LLC\99-001 Clutch Coffee-- Margate Dwg\Entitlements\3422299001SR0.dwg, ----> DEMOLITION AND EROSION CONTROL PLAN



DEMOLITION NOTES:

- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- REFER TO LANDSCAPE PLANS FOR TREE REMOVAL, RELOCATION, AND PROTECTION INFORMATION. ANY AREAS FOR LANDSCAPING SHALL HAVE ALL BASE AND SUBGRADE MATERIAL REMOVED TO A DEPTH OF 3 FEET.
- ALL VALVE BOXES, MANHOLES, CATCH BASINS, AND OTHER ITEMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
- THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
- THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION AND DEMATERING PERMITS, IF APPLICABLE.
- ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE.
- CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
- CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAIL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
- WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS. CONTRACTOR SHALL REPLACE DAMAGED STRUCTURES AT THEIR EXPENSE.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. AS APPROVED BY THE CITY OF PALM BEACH GARDENS AND CONSTRUCTION MANAGER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES AND CONSTRUCTION OF NEW FACILITIES. SIGNAGE SHALL BE POSTED TO DIRECT THE PUBLIC TO THE PATH OF TRAVEL.
- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.

EROSION CONTROL NOTES:

- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
- ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
- AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY, ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
- SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCRoACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEARED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
- EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND COUNTY PERMITS.
- CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEMATERING ACTIVITIES.
- CONTRACTOR MUST INCORPORATE MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
- THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
- NOI SHALL BE POSTED ON SITE.
- DEMATERING ACTIVITIES:
 - DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
 - CONTRACTOR MUST HAVE A TRANSFERABLE SWMNO DEMATERING PERMIT.
 - NO HYDRAULIC PUMPS MAY BE USED FOR DEMATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA.

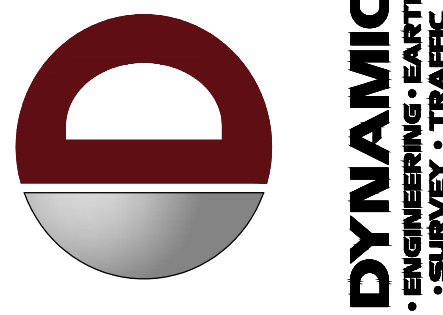
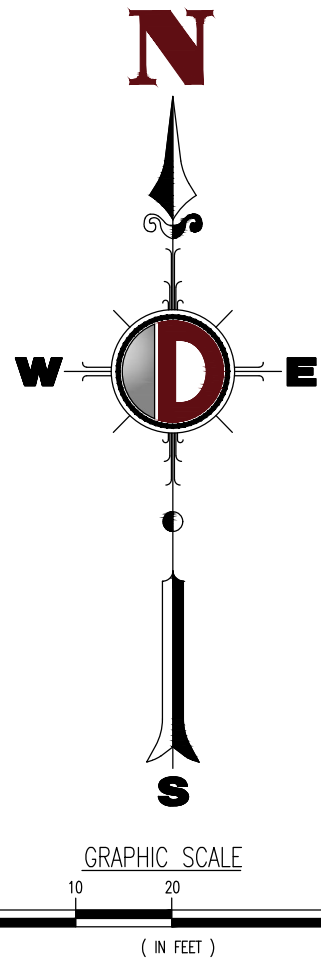
PHASING NOTES:

- CONTRACTOR MAY PHASE EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH SITE CONSTRUCTION PHASING.
- CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION AREA IS SEPARATED FROM THE AREA NOT UNDER CONSTRUCTION WITH A TEMPORARY CHAIN LINK FENCE AND ENSURE THE SAFETY OF THE PUBLIC.
- CONTRACTOR SHALL PROVIDE SWPPP AS REQUIRED FOR THE PROPOSED PAVING, GRADING AND DRAINAGE PLAN. SEE ATTACHED DETAILS AS NECESSARY.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE												
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH SPECIFIC PROJECT SCHEDULE												
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION ENTRANCE												
TEMPORARY CONTROL MEASURES												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												

LEGEND:

- LIMITS OF EXISTING SITE FEATURES TO BE REMOVED
- TREE BARRIER
- SILT FENCE
- INLET PROTECTION
- SILT DIKE
- EXISTING CURB TO BE REMOVED
- EXISTING PAVEMENT TO BE REMOVED
- LIMITS OF DISTURBANCE



REV	DATE	COMMENTS	BY
1	08/25/20	UPC COMMENTS	ACM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION	
DRAWN BY: JCP	CHECKED BY: ACM
DESIGNED BY: JCP	CHECKED BY: MDW
PROJECT: CLUTCH COFFEE EXPANSION, LLC DRIVE-THROUGH COFFEE BAR 5500 COCONUT CREEK PARKWAY MARGATE, FL 33063	

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MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 09/02/2020

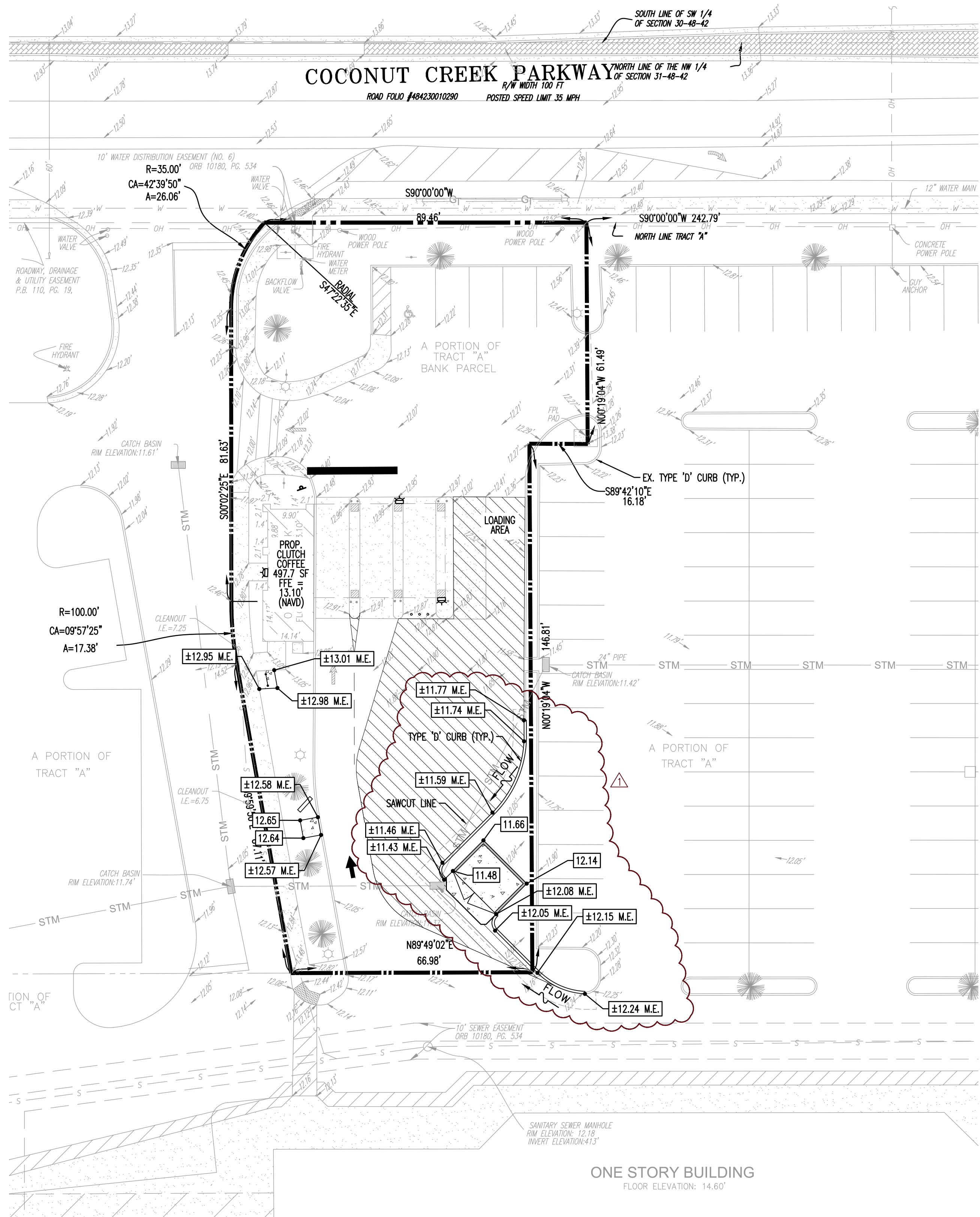
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TITLE: **DEMOLITION AND EROSION CONTROL PLAN**

SCALE: (H) AS NOTED (M) NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: **C2.00** Rev. #: 1

Plotted: 09/02/20 - 3:44 PM, By: jparkinson
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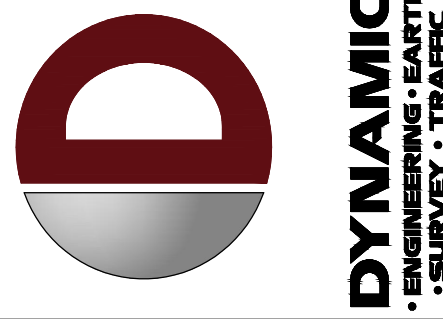
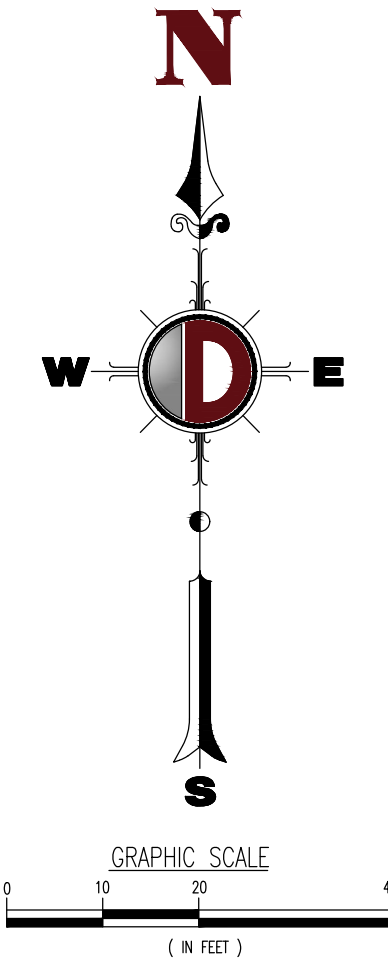


PAVING, GRADING & DRAINAGE NOTES:

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL, COUNTY OR FDOT REQUIREMENTS.
- ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. '88).
- THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0%. THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 1V:12H (8.3%). ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2.0% IN ANY DIRECTION (INCLUDING DIAGONAL).
- ALL RAMPS SHALL COMPLY WITH FDOT INDEX 522.
- CONTRACTOR SHALL CLEAN ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AND PIPES UPON COMPLETION OF CONSTRUCTION.
- PROPOSED ELEVATIONS OF CURB REPRESENT TOP OF CURB ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL STRIPING IS TO BE PAINTED IN ACCORDANCE WITH FDOT REQUIREMENTS UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKING AND STRIPING, EXCLUDING PARKING STALL STRIPING, SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS.

LEGEND:

- EXISTING CONCRETE SIDEWALK & PAVEMENT SECTIONS
- PROPOSED CONCRETE SIDEWALK & PAVEMENT SECTIONS
- PROPOSED GRADES
- MATCH EXISTING GRADES @ TOP OF CURB
- EXISTING GRADES
- DIRECTION OF FLOW



REV.	DATE	COMMENTS	ACD	BY
1	08/25/20	UPC COMMENTS		

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DRAWN BY: JCP	CHECKED BY: MDM
PROJECT: CLUTCH COFFEE EXPANSION, LLC	PROJECT: CLUTCH COFFEE EXPANSION, LLC
DRIVE-THROUGH COFFEE BAR	
5500 COCONUT CREEK PARKWAY	
MARGATE, FL 33063	

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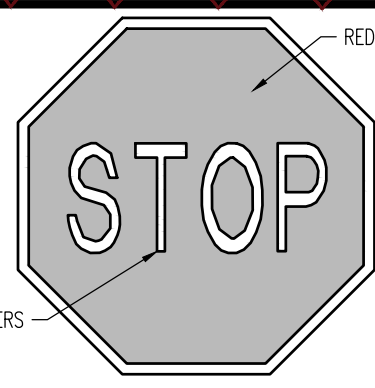
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PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 81313
DATE: 09/02/2020

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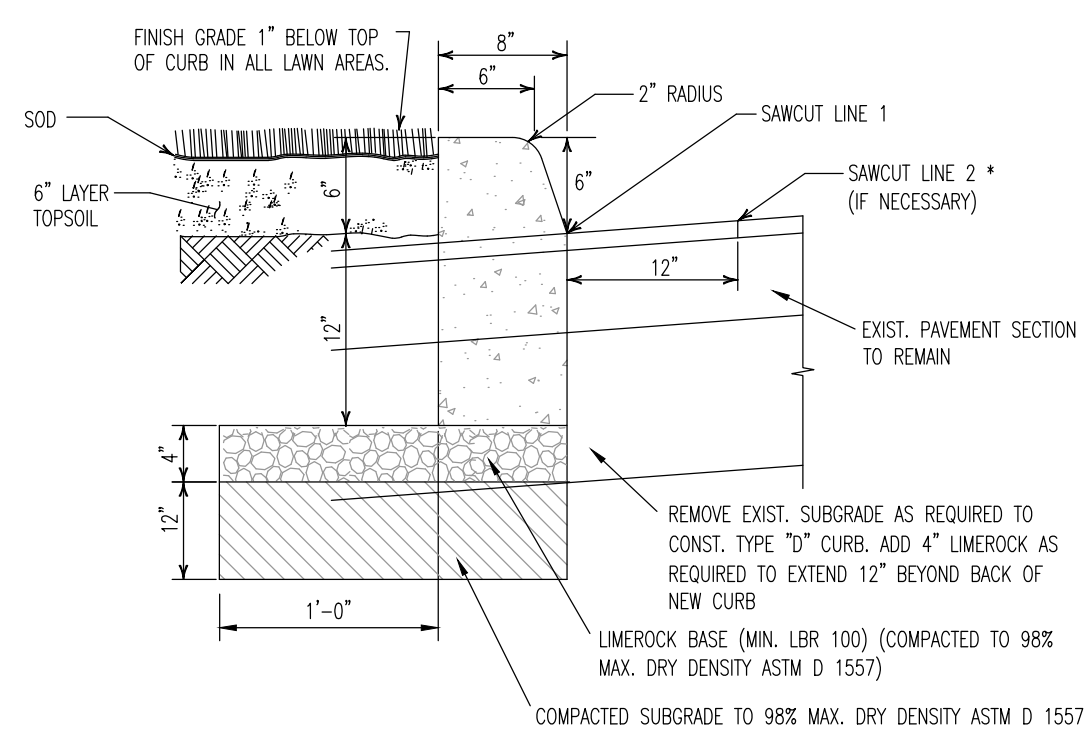
TITLE:
**PAVING, GRADING
AND DRAINAGE PLAN**

SCALE (H) AS NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

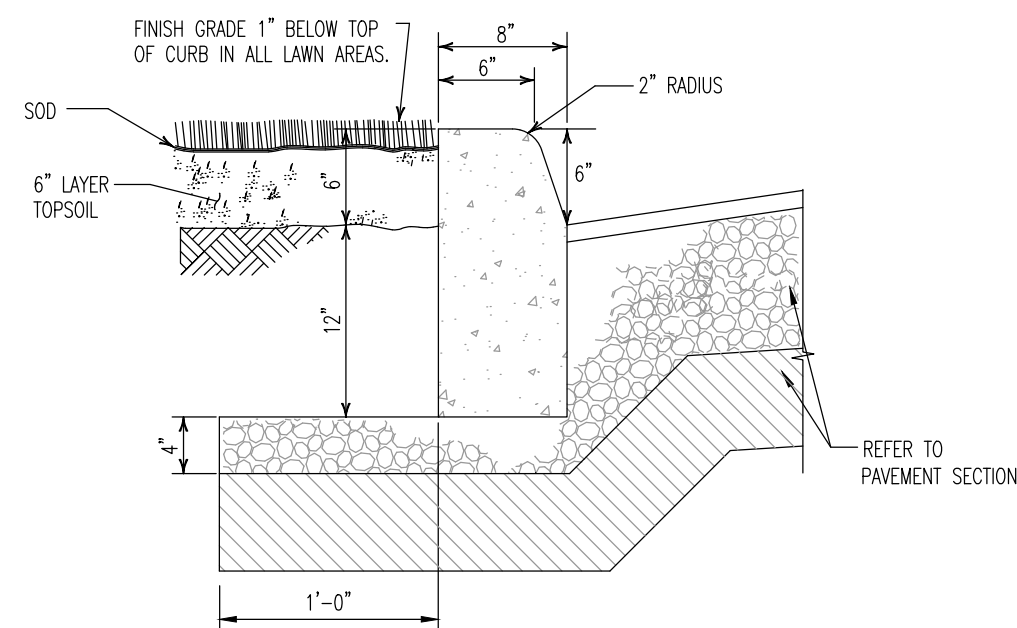
SHEET No: **C3.00** Rev. #: 1



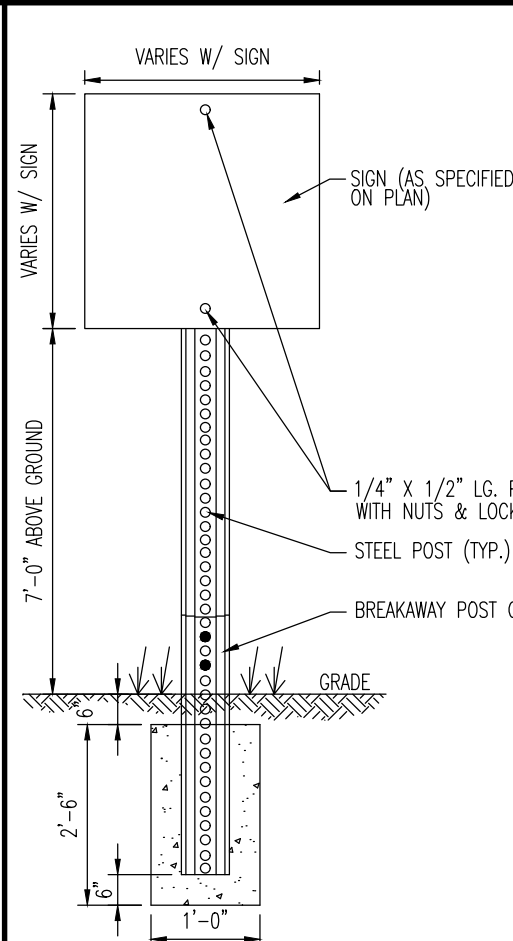
R1-1 SIGN DETAIL
NOT TO SCALE



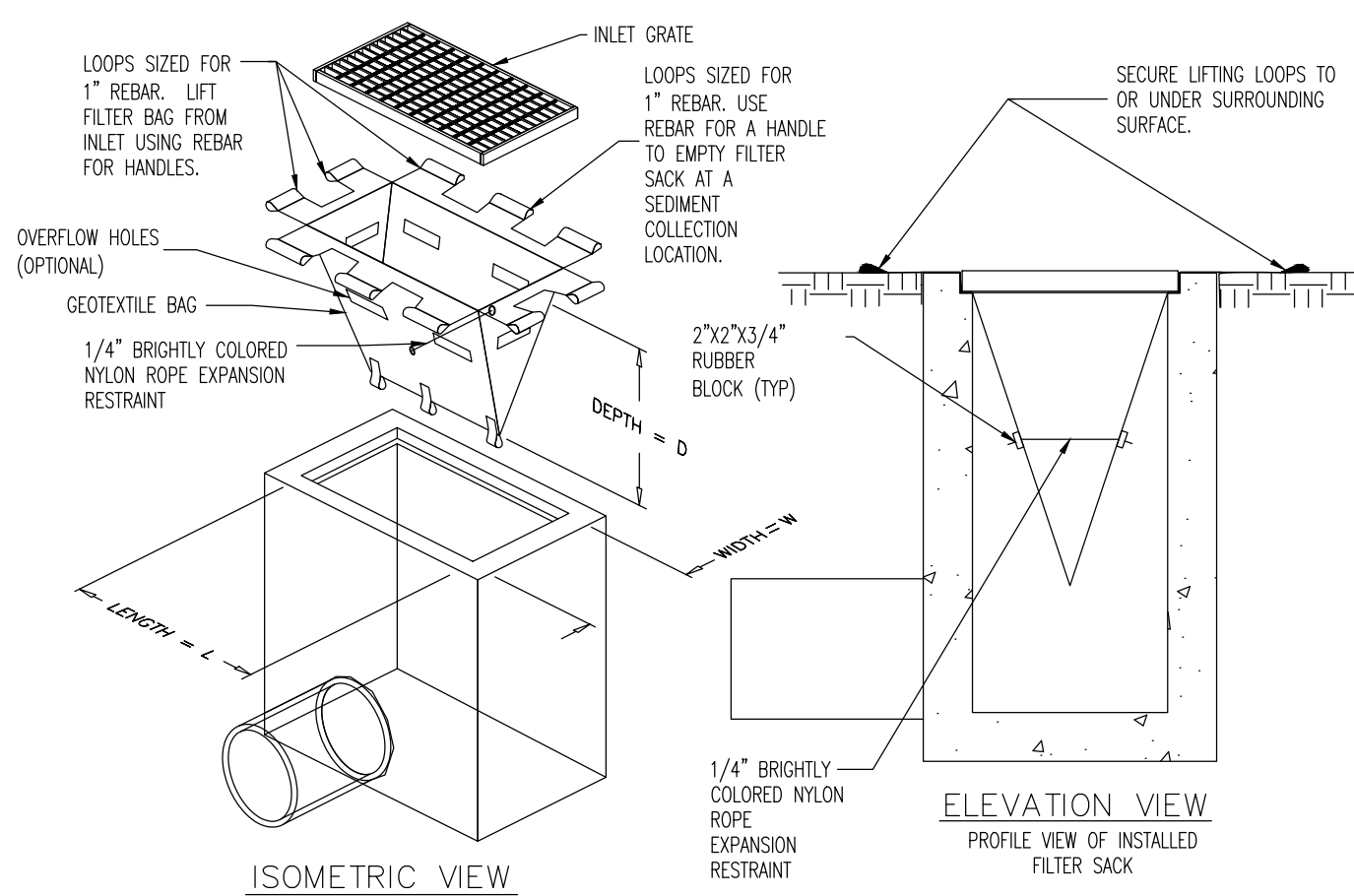
TYPE "D" CURB ALONG EXISTING PAVEMENT DETAIL
NOT TO SCALE



TYPE "D" CURB DETAIL
NOT TO SCALE



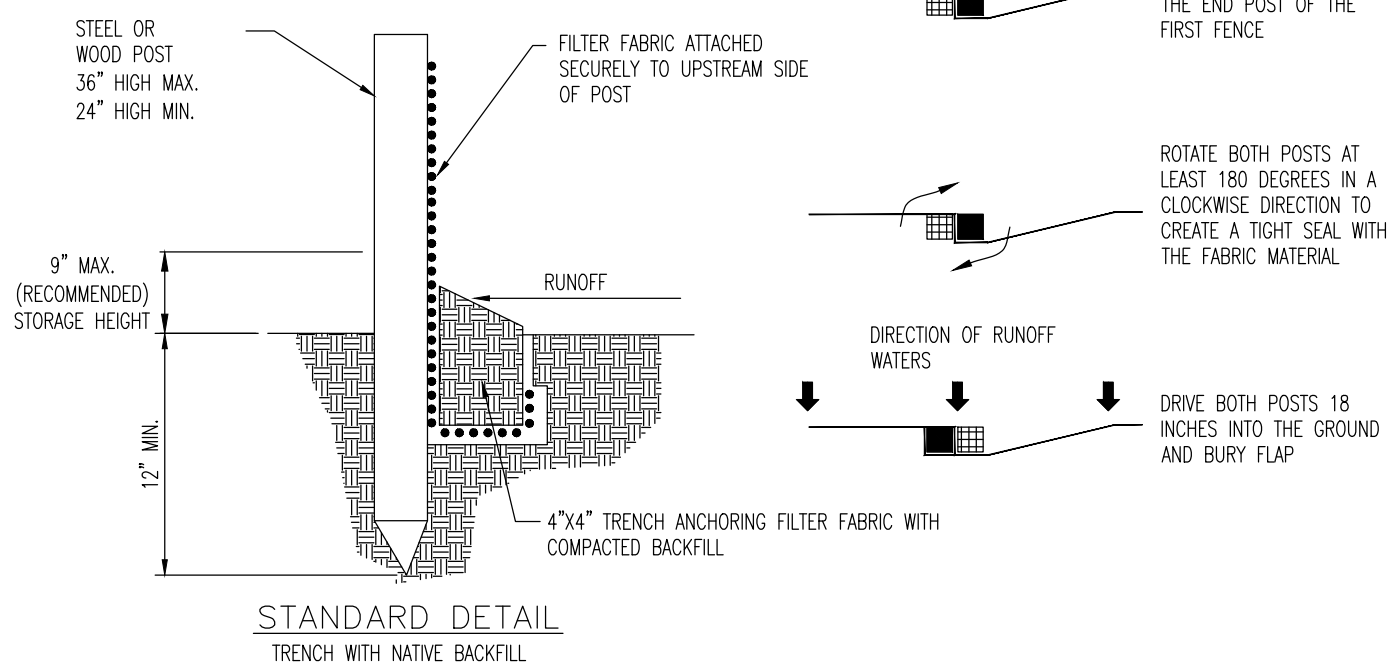
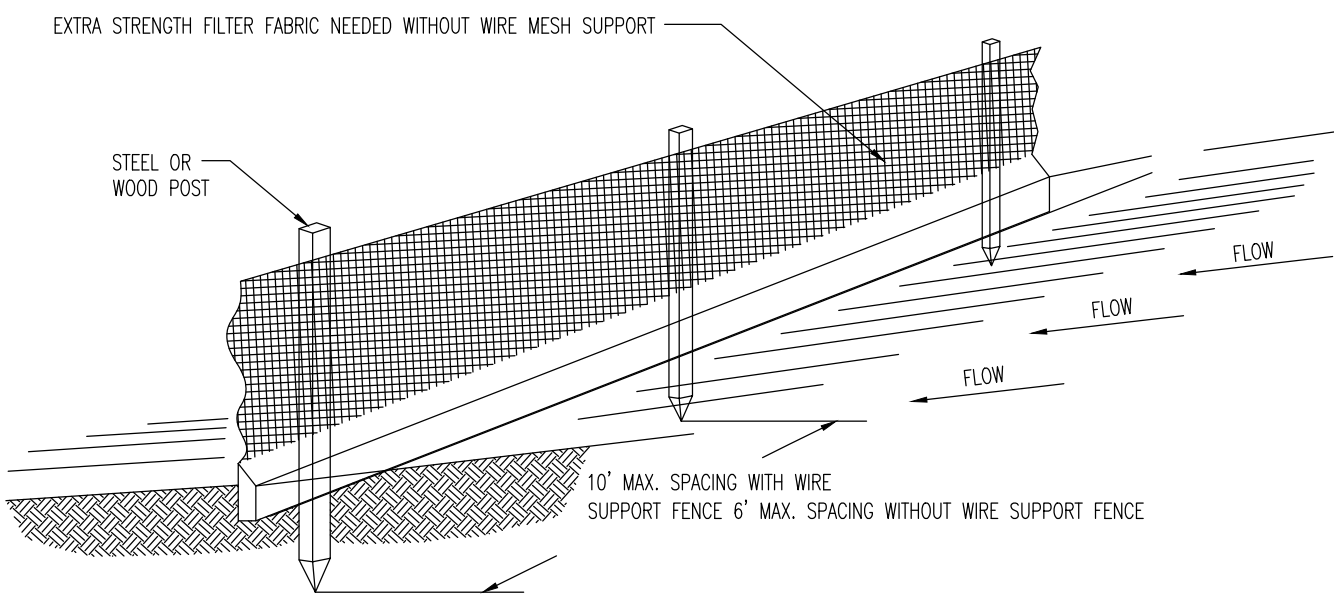
SIGN POST & FOOTING DETAIL
NOT TO SCALE



LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS	
GRAB TENSILE ELONGATION	ASTM D-4632	20 %	
PUNCTURE	ASTM D-4833	120 LBS	
MULLEN BURST	ASTM D-3786	800 PSI	
TRAPEZOID TEAR	ASTM D-4633	120 LBS	
UV RESISTANCE	ASTM D-4355	80 %	
APPARENT OPENING SIZE	ASTM D-4751	40 US SEIVE	
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT	
PERMITTIVITY	ASTM D-4491	0.55 SEC -1	

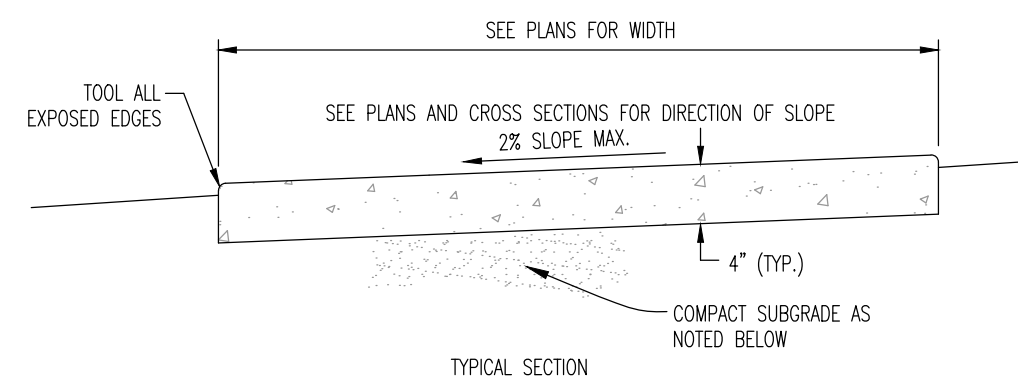
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS	
GRAB TENSILE ELONGATION	ASTM D-4632	20 %	
PUNCTURE	ASTM D-4833	135 LBS	
MULLEN BURST	ASTM D-3786	420 PSI	
TRAPEZOID TEAR	ASTM D-4633	45 LBS	
UV RESISTANCE	ASTM D-4355	90 %	
APPARENT OPENING SIZE	ASTM D-4751	20 US SEIVE	
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT	
PERMITTIVITY	ASTM D-4491	1.5 SEC -1	

FILTER SACK INLET PROTECTION
NOT TO SCALE



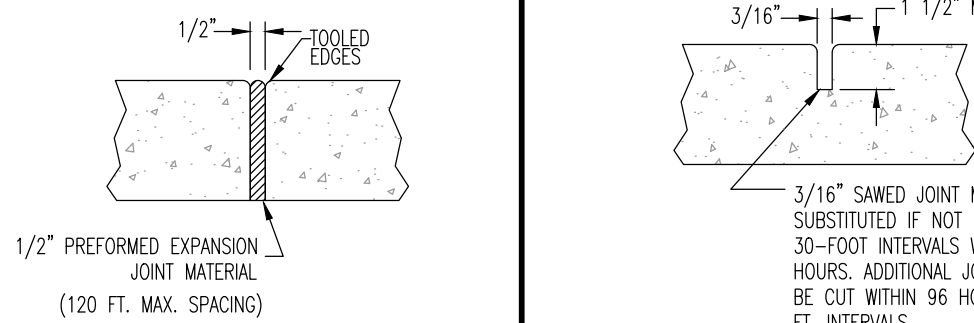
- NOTE:
- INSPECT AND REPAIR FENCE EVERY 7 DAYS AND AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - DOUBLE ROW SILT FENCE SHALL BE INSTALLED WITH 3' HORIZONTAL SPACING.

STAKED SILT FENCE
NOT TO SCALE

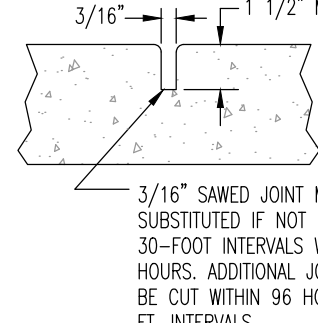


- NOTES:
- PROVIDE EXPANSION JOINTS BETWEEN SIDEWALK AND CURB OR AT ANY OTHER RIGID STRUCTURE.
 - EXPANSION JOINTS SHALL BE PROVIDED AT 120 FT. MAXIMUM SPACING.
 - ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3,000 P.S.I. @ 28 DAYS FOR SIDEWALKS.
 - MINIMUM THICKNESS OF SIDEWALK SHALL BE 4" THICK CONCRETE, 6" THICK WHEN SUBJECT TO VEHICULAR TRAFFIC.
 - FOR SIDEWALKS OR DRIVEWAYS WITHIN R.O.W., COMPACT SUBGRADE TO 98% OF MAXIMUM DENSITY AS DETERMINED BY ASTM1557. COMPACTION OUTSIDE R.O.W. MAY BE 95% OF MAXIMUM DENSITY.

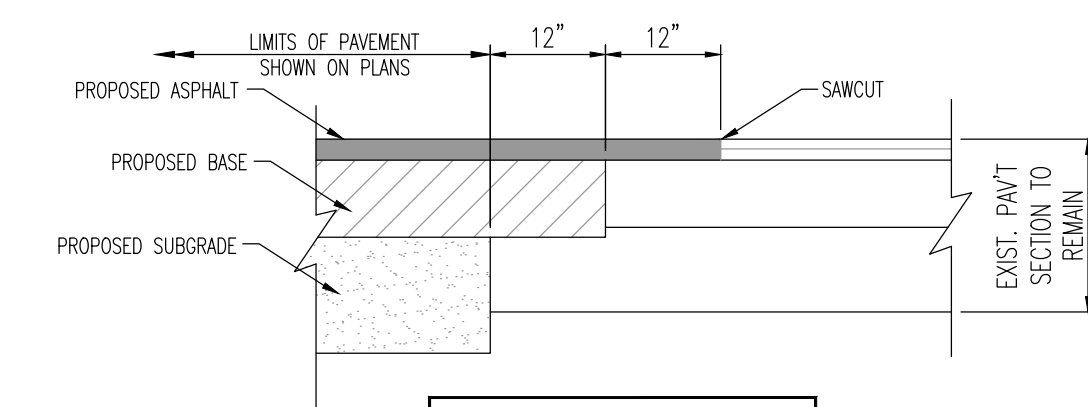
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



EXPANSION JOINT DETAIL
NOT TO SCALE

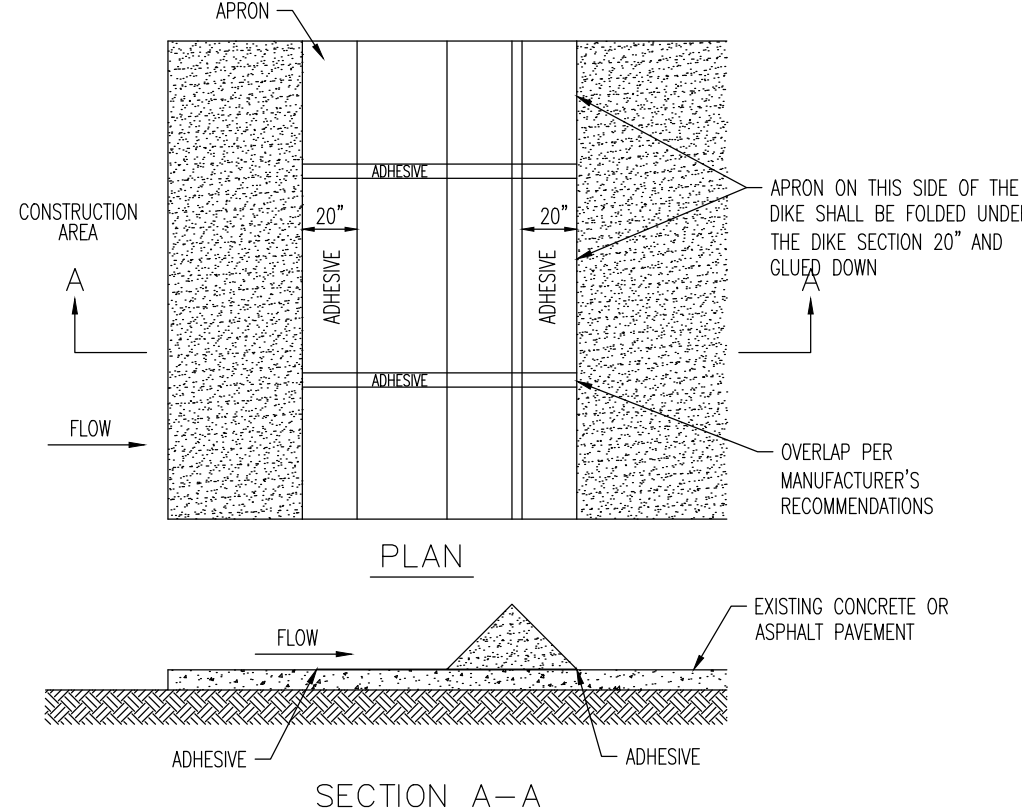


CONTRACTION JOINT DETAIL
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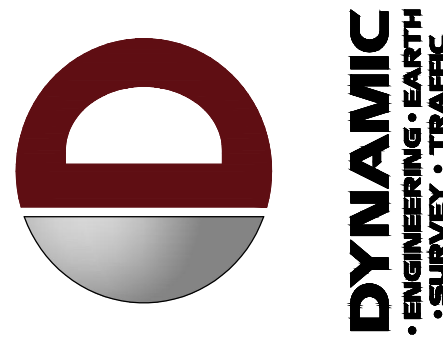


SAWCUT/PAVEMENT MATCHING DETAIL
NOT TO SCALE

- NOTES:
- INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.
 - ADHESIVES SHALL BE LIQUID NAILS OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS.
 - ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.



SILT DIKE ON EXISTING PAVEMENT
NOT TO SCALE



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FLORIDA LICENSE No. 81313
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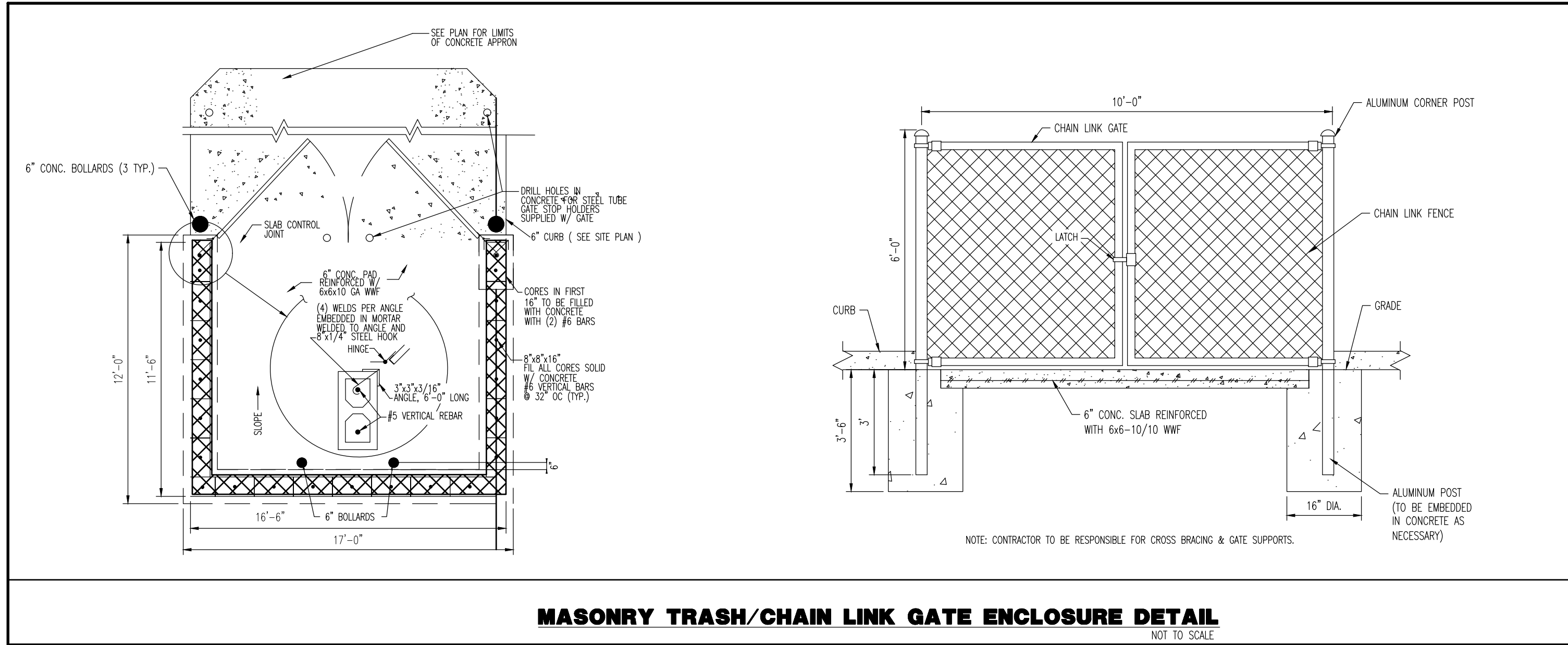
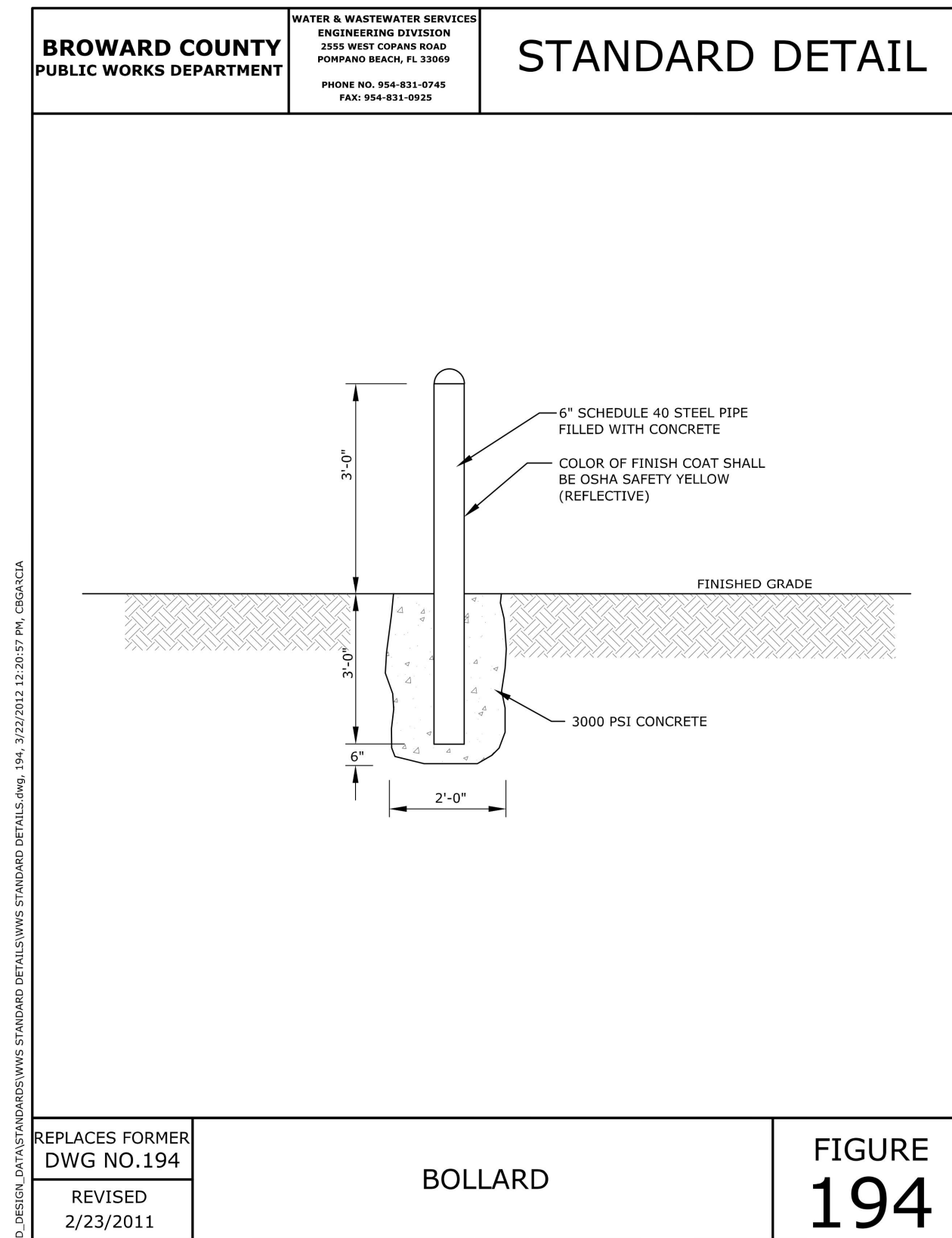
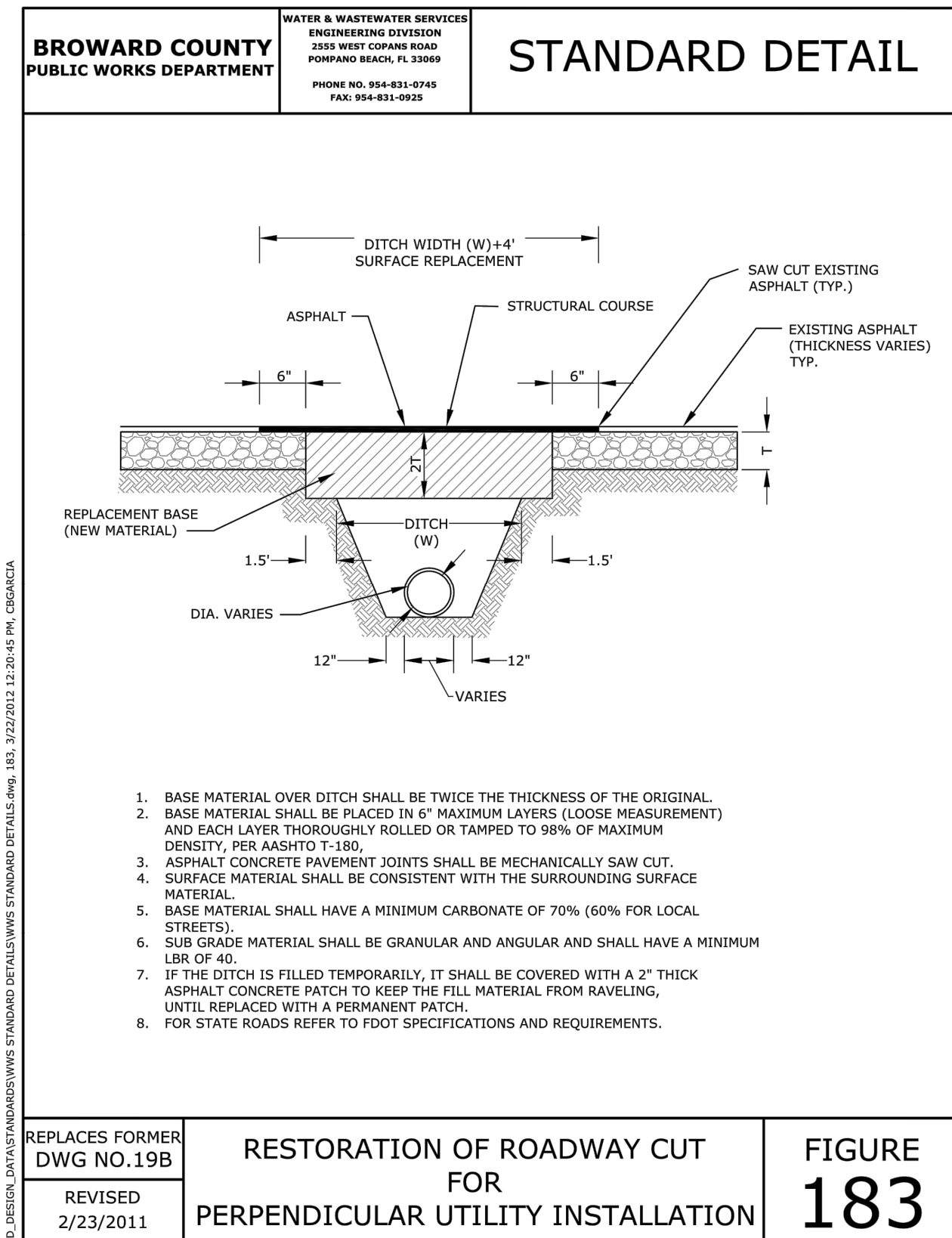
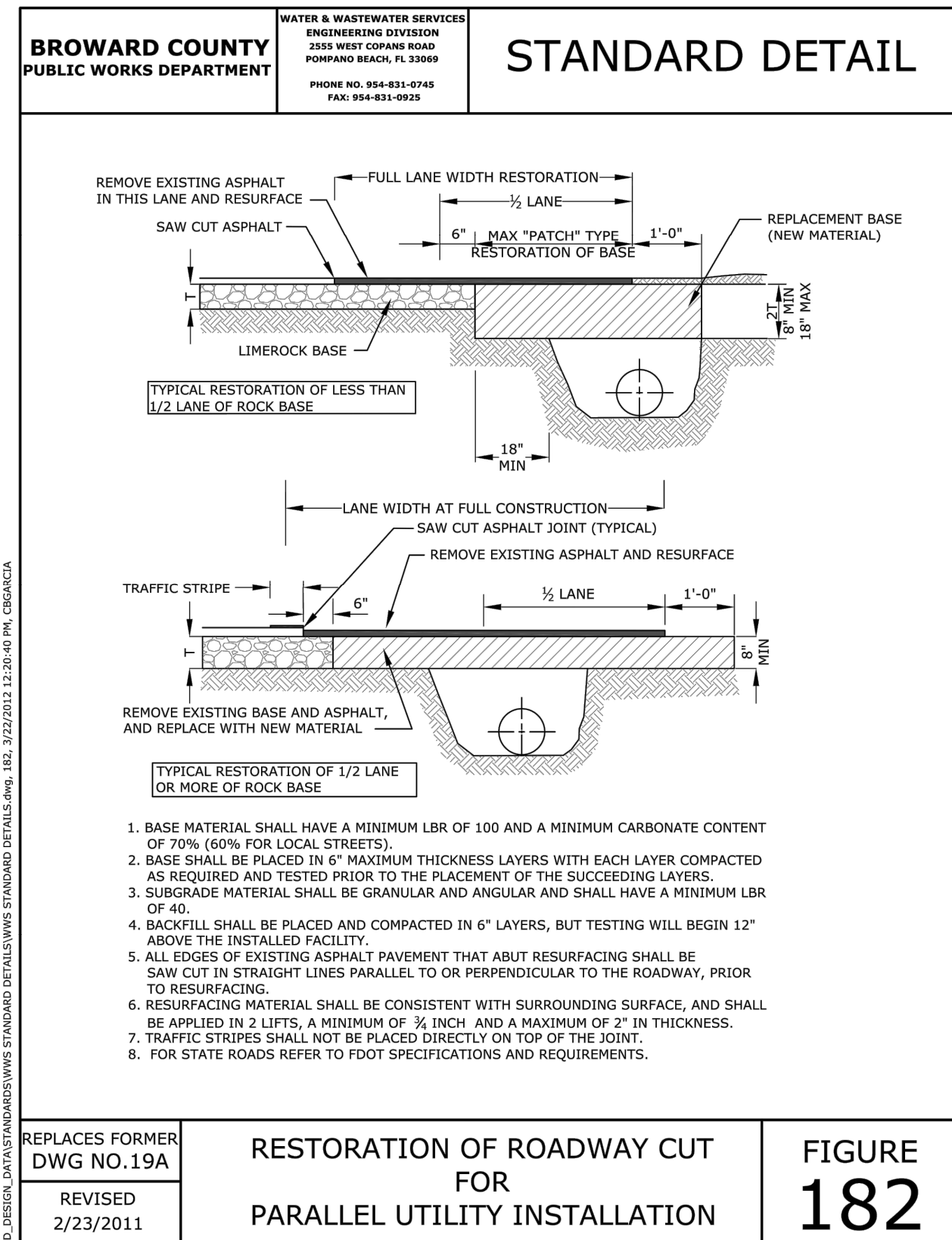
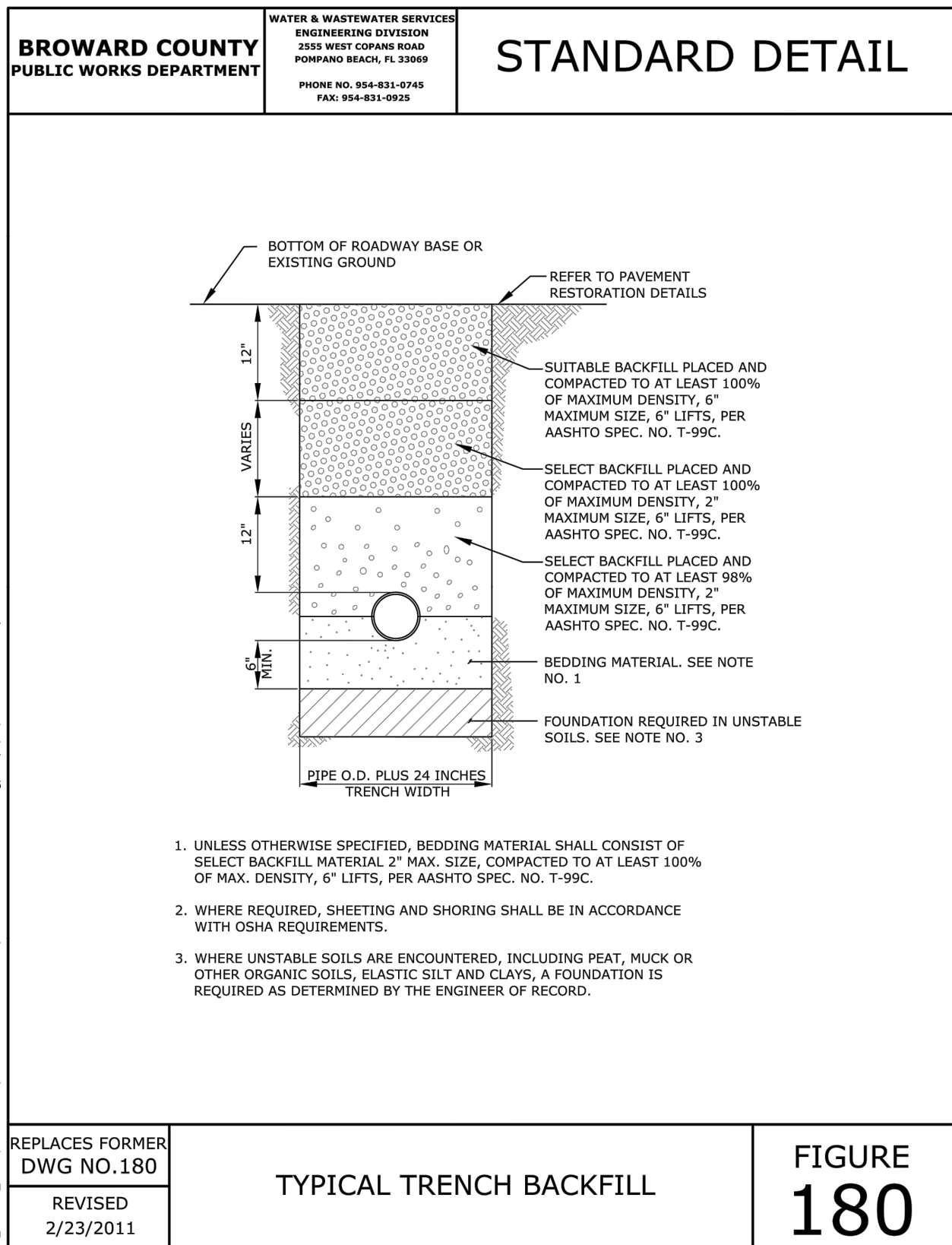
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TITLE:
**CONSTRUCTION
DETAILS**

SCALE: (H) AS NOTED (M) NOTED DATE: 06/01/2020
PROJECT No: 3422-99-001

SHEET No: **C4.00** Rev. #: 1

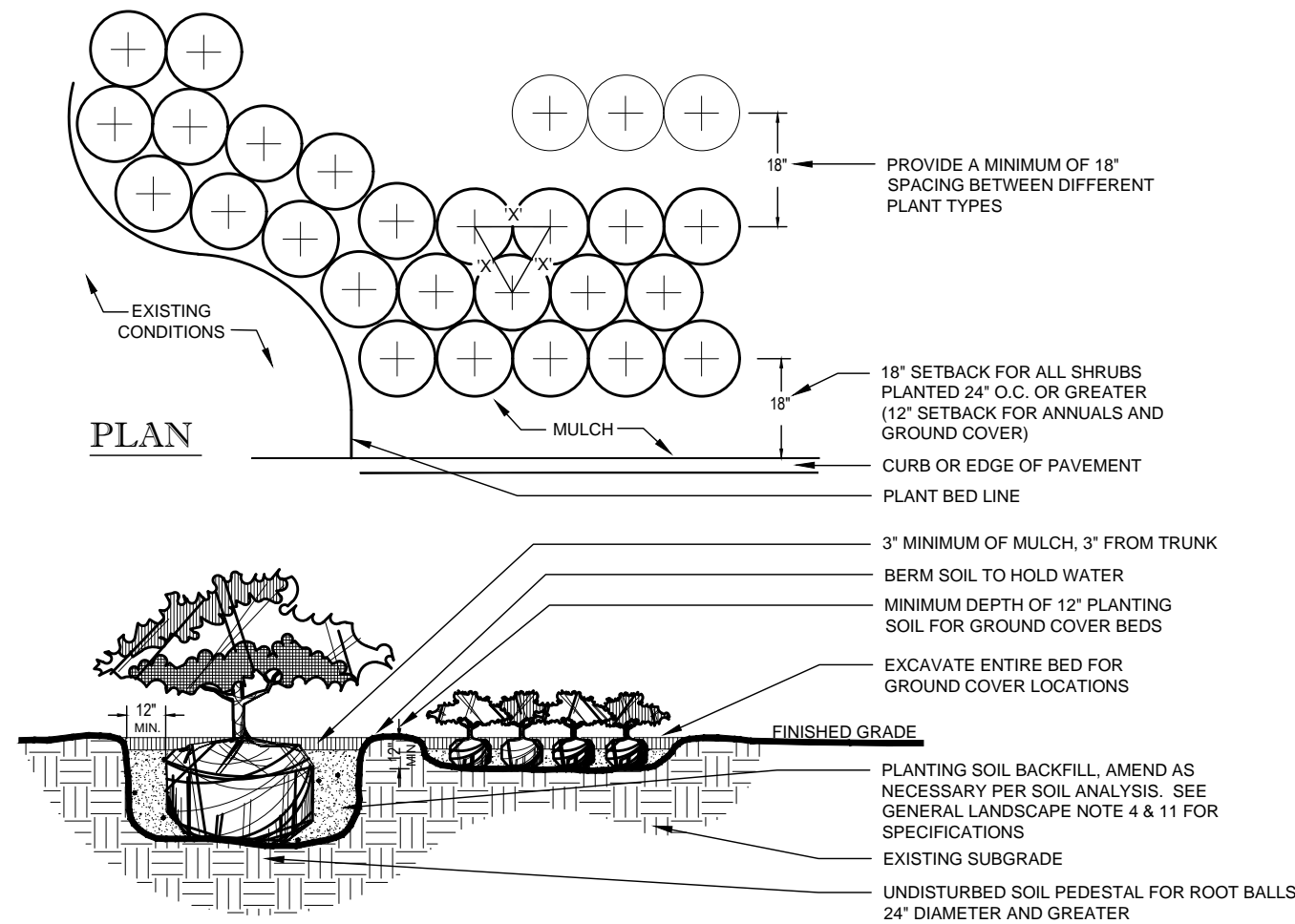
Plotted: 09/02/20 - 3:44 PM, By: jparkinson
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SHEET No:	Rev. #:
L1.00	0

NOTES:

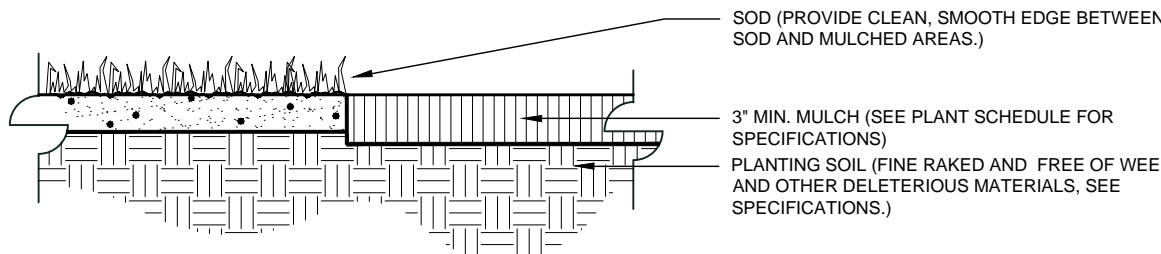
1. CONTRACTOR SHALL ENSURE FREE DRAINAGE/PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION.
2. ALL PLANTING PITS SHOULD HAVE VERTICAL SIDES AND BE APPROXIMATELY TWO TIMES LARGER THAN ROOT BALL.
3. PLANT MATERIAL SHALL BE INSTALLED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL.
4. WHERE GROUND COVERS ARE USED IN MASSES, THE ENTIRE BED SHALL BE EXCAVATED PRIOR TO RECEIVING PLANT MATERIAL AND PLANTING SOIL EXCEPT WHERE SPECIFIED.
5. ALL PLANT MATERIAL MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED. REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING 'X'.
6. PLANT MATERIAL INSTALLED ADJACENT TO STRAIGHT EDGES SHALL BE SPACED IN ROWS PARALLEL TO THE STRAIGHT EDGE. THOSE INSTALLED ADJACENT TO CURVED EDGES SHALL BE PLANTED IN ROWS PARALLEL TO THE CURVED EDGE



3 SHRUB AND GROUND COVER
SCALE: NTS

NOTES:

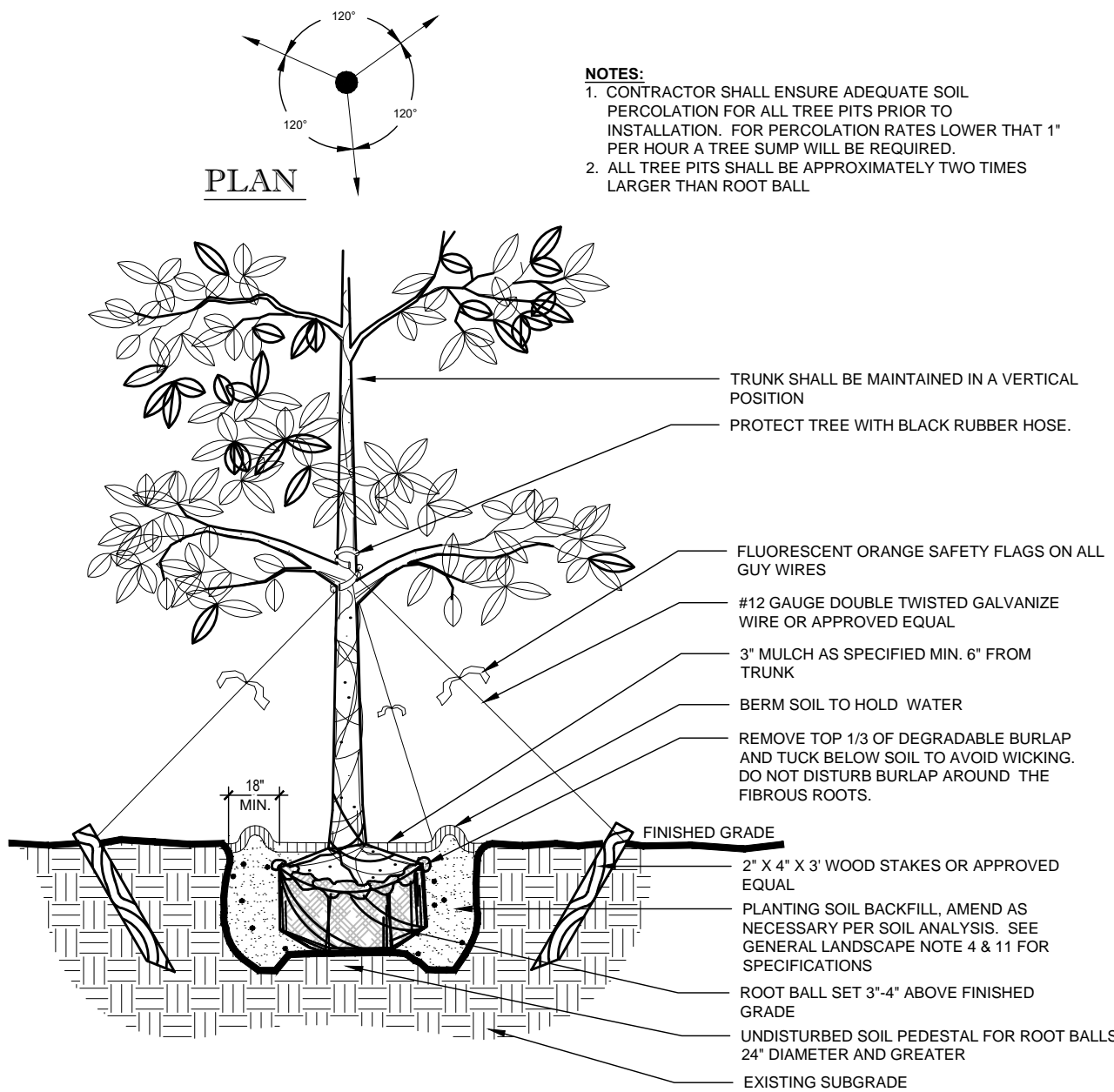
1. ALL MULCH SHALL BE PEST AND INSECT FREE.
2. COMPLETELY REMOVE EXISTING SOD AS REQUIRED PRIOR TO PLACING MULCH.



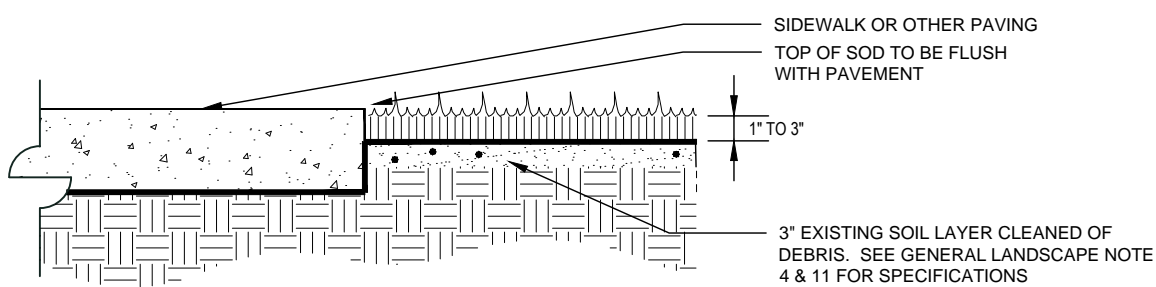
4 MULCH APPLICATION
SCALE: NTS

CANOPY TREE PLANTING NOTES:

1. EACH TREE SHALL RECEIVE SIX 'X'AGRIFORM' 21 GRAM TABLETS PER MANUFACTURER'S DIRECTIONS.
2. ALL TREES SHALL HAVE A MINIMUM CLEARANCE OF 15' FROM LIGHT POLES, AND SHALL NOT BE INSTALLED WITHIN 10 FT. OF ANY ABOVE GROUND UTILITIES OR WITHIN 30 FT. OF THE FACE OF A STOP SIGN.
3. ALL TREE TRIMMING SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI)A-300 PRUNING STANDARDS.



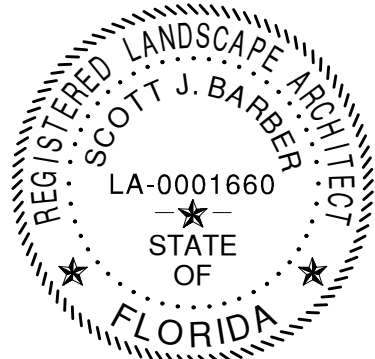
1 CANOPY TREE
SCALE: NTS



2 SOD APPLICATION
SCALE: NTS

GENERAL PLANTING NOTES:

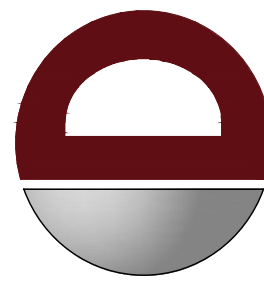
1. NUISANCE, EXOTIC PLANT SPECIES REMOVAL SHALL BE COMPLETED IN ACCORDANCE WITH SECTIONS OF THE MUNICIPAL REGULATIONS, GUIDELINES AND STANDARDS.
2. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER, AS SET FORTH BY THE LATEST EDITION OF FLORIDA GRADES AND STANDARDS.
3. PLANT MATERIAL SHALL BE LOCAL FLORIDA NURSERY STOCK.
4. THE LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL ANALYSIS REPORT FOR THE EXISTING TOPSOIL AND NOTIFY THE OWNER OF ANY IMPROPER SOIL CONDITIONS (WETNESS, MUCK, DEBRIS, ETC.) PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL AMENDMENTS AND/OR FERTILIZER RECOMMENDED BY THE SOIL ANALYSIS REPORT FOR HEALTHY, VIGOROUS PLANT GROWTH. SEE NOTE 11.
5. ALL PLANT MATERIAL HOLES SHALL BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES OR PROJECT IMPROVEMENTS.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPE ELEMENTS UNTIL CONSTRUCTION IS COMPLETE AND ACCEPTED BY THE OWNER'S REP. THIS MAINTENANCE SHALL INCLUDE BUT MAY NOT BE LIMITED TO MOWING, EDGING AND TRIMMING GRASS, KEEPING PLANTING BEDS FREE OF DEBRIS AND WEEDS, MANAGING ALL DISEASE OR INFESTATION, WATERING OF PLANT MATERIALS, AND MAINTAINING MULCH.
7. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM THE DATE OF COMPLETION OF CONSTRUCTION.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND STAKE ALL UTILITIES. A MINIMUM OF TEN FEET SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREE PLANTINGS. IN ADDITION, ALL TREES SHALL BE LOCATED AT LEAST SIX FEET AWAY FROM THE FLOW LINE OF SWALES AND PROPOSED OR EXISTING STORM WATER INLETS.
9. NEW PLANT MATERIAL TO BE INSTALLED WILL BE FIELD ADJUSTED TO ACCOMMODATE EXISTING PLANT MATERIAL SUCH AS OVERHEAD CANOPY TREES, UNDER-STORY TREES AND SHRUBS OR GROUND COVER. THIS WILL ENSURE EXISTING PLANT MATERIAL TO REMAIN IN ITS NATURAL STATE. THEREFORE, NO EXISTING PLANT MATERIAL WILL BE ALTERED BY REMOVING, CUTTING TRIMMING OR DESTROYING IN ORDER TO INSTALL NEW PLANT MATERIAL.
10. ALL PLANT MATERIALS TO BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED. BAG GROWN PLANTS ARE NOT ACCEPTABLE.
11. THE PLANTING SOIL USED IN THE PLANTING OPERATIONS SHALL BE A MIXTURE OF 2 PARTS EXISTING TOPSOIL AND 1 PART CLEAN SAND. THE TOPSOIL SHALL CONSIST OF NATURAL, FRIABLE, FINE LOAM SOIL WITH A pH OF 5.5 TO 7.0, AND 3-5% ORGANIC MATTER. IT SHALL BE FREE OF WEED SEEDS, PATHOGENS, LITTER, SOD, CLAY, ROAD BASE, STONES, ROOTS AND STUMPS. SOIL DEPTH SPECIFIED ON THE PLANS IS MEASURED AFTER LIGHT COMPACTION. TOP SOIL THAT DOES NOT MEET THIS SPEC SHALL BE SUBSTITUTED WITH PROPER BORROW SOIL. SEE NOTE 4.
12. BED PREPARATION: LOOSEN SOIL TO A MINIMUM DEPTH OF TWELVE INCHES AND REMOVE ALL DEBRIS. RE-GRADE THE BED TO ITS ORIGINAL GRADE. DIG PLANTING PITS AT 2 TIMES THE DIAMETER OF THE POT. FILL PLANT PIT WITH SPECIFIED PLANTING MIX AND COMPACT SO THAT THE TOP OF ROOT BALL WILL SETTLE 1/8 DEPTH OF THE ROOT BALL ABOVE FINISH GRADE. SET PLANT AND FILL. REMAINDER OF HOLE WITH PLANTING MIX. FERTILIZE EACH PLANT WITH THE RECOMMENDED RATE BASED ON SOIL ANALYSIS AND RECOMMENDATIONS. WATER IN THOROUGHLY. RESET ANY PLANTS THAT SETTLE TOO DEEP. REMOVE SPOIL SOIL AND RAKE THE BED TO ITS FINISH GRADE. COVER ALL BED AREAS WITH A 3' DEPTH OF APPROVED ORGANIC MULCH. ENSURE MULCH OVER ROOT BALLS DOES NOT EXCEED A DEPTH OF ONE INCH. REMOVE ALL DEBRIS FROM THE MULCH. WATER BED THOROUGHLY.
13. ALL PROPOSED PLANTING AREAS SHALL RECEIVE A THREE INCH LAYER OF MULCH. ALL TREES NOT LOCATED WITHIN A PLANTING BED SHALL RECEIVE A FOUR FEET DIAMETER MULCH RING. MULCH SHALL MATCH THE TYPE USED ON THE OVERALL SHOPPING CENTER.
14. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HOLDING THE FINE GRADING OF PLANTING AREAS TO ENSURE AT LEAST THREE PERCENT POSITIVE DRAINAGE AWAY FROM BUILDINGS AND INTO TURF AREAS, PONDS, STREETS OR OTHER DRAINAGE WAYS. IN ADDITION, THE FINISH MULCH ELEVATION AT THE BUILDINGS SHALL BE AT LEAST SIX INCHES BELOW FINISH FLOOR OF THE ADJACENT BUILDING. PARKING LOT ISLANDS SHALL SLOPE AT THREE PERCENT FROM CENTER. TURF AND PLANTING BEDS SHALL MEET SIDEWALKS AND FLATWORK AT TWO INCHES BELOW THE FLATWORK.
15. SLOPES GREATER THAN 4:1 SHALL REQUIRE SODDING FOR STABILIZATION.
16. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE AND MAYBE UTILIZED AT THE OWNERS DISCRETION.
17. IF ALTERNATIVE VEGETATION IS UTILIZED (I.E. MATCHING AND/OR EXTENDING EXISTING SHRUB BED, THE INSTALLED MATERIAL MUST BE HEAL THY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASES. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO.1 GRADE, ACCORDING TO THE 'GRADES AND STANDARDS FOR NURSERY PLANTS', PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. MATERIAL IN SOME INSTANCES SHALL EXCEED NO. 1 GRADE, IN ORDER TO MEET THE MINIMUM REQUIREMENTS OF THIS PROJECT.
18. SOD SHALL BE INSTALLED IN ALL DISTURBED LANDSCAPE AREAS THAT ARE NOT PLANTED OR HARDSCAPED. CONTRACTOR SHALL VERIFY SOD QUANTITY.
19. LANDSCAPE CONTRACTOR SHALL REPAIR, RELOCATE AND/OR REPLACE ANY CONSTRUCTION DAMAGED OR REMOVED LANDSCAPE MATERIALS, ON OR OFF SITE, THAT ARE NOT DELINEATED ON THE DEMOLITION PLANS. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO ANY REMEDIATION LANDSCAPE EFFORTS.



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REV.	DATE	COMMENTS	SB	BY
1	8/25/20	DRC COMMENTS		

DESIGNED BY: _____	CHECKED BY: _____
DRAWN BY: _____	SUB _____
DESIGNED BY: _____	SUB _____
DRAWN BY: _____	SUB _____

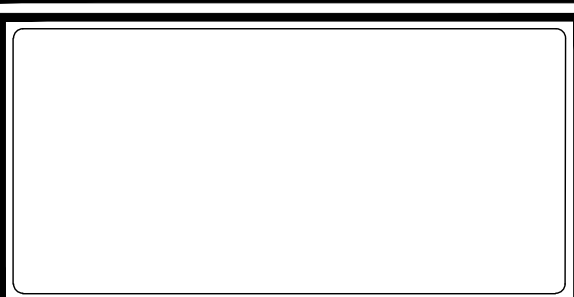
PROJECT: **CLUTCH COFFEE EXPANSION, LLC**
DRIVE-THROUGH COFFEE BAR
5500 COCONUT CREEK PARKWAY
MARGATE, FL 33063

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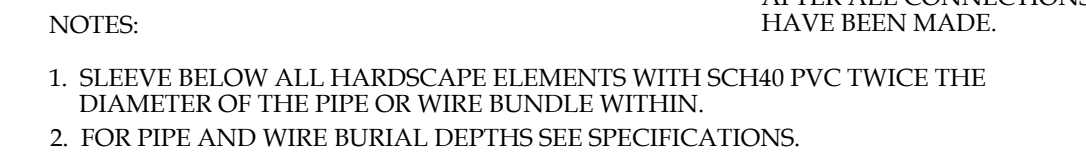
TITLE: **LANDSCAPE
DETAILS**

SCALE: (H) AS
(V) NOTED
PROJECT No.:
20-010.04

SHEET No.: **L1.01**
Rev. #: **0**

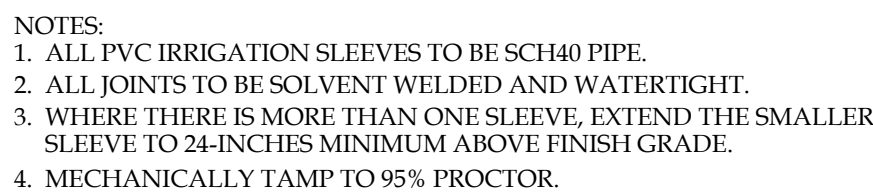
DATE: 06/2/2020

SHEET No: L2.00 Rev. #: 0



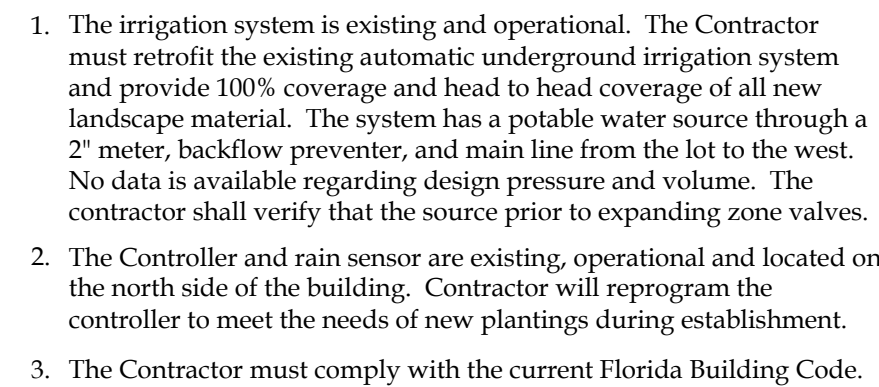
Pipe Diameter	Minimum depth of Cover
1/2" through 1 1/4"	6" - 12" **
1 1/2" through 2"	12" - 18" ***
2 1/2" through 3"	18" - 24"
6" and larger	24" - 36"

Pipe Diameter	Minimum depth of Cover
½" through 2 ½"	18" - 24"
3" through 5"	24" - 30"
6" and larger	30" - 36"



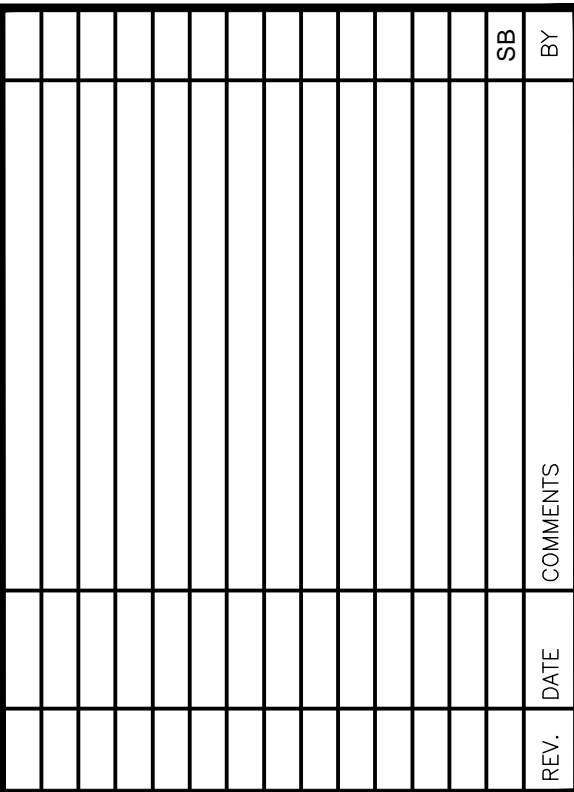
TESTING:
Upon completion of main line and prior to backfill, pressure test the entire water-filled main line (with valves and backflow closed) at (150) pounds per square inch for 30 minutes using a pump and pressure gauge. Repair any systems which exceed (5) pounds per square inch drop in 30 minutes of testing, until the standard can be achieved and verified.

SYSTEM MAINTENANCE:
Every month the irrigation system shall be inspected to ensure that the various components and functions of the irrigation system are functioning properly. The scope of work includes, but is not limited to, the point of connection, piping system, electrical system, sprinkler heads, nozzles, drip components, valves, controller and weather/soil sensors.



The following notes apply to new retrofitted equipment only

1. No product substitutions or changes will be allowed without the written approval of the Owner and Irrigation Designer.
2. The Contractor is responsible for all permits and fees
3. Over-spray onto buildings, signs or pavement is prohibited.
4. The Contractor is responsible for locating utilities prior to digging.
5. No rocks or other extraneous materials to be used in backfilling of pipe trenches.
6. All pipe to be installed as per manufacturer's specifications.
7. All threaded joints to be coated with Teflon tape or liquid Teflon.
8. All pipes to be thoroughly flushed before installation of heads.
9. All low voltage electrical connections made in the field to be installed in valve boxes with waterproof connectors.
10. The Contractor shall be responsible for proper coverage of all landscape areas.
11. The Contractor to supply to the Owner with operation manuals and two (2) wrenches for adjusting each valve and head type.
12. All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
13. All control wires shall be minimum #14 AWG. Run two (2) spare control wires and identify them in the valve box.
14. All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers. All shall be marked indicating station numbers.
15. 120 VAC electrical power source at controller location is existing. The contractor shall verify connections are operational.
16. The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
17. Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
18. All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
19. The irrigation contractor shall install check valves on all irrigation head as needed to prevent low head drainage where possible post valve shut-off draining will occur.
20. Installer is required to conduct final testing and adjustment to achieve design specification prior to completion of the system and acceptance by the owner or owner's representative.
21. Contractor to provide owner with post construction documentation, including as-built drawings, recommended maintenance schedules and activities, operational schedule, design precipitation rates, system adjusting method, and existing water once landscape is established, water source and shutoff method and all operational guides for controller.



OWNER:	DESIGNED BY:	CHECKED BY:	
SUB	SUB	SUB	-
CLUTCH COFFEE EXPANSION, LLC			
<i>DRIVE-THROUGH COFFEE BAR</i>			
10400 MCCONNICK PARKWAY			
MARGATE, FL 33068			

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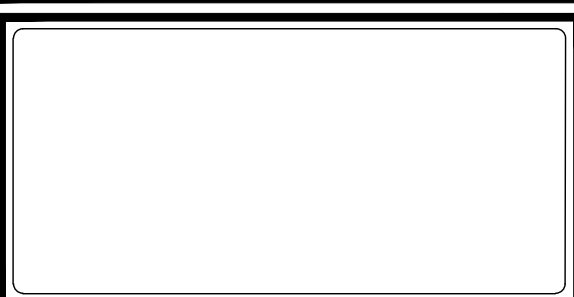
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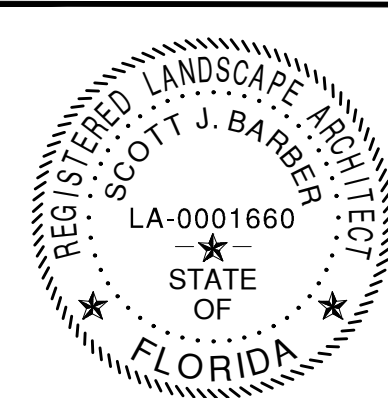
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TITLE: IRRIGATION DETAILS

SCALE: (H) AS (V) NOTED	DATE: 06/25/2020
PROJECT No: 20-010.04	

SHEET No: 2.01 Rev. #: 0

THIS SEAL CERTIFIES NEW EQUIPMENT RETROFIT AND THAT THE IRRIGATION SYSTEM IDENTIFIED AS AN EXISTING OPERATIONAL SYSTEM WAS DESIGNED BY RHETT ROY LANDSCAPE ARCHITECTURE - PLANNING, PA. AS SEEN ON FINAL APPROVED PLANS DATED 6/16/03.



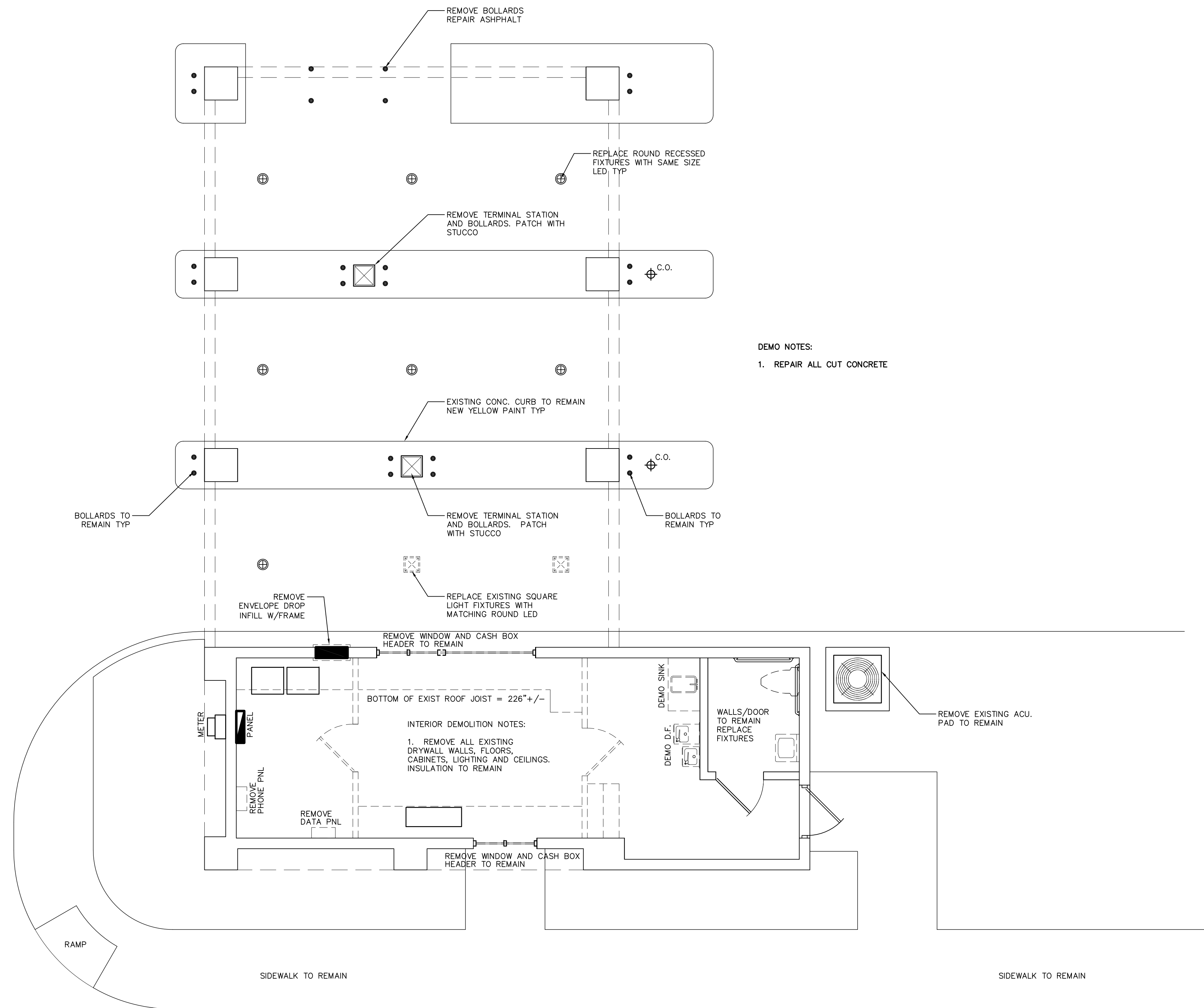
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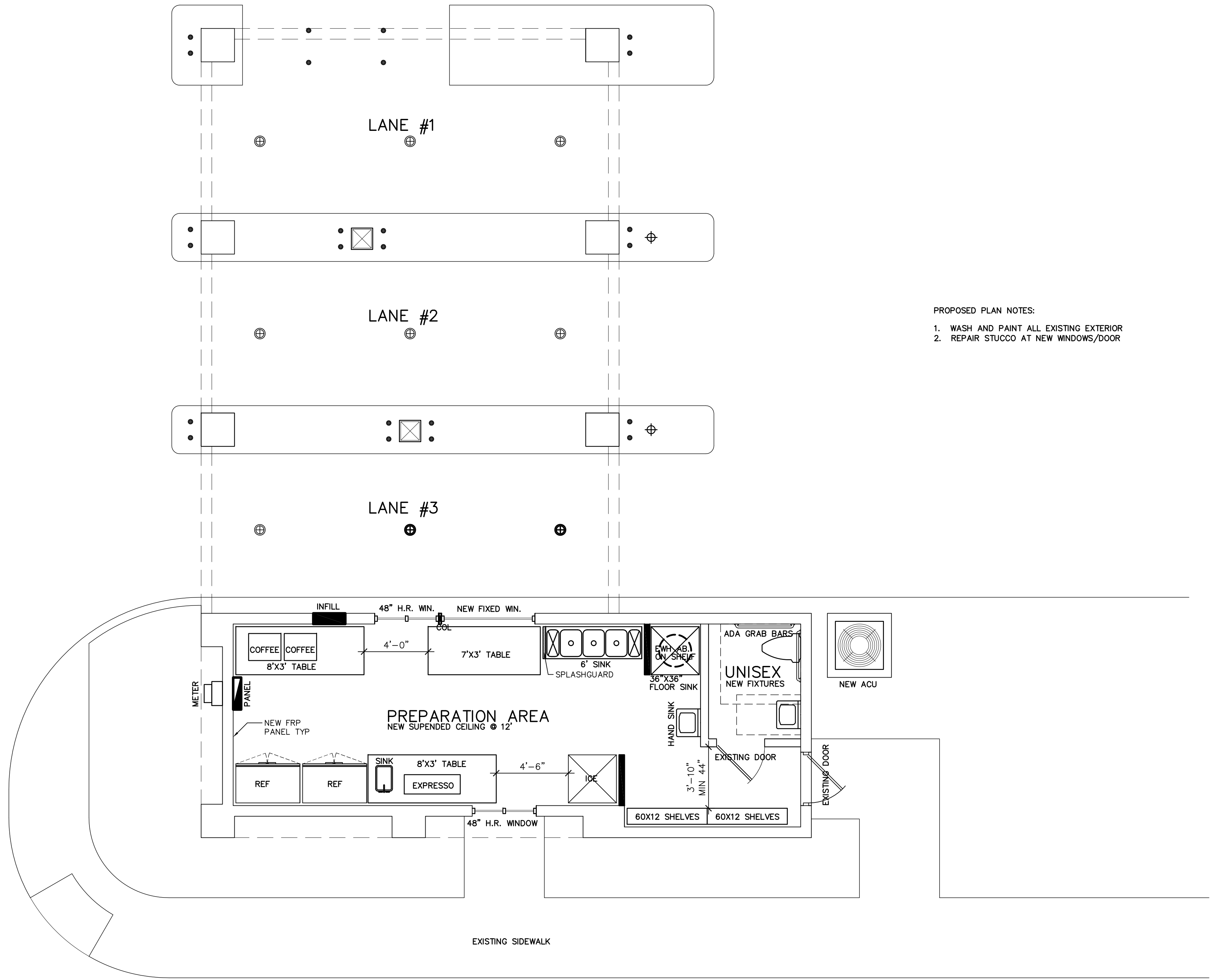
DIVISIONS/SUBMITTALS:	
ID	DESC

DRAWN BY:	MSG
CHECKED BY:	JC
PROJECT #:	---
DATE:	05.18.2020



EXITING/DEMOLITION PLAN

SCALE: $1/4" = 1'-0"$



- PROPOSED PLAN NOTES:
- 1. WASH AND PAINT ALL EXISTING EXTERIOR
 - 2. REPAIR STUCCO AT NEW WINDOWS/DOOR

PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

ARCHITECTURE BY:
PRISM
ARCHITECTURE
LLC
CERT. OF AUTH. AA #26002852

JAMES G. CENTANNI, JR.
AR #0015973

1101 BRICKELL AVE
8TH FLOOR, SOUTH TOWER
MIAMI, FL 33131
561.719.4224 /
INFO@PRISMARCH.COM

DRC SUBMITTAL DOCUMENTS FOR:
CLUTCH COFFEE
© 5300 COCONUT CREEK PARKWAY, MARGATE, FL

REVISIONS/SUBMITTALS:	
ID	DESC
DRAWN BY: MSG	
CHECKED BY: JC	
PROJECT #: ---	
DATE: 05.18.2020	

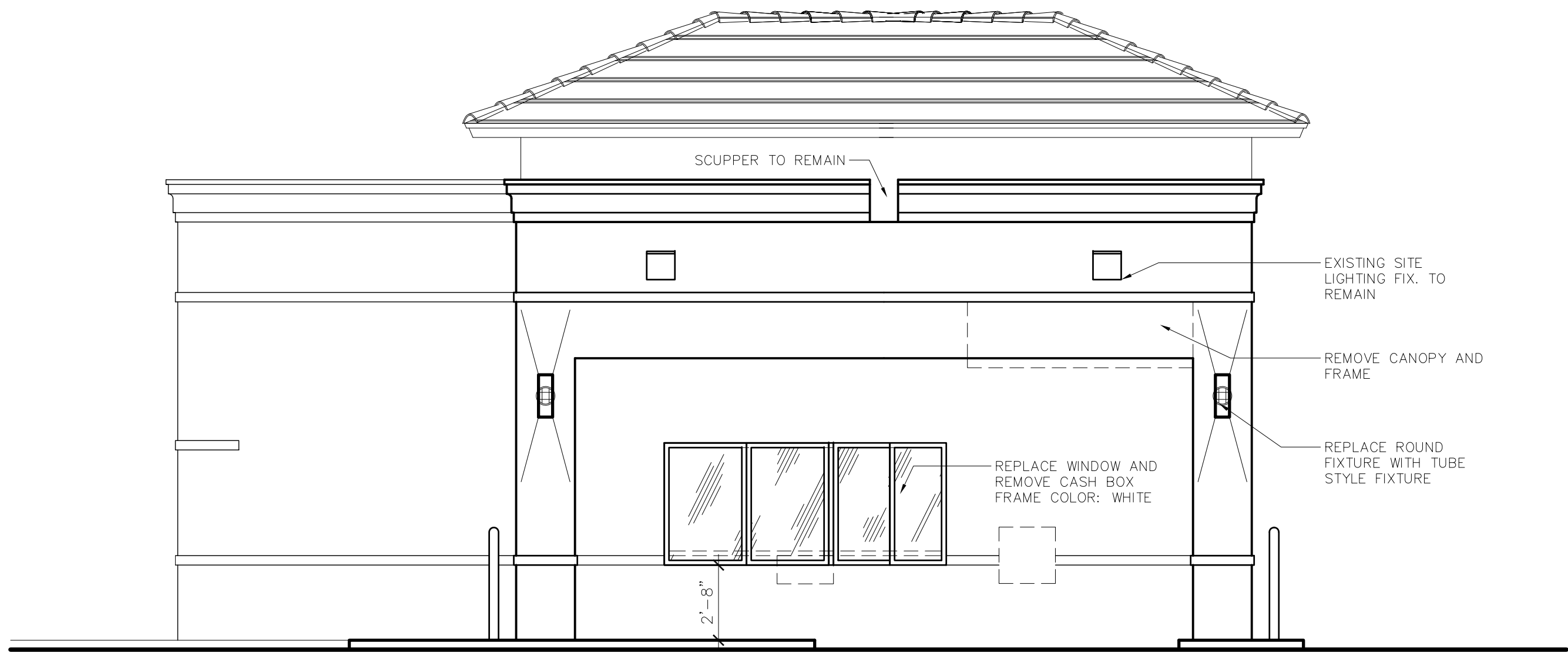
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ID	DESC

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CHECKED BY: JC
PROJECT #: ---
DATE: 05.18.2020



WEST ELEVATION

SCALE: 1/4" = 1'-0"

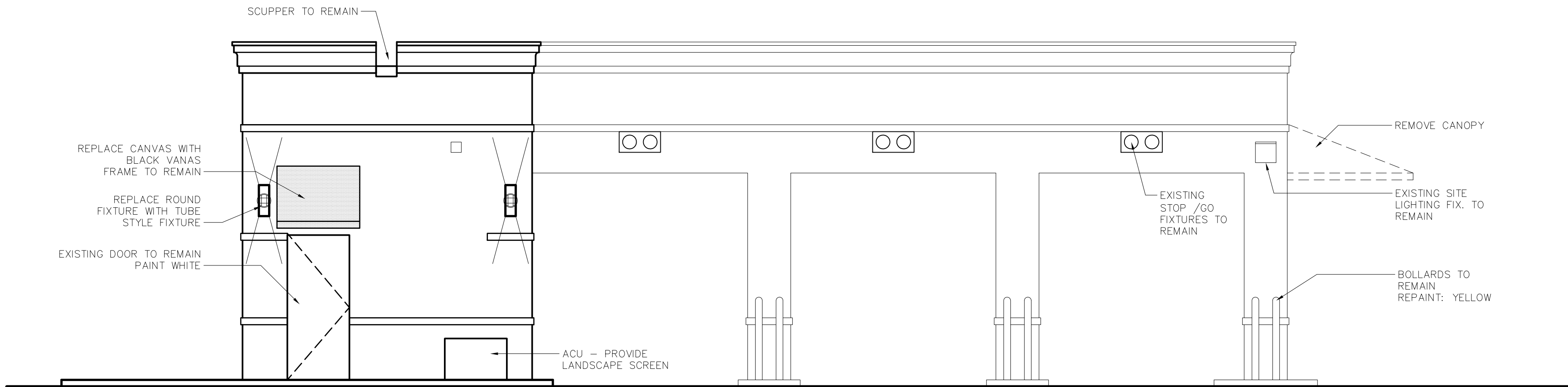


EAST ELEVATION

SCALE: 1/4" = 1'-0"

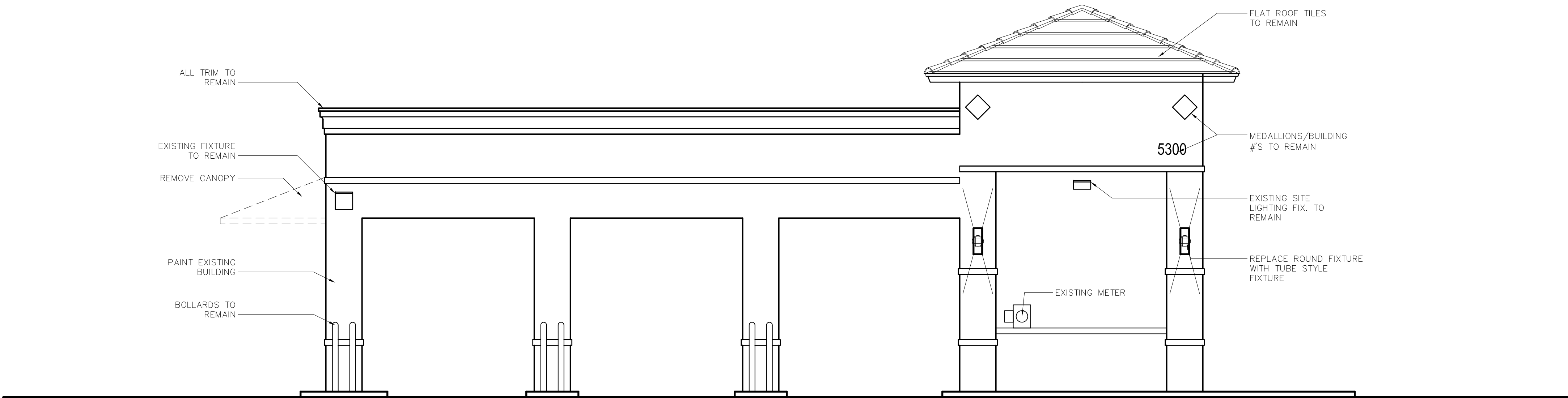
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DATE: 05.18.2020



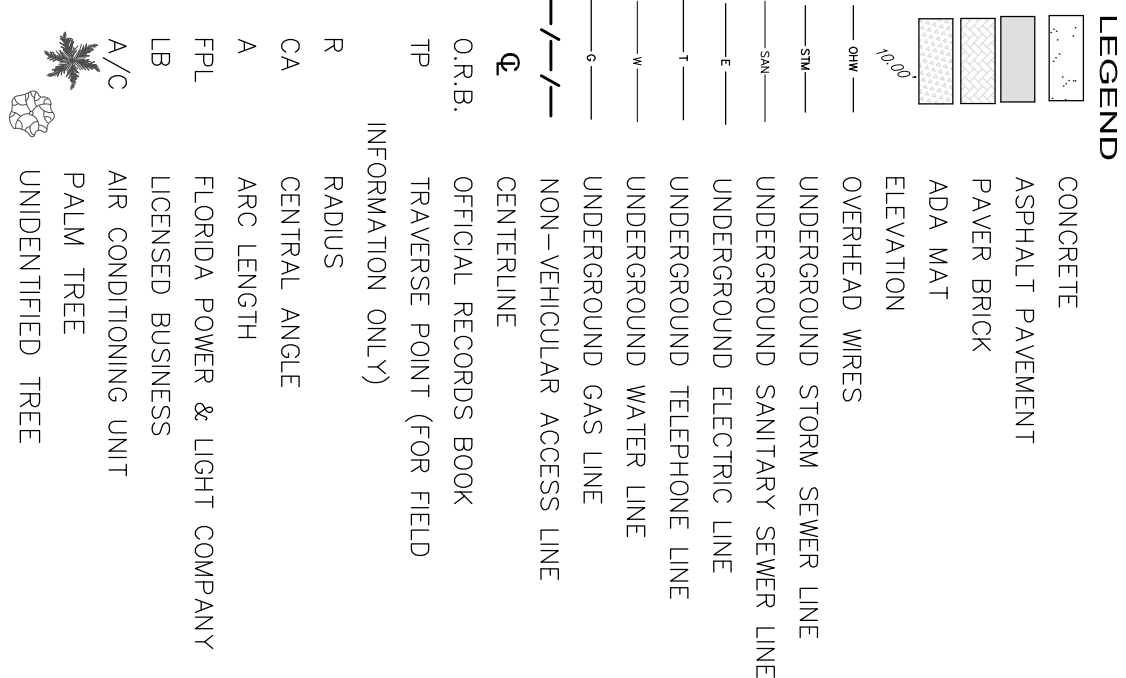
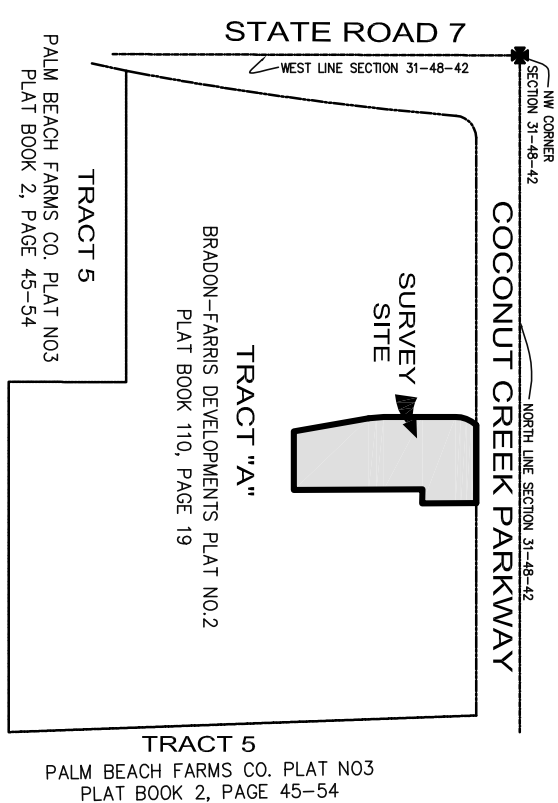
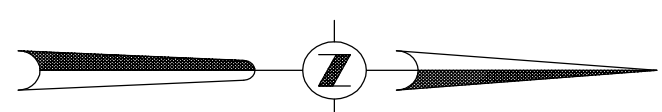
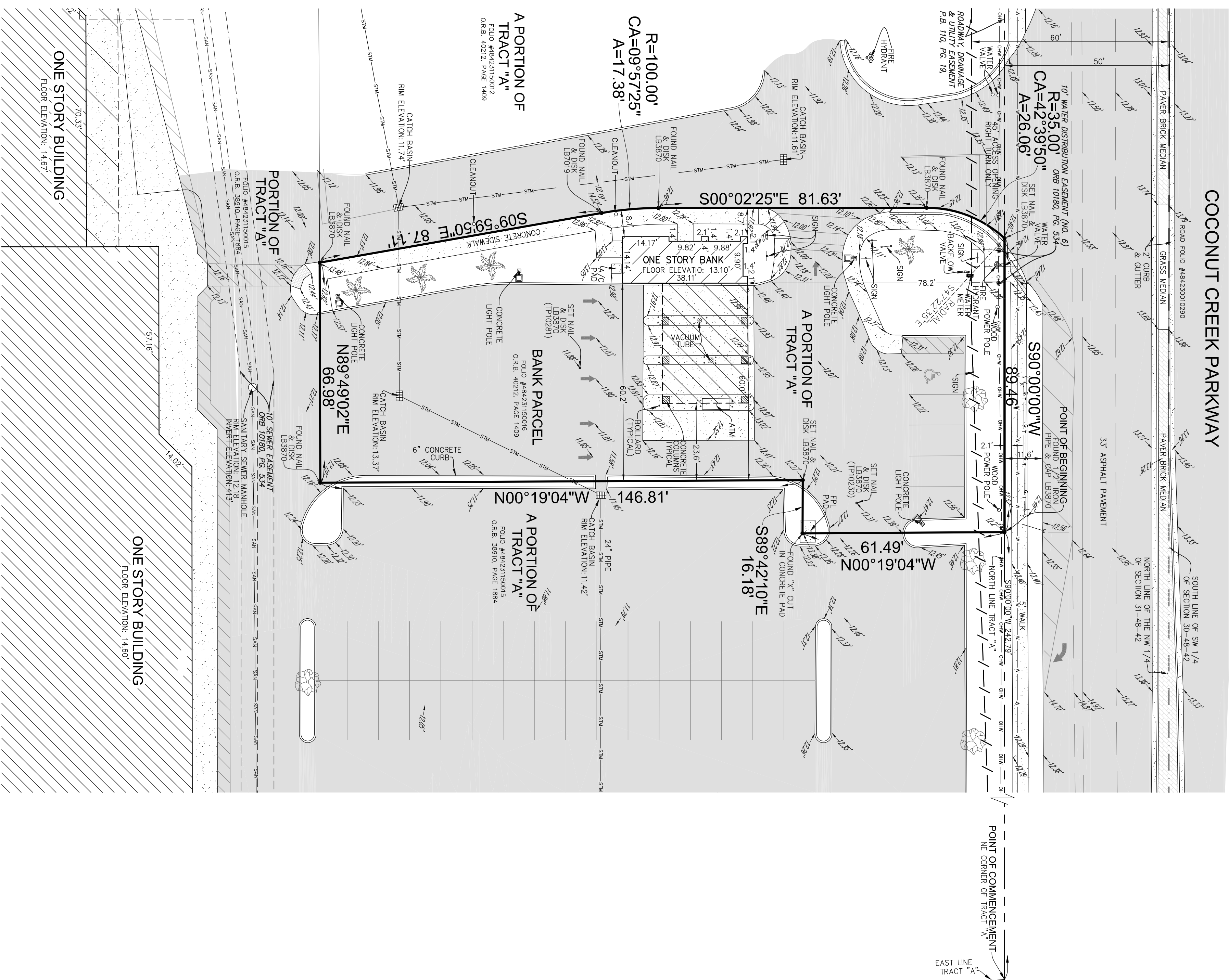
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



LEGAL DESCRIPTION: BANK PARCEL

A PORTION OF TRACT "A" "BRANDON-FARRIS DEVELOPMENTS PLAT NO. 2" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 110, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE THE EAST CORNER OF SAID TRACT "A," THENCE SOUTH 90°00'00" WEST ON THE NORTH LINE OF SAID TRACT "A," 242.79 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 90°00'00" WEST ON SAID NORTH LINE, 89.46 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE CONVEX EAST, WITH A RADIAL BEARING OF SOUTH 47°22'35" EAST; THENCE SOUTHERLY ON THE ARC OF SAID CIRCLE, WITH A RADIUS OF 35.00 FEET, AND A CENTRAL ANGLE OF 42°39'50" AN ARC DISTANCE OF 76.26 FEET TO A POINT OF BEGINNING; THENCE CONTINUE SOUTH 90°00'00" WEST ON SAID NORTH LINE, 100.00 FEET AND A CIRCULAR CURVE CONVEX EAST; THENCE SOUTHERLY ON THE ARC OF SAID CIRCLE, WITH A RADIUS OF 100.00 FEET AND A CENTRAL ANGLE OF 09°57'25" AN ARC DISTANCE OF 17.38 FEET TO A POINT OF TANGENCY; THENCE SOUTH 09°59'50" EAST 87.11 FEET; THENCE NORTH 89°49'02" EAST 66.98 FEET; THENCE NORTH 00°19'04" WEST 146.81 FEET; THENCE SOUTH 89°42'10" EAST 16.18 FEET; THENCE NORTH 00°19'04" WEST 61.49 FEET TO THE POINT OF BEGINNING.

NOTES:

- 1) THIS SITE CONTAINS 17.443 SQUARE FEET (0.4004 ACRES) MORE OR LESS.
- 2) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #1441; ELEVATION: 16.62 FEET.
- 3) FLOOD ZONE: A, BASE FLOOD ELEVATION: NONE; COMMUNITY 12007; PANEL 12001C035SH; MAP DATE: 8/8/14.
- 4) PLANTED: 4 TREES, 4 SHRUBS, 42 PERENNIALS, 42 ANNUALS, 42 MULCH BEDS, 42 SPOTS OF GRASS.
- 5) BRANDS ARE BASED ON THE ASSIGNED MERIDIAN THAT THE "NORTH LINE OF TRACT 2A" BEING 0000000" W.
- 6) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 7) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07". THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07".
- 8) THIS SITE CONTAINS 5 TOTAL PARKING SPACES (4 REGULAR & 1 DISABLED).
- 9) ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
- 10) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.

CERTIFICATION:

TO: CLUTCH COFFEE EXPANSION LLC; DUNAY MISKEL BACKMAN LLP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSP LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(c), 8, 9, & 11 OF TABLE A THEREOF.

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR A DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

[illegible]

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**

PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD

SUNRISE, FLORIDA 33

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FAX: (954) 572-1778

E-MAIL: surveys@policeandsurveyors.com

WEBSITE: www.pulicelandsurveyors.com

CERTIFICATE OF AUTHORIZATION LB#38/C

20' EILEE CLITCH COFFEE EXP

ORDER NO. : 668

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