



PORTIONS OF THIS FILE HAVE BEEN
REDACTED DUE TO CONTAINING
EXEMPT AND SENSITIVE PUBLIC
INFRASTRUCTURE INFORMATION

ADDENDUM NO. 1

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

Thursday, September 10, 2020

TO ALL BIDDERS:

Please incorporate the following information/clarifications, changes, additions, and/or deletions into the specification packet for the above-referenced project:

ADDITION:

ADD the attached plans and specification details for the additional scope of work “Relocation – Existing Emergency Vehicle Signal Controller” into the bid document under Part III Technical Specifications and Plans

REASON: This additional scope of work has been added to the bid to accomplish the necessary vehicle signal controller relocation.

ADDITION/DELETION:

ADD the attached new Page A-17a to the bid specifications under Part I Bidding Requirements.

DELETE the existing Page A-17 from the bid specifications under Part I Bidding Requirements.

REASON: This specific price submission page has been modified to include a submission line for the additional scope of work “Relocation – Existing Emergency Vehicle Signal Controller”.

This addendum consists of nine (9) pages.

There are no other changes to the bid document at this time. However, additional addenda will be issued as needed should the City have additional updates to disseminate.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Please sign and return the acknowledgment page of this addendum by email or by fax. The original acknowledgement page is to be included with your qualifications submission.

ACKNOWLEDGEMENT FORM

ADDENDUM NO. 1

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

I acknowledge receipt of Addendum No. 1 for Bid No. 2020-014. This addendum contains nine (9) pages. Please include the original of this form in your qualifications submission.

Company Name: _____

Address: _____

Name of Signer _____
(please print)

Signature: _____ Date: _____

Telephone: _____ Facsimile: _____

Please fax your completed form to (954) 935-5258 or e-mail to purchase@margatefl.com.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Thursday, September 10, 2020

NOTE: The original of this form must be included with your qualifications submission.

Item	Description of Item	UOM	Qty	Price
17	Relocation – Existing Emergency Vehicle Signal Controller Provide labor, equipment, and materials to relocate the existing emergency vehicle signal controller as per plans details, contract documents, and specifications. (Note: Per Addendum No. 1)	LS	1	
	Base Bid Grand Total (Items 1 thru 17):			

Note: City permit fees shall not be waived and should be included in your bid proposal.

PERMIT FEES (ALLOWANCE) DIRECT PASS THROUGH.....\$ _____

CONTINGENCY (5% OF BASE BID).....\$ _____

COST OF INDEMNIFICATION\$ _____

GRAND TOTAL FOR ALL ITEMS \$ _____

Grand Total (Written in words)

ALL BIDS MUST BE SIGNED WITH THE VENDOR NAME AND BY AN OFFICER OR EMPLOYEE HAVING THE AUTHORITY TO BIND THE COMPANY OR FIRM BY SIGNATURE.

SAFETY DATA SHEETS ENCLOSED? YES _____ NO _____

SPECIFICATION SHEETS/BROCHURES? YES _____ NO _____

WILL YOUR FIRM ACCEPT PAYMENT VIA A CITY OF MARGATE VISA CARD?
YES _____ NO _____

HAVE YOUR INSURANCE REPRESENTATIVE REVIEW THE SAMPLE INSURANCE CERTIFICATE TO ENSURE COMPLIANCE.

Name of CONTRACTOR (Please Print)

Signature

Title

Date



ADDENDUM NO. 2

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

Wednesday, September 16, 2020

TO ALL BIDDERS:

Please incorporate the following information/clarifications, changes, additions, and/or deletions into the specification packet for the above-referenced project.

CLARIFICATION:

NOTICE that attendance at the pre-bid conference by at least one representative of the company for potential bidders is now **MANDATORY**. **This clarification supersedes and takes precedent over any prior communication, statement or document to the contrary.** The pre-bid will be held using a virtual platform as indicated and explained in the Public Meeting Notice that is incorporated into this addendum. Attendance will be verified and recorded by the use of one or more attendance verification methods during the pre-bid conference.

REASON: The information to be disseminated at the pre-bid conference is crucial to the success of the project. The change to a virtual meeting arrangement will facilitate ease of attendance for all interested parties.

ADDITION:

ADD the attached Public Notice of Meeting to the bid package.

REASON: The Public Notice of Meeting confirms the **MANDATORY** attendance requirement and provides detailed access information related to the virtual meeting.

CLARIFICATION:

NOTICE that all questions and/or requests for information (RFIs) are to be directed to the Purchasing Division. **This clarification supersedes and takes precedent over any prior communication, statement or document to the contrary.** The Purchasing Division can be reached by calling (954) 935-5346 or emailing us at purchase@margatefl.com.

QUESTION:

Would the City consider a change to the No. 3 requirement of the Minimum Qualifications and Special Bid Requirements found on Page A-2 of the bid document?

ANSWER:

Yes. The City has revised **ONLY** the number of years in the past that the three (3) similar new fire rescue station buildings must have been completed. The No. 3 requirement of the Minimum Qualifications and Special Bid Requirements found on Page A-2 of the bid document has been revised and shall read as follows:

1. Bidder shall have a successful record of the construction of at least three (3) similar new fire-rescue station buildings within the past fifteen (15) years. However, one major renovation (>\$1 million) of a fire-rescue station building may be substituted for one new building to meet this requirement.

QUESTION:

The PART III - technical specs and plans FTP download includes two separate PDF files of plans;

- First PDF file 1) 2017-105 FIRE STATION 58 MARGATE 100% CDs COMPLETE SET REVISION 2_07-20-2020...and
- Second PDF file 2) 2017-105 FIRE STATION 58 MARGATE CDs REVISED 2 SHEETS_07-20-2020.

The second PDF file of plans appears to be included in the first PDF file of plans with the same revision dates. Please clarify what are the revisions made to the second PDF file of plans? Why include the separate download of plans if those sheets are included in the first set of plans?

ANSWER:

One of the files contains revised sheets only and were primarily for internal use only. Those revised sheets are already included in the full set. Bidders shall use the file titled "2017-105 FIRE STATION 58 MARGATE 100% CDs COMPLETE SET REVISION 2_07-20-2020" for bidding. (THIS IS THE ONE WITH ALL THE SHEETS)

This addendum consists of nine (9) pages.

There are no other changes to the bid document at this time. However, additional addenda will be issued as needed should the City have additional updates to disseminate.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Please sign and return the acknowledgment page of this addendum by email or by fax.
The original acknowledgement page is to be included with your qualifications
submission.

ACKNOWLEDGEMENT FORM

ADDENDUM NO. 2

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

I acknowledge receipt of Addendum No. 2 for Bid No. 2020-014. This addendum contains of nine (9) pages. Please include the original of this form in your qualifications submission.

Company Name: _____

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Name of Signer _____
(please print)

Signature: _____ Date: _____

Telephone: _____ Facsimile: _____

Please fax your completed form to (954) 935-5258 or e-mail to purchase@margatefl.com.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Wednesday, September 16, 2020

NOTE: The original of this form must be included with your qualifications submission.



PUBLIC NOTICE OF MEETING

PRE-BID CONFERENCE FOR BID NO. 2020-014 MARGATE FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

You are hereby notified that the City will hold a pre-bid conference to provide details and clarifications related to Bid No. 2020-014. Having a representative attend this meeting is **MANDATORY** for potential bidders desiring to have a future bid submission considered for this project. The consultant architect and City staff will present information and accept questions related to the project. The meeting will take place on the following date and time:

Tuesday, September 22, 2020, 2020 AT 11:00 A.M.

Login information for the Zoom meeting platform – Webinar ID: 843 4681 3701

Direct web link: <https://us02web.zoom.us/j/84346813701>

IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE ABOVE EVALUATION COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT SUCH MEETING, THEY WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR SUCH PURPOSE, THEY MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE MADE. ANYONE DESIRING A VERBATIM TRANSCRIPT SHALL HAVE THE RESPONSIBILITY, AT THEIR OWN EXPENSE, TO ARRANGE FOR THE TRANSCRIPT.

Instructions for Participating in the City of Margate's Virtual Pre-Bid Conference

TUESDAY, SEPTEMBER 22, 2020 AT 11:00 A.M.

Through the City's Website:

Go to www.margatefl.com

Go to "Agendas & Minutes" > Find the respective meeting date and click "Agenda Summary" to view the agenda items and see the Zoom meeting website address

Alternate Option for Viewing and Participating in the Meeting:

Through Zoom technology:

Instructions for Attendees\Participants:

Topic: **“Virtual Meeting – Pre-Bid Conference – MARGATE FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION”**

Please go to the link below to join the webinar:

Tuesday, September 22, 2020, 2020 AT 11:00 A.M.

Direct web link: <https://us02web.zoom.us/j/84346813701>

Telephone:

Dial (for higher quality, dial a number based on your current location):

US: 1-669-900-6833 or 1-929-205-6099 or 253-215-8782 or 301-715-8592 or 312-626-6799
or 346-248-7799

Tuesday, September 22, 2020, 2020 AT 11:00 A.M.

ZOOM WEBINAR ID: 843-4681-3701

To virtually raise hand and be acknowledged to speak:

1. Users who call in can dial *9 to raise their hand
2. If going through mobile (phone\tablet) app, to raise hand select "Participants", then see option to raise hand.
3. On the computer users should click "Participants" then see option to raise hand
4. Once you have been selected to speak, you will be prompted to unmute your device or stay muted.

cc: City Commission
City Manager
City Attorney
City Clerk
Finance Director
Purchasing Manager

Building Official
Director of DEES
Director of Public Works
Division Chief – Fire Administration
Fire Chief
Purchasing RFP File

CITY OF MARGATE

PURCHASING DIVISION VIRTUAL PUBLIC MEETING PROCEDURES

FOR

SELECTION COMMITTEE MEETINGS

UTILIZING COMMUNICATIONS MEDIA TECHNOLOGY (CMT)

DURING DECLARED EMERGENCIES

1. **Intent**

The intent of these emergency Purchasing Division Virtual Public Meeting procedures ("Procedures") is to ensure that, during a declared Federal, State, County, or Municipal emergency ("Declared Emergencies"), the Purchasing Division still has meetings, when necessary, to conduct official business in accordance with Florida Statutes and/or to meet requirements of the Procurement Code of the City of Margate. It is the intent of the City to provide an equitable and efficient method to provide public access to all matters that are to be addressed through public meetings ("Proceedings").

2. **Applicability**

These Procedures shall be utilized only during Declared Emergencies.

3. **Definitions**

The following words, terms and phrases, when used in these emergency procedures, and notwithstanding any other definitions in the City Code, shall have the meanings ascribed to them in this section.

Attendees. Shall mean members of the general public who wish to view Proceedings via Communications Media Technology (CMT).

Notice. Notice requirements as contained in Florida Statutes and the City Code of Ordinances shall apply to the Virtual Public Meeting. Any notice of a meeting, and any agenda for such meeting, to be conducted as a Virtual Public Meeting, shall include a reference to the Virtual Public Meeting Procedures for information on the method to view the Virtual Public Meeting.

Official file. All written communication received by Staff (from any source) concerning any matter on a Virtual Public Meeting Agenda shall be filed in the record of the Meeting, which shall be maintained by Staff.

Virtual Public Meeting Procedures and Technical Information for CMT Meetings. The technical information for CMT Meetings (utilizing the Zoom Meeting platform) as detailed below, and a copy of these Virtual Public Meeting Procedures shall be posted on the City's website.

4. **General Procedures.**

Virtual Public Meeting. The Virtual Public Meeting shall be held through the use of Communication Media Technology (CMT) (electronic transmission of printed material, audio, full-motion video, freeze-frame video, compressed video, and digital video by any method available, as provided in Section 120.54(5)(b)(2), Florida Statutes), which is accessible to all Attendees to the extent technologically practicable.

Attendance. The Purchasing Division will make its best efforts to take attendance at all meetings or events held pursuant to these Procedures, to the extent technologically practicable through the CMT.

In the event the City's CMT malfunctions during the Virtual Public Meeting, the Purchasing Division shall use its best efforts to address the malfunction and, if the meeting is continued to a specific date and time, or rescheduled, to provide notice as to the date and time of the continuation of the Virtual Public Meeting. Malfunction of an individual's CMT equipment, including, but not limited to computer and/or telephone, shall not require continuation of the Virtual Public Meeting, provided the Purchasing Division CMT equipment continues to function.

5. **Technical Information for CMT Meetings**

The notice of virtual public meeting will provide instructions, as detailed above, for accessing the meeting using CMT that will be available on the City's website.

Selection Committee Meeting – Attendees may view and/or listen to the committee meeting, but may not participate or provide comments/questions.

6. **Technical Information for CMT**

Mute: Attendees will be automatically placed in Listen Only (mute) mode during the meeting. The meeting organizer (Staff) will control mute/unmute.

Live Video: Attendees will have their video capabilities automatically placed in "off" mode.

Attendance: In order to keep a log with attendance, all attendees will be asked to type their name and the name of the supplier/contractor they represent under the chat feature.

First Time Using Zoom Meeting: Get the App in advance by going to the following link - <https://zoom.us/client/latest/ZoomInstaller.exe>



PORTIONS OF THIS FILE
HAVE BEEN REDACTED
DUE TO CONTAINING
EXEMPT AND SENSITIVE
PUBLIC INFRASTRUCTURE
INFORMATION

ADDENDUM NO. 3

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

Friday, October 2, 2020

TO ALL BIDDERS:

Please incorporate the following information/clarifications, changes, additions, and/or deletions into the specification packet for the above-referenced project.

1. **ADDITION:** ADD the attached (twenty-four pages) City Resolution No. 20-018; which is inclusive of the right-of-way consent agreement between the City of Margate and Florida Power & Light (FPL).

REASON: The document provides clarification and details regarding elements of the project governed by the agreement.

2. **ADDITION:** ADD the attached (sixteen pages) asbestos survey prepared by ARS Environmental, Inc. dated March 19, 2020.

REASON: The document provides details regarding the no asbestos findings related to the existing Margate Fire Station No. 58 that is to be demolished as part of the project.

3. **ADDITION:** ADD the attached (three pages) scope of work document prepared by Signal Communications, LLC related to the bi-directional amplifier (BDA) system and the distributed antenna system (DAS) for the project

REASON: The document provides clarification and details regarding the responsibilities of City's consulting contractor Signal Communications, LLC and those (highlighted in yellow) to be handled by the contractor awarded this bid.

4. **REQUEST FOR INFORMATION:** The plans indicate the GC is to provide and install the brackets for the TV's throughout the facility. Please provide the

specification, make or model of these brackets as many are proprietary of the TV purchased.

RESPONSE: No decisions have been made regarding the make and model of the TVs and the City does not anticipate that decision until much later. The City has therefore decided to purchase the brackets at the same time as the TV's and install the TV's at the end of the job. The awarded contractor for this bid shall be responsible for the electric and cable wiring to the set locations. Additionally, GC shall provide backing at all TV locations. Please update any and all areas in the bid document to reflect this newly defined contractor obligation related to the TVs and brackets and adjust bid pricing accordingly.

- 5. REQUEST FOR INFORMATION:** You have stated that there are 4 type 2A10BC fire extinguishers required. Will a Type K be required in the Kitchen area?

RESPONSE: No, since there is a kitchen fire suppression (ANSUL) system to be included by GC.

- 6. REQUEST FOR INFORMATION:** Plan sheet A1.0 Window Treatments are to match building standards. What are building standards?

RESPONSE: MECHO mechanical shades information is shown in detail 10/A6.1.

- 7. REQUEST FOR INFORMATION:** Please clarify who the Owner's subcontractors will be or what scope they will be involved with other than low voltage?

RESPONSE: The City has identified and provided details related to Signal Communications, LLC (BDA/DAS) and Safe Air as Owner's subcontractors. The City acknowledges intent to engage third-party vendors for furniture, gym equipment, station alerting, station security systems, IT equipment (servers, racks, etc.), and the temporary canopy. However, only those subcontractors specifically named and identified in the bid document or subsequent addenda have been confirmed.

- 8. REQUEST FOR INFORMATION:** Where is the location of note #7 on plan sheet A1.6?

RESPONSE: It is for the dumpster area. The emergency generator is a complete enclosure.

- 9. REQUEST FOR INFORMATION:** What are the sizes of the 2 aluminum canopies located on the east side of the building?

RESPONSE: Each east side canopy is 4'-0"x6'-8" (IN PLAN).

- 10. REQUEST FOR CLARIFICATION:** Plans indicate the interior of the Tower is non-accessible and the storefront is to receive spandrel glass. Is there a specific reason why you call for the interior walls to be skim coated and painted?

RESPONSE: The City only acknowledges and confirms this requirement. All bidders shall consider and provide costs for this requirement in their bids.

11. REQUEST FOR CLARIFICATION: Plan sheet S2.2 indicates pipe sleeves and conduits are not allowed in slabs. Are they permitted in the dirt under the slabs?

RESPONSE: No, not directly below the slab. The conduits must be at least 6" below the slab and coordinated with architectural and mechanical drawings.

12. REQUEST FOR CLARIFICATION: Detail #7 on plan page M502 indicates a steel channel reinforcing around the RTU opening welded to the bar joists. Since this project contains no steel bar joists are there any additional reinforcement requirements at these openings? Structural drawings indicate slab opening reinforcing detail on sheet S5.4 but is not specific to RTU roof openings. Please advise.

RESPONSE: Contractor shall provide and install as per the detail and plan page. In addition, a shop drawing for the roof curb with a wind load calculation, signed and sealed by a Florida registered engineer, shall be required.

13. REQUEST FOR CLARIFICATION: Plan sheet E001 notes refer to lightning protection, but drawings do not indicate this system. Is lightning protection plan to be forthcoming or is the subcontractor to design the system?

RESPONSE: The lightning protection for structures notes shown on sheet E001 stated the performance requirements of the system. Lightning protection plans as per the specific type of system and manufacturer of selection shall be provided by the GC's subcontractor and reviewed by the engineer.

14. REQUEST FOR INFORMATION: Please confirm that the Safe Air System is permitted, furnished and installed by the City's vendor.

RESPONSE: The City's vendor shall install the Safe Air units and controls. The awarded GC for this project shall install all power for the units and controls.

15. REQUEST FOR INFORMATION: Are BDA, antennas, fire alerting and cellular systems being permitted, furnished and installed by city's vendor?

RESPONSE: All mentioned items will be provided by City's vendor. However, the GC awarded this bid shall remain responsible for painting, patching and fireproofing of all penetration and pathways for systems. (Also, refer to Nos. 3 and 7 above)

16. REQUEST FOR INFORMATION: What is the Tree Mitigation cost related to the project? Is the GC responsible to include the cost or will this be taken care of internally by the City?

RESPONSE: All tree mitigation fees shall be determined by the City and paid to the GC as a direct pass-through expense with no additional mark-up or costs to the Owner.

17. REQUEST FOR INFORMATION: The city has stated this project is to be completed in 365 calendar days from notice to proceed. This is a very aggressive time frame considering the contractor will need to complete Phase 1 prior to beginning asbestos abatement (should a report indicate presence of such) and the demolition of the existing structure and the start and completion of the new

facility. Will the City be reconsidering this schedule and the \$500 per day penalties?

RESPONSE: As stated during the pre-bid meeting, the 365 days will not start until demolition and construction permits are issued to the GC or the issuance of those permits are eminent. At that point, the Notice to Proceed will be issued by the City and the clock will start on the 365 days. The asbestos survey (refer to No. 2 above) reveals no asbestos. Therefore, no delays are anticipated where that is concerned. The bid document stipulations regarding the project completion time and associated penalties remain unchanged.

- 18. ADDITION/DELETION:** ADD the attached new Schedule of Bid Pricing (Pages A-15a thru A-18a) to the bid specifications under Part I Bidding Requirements.

DELETE: any and all previously issued Schedule of Bid Pricing pages, whether initially issued with the bid or as part of Addendum No. 1, from the bid specifications under Part I Bidding Requirements.

REASON: The final page of the Schedule of Bid Pricing was modified to include a submission line for the additional scope of work "Relocation – Existing Emergency Vehicle Signal Controller". However, the page was incorrectly numbered when issued as part of that addendum. All pages of the Schedule of Bid Pricing have been re-issued as part of this addendum to correct the error. No changes to the schedule other than the addition of line item No. 17 on page A-18a were made.

- 19. ADDITION:** ADD the attached six paged Florida Green Building Coalition (FGBC) Basis of Design (BOD) date June 11, 2020 and the six paged Owner's Project Requirements (OPR) dated March 19, 2020 and revised April 20, 2020 to the bid package plans and specifications. To meet FGBC certification requirements, Contractor shall comply with the specifications, including but not limited to Sections 018113 and 019113.

REASON: The documents mentioned above to be inserted will provide bidders with clarification and details regarding the specifics of the FGBC requirements and responsibilities related to this project.

- 20. REQUEST FOR INFORMATION:** Are plans of the existing building available and if so can we get a copy?

RESPONSE: Plans have not been located and City does not guarantee future availability.

- 21. REQUEST FOR INFORMATION:** In summary of work item 1.6.B. #3 please clarify what bidders are to provide. Is city providing the signage or contractor?

RESPONSE: GC shall provide signage.

- 22. REQUEST FOR INFORMATION:** Please clarify scope of work for the 911 monument, are bidders to provide all items except the artifact?

RESPONSE: GC shall provide all work except for 9-11 artifact.

23. REQUEST FOR INFORMATION: Please confirm all fencing to be chain link with vinyl coating as elevations indicate a decorative metal fencing.

RESPONSE: All fencing in FPL easement shall be chain link with vinyl coating.

24. REQUEST FOR INFORMATION: Plan A1.4 lists items by Owner not listed in spec 011000 section 1.6.C. Please clarify which shall supersede.

RESPONSE: GC shall provide all equipment, materials, items unless it calls "by owner" or "NIC".

25. REQUEST FOR INFORMATION: For windows, YKK does not have YHS50TU with level E impact rating and FL #14218.10 is for standard impact rating system. YKK YHS50FI, FL#14218.5 meets this requirement, shall we use this ILO other?

RESPONSE: All bidders shall use YKK YHS50FI, FL#14218.5

26. REQUEST FOR INFORMATION: Level E impact rated does not allow for a horizontal member as shown on windows marked F&G, can they be made 2-lite system with just vertical member?

RESPONSE: Horizontal mullion shall be provided to exterior to keep design intent.

27. REQUEST FOR INFORMATION: What is the height of the cove base for the epoxy floor system? (4", 6")

RESPONSE: 6" cove base

28. REQUEST FOR INFORMATION: Regarding plumbing fixtures per P601, can we get the specifications for these fixtures?

RESPONSE: The fixture list is provided as an attachment to this addendum.

29. REQUEST FOR INFORMATION: Door specification 081113, 2.3,B,3 calls for doors to be 16 gauge and paragraph C3 calls for doors to be 18 gauge, which shall be used? We do not see a wood door specification in the spec manual, please provide.

RESPONSE: The following clarifications are provided to all bidders related to doors.

- Door frames: interior frames 16 ga / exterior frames 14 ga
- Doors (interior): 18 ga/ exterior 16 ga
- A six-page wood door spec has been added to this addendum

30. REQUEST FOR INFORMATION: Will wood doors be factory prefinished or field finished?

RESPONSE: Factory finished

31. REQUEST FOR INFORMATION: Will the city remove existing generator from the building?

RESPONSE: City plans to repurpose this generator. All related work will be handled by the City.

32. REQUEST FOR INFORMATION: Will city make provisions to have existing LP fuel tanks drained by service provider or will bidders be required to have tanks drained?

RESPONSE: Yes. Please see answer to No. 31 above.

33. REQUEST FOR INFORMATION: Please provide requirements for the temporary canopy required for trucks if bidders are to provide this structure.

RESPONSE: CITY SHALL PROVIDE THIS NOT GC

- a. What is the required eave height? N/A
- b. Can a fabric tent style structure be used? N/A
- c. What will be required for power & water? N/A
- d. Will permitting fees be included in the allowance? N/A
- e. What is the expected duration of use? N/A

34. REQUEST FOR INFORMATION: Please provide the scope of work for the security vendor and clarification regarding the responsibilities of that provider versus those of the contractor awarded this bid.

RESPONSE: A seven-page proposal from Security 101 (inclusive of cover page and pages labeled 1-6 of 14 only) entitled "Fire Station No. 58 - Access Control & Intercom System Installations" which is dated September 29, 2020 has been included in this addendum in response to this RFI. Additionally, it is clarified that all items therein labeled as "Existing or Customer Supplied" shall be the responsibility of the contractor awarded this bid.

35. REQUEST FOR INFORMATION: Civil plans are not showing the thickness of lime rock required under the asphalt. Please provide?

RESPONSE: Lime rock under the asphalt is to be 8" thick.

36. REQUEST FOR INFORMATION: Are the trench drains in the Apparatus Bays to be lined with epoxy?

RESPONSE: Not required

37. REQUEST FOR INFORMATION: Is the Generator Bay equipment pad being completely wrapped with epoxy?

RESPONSE: Not required

38. REQUEST FOR INFORMATION: Will a mock up for the epoxy finishes be required?

RESPONSE: Yes. Color samples and mock up on wood for review are required.

39. REQUEST FOR INFORMATION: According to the specified Generator manufactures, the sound level specified 15dBA when measured 23 feet from the generator cannot be obtained. Can you please clarify if this value is correct?

RESPONSE: Disregard the 15dBA requirement. Generator sound level shall comply with the local sound level requirements at the property line.

- 39. REQUEST FOR INFORMATION:** The architect is requesting the YHS50TU with Level E impact FL #14218.10. YKK does not have a YHS50TU with a Level E impact rating. The FL #14218.10 is for their standard impact rated system. YKK does have a YHS50FI FL#14218.5 level E impact rating. Does the architect want us to use this one instead?

Note: The level E impact rated unit does not allow for a horizontal member as shown in mark F & G. These units will have to be a 2-lite system with just the vertical member.

RESPONSE: All bidders shall use the YHS50FL FI# 1418.5 for this project. GC shall provide a horizontal mullion on the exterior to keep design intent.

- 40. REQUEST FOR INFORMATION:** Wall Details 2 & 3 on drawing A4.4 indicates 1-7/8" furring and is not a commercial furring size. Please advise.

RESPONSE: All bidders please use 1-1/2" furring.

- 41. REQUEST FOR INFORMATION:** Tower plan detail 4 on drawing A1.0 is showing wall type 3 for the exterior face of the tower. Please advise.

RESPONSE: Exterior wall finishes shall be stone, stucco, and or tile. GC shall coordinate with exterior elevations and provide all finishes that are call for.

- 42. REQUEST FOR INFORMATION:** Hardware Set # 5 states that the electric strike operated by activating the card reader. The material listed is an electric lock. Please let me know which one is to be supplied.

RESPONSE: Bidders shall provide electronic locks.

- 43. REQUEST FOR INFORMATION:** Signage: Are the letters and shield on the west side elevation cast or lighted? Drawings call out both in different views.

RESPONSE: The letters/numbers/shield are both cast and lighted. GC shall provide everything for this.

- 44. REQUEST FOR INFORMATION:** Please see attached product data for approval for a manufacturer substitution on epoxy flooring to include Flrock product.

RESPONSE: Epoxy finishes as per drawings/finish schedule specs. Color has been finalized by City.

- 45. REQUEST FOR INFORMATION:** Plan sheet A1.5 signage plan indicates sign style 3 as being 6 feet by 8 feet. I can only assume that there was a typo error but just wanted to confirm.

RESPONSE: It is a typo. Please use 6"x8".

- 46. REQUEST FOR INFORMATION:** Please note that your specs for the washer and dryer are referencing residential type Speed Queen appliances no suited for fire related gear. Are you sure these products are correct?

RESPONSE: Correct. It is not for bunker gear washing and drying.

- 47. REQUEST FOR INFORMATION:** Please confirm, how many copies of our Bid are we required to submit?
RESPONSE: The City's minimum requirement is one original. It is acceptable if bidders choose to include copies of the original as well.
- 48. REQUEST FOR INFORMATION:** Plan sheet A1.4 Equipment Plan List some items are noted "Owners Vendor" others are noted "BY GC" and the remaining are not noted as who is supplying. Who supplies those items not noted?
RESPONSE: GC shall provide all unless stated "by owner" or "N.I.C."
- 49. REQUEST FOR INFORMATION:** What does the text consist of on the monument sign? Example "10:10 AM PENTAGON". Material, thickness, text, lit, mounted?
RESPONSE: All information for the 9-11 memorial is provided on sheet SP-4
- 50. REQUEST FOR INFORMATION:** There is a finish discrepancy between specification and A6.2 window schedule. Specification section 0841113 Aluminum Framed Storefront 2.9A calls for Class I Clear Anodized Finish, Window schedule on A6.2 calls out for a painted aluminum frame. What is the required finish for the aluminum impact resistant door and framing?
RESPONSE: Windows/Storefronts shall be painted ("KYNAR" color to match what is shown on the drawings) aluminum frames.
- 51. REQUEST FOR INFORMATION:** There is a discrepancy between specifications and the door schedule for door 38. 084113 Aluminum Framed Storefronts 2.4 B Interior Entrance Doors Aluminum and Glass: Exercise Room Door is calling out for a 1 3/4" thick narrow stile aluminum rail door and the door schedule is calling for door 38 as Metal/Glass with a Fire Rated Steel Frame. Please clarify door 38.
RESPONSE: The door and window to this area shall be fire rated steel frame or aluminum.
- 52. REQUEST FOR INFORMATION:** 084113 Aluminum Framed Storefronts 2.4 B Interior Entrance Doors Aluminum and Glass 2 states this interior door shall meet FBC HVWZ (Level "E") and all NOA/FL product approvals. Please clarify if Door and Frame 38 is required to meet impact requirements as specified or will a non-impact door be acceptable at this interior location?
RESPONSE: Interior doors do not require NOA/FL product approvals. interior glazing is required to be safety glazing or fire rated.
- 53. REQUEST FOR INFORMATION:** Sheet A1.6 shows 6' h vinyl coated chain link security fence with posts at 8' on center. Sheet C-6 on c/l fence detail show line posts 10' typ. Which one is correct? The same detail show 4" OD pipe terminal or line posts and below it shows line post 2 1/2" post (typ), which one is correct?
RESPONSE: Provide 8' on center fence post. 2-1/2" posts are acceptable.
- 54. REQUEST FOR INFORMATION:** Sheet A1.6; Please provide further details for "Public safety security plan keynotes", #2 details for 14' double wide motorized gates with FPL access override.

RESPONSE: Rolling gate to the north shall be manual pad locked and locked. The rolling gate to the south shall be motorized and card accessed. The city shall provide access to FPL as noted.

55. REQUEST FOR INFORMATION: Are all access gates cantilever sliding or standard rolling gates?

RESPONSE: They are rolling gates.

56. REQUEST FOR INFORMATION: Please provide details for the access control system.

RESPONSE: See No. 34 above.

57. REQUEST FOR INFORMATION: Sheet A1.0 Tower plan, detail 4, Drawing is showing wall type 3 for the exterior face of tower. Please provide.

RESPONSE: Exterior wall finishes shall be stone, stucco, and or tile. GC shall coordinate with exterior elevations and provide all finishes that are call for.

58. REQUEST FOR INFORMATION: Please provide plumbing fixture schedule.

RESPONSE: Please see the attached nineteen-page compilation of plumbing fixture information sheets to clarify questions on fixture types. Also, please be aware that sheet A1.4 does call out other specialty fixtures. These are all to be provided and installed by the GC.

59. REQUEST FOR INFORMATION: The epoxy cove base detail on Sheet A8.0 shows the epoxy base at 4-1/2" high, but the interior finishes on Sheet A4.0 show the base to be 6" high. Please clarify base heights.

RESPONSE: Provide 6" high base.

60. REQUEST FOR INFORMATION: (3) Rooms show the EP3 flooring, but there is no base designation on Sheet A8.0; Please confirm if these 3 rooms should also include the EP3 coved base. - 105 Equip. Utility Room, 107 EMS Storage, 109 Laundry / Utility Room

RESPONSE: Please provide base in those rooms.

61. REQUEST FOR INFORMATION: (3) Rooms show a wall base color the differs from the color of the flooring; Please confirm the accurate colors for each. - Refer to Sheet A8.0, 116 Bunker Gear Room (EP3 flooring with B2/EP2 base), 135 Apparatus Bay (EP3 flooring with B2/EP2 base), – Apparatus Bay elevation plan shows no wall base, please confirm there's to be base. 136 Em. Generator Room (EP3 flooring with B2/EP2 base)

RESPONSE: Floor base and floor color shall match.

62. REQUEST FOR INFORMATION: Will background checks be needed?

RESPONSE: While background checks are not a requirement, bidders are encouraged to familiarize themselves with Item 19 in the General Conditions – Instruction to Bidders portion of the bid document. Additionally, the City of Margate reserves the right to require a GC to remove a specific subcontractor or employee from the job site should in the determination of the City that company of individual poses an undue threat, harm or liability to the City or City interests.

63. REQUEST FOR INFORMATION: What is the approximate start date of the project?

RESPONSE: The City's goal is to move forward expeditiously with this project. We anticipate that a contract will be formally awarded within 45 days of the bid opening. Once awarded, the Contractor will diligently pursue obtaining the necessary building permits to allow commencement of construction. The City has approved the Final Site Plan and Broward County approvals, including Transportation Concurrency and the Surface Water Management License have been received. The design plans have undergone preliminary review by the building department which may allow the permit process to be completed within 60 days. Upon permit issuance, a Notice to Proceed will be issued, starting the Contract Time of 365 days to completion.

64. REQUEST FOR INFORMATION: Refer to sheet SP-3. Are we wrapping the 8" high equipment pad in the RM 136 EM. Generator room completely with epoxy?

RESPONSE: No. That is not required.

65. REQUEST FOR INFORMATION: Sheet A1.4 Key Line Item #8 indicates the free-standing ice maker to be provided by Owner. On sheet A4.0, the ice maker is indicated to be provided by GC. Please clarify.

RESPONSE: The ice maker is supplied by the owner. The GC shall install ALL infrastructure (i.e. mechanical, plumbing, electrical).

66. REQUEST FOR INFORMATION: Sheets C-1 and C-4; clarify if the existing Traffic Signal Box relocation, wiring, conduits, and final terminations will be by Owner or by GC.

RESPONSE: Terminations and all other traffic signal box relocation items will be by GC. Additionally, GC shall be responsible for relocation of traffic box and all other related matters as shown in drawings and stipulated in Addendum No. 1.

67. REQUEST FOR INFORMATION: Reflected Ceiling Plan Keynotes #4 on Sheet A1.2, indicates the Vehicle Exhaust System is to be provided and installed by the City's vendor. Sheet ME-1 indicates the Safeair System (Vehicle Exhaust System) to be provide and installed by the GC. Please clarify if the Safeair System is to be provided and installed by the City's vendor or by the GC. Also, please refer to Reflected Ceiling Plan Keynotes #29 Sheet A1.2 and sheet ME-1; are the existing SafeAir units to be reused and reinstalled by the City's vendor or GC? Please clarify the scope of work.

RESPONSE: The City shall have their vendor "Safeair" reinstall the existing units and control equipment. The GC shall provide all the power and low voltage control wiring.

68. REQUEST FOR INFORMATION: Provide location, size and quantity of the incoming underground Tele/Data and TV service empty conduits.

RESPONSE: This information is covered on the electrical site plan sheet.

69. REQUEST FOR INFORMATION: Provide specifications for kitchen sinks faucets.

RESPONSE: Goose neck faucets are required at the kitchen sinks. Please see No. 58 above for all other fixture related inquiries. This and additional plumbing related information is attached to this addendum.

70. REQUEST FOR INFORMATION: The Fire Alarm and DAS systems to be provided by the GC, please advise.

RESPONSE: Fire alarm shall be provided by GC. BDA/DAS system shall be provided by the City's vendor with the GC providing the required power.

71. REQUEST FOR INFORMATION: Please clarify the paving, grading and drainage.

RESPONSE: In response to several questions regarding the subject matter, please see the Addendum 3 – page C-3 provided as an attachment.

This addendum consists of one hundred four (104) pages.

There are no other changes to the bid document at this time aside from clarifications and information provided herein. The bid opening and submission deadline date, and time remain unchanged. However, due to COVID-19 concerns, the public bid opening will take place outside of the main entry doors of the Margate City Hall which is the bid submission location. Interested parties are welcome to be present and asked to wear a mask.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Please sign and return the acknowledgment page of this addendum by email or by fax. The original acknowledgement page is to be included with your qualifications submission.

ACKNOWLEDGEMENT FORM

ADDENDUM NO. 3

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

I acknowledge receipt of Addendum No. 3 for Bid No. 2020-014. This addendum contains 104 pages. Please include the original of this form in your qualifications submission.

Company Name: _____

Address: _____

Name of Signer _____
(please print)

Signature: _____ Date: _____

Telephone: _____ Facsimile: _____

Please fax your completed form to (954) 935-5258 or e-mail to purchase@margatefl.com.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Friday, October 2, 2020

NOTE: The original of this form must be included with your qualifications submission.

CITY OF MARGATE, FLORIDA

RESOLUTION NO. 20-018

A RESOLUTION OF THE CITY OF MARGATE, FLORIDA, APPROVING AND AUTHORIZING THE EXECUTION OF A RIGHT-OF-WAY CONSENT AGREEMENT BETWEEN FLORIDA POWER & LIGHT COMPANY AND THE CITY OF MARGATE FOR THE CONSTRUCTION OF CERTAIN IMPROVEMENTS, INCLUDING AN ASPHALT PARKING AREA, DRAINAGE, DRY RETENTION AREA, LANDSCAPING, IRRIGATION, LIGHTING, AND UNDERGROUND UTILITIES WITHIN THE FPL TRANSMISSION EASEMENT, ASSOCIATED WITH THE DEMOLITION OF AN EXISTING FIRE STATION AND CONSTRUCTION OF NEW FIRE STATION #58; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, The City of Margate's existing fire station, located at 600 North Rock Island Road, lies adjacent to and within a right-of-way granted to Florida Power & Light Company by that certain agreement recorded in OR Book 4092, Page 522 Public Records of Broward County, Florida; and

WHEREAS, The City of Margate desires to demolish the existing fire station and construct the new Fire Station #58 adjacent to the FPL transmission easement for the benefit, health, and safety of the public; and

WHEREAS, the construction of the new Fire Station #58 necessitates that certain improvements, including an asphalt parking area, drainage, dry retention area, landscaping, irrigation, lighting, and underground utilities, be constructed within the FPL transmission easement and is thus subject to the consent of Florida Power & Light Company and certain terms and conditions as outlined in a Right of Way Consent Agreement, a copy of which is attached hereto as Addendum "A"; and

WHEREAS, the Right of Way Consent Agreement attached hereto as Addendum "A" has been reviewed and approved for signature by the City Attorney.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF MARGATE, FLORIDA:

SECTION 1: That the foregoing "WHEREAS" clauses are true and correct and are incorporated herein.

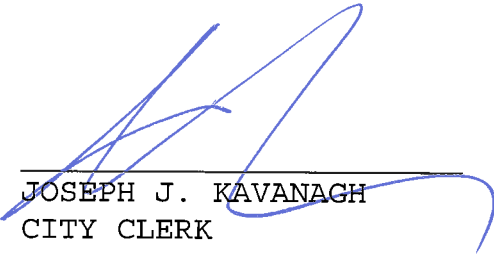
SECTION 2: That the City Commission approves the Right of Way Consent Agreement attached hereto and incorporated herein as Addendum "A".

SECTION 3: That the Mayor is authorized and directed to execute the Right of Way Consent Agreement attached hereto and incorporated herein as Addendum "A".

SECTION 4: That this Resolution shall become effective immediately upon its passage.

PASSED, ADOPTED, AND APPROVED THIS 22ND day of April, 2020.

ATTEST:



JOSEPH J. KAVANAGH
CITY CLERK



MAYOR TOMMY RUZZANO

RECORD OF VOTE

Caggiano	<u>YES</u>
Simone	<u>YES</u>
Arserio	<u>YES</u>
Schwartz	<u>YES</u>
Ruzzano	<u>YES</u>

Structure No.: 136T6
Section 35, Township 48S, Range 41E:
Easement No.: S00200350
Parcel ID:
(Maintained by County Appraiser)

RIGHT-OF-WAY CONSENT AGREEMENT
(Governmental Entity)

FLORIDA POWER & LIGHT COMPANY, a Florida corporation ("**Company**"), with a mailing address at P.O. Box 14000, Juno Beach, Florida 33408-0420, Attn: Corporate Real Estate Department, hereby consents to City of Margate ("**Licensee**"), whose mailing address is 5790 Margate Blvd., Margate, Florida 33063 using that certain area within Company's right-of-way granted by that certain agreement recorded in Official Record Book 4092, at Page 522, Public Records of Broward County, Florida, as more particularly described on **Exhibit A** attached hereto ("**Lands**"). Licensee's use of the Lands shall be solely for the purpose of ** See Attached as **Exhibit D** as shown on the plans and specifications submitted by Licensee, and attached to this Right-of-Way Consent Agreement (Governmental Entity) ("**Agreement**") as **Exhibit B**, and for no other purpose whatsoever.

In consideration for Company's consent and for the other mutual covenants set forth below, and for Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and adequacy of which is hereby acknowledged, the parties hereto agree as follows:

1. Licensee agrees to obtain all necessary rights from the owners of the Lands in the event Licensee does not own said Lands; to obtain any and all applicable federal, state, and local permits required in connection with Licensee's use of the Lands; and at all times, to comply with all requirements of all federal, state, and local laws, ordinances, rules and regulations applicable or pertaining to the use of the Lands by Licensee pursuant to this Agreement.

2. Licensee understands and agrees that the use of the Lands pursuant to this Agreement is subordinate to the rights and interest of Company in and to the Lands and agrees to notify its employees, agents, and contractors accordingly. Company specifically reserves the right to maintain its facilities located on the Lands; to make improvements; add additional facilities; maintain, construct or alter roads; maintain any facilities, devices, or improvements on the Lands which aid in or are necessary to Company's business or operations; and the right to enter upon the Lands at all times for such purposes. Licensee understands that in the exercise of such rights and interest, Company from time-to-time may require Licensee, to relocate, alter, or remove its facilities and equipment, including parking spaces and areas, and other improvements made by Licensee pursuant to this Agreement which interfere with or prevent Company, in its opinion, from properly and safely constructing, improving, and maintaining its facilities. Licensee agrees to relocate, alter, or remove said facilities, equipment, parking spaces and areas, and other improvements within thirty (30) days of receiving notice from Company to do so. Such relocation, alteration, or removal will be made at the sole cost and expense of Licensee and at no cost and expense to Company; provided however, should Licensee, for any reason, fail to make such relocation, alteration, or removal, Company retains the right to enter upon the Lands and make said relocation, alteration, or removal of Licensee's facilities, equipment, parking spaces and areas, and other improvements and Licensee hereby agrees to immediately reimburse Company for all of its costs and expense incurred in connection therewith upon demand.

3. Licensee agrees that it will not use the Lands in any manner which, in the opinion of Company, may tend to interfere with Company's use of the Lands or may tend to cause a hazardous condition to exist. Licensee agrees that no hazardous substance, as the term is defined in Section 101 (14) of the Comprehensive Environmental Response Compensation and Liability Act ("**CERCLA**") (42 USC Section 9601 [14]), petroleum products, liquids or flammables shall be placed on, under, transported across or

stored on the Lands, which restricts, impairs, interferes with, or hinders the use of the Lands by Company or the exercise by Company of any of its rights thereto. Licensee agrees further that in the event it should create a hazardous condition, then upon notification by Company, Licensee shall, within seventy-two (72) hours, at its sole cost and expense, correct such condition or situation; provided however that the Company retains the right to enter upon the Lands and correct any such condition or situation at any time and, by its execution hereof, Licensee hereby agrees to indemnify and hold harmless Company from all loss, damage or injury resulting from Licensee's failure to comply with the provisions of this Agreement.

4. Licensee hereby agrees and covenants to prohibit its agents, employees, and contractors from using any tools, equipment, or machinery on the Lands capable of extending greater than fourteen (14) feet above existing grade and further agrees that no dynamite or other explosives shall be used within the Lands and that no alteration of the existing terrain, including the use of the Lands by Licensee as provided herein, shall be made which will result in preventing Company access to its facilities located within said Lands. Unless otherwise provided herein, Licensee agrees to maintain a one hundred and fifty (150) foot wide area, clear of any activities, with a lineal measurement of seventy five (75) feet on each side of the centerline of Company's existing and planned facilities.

5. Licensee understands and agrees that the planting of trees, shrubs, and other foliage capable of exceeding fourteen (14) feet in height at full maturity is not permitted within Company's Lands.

6. Outdoor lighting installed or to be installed upon the Lands by Licensee are not to exceed a height of fourteen (14) feet above existing grade and all poles or standards supporting light fixtures are to be of a non-metallic material.

7. Sprinkler systems installed or to be installed by Licensee upon the Lands are to be constructed of a non-metallic material and sprinkler heads are to be set so the spray height does not exceed fourteen (14) feet above existing grade and does not make contact with any Company's facilities. Aboveground systems shall not be installed within or across Company patrol or finger roads and underground systems crossing said patrol and finger roads are to be buried at a minimum depth of one (1) foot below existing road grade.

8. Licensee agrees to warn its employees, agents, contractors and invitees of the fact that the electrical facilities and appurtenances installed or to be installed by Company within the Lands are of high voltage electricity and agrees to use all safety and precautionary measures when working under or near Company's facilities. Licensee hereby acknowledges the receipt and required execution of Form 360, a copy of which is attached hereto as **Exhibit C**, prior to the commencement of any construction within the Lands.

9. Licensee agrees, at all times, to maintain and keep the Lands clean and free of debris. Except as provided herein, Licensee further understands and agrees that certain uses of the Lands are specifically prohibited; such uses include but are not limited to recreational purposes, hunting and camping, and Licensee agrees to notify its employees, agents, contractors, and invitees accordingly.

10. The use of the Lands by Licensee shall be at the sole risk and expense of Licensee, and Company is specifically relieved of any responsibility for damage or loss to Licensee or other persons resulting from Company's use of the Lands for its purposes.

11. Notwithstanding any provision contained herein to the contrary, Licensee agrees to reimburse Company for all cost and expense for any damage to Company's facilities resulting from Licensee's use of the Lands and agrees that if, in the opinion of Company, it becomes necessary as a result of Licensee's use of the Lands for Company to relocate, rearrange or change any of its facilities, to promptly reimburse Company for all cost and expense involved with such relocation, rearrangement or change.

12. Licensee agrees it will exercise its privileges hereunder at its own sole risk and agrees subject to the limitations contained in Section 768.28, Florida Statutes, if applicable, to indemnify and save harmless Company, its parent, subsidiaries, affiliates, and their respective officers, directors, agents and employees (collectively, the "**FPL Entities**"), from all liability, loss, cost, and expense, including attorneys' and paralegals' fees and court costs at all trial and appellate levels, which may be sustained by FPL Entities to any person, natural or artificial, by reason of the death of or injury to any person or damage to any property, arising out of or in connection with the herein described purposes by Licensee, its contractors, agents, or employees; and Licensee agrees subject to the limitations contained in Section 768.28, Florida Statutes, if applicable, to defend at its sole cost and expense and at no cost and expense to FPL Entities any and all suits or action instituted against FPL Entities, for the imposition of such liability, loss, cost and expense.

13. Licensee shall, and shall cause each of Licensee's contractors and subcontractors performing work in connection with the project during the period of this Agreement, to procure and maintain at Licensee's and such contractors' and subcontractors' sole expense, the following minimum insurance, with insurers with a rated "A-, VII" or higher by A.M. Best's Key Rating Guide (i) General Liability insurance with limits of \$3,000,000 for bodily injury or death of person(s) and property damage per occurrence, which shall insure against obligations assumed by Licensee in indemnity provision set forth in Section 12 above, (ii) Workers' Compensation Insurance for statutory obligations imposed by applicable laws, (iii) Employers' Liability Insurance with limits of \$1,000,000 for bodily injury per accident, by disease per policy and disease per employee and, (iv) Automobile Liability Insurance which shall apply to all owned, non-owned, leased and hired automobiles with limits of \$1,000,000 combined single limit. Except for the Workers' Compensation Insurance, Licensee shall name Company as an additional insured and provide for a waiver or subrogation in favor of Company. Upon execution of this Agreement, Licensee shall provide evidence of the required insurance coverage in the form of an ACORD certificate to Company evidencing that said policy of insurance is in force and will not be cancelled or non-renewed so as to affect the interests of Company until thirty (30) days written notice has been furnished to Company. Upon request, copies of policies will be furnished to Company by Licensee. Licensee understands and agrees that the use of the Lands for the purposes described herein is expressly contingent upon acceptance and compliance with the provisions contained herein.

Licensee shall be responsible for managing and administering all insurance policies required hereunder, including the payment of all deductibles and self-insured retention amounts, the filing of all claims and the taking of all necessary and proper steps to collect any proceeds on behalf of the relevant insured person or entity. Licensee shall at all times keep Company informed of the filing and progress of any claim. If Licensee shall fail to perform these responsibilities, Company may take such action as it determines appropriate under the circumstances. In the event Licensee collects proceeds on behalf of other persons or entities, it shall ensure that these are paid directly from the insurers to the relevant person or entity and, in the event that it receives any such proceeds, it shall, unless otherwise directed by Company, pay such proceed to such party forthwith and prior thereto, hold the same in trust for the recipient.

Nothing in this Section shall be deemed to limit Licensee's liability under this Agreement regardless of the insurance coverages required hereunder. No limitation of liability provided to Licensee under this Agreement is intended nor shall run to the benefit of any insurance company or in any way prejudice, alter, diminish, abridge or reduce, in any respect, the amount of proceeds of insurance otherwise payable to Company under coverage required to be carried by Licensee under this Agreement, it being the intent of the parties that the full amount of insurance coverage bargained for be actually available notwithstanding any limitation of liability contained in this Agreement, if any. Company assumes no responsibility for the solvency of any insurer or the failure of any insurer to settle any claim. In the event that the Licensee self-insures, Licensee shall provide Company with a letter of self-insurance in form and substance satisfactory to Company's Risk Management Department. Licensee's contractors and sub-

contractors may not self-insure. This Section shall survive the expiration or earlier termination of this Agreement

14. This Agreement will become effective upon execution by Company and Licensee and will remain in full force and effect until completion of Licensee's use of the Lands pursuant to this Agreement, unless earlier terminated upon ninety (90) days written notice by Company to Licensee, or at the option of Company, immediately upon Licensee failing to comply with or to abide by any or all of the provisions contained herein.

15. The use granted herein as shown on **Exhibit B** shall be under construction by Licensee within one (1) year of the effective date of this Agreement and the construction shall be diligently pursued to completion. Licensee shall give Company ten (10) days prior written notice of its commencement of construction. "Under construction" means the continuous physical activity of placing the foundation or continuation of construction above the foundation of any structure or improvement permitted hereunder. Under construction does not include application for or obtaining a building permit, a site plan approval or zoning approval from the appropriate local government agency having jurisdiction over the activity, purchasing construction materials, placing such construction materials on the site, clearing or grading the site (if permitted) in anticipation of construction, site surveying, landscaping work or reactivating construction after substantially all construction activity has remained stopped for a period of two (2) months or more. Licensee acknowledges that failure to have the use under construction within the one (1) year time period will result in immediate termination of this Agreement in accordance with Section 14 above for failing to comply with the provisions contained herein unless Licensor grants a written extension for a mutually agreed upon time. Any request for an extension of time shall be submitted in writing by Licensee no later than thirty (30) days prior to the expiration of the one (1) year period for the project to be under construction.

16. The term "Licensee" shall be construed as embracing such number and gender as the character of the party or parties require(s) and the obligations contained herein shall be absolute and primary and shall be complete and binding as to each, including its successors and assigns, upon this Agreement being executed by Licensee and subject to no conditions precedent or otherwise.

17. In the event any term or provision of this Agreement is determined by appropriate judicial authority to be illegal or otherwise invalid, such provision shall be given its nearest legal meaning or be construed as deleted as such authority determines, and the remainder of this Agreement shall be construed to be in full force and effect.

18. In the event of any litigation arising out of enforcement of this Agreement, the prevailing party in such litigation shall be entitled to recovery of all costs, charges and expenses of enforcement, including reasonable attorneys' and paralegals' fees and court costs at all trial and appellate levels.

19. This Agreement constitutes the entire Agreement between the parties relative to the transaction contemplated herein and neither this Agreement nor any term or provision hereof may be changed or waived except by an instrument in writing and executed by both Licensee and Company.

20. This Agreement shall be interpreted and enforced in accordance with the laws of the State of Florida.

21. This Agreement may be executed simultaneously or in counterparts, each of which together shall constitute one and the same agreement.

22. This Agreement shall not be construed more strictly against one party than against the other, merely by virtue of the fact that it may have been prepared by counsel for one of the parties, it being recognized that both Licensee and Company have contributed substantially and materially in the negotiation

and preparation of this Agreement, and that the normal rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this Agreement or any exhibits, schedules, addendums or amendments hereto.

23. Licensee may assign its rights and obligations under this Agreement to a solvent party upon prior written consent of Company.

24. Licensee agrees that any review or approval by Company of the plans and/or specifications submitted by Licensee attached hereto as **Exhibit B**, the approval of the identity of any contractors, subcontractors and materialmen, or the delivery by Company of any construction specifications to Licensee, is solely for the purpose of processing this Agreement, and without any representation or warranty whatsoever to Licensee with respect to the adequacy, correctness or efficiency thereof or otherwise and it is understood that such Company's approval does not absolve Licensee of any liability hereunder. Further, Licensee, in connection with the construction, maintenance and/or removal of improvements depicted on **Exhibit B** to this Agreement, agrees to observe and fully comply with all construction, operation and maintenance standards, as well as all applicable laws, rules and regulations of the United States, the State of Florida, and all agencies and political subdivisions thereof, including without limitation, the National Electrical Safety Code and the Occupational Safety & Health Administration regulations, standards, rules, registers, directives or interpretations.

25. This Agreement includes and is subject to the provisions described on the attached Addendum.

The parties have executed this Agreement this 19th day of may, 2020.

Witnesses:

Stacy B. Winnubst
Signature: _____
Print Name: Stacy B. Winnubst

Jorge Perez
Signature: _____
Print Name: JORGE PEREZ

COMPANY:

FLORIDA POWER & LIGHT COMPANY,
a Florida corporation

By: Samantha J. Saucier
Its: Corporate Real Estate Manager
Print Name: Samantha J. Saucier

Witnesses:

Thomasina Perry
Signature: _____
Print Name: Thomasina Perry

Theresa Jones
Signature: _____
Print Name: Theresa Jones

LICENSEE: CITY OF MARGATE

By: [Signature]
Its: Mayor
Print Name: Tommy Ruzzano

(Corporate Seal)

**FPL**

EXHIBIT "C"

NOTIFICATION OF FPL FACILITIES

Customer/Agency _____
 Developer/Contractor Name _____
 Location of Project _____
 FPL Representative _____
 Developer/Contractor Representative _____

Date of Meeting/Contact: _____
 Project Number/Name: _____
 City: _____
 Phone: _____
 FPL Work Request #/Work Order #: _____

FPL calls your attention to the fact that there may be energized, high voltage electric lines, both overhead and underground, located in the area of this project. It is imperative that you visually survey the area and that you also take the necessary steps to identify all overhead and underground facilities prior to commencing construction to determine whether the construction of any proposed improvements will bring any person, tool, machinery, equipment or object closer to FPL's power lines than the OSHA-prescribed limits. If it will, you must either re-design your project to allow it to be built safely given the pre-existing power line location, or make arrangements with FPL to either deenergize and ground our facilities, or relocate them, possibly at your expense. You must do this before allowing any construction near the power lines. It is impossible for FPL to know or predict whether or not the contractors or subcontractors, and their employees, will operate or use cranes, digging apparatus or other mobile equipment, or handle materials or tools, in dangerous proximity to such power lines during the course of construction, and, if so, when and where. Therefore, if it becomes necessary for any contractor or subcontractor, or their employees, to operate or handle cranes, digging apparatus, draglines, mobile equipment, or any other equipment, tools or materials in such a manner that they might come closer to underground or overhead power lines than is permitted by local, state or federal regulations, you and any such contractor or subcontractor must notify FPL in writing of such planned operation prior to the commencement thereof and make all necessary arrangements with FPL in order to carry out the work in a safe manner. Any work in the vicinity of the electric lines should be suspended until these arrangements are finalized and implemented.

The National Electrical Safety Code ("NESC") prescribes minimum clearances that must be maintained. If you build your structure so that those clearances cannot be maintained, you may be required to compensate FPL for the relocation of our facilities to comply with those clearances. As such, you should contact FPL prior to commencing construction near pre-existing underground or overhead power lines to make sure that your proposed improvement does not impinge upon the NESC clearances.

It is your responsibility and the responsibility of your contractors and subcontractors on this project to diligently fulfill the following obligations:

1. Make absolutely certain that all persons responsible for operating or handling cranes, digging apparatus, draglines, mobile equipment or any equipment, tool, or material capable of contacting a power line, are in compliance with all applicable state and federal regulations, including but not limited to U.S. Department of Labor OSHA Regulations, while performing their work.
2. Make sure that all cranes, digging apparatus, draglines, mobile equipment, and all other equipment or materials capable of contacting a power line have attached to them any warning signs required by U.S. Department of Labor OSHA Regulations.
3. Post and maintain proper warning signs and advise all employees, new and old alike, of their obligation to keep themselves, their tools, materials and equipment away from power lines per the following OSHA minimum approach distances (refer to OSHA regulations for restrictions):

<u>*Power Line Voltages</u>	<u>**Personnel and Equipment</u> (29 CFR 1910.333 and 1926.600)	<u>Cranes and Derricks</u> (29 CFR 1926.1407, 1408)	<u>Travel under or near Power Lines (on construction sites, no load)</u> (29 CFR 1926.600 - Equipment) (1926.1411 - Cranes and Derricks)	
0 - 750 volts	10 Feet	10 Feet	4 Feet	4 Feet
751 - 50,000 volts	10 Feet	10 Feet	4 Feet	6 Feet
69,000 volts	11 Feet	15 Feet	10 Feet	10 Feet
115,000 volts	13 Feet	15 Feet	10 Feet	10 Feet
138,000 volts	13 Feet	15 Feet	10 Feet	10 Feet
230,000 volts	16 Feet	20 Feet	10 Feet	10 Feet
500,000 volts	25 Feet	25 Feet	16 Feet	16 Feet

*When uncertain of the voltage, maintain a distance of 20 feet for voltages up to 350,000 volts and 50 feet for voltages greater than 350,000 volts.

**For personnel approaching insulated secondary conductors less than 750 volts, avoid contact (Maintain 10 Feet to bare energized conductors less than 750 volts). For qualified personnel and insulated aerial lift equipment meeting requirements of 29 CFR 1910.333, distances may be reduced to those shown in 29 CFR 1910.333 Table S-5.

4. All excavators are required to contact the Sunshine State One Call of Florida, phone number 1-800-432-4770 or 811 a minimum of two working days (excluding weekends) in advance of commencement of excavation to ensure facilities are located accurately.
5. Conduct all locations and excavations in accordance with the Florida Statute 556 of the Underground Facilities Damage Prevention & Safety Act and all local city and county ordinances that may apply.
6. When an excavation is to take place within a tolerance zone, an excavator shall use increased caution to protect underground facilities. The protection requires hand digging, pot holing, soft digging, vacuum methods, or similar procedures to identify underground facilities.

A copy of this notification must be provided by you to each contractor and subcontractor on this project, to be shared with their supervision and employees prior to commencing work on this project.

Means by which this notification was provided to customer and/or contractor _____

Address _____

FPL Representative Signature _____

Date _____

Customer/Developer/Contractor Representative Signature _____

Date _____

EXHIBIT D

City of Margate Fire Station # 58
Demolition and New Construction
Project Description
January 13, 2020

The City of Margate's Fire Station #58 is located within a portion of Parcel "E" of the Oriole-Margate Section 3 Plat (Broward County PB 74, PG 45), with a street address of 600 N. Rock Island Road, Margate, Florida. The Fire Station and associated parking is subject to an existing FPL Right of Way Consent Agreement dated June 1, 1994. As shown on the survey of the existing facility, a portion of the generator building structure together with a paved asphalt parking area, wheel stops, sidewalk, and light poles currently lie within a Florida Power & Light (FPL) right of way. This right of way was granted by an agreement recorded in O.R. Book 4092, at Page 522, Public Records of Broward County, Florida.

The City intends to demolish and replace Fire Station #58. The City of Margate is therefore requesting consent from FPL for the following:

1. Demolition of the Fire Station structure and generator building, lying both within and outside of the FPL right of way, together with demolition of all existing City improvements within the FPL right of way, including the asphalt parking areas, wheel stops, and light poles.
2. Removal of approximately +/- 680' L.F. of an overhead power line at the western edge of the right of way (running north and south) and adjacent to the existing building, to be replaced with underground lines and transformer within the FPL easement for service to the new building. It is anticipated that this work would be done in coordination with FPL engineers and the design team at the City's expense. The poles for this line are listed on the attached drawings which shows the pole locations and area in between where the line will be buried. The buried line would start roughly 130' +/- north of the building and running south to come back above ground 85' +/- south of NW 6th Court.
3. Installation of horizontal improvements associated with a new fire station structure, including a gated* asphalt parking area, limited landscaping, irrigation, lighting, and dry retention area. No vertical structures will be constructed within the 285' FPL right of way. As previously discussed and agreed to by FPL the secured staff only parking areas shall have (2) access points. The first from the south side shall be provided by a 6' high double gated (12' wide gate) 24' in total width and motorized. Access is from a center island mounted goose neck card reader. FPL shall have FULL access for use at their disposal. The north side shall be provided with a 6' high 16' wide manual gate that will also be secured and fully accessible by FPL. The secured gates and fencing for this parking area shall be 6' high vinyl coated galvanized chain-link fencing with top and bottom rails with posts every 8' o.c. This is shown on the site plans provided.

We anticipate that construction would commence as soon as possible after receipt of FPL consent and all required permits. Demolition is slated to begin by the fourth quarter of 2020, with construction of the new facility to be completed within 12 months after commencement. This schedule is subject to adjustment in the due course of reviews and approvals.

The existing Fire Station was originally constructed in 1974. Various additions and renovations were subsequently made throughout the 1990's and early 2000's, but the building is at the end of its useful life. It is a critical facility for the residents of Margate and surrounding areas and must be replaced. The station's staff and equipment will be housed temporarily during construction to the north of the existing building and outside of the FPL right of way.

The proposed Fire Station will be constructed by the City in accordance with all applicable codes and regulations. The proposed facility serves an essential public safety need and should not hinder the FPL's maintenance and operations procedures. Once completed, the new improvements will have less impact on the FPL right of way than what is currently in place.

The enclosed plan and survey depicts the proposed use and all FPL transmission facilities located on or adjacent to the site, including 16k and 20.5k overhead wires. No line work or other construction is being requested at or near the large overhead line towers. The only request is for the smaller single overhead line directly adjacent to the property be buried underground within the FPL easement.

There will be no significant regrading on the property, and new landscaping will be limited to the building area specifically with larger planting adjacent to the building and lower growing (no more than a 14' height) away from within the projects limited work scope area. All lighting poles shall be installed only outside of the FPL 285' right of way area (towards the west). Site lighting required along the building adjacent to the parking area shall be wall mounted on the building only. Only underground utilities planned for in the FPL easement area would be to support ground drainage only and would be designed as a dry retention area as required and approved by FPL. The majority of construction equipment for the building demolition and foundation and vertical construction, such as bulldozers, loaders, dump trucks, concrete trucks and rollers will be used outside the FPL right of way. Construction equipment to be used for the parking area in the right of way would include a front end loader/grader, compactor and ditch witch.

Property Description: ORIOLE-MARGATE SEC 3 74-45 B PARCEL E LESS RD R/W DESC IN OR 16476/756. Prior to finalizing the Consent Agreement, a legal description will be provided that defines the "FPL Consent Agreement Area" as proposed on the attached sketch.

Property Ownership: The City of Margate, 5790 Margate Blvd., Margate, FL 33063

ADDENDUM "A"

Structure No.: 136T6
Section 35, Township 48S, Range 41E:
Easement No.: S00200350
Parcel ID:
(Maintained by County Appraiser)

RIGHT-OF-WAY CONSENT AGREEMENT (Governmental Entity)

FLORIDA POWER & LIGHT COMPANY, a Florida corporation ("**Company**"), with a mailing address at P.O. Box 14000, Juno Beach, Florida 33408-0420, Attn: Corporate Real Estate Department, hereby consents to City of Margate ("**Licensee**"), whose mailing address is 5790 Margate Blvd., Margate, Florida 33063 using that certain area within Company's right-of-way granted by that certain agreement recorded in Official Record Book 4092, at Page 522, Public Records of Broward County, Florida, as more particularly described on Exhibit A attached hereto ("**Lands**"). Licensee's use of the Lands shall be solely for the purpose of ** See Attached as Exhibit D as shown on the plans and specifications submitted by Licensee, and attached to this Right-of-Way Consent Agreement (Governmental Entity) ("**Agreement**") as Exhibit B, and for no other purpose whatsoever.

In consideration for Company's consent and for the other mutual covenants set forth below, and for Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and adequacy of which is hereby acknowledged, the parties hereto agree as follows:

1. Licensee agrees to obtain all necessary rights from the owners of the Lands in the event Licensee does not own said Lands; to obtain any and all applicable federal, state, and local permits required in connection with Licensee's use of the Lands; and at all times, to comply with all requirements of all federal, state, and local laws, ordinances, rules and regulations applicable or pertaining to the use of the Lands by Licensee pursuant to this Agreement.

2. Licensee understands and agrees that the use of the Lands pursuant to this Agreement is subordinate to the rights and interest of Company in and to the Lands and agrees to notify its employees, agents, and contractors accordingly. Company specifically reserves the right to maintain its facilities located on the Lands; to make improvements; add additional facilities; maintain, construct or alter roads; maintain any facilities, devices, or improvements on the Lands which aid in or are necessary to Company's business or operations; and the right to enter upon the Lands at all times for such purposes. Licensee understands that in the exercise of such rights and interest, Company from time-to-time may require Licensee, to relocate, alter, or remove its facilities and equipment, including parking spaces and areas, and other improvements made by Licensee pursuant to this Agreement which interfere with or prevent Company, in its opinion, from properly and safely constructing, improving, and maintaining its facilities. Licensee agrees to relocate, alter, or remove said facilities, equipment, parking spaces and areas, and other improvements within thirty (30) days of receiving notice from Company to do so. Such relocation, alteration, or removal will be made at the sole cost and expense of Licensee and at no cost and expense to Company; provided however, should Licensee, for any reason, fail to make such relocation, alteration, or removal, Company retains the right to enter upon the Lands and make said relocation, alteration, or removal of Licensee's facilities, equipment, parking spaces and areas, and other improvements and Licensee hereby agrees to immediately reimburse Company for all of its costs and expense incurred in connection therewith upon demand.

3. Licensee agrees that it will not use the Lands in any manner which, in the opinion of Company, may tend to interfere with Company's use of the Lands or may tend to cause a hazardous condition to exist. Licensee agrees that no hazardous substance, as the term is defined in Section 101 (14) of the Comprehensive Environmental Response Compensation and Liability Act ("**CERCLA**") (42 USC Section 9601 [14]), petroleum products, liquids or flammables shall be placed on, under, transported across or

Today's Date: 3/19/2020

Project Number: 20200764

Page 1 of 16

Prepared For:

Cotter Christian
City of Margate
Dept. of Environmental & Engineering Services
ccchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Asbestos Survey — Project Summary

Pursuant to your request; ARS Environmental, Inc., has performed an Asbestos Building Survey on 3/18/2020 and limited to the above referenced location.

The **Interior/Exterior/Roof** of the above referenced location was visually inspected to identify building materials that may contain asbestos. Suspect materials were collected and samples sent to laboratory for analysis.

Laboratory Results

Based on the laboratory analysis, no asbestos was detected in amounts greater than 1% in the secured bulk samples.

It has been a pleasure working with you. Please call on us again.

Regards,


Alex Front,
ARS Environmental, Inc.

Today's Date: 3/19/2020

Project Number: 20200764

Page 2 of 16

Prepared For:

Cotter Christian
City of Margate
Dept. of Environmental & Engineering Services
ccchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Asbestos Survey — Certification

I hereby certify that this asbestos survey was conducted at the above referenced Job Site on 3/18/2020, and performed by Alex Front, accredited by the EPA as AHERA Inspector(s), utilizing the code of the Federal Regulation Standards, 40 CFR, Part 763, Subpart E, Section 763.80-763.99 and the State Asbestos Regulations, Florida Statutes 469.003.



Timothy F. Caughey

Tim Caughey, M.P.H. (IA0000016)
Florida Licensed Consultant
Asbestos Business Organization

Today's Date: 3/19/2020

Project Number: 20200764

Page 3 of 16

Prepared For:

Job Site:

Cotter Christian
City of Margate
Dept. of Environmental & Engineering Services
ccchristian@margatefl.com

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Asbestos Survey — Technician Certification



Alex Front
Certified Asbestos Surveyor
ARS Environmental, Inc.

Today's Date: 3/19/2020

Project Number: 20200764

Page 4 of 16

Prepared For:

Cotter Christian
City of Margate
Dept. of Environmental & Engineering Services
cchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Asbestos Survey — Bulk Sample Itemization

Sample Number	Material Class / Sample Description / Location	Sample Condition	Physical Damage	Water Damage	Material Contact	Sample Friability	Approximate Size	Asbestos Detected
Sample 1	Miscellaneous	Good	None	None	High	Friable	7,500 sf	Asbestos Not Detected
Layer	Wallboard/Joint Compound	1st and 2nd Floors						
		Throughout building						
Sample 2	Miscellaneous	Good	None	None	High	Friable	Included Above	Asbestos Not Detected
Layer	Wallboard/Joint Compound	1st and 2nd Floors						
		Throughout building						
Sample 3	Miscellaneous	Good	None	None	High	Friable	Included Above	Asbestos Not Detected
Layer	Wallboard/Joint Compound	1st and 2nd Floors						
		Throughout building						
Sample 4	Miscellaneous	Good	None	None	High	Friable	4,000 sf	Asbestos Not Detected
Layer	2' x 4' Ceiling Tiles; slitted design	1st and 2nd Floors						
		Throughout building						
Sample 5	Miscellaneous	Good	None	None	High	Friable	Included Above	Asbestos Not Detected
Layer	2' x 4' Ceiling Tiles; slitted design	1st and 2nd Floors						
		Throughout building						

No insulation observed behind the walls. A/C duct fiberglass insulation. The following non suspect materials were observed during this inspection (no samples were obtained); carpet, ceramic, fiberglass, glass, wood, metal, rubber.

Today's Date: 3/19/2020

Project Number: 20200764

Page 5 of 16

Prepared For:

Cotter Christian
City of Margate
Dept. of Environmental & Engineering Services
cchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Asbestos Survey — Bulk Sample Itemization

Sample Number	Material Class / Sample Description / Location	Sample Condition	Physical Damage	Water Damage	Material Contact	Sample Friability	Approximate Size	Asbestos Detected
Sample 6	Miscellaneous	Good	None	None	High	Friable	Included Above	Asbestos Not Detected
Layer	2' x 4' Ceiling Tiles; slitted design	1st and 2nd Floors						
		Throughout building						
Sample 7	Miscellaneous	Good	None	None	High	Non-friable	50 sf	Asbestos Not Detected
Layer	12" x 12" Floor Tiles; beige with flecks Mastic	1st floor						
		Under 1st floor south stairwell						
Sample 8	Miscellaneous	Good	None	None	High	Non-friable	20 sf	Asbestos Not Detected
Layer	12" x 12" Floor Tiles; red with black spots Mastic	1st floor						
		In telephone room						
Sample 9	Miscellaneous	Good	None	None	High	Non-friable	400 sf	Asbestos Not Detected
Layer	Ceramic Tile Grout	1st and 2nd floor						
		@ common areas, bathroom, A/C closet, and 1st floor north stairwell						
Sample 10	Miscellaneous	Good	None	None	High	Non-friable	300 sf	Asbestos Not Detected
Layer	Carpet mastic	1st and 2nd floor						
		@ 1st floor carpet mastic in offices 2nd floor mezzanine in fire house						

No insulation observed behind the walls. A/C duct fiberglass insulation. The following non suspect materials were observed during this inspection (no samples were obtained); carpet, ceramic, fiberglass, glass, wood, metal, rubber.

Today's Date: 3/19/2020

Project Number: 20200764

Page 6 of 16

Prepared For:

Cotter Christian
City of Margate
Dept. of Environmental & Engineering Services
cchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Asbestos Survey — Bulk Sample Itemization

Sample Number	Material Class / Sample Description / Location	Sample Condition	Physical Damage	Water Damage	Material Contact	Sample Friability	Approximate Size	Asbestos Detected
Sample 11	Miscellaneous	Good	None	None	High	Non-friable	100 sf	Asbestos Not Detected
Layer	Rubber and mastic stairwell tread	1st and 2nd floor @ south side stairwell						
Sample 12	Miscellaneous	Good	None	None	High	Non-friable	2 sf	Asbestos Not Detected
Layer	Gray sink undercoat mastic	2nd floor In kitchen						
Sample 13	Miscellaneous	Good	None	None	High	Non-friable	20 sf	Asbestos Not Detected
Layer	Ceramic Tile Grout	1st floor At fire pole area						
Sample 14	Miscellaneous	Good	None	None	High	Non-friable	1,000 sf	Asbestos Not Detected
Layer	Exterior brick	@ building						
Sample 15	Miscellaneous	Good	None	None	High	Non-friable	7,500 sf	Asbestos Not Detected
Layer	Interior/Exterior Concrete Structure	Throughout building						

No insulation observed behind the walls. A/C duct fiberglass insulation. The following non suspect materials were observed during this inspection (no samples were obtained); carpet, ceramic, fiberglass, glass, wood, metal, rubber.

Today's Date: 3/19/2020

Project Number: 20200764

Page 7 of 16

Prepared For:

Cotter Christian
City of Margate
Dept. of Environmental & Engineering Services
cchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Asbestos Survey — Bulk Sample Itemization

Sample Number	Material Class / Sample Description / Location	Sample Condition	Physical Damage	Water Damage	Material Contact	Sample Friability	Approximate Size	Asbestos Detected
Sample 16	Miscellaneous	Good	None	None	Low	Non-friable	7,500 sf	Asbestos Not Detected
Layer	Roof Material; field membrane	Over building.						
Sample 17	Miscellaneous	Good	None	None	Low	Non-friable	Included Above	Asbestos Not Detected
Layer	Roof Material; field membrane	Over building.						
Sample 18	Miscellaneous	Good	None	None	Low	Non-friable	300 lf	Asbestos Not Detected
Layer	Roof Material; flashing	@ drip edge of buiding						
Sample 19	Miscellaneous	Good	None	None	Low	Non-friable	600 sf	Asbestos Not Detected
Layer	Roof Material; Shingles	@ facade of building						

No insulation observed behind the walls. A/C duct fiberglass insulation. The following non suspect materials were observed during this inspection (no samples were obtained); carpet, ceramic, fiberglass, glass, wood, metal, rubber.

Today's Date: 3/19/2020

Project Number: 20200764

Page 8 of 16

Prepared For:

Cotter Christian
City of Margate
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ccchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Friable Asbestos Containing Material

NONE DETECTED

Recommendations

Friable: any material containing more than one percent asbestos which has been applied on ceilings, walls, structural members, piping, duct work, or any other part of a building, which when dry, may be crumbled, pulverized, or reduced to powder by hand pressure.

The following work practice should be followed whenever demolition/renovation activities involving RACM occur: Notify EPA of intention to demolish/renovate, remove all RACM from a facility being demolished or renovated before any disruptive activity begins or before access to the material is precluded, keep RACM adequately wet before, during, and after removal operations, conduct demolition/renovation activities in a manner which produces no visible emissions to the outside air, and handle and dispose of all RACM in an approved manner.

The above building material is considered friable and must be removed by a Florida Licensed Asbestos Abatement Contractor, prior to any disturbance caused by renovation or demolition.

When implementing the response actions, parties responsible for final selection should remember that actions shall be sufficient to protect human health and the environment, but may also be the least burdensome method. Nothing in these recommendations should be construed as prohibiting or discouraging removal.

In the event that demolition or renovation is deemed necessary, parties shall comply with all applicable laws, ordinances, rules and regulations of Federal, State and Local Governmental Agencies, including any National Emissions Standard Hazardous Air Pollutants (N.E.S.H.A.P.) Notification requirements

Today's Date: 3/19/2020

Project Number: 20200764

Page 9 of 16

Prepared For:

Cotter Christian
City of Margate
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Job Site:

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Category I - Non-Friable Asbestos Containing Material

NONE DETECTED

Recommendations

The above referenced Asbestos Contained Building Materials may be left in place if deemed to be in good condition and no repairs or renovations are scheduled which would disturb them. Care should be taken to ensure that the materials not be disturbed during repair, renovation or remodeling activities which could possibly release fibers into the air. To reduce the intrinsic liability to the owners, the ultimate solution may be to have the material removed. However, at the minimum, a formal Operations and Maintenance (O&M) Program is recommended to minimize potential fiber releases, monitor any future deterioration, and to ensure proper record keeping.

Under the FDEP regulations, Category I non-friable asbestos-containing materials may be left in place during demolition under wet conditions. However, OSHA regulations require that disposal of asbestos-containing materials and debris is disposed of in a leak-tight and labeled container. The container may be plastic bags so long as the holding is leak-tight. All materials must be disposed of in a Class I landfill and manifest as Category I Non-Friable Asbestos containing material.

To meet the requirements of a wet demolition, it is the responsibility of the demolition contractor to control any visible emissions by adequately applying water on the structure. Furthermore, the work practices for the demolition of a building containing asbestos must be in regulatory compliance with OSHA 1926.1101. All materials must be kept thoroughly wet or saturated during the demolition to assist in preventing the release of asbestos fibers. A certified asbestos supervisor must perform or supervise the work. If during the demolition process visible emissions are observed, the asbestos-containing materials must then be abated.

The regulations of the Occupational Safety and Health Administration (OSHA) applies to any detectable amount of asbestos in building materials or on facility components. This requirement covers worker training, work practices, and disposal methods. In summary, removing asbestos in a commercial setting requires training, specific work practices, and disposal methods for the asbestos and asbestos-containing debris.

However, if Category I Materials have become friable or are in poor condition, they must be removed before demolition or renovation begins by a Florida Licensed Asbestos Abatement Contractor. When implementing the response actions, parties responsible for final selection should remember that actions shall be sufficient to protect human health and the environment, but may also be the least burdensome method. Nothing in these recommendations should be construed as prohibiting or discouraging removal.

Today's Date: 3/19/2020

Project Number: 20200764

Page 10 of 16

Prepared For:

Cotter Christian
City of Margate
Dept. of Environmental & Engineering Services
ccchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.
600 N. Rock Island Road
Margate, FL

FPO: F46829

Category II - Non-Friable Asbestos Containing Material

NONE DETECTED

Recommendations

The above referenced Asbestos Contained Building Materials may be left in place if deemed to be in good condition & no repairs or renovations are scheduled which would disturb them. Care should be taken to ensure that the materials not be disturbed during repair, renovation or remodeling activities which could possibly release fibers into the air. To reduce the intrinsic liability to the owners, the ultimate solution may be to have the material removed.

The above building materials are considered Category II Non-Friable and are likely to become crushed, crumbled, pulverized or reduced to powder during demolition or renovation therefore must be removed before demolition or renovation begins by a Florida Licensed Asbestos Abatement Contractor.

To meet the requirements of a wet demolition, it is the responsibility of the demolition contractor to control any visible emissions by adequately applying water on the structure. Furthermore, the work practices for the demolition of a building containing asbestos must be in regulatory compliance with OSHA 1926.1101. All materials must be kept thoroughly wet or saturated during the demolition to assist in preventing the release of asbestos fibers. A certified asbestos supervisor must perform or supervise the work. If during the demolition process visible emissions are observed, the asbestos-containing materials must then be abated.

The regulations of the Occupational Safety and Health Administration (OSHA) applies to any detectable amount of asbestos in building materials or on facility components. This requirement covers worker training, work practices, and disposal methods. In summary, removing asbestos in a commercial setting requires training, specific work practices, and disposal methods for the asbestos and asbestos-containing debris.

However, if Category II Materials have become friable or are in poor condition, they must be removed before demolition or renovation begins by a Florida Licensed Asbestos Abatement Contractor. When implementing the response actions, parties responsible for final selection should remember that actions shall be sufficient to protect human health and the environment, but may also be the least burdensome method. Nothing in these recommendations should be construed as prohibiting or discouraging removal.

General Terms and Conditions

Scope of Work

ARS Environmental's inspections are limited and non-destructive in nature. Any conditions or materials which were not able to be visually observed on the surface, or in easily accessible areas, were not inspected and may differ from those observed. It was not within the scope of this investigation to remove surface materials to investigate portions of the structure or materials which lay beneath the surface. Our selection of sample locations and frequency is based upon our observations and the assumption that like materials in the same area are homogeneous. This inspection report is the result of a diligent search of the facility for Asbestos Containing Building Materials (ACBM). The purpose of this inspection was to identify those materials which may pose a health hazard to occupants of a building and impart future liability to the owners and insurers of the property. However, we do not claim to have identified all of the asbestos containing building materials present in the facility. Materials such as underground pipes, any material inside walls, ceilings, floors, or other enclosed and inaccessible areas were not sampled and are not covered in this report. This report is designed to aid the building owner, architect, construction manager, general contractor, and potential asbestos abatement contractor in locating asbestos containing building materials. Under no circumstances is this report to be utilized as a proposal or a project specification document. This report is based upon conditions and practices observed at the property and information made available to the surveyor. This report does not intend to identify all hazards or unsafe practices, nor to indicate that other hazards or unsafe practices do not exist at the premises. In the event that demolition or renovation is deemed necessary, parties shall comply with all applicable laws, ordinances, rules, and regulations of federal, state, and local governmental agencies, including any National Emissions Standard Hazardous Air Pollutants (NESHAP) notification requirements.

Right of Entry

The client will provide for right of entry to ARS Environmental's personnel in order to complete the above referenced work.

Invoices

ARS Environmental will submit invoices to client upon completion of services.

Ownership of Documents

All reports, field data, field notes, laboratory tests data, calculations, estimates, and any other documents prepared by ARS Environmental as instruments of service shall remain the property of ARS Environmental.

Assumptions and Limitations

The results, findings, conclusions, and recommendations expressed in this report are based only on conditions which were observed during inspections by this report. ARS Environmental makes no representation or assumptions as to past conditions or future occurrences.

Assigns

Neither the client nor ARS Environmental may delegate, assign, sublet or transfer his duties or interest in this agreement without the written consent of the other party.

Roof Cuts

To obtain accurate information in a roof investigation, roof cuts approximately four inch 4" squares, may be deemed necessary. It is the responsibility of our client to make appropriate repairs to these roof cuts, using materials consistent with the roofing system and in accordance with any existing material manufacturer's warranties. A roofing contractor or maintenance personnel selected by our client should be on the roof to make any necessary repairs at the time the samples are being obtained. Although, every attempt will be made to make these repaired areas water tight, ARS Environmental will in no way be responsible for any water damage to the roofing system, building, or it's contents resulting from ARS Environmental temporary repairs.

Disclaimer

If in the course of a renovation or demolition activity, suspect materials become exposed, ALL FURTHER ACTIVITY SHOULD IMMEDIATELY CEASE AND THE STATUS OF THE MATERIAL SHOULD BE DETERMINED BEFORE PROCEEDING.

Today's Date: 3/19/2020

Project Number: 20200764

Page 12 of 16

Prepared For:

Cotter Christian

City of Margate

Dept. of Environmental & Engineering Services

cchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.

600 N. Rock Island Road

Margate, FL

FPO: F46829

Asbestos Survey — Technician Chain of Custody Forms, Field Notes, and Photographs

ASBESTOS WORKSHEET (CHAIN OF CUSTODY FORM) Page 1 Of 2

Sampling Date: 3/18/20

Samples Taken By: Alex Front

Project Number: 2020-0764

Non Suspect Materials Observed

<input checked="" type="checkbox"/> Carpet	<input checked="" type="checkbox"/> Metal
<input checked="" type="checkbox"/> Ceramic	<input checked="" type="checkbox"/> Rubber
<input checked="" type="checkbox"/> Fiberglass	<input checked="" type="checkbox"/> Terrazzo
<input checked="" type="checkbox"/> Glass	<input checked="" type="checkbox"/> Wood
<input checked="" type="checkbox"/> Window Mounted A/C	
<input checked="" type="checkbox"/> Rubberized Roofing	

Job Site: FIRE STATION #58
600 NORTH ROCK ISLAND ROAD
MARGATE, FL

Turnaround
☒ Same Day
☐ 24 Hour
☐ 48 Hour
☐ 72 Hour

PLM Analysis: Asbestos Bulk Samples
☐ Positive stop
☐ Point count on friable materials that report less than 1%

ARS Environmental, Inc.
10067 Cleary Blvd., #306
Plantation, FL 33324
Phone 954-227-2402

Areas Surveyed
☒ Interior
☒ Exterior
☒ Roof

YES NO
☒ AC duct fiberglass insulation observed
☐ Insulation observed behind walls

Sample No.	Layer	Material Class	Sample Description	Bldg/Floor/Unit	Location	Approx Size	Good Cont. (P/F)	Good Cont. (N/F)	Good Cont. (H/F)	Good Cont. (R/F)	Good Cont. (S/F)	Good Cont. (T/F)	Good Cont. (O/F)	Good Cont. (U/F)	Good Cont. (V/F)	Good Cont. (W/F)	Good Cont. (X/F)	Good Cont. (Y/F)	Good Cont. (Z/F)
1	M	M	WALLBOARD JOINT COMPOUND	1st & 2nd Floors	THROUGHOUT BUILDING	7500'	G	N	N	H	F								
2	M	n	n	n	n	2A													
3	M	n	n	n	n	2D													
4	M	n	2"X4" SLITTED DESIGN CEILING TILES	n	THROUGHOUT BUILDING	4000'													
5	M	n	n	n	n	2A													
6	M	n	n	n	n	2A													V
7	M	n	12"X12" BEIGE W/ FLOCKS FLOOR TILE MASTIC	1st Floor	UNDER 1ST FLOOR SOUTH STAIRWELL	50'													N.F.
8	M	n	12"X12" RED W/ BLACK SPOTS FLOOR TILE MASTIC	1st Floor	IN TELEPHONE ROOM	20'													
9	M	n	CERAMIC TILE MASTIC	1st & 2nd Floor	2D COMMON AREAS, BATHROOM, A/C CURTAIN AND 1ST FLOOR NORTH STAIRWELL	400'													
10	M	n	CARPET MASTIC	1st Floor	2D 1ST FLOOR CARPET MASTIC IN OFFICES AND 2ND FLOOR MASTIC IN FIRE HOSE	300'													

Transferred By: [Signature] Date: 3/18/20 Received By: Alex Front Date: 3/18/20

Today's Date: **3/19/2020**

Project Number: 20200764

Page 13 of 16

Prepared For:

Job Site:

Cotter Christian

Fire Station; ~7,500 sq. ft.

City of Margate

600 N. Rock Island Road

Dept. of Environmental & Engineering Services

Margate, FL

cchristian@margatefl.com

FPO: F46829

Asbestos Survey — Technician Chain of Custody Forms, Field Notes, and Photographs

ASBESTOS WORKSHEET (CHAIN OF CUSTODY FORM)										Page <u>2</u> Of <u>2</u>	
Sampling Date: <u>3/18/20</u>		Non Suspect Materials Observed		Job Site: <u>FIRE STATION # 58</u>							
Samples Taken By: <u>Alex Front</u>		<input checked="" type="checkbox"/> Carpet <input checked="" type="checkbox"/> Ceramic <input checked="" type="checkbox"/> Fiberglass <input checked="" type="checkbox"/> Glass <input checked="" type="checkbox"/> Window Mounted A/C <input checked="" type="checkbox"/> Rubberized Roofing		<input checked="" type="checkbox"/> Metal <input checked="" type="checkbox"/> Rubber <input checked="" type="checkbox"/> Terrazzo <input checked="" type="checkbox"/> Wood <input checked="" type="checkbox"/> MORGATE, FLA							
Project Number: <u>2020-0764</u>		PLM Analysis: Asbestos Bulk Samples		ARS Environmental, Inc.		Areas Surveyed		YES NO			
<input checked="" type="checkbox"/> Same Day <input checked="" type="checkbox"/> 24 Hour <input checked="" type="checkbox"/> 48 Hour <input checked="" type="checkbox"/> 72 Hour		<input type="checkbox"/> Positive stop <input type="checkbox"/> Point count on friable materials that report less than 1%		10027 Geary Blvd., #200 Plantation, FL 33324 Phone 954-227-2402		<input checked="" type="checkbox"/> Interior <input checked="" type="checkbox"/> Exterior <input checked="" type="checkbox"/> Roof		<input checked="" type="checkbox"/> AC duct fiberglass insulation observed <input checked="" type="checkbox"/> Insulation observed behind walls			
Sample No.	Layer	Material Class	Asbestos - M Surfacing Material - S Thermal System Insulation - T	Bldg/Floor/Unit	Location	Approx Size	Asbestos - M	Surfacing Material - S	Thermal System Insulation - T	For M/F	
11	M	RUBBER + MASTIC STAIRWELL TREAD		1ST AND 2ND FLOOR	W SOUTH SIDE STAIRWELL	100'	G	N	N	H	
12	M	GRAY SINK UNDERCOAT MASTIC		2ND FLOOR	IN KITCHEN	2'					
13	M	CERAMIC TILE & GROUT		1ST FLOOR	AT FIRE POLE AREA	20'					
14	M	EXTERIOR BRICK			W BUILDING	1000'					
15	M	INTERIOR/EXTERIOR CONCRETE STRUCTURE			THROUGHT BUILDING	7500'					
16	M	ROOF MATERIAL FLEW MEMBERS			OUR BUILDING	7500'				L	
17	M	n			n	20				L	
18	M	ROOF MATERIAL FLASHING			W DRIP EDGE OF BUILDING	300 LF				L	
19	M	ROOF MATERIAL SHINGLES			W FRONT OF BUILDING	600'	V	V	V	L	
1/2" C/F BRASS FLEX OVER WOOD PAVING, PL WOOD 2" MESSING LOW MESSING STAIRS - NOT TYPICAL SUSPENDED MATERIALS											

Asbestos Survey — Laboratory Results

ARS Environmental

Environmental Consulting Services
Asbestos Business License #ZA-0000164

Asbestos Consulting • Radon Measurements • Lead Assessments • Indoor Air Quality Testing • Mold Investigations

Today's Date: 3/19/2020

Project Number: 20200764

Page 1 of 3

Prepared For:

Cotter Christian

City of Margate

Dept. of Environmental & Engineering Services

cchristian@margatefl.com

Job Site:

Fire Station; ~7,500 sq. ft.

600 N. Rock Island Road

Margate, FL

FPO: F46829

Laboratory Analysis

Sample Number	Layer Number	Gross Description	Estimated Asbestos Percentage	Non-asbestos % Fibers	Non-fibrous % Materials
1		Drywall / Joint Compound	No asbestos detected	30% cellulose 10% glass	60%
2		Drywall / Joint Compound	No asbestos detected	30% cellulose 10% glass	60%
3		Drywall / Joint Compound	No asbestos detected	30% cellulose 10% glass	60%
4		Ceiling Tile	No asbestos detected	40% cellulose 30% glass	30%
5		Ceiling Tile	No asbestos detected	40% cellulose 30% glass	30%
6		Ceiling Tile	No asbestos detected	40% cellulose 30% glass	30%
7	A	Floor Tile	No asbestos detected		100%
7	B	Mastic	No asbestos detected	10% cellulose	90%
8	A	Floor Tile	No asbestos detected		100%
8	B	Mastic	No asbestos detected	10% cellulose	90%

EPA 600/R-93 116 Method for the Determination of Asbestos in Bulk Building Materials

APPLICABILITY: this method is useful for the qualitative identification of asbestos and the semi-quantitative determination of asbestos content of bulk samples. The method measures percent asbestos as perceived by the analyst.


Alex Front, Analyst

151 North Nob Hill Road, #462, Plantation, FL 33324 • Phone 954-227-2402 • Fax 866-816-5110
www.arsenvironmental.com • sales@arsenvironmental.com

Asbestos Survey — Laboratory Results

ARS Environmental

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Job Site:

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600 N. Rock Island Road
Margate, FL

FPO: F46829

Laboratory Analysis

Sample Number	Layer Number	Gross Description	Estimated Asbestos Percentage	Non-asbestos % Fibers	Non-fibrous % Materials
9		Concrete	No asbestos detected		100%
10		Mastic	No asbestos detected	25% synthetic 10% cellulose	65%
11		Rubber	No asbestos detected		100%
		Mastic	No asbestos detected	10% cellulose	90%
12		Mastic	No asbestos detected	10% cellulose	90%
13		Concrete	No asbestos detected		100%
14		Concrete	No asbestos detected		100%
15		Concrete	No asbestos detected		100%
16		Membrane	No asbestos detected	45% glass 20% cellulose	35%
17		Membrane	No asbestos detected	45% glass 20% cellulose	35%
18		Flashing	No asbestos detected	40% cellulose 20% glass	40%

EPA 600/R-93 116 Method for the Determination of Asbestos in Bulk Building Materials

APPLICABILITY: this method is useful for the qualitative identification of asbestos and the semi-quantitative determination of asbestos content of bulk samples. The method measures percent asbestos as perceived by the analyst.


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Margate, FL

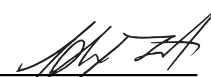
FPO: F46829

Laboratory Analysis

Sample Number	Layer Number	Gross Description	Estimated Asbestos Percentage	Non-asbestos % Fibers	Non-fibrous % Materials
19		Shingles	No asbestos detected	55% glass 10% synthetic	35%

EPA 600/R-93 116 Method for the Determination of Asbestos in Bulk Building Materials

APPLICABILITY: this method is useful for the qualitative identification of asbestos and the semi-quantitative determination of asbestos content of bulk samples. The method measures percent asbestos as perceived by the analyst.


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This SOW outlines the tasks to be performed by Signal Communications LLC (Signal) and by the Customer.

Overview

The purpose of this project is to install an NFPA compliant 700/800MHz BDA system and a separate cellular service signal DAS system at Margate Fire Rescue Station no. 58. These systems will amplify Verizon, AT&T, Sprint, and T Mobile's cellular signals, as well as amplify The City of Margate and Broward County's public safety two-way radio signal, at or above code compliant levels, throughout the aforementioned property.

All following requirements, assumptions, and responsibilities are set forth in order to adhere to NFPA, Florida State, Broward County, and City of Margate code requirements.

Signal's Scope of Work

Public Safety:

All equipment and services listed will be provided

- Full iBwave engineering design, including County required heat maps
- Produce signed and sealed construction drawings (CDs)
- Permitting services for County and City as required (actual AHJ permit fees as an allowance amount)
- NFPA compliant 700/800MHz Bi-Directional Amplifiers
- NFPA compliant 24 hour backup battery, NEMA enclosure included
- Onsite UL Certification if required
- Roof mounted donor antenna
- Indoor antennas
- Remote annunciator panel
- Cables, splitters, multi-couplers, connectors
- Conduit and junction boxes
- Miscellaneous mounting and installation equipment
- Required dry contact closures for fire alarm panel
- Install, ground, and optimize all applicable equipment
- Coordinate and attend all inspections
- Provide signal strength benchmark report and as built documentation, as required
- Provide pricing on code required maintenance agreement
- Coordinate with fire alarm contractor to integrate with BDA

Cellular:

All equipment and services listed will be provided

- Provide 3D Color signal prediction heatmap
- System Design (PDF and iBwave)
- Supply, install and termination of all cables
- Supply, install and configure of all the Head End Components
- Supply and install of all head end rack components

- Supply and install of all antennas
- Provide carrier coordination with Verizon, AT&T, Sprint and T Mobile
- Testing of all equipment including coaxial and fiber cables
- Provide Cabling Test Results
- Provide Spec / Cut Sheets
- Provide Warranty Documentation
- Professional Services
 - System Commissioning and Acceptance Testing
 - Signal levels for each technology will be recorded and documented to confirm designed coverage goals
 - Customer walkthrough to verify all areas required to have improved signal are being supported
 - Throughput tests will be performed to confirm that each service has the proper bandwidth capabilities.
 - During startup we contact each individual carrier to verify carrier signal noise levels for the macro network and that they are acceptable.
 - Post Startup Signal Report
 - Post Startup Technical Support
 - Project Management

Customer's Responsibilities

Public Safety:

- Provide code required 2 hour fire rated equipment room for BDA
- Provide 24/7-110v NEMA twist-lock power outlet on dedicated circuit
- Provide grounding for roof mounted donor antenna
- Provide Building lightning protection system, BDA bonding, and recertification, if required
- Provide a 2" entry port from the roof into the nearest appropriate electrical room
- Provide a code required 2" conduit riser with 2hr fire rated path from the roof level to the bottom level
- Provide any additional core drilling as required
- Any modification or replacement of original building permits
- Provide acceptable working hours for installation crew
- Provide access to all required areas for installation crew during agreed upon working hours (any lost time due to access issues is billed at \$150.00 per man hour)
- Assist with negotiation of any site leases or access with third parties as needed

Cellular:

- Any required core drills, roof penetrations, or conduit
- Supply electrical outlets
- Provide grounding for roof mounted donor antenna
- Any modification or replacement of original building permits

- Provide access to all required areas (including electrical IDF or MDF rooms) for installation crew during agreed upon working hours (any lost time due to access issues is billed at \$150.00 per man hour)

Other Assumptions

Public Safety:

- **This proposal is contingent upon completion of a full engineering study, including signal heat maps, prepared in iBwave**
- Pricing and installation agreement is subject to change if the Authority Having Jurisdiction (AHJ) changes installation requirements
- System installation will begin when all equipment has been received, all required equipment/site tests have been performed, permits have been issued, and site leases/access have been finalized
- A one year parts and labor warranty will commence upon acceptance of the system by the customer, physical damage not included
- Any substitute equipment must be submitted via official change order and be approved by Signal
- The project will be considered completed at final permit closure ~~or beneficial use of the system, whichever comes first~~
- Performance bond or similar not included unless specifically called out in pricing section
- Prevailing wage and certified payroll not included
- Cost of insurance beyond Signal's current limits is not included

Cellular:

- Pricing does not include any patching and/or painting of drywall, ceilings, walls, etc. unless otherwise agreed upon ahead of time
- Pricing and installation agreement is subject to change if the Authority Having Jurisdiction (AHJ) changes installation requirements
- A two (2) year parts warranty will commence upon acceptance of the system by the customer, physical damage not included
- A 90 day service level agreement will commence upon completion of the installation of the system by Signal
- Lead times for equipment procurement, project schedule and installation will be established upon issuing of purchase order and/or contract
- Any substitute equipment must be submitted via official change order and be approved by Signal
- The project will be considered completed at final permit closure ~~or beneficial use of the system, whichever comes first~~
- Performance bond or similar not included unless specifically called out in pricing section
- Prevailing wage and certified payroll not included
- Cost of insurance beyond Signal's current limits is not included

Here's why you should work with Signal Communications on this project:

SCHEDULE OF BID PRICES – BID NO. 2020-014

TO: CITY COMMISSION

CITY OF MARGATE

(Please fill in all blanks and return with your proposal.)

In accordance with your request for proposals and the specifications contained herein, the undersigned proposes the following:

BIDDER AGREES TO PERFORM ALL THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS FOR THE FOLLOWING UNIT PRICES OR LUMP SUMS. BIDS SHALL INCLUDE SALES TAX AND ALL OTHER APPLICABLE TAXES AND BIDDER UNDERSTANDS THAT THE EXTENDED TOTAL FOR EACH AND EVERY ITEM IS THE RESULT OF MULTIPLYING THE QUANTITY TIMES THE UNIT COST STATED IN FIGURES. ANY DISCREPANCY BETWEEN THE UNIT AND TOTAL, THE UNIT PREVAILS.

The Contractor must comply with 2CFR 200.318(J)(2), regarding time and materials contracts. Specifically, 'Non-Federal entity may use a time and materials type contract only after a determination that no other contract is suitable and if the contract includes a ceiling price that the Contractor exceeds at its own risk.'

Note 1: A contingency allowance for unforeseen equipment, materials, or other work not directly or indirectly included in any of the items listed is included below. All work paid for under this item must be authorized in writing by the Architect or Owner. If the amount is not used either wholly or in part, the amount not used shall be deducted from the contract price.

Item	Description of Item	UOM	Qty	Price
1	General Mobilization/Demobilization/General Conditions/Erosion Control/Maintenance of Traffic/Construction Fencing and Signage/Scaffolding/Special Inspection-Structural/Special Inspections - Other	LS	1	
2	Demolition, Removal & Disposal Clearing, grubbing, stripping, demucking, building demolition, removal of irrigation piping and appurtenances, fences, water services, concrete sidewalks, asphalt pavement, asphalt driveway, curb & gutter, and other items described in demolition plan, and disposal of such materials and debris in accordance with all applicable regulations.	LS	1	
3	Construction – Water Main and Water Services Provide labor, equipment, and materials to furnish and install a complete and operating functioning Potable Water Main/Fire Main, Fire Hydrant, and Water Service system including connection to existing mains, tapping sleeves and valves, gate valves, water meter, meter box, backflow preventer with cages, all piping, sleeves, fittings, bends, reducers, valve boxes, connections, etc. as indicated in the plans, details, contract documents, and specifications. Work includes all testing and inspections, and patching and repairing of existing roadway and ROW areas and other restoration as needed.	LS	1	

Item	Description of Item	UOM	Qty	Price
4	Construction – Gravity Sewer System Provide labor, equipment, and materials to furnish and install a complete and functioning Gravity Sewer System including connection to existing main, all piping, sanitary laterals, cleanouts w/concrete collar, fittings, connections, etc. as indicated in the plans, details, contract documents, and specifications. This bid item shall include all required testing and inspections, trench restoration, and restoration of any items disturbed to accommodate the installation of gravity sewer system. Work includes all patching and repairing of existing roadway and ROW areas.	LS	1	
5	Construction – Site Driveways, Driveway Aprons, and Parking Area Sub-Grade and Base Furnish labor, equipment, and materials as necessary to install and prepare for new work related to site driveways, reinforced concrete aprons, add parking areas. This bid item shall include any required testing and inspections. Work includes all patching and repairing of existing roadway and ROW areas and other restoration as needed.	LS	1	
6	Construction – Drainage System Provide labor, equipment, and materials to furnish and install a complete and functioning drainage system, including drainage structures, catch basins, manholes, yard drains/Nyloplast Drain Basins, drainage pipes, and connections to existing/proposed drainage system/structures, concrete apron, modifications of existing drainage structures in ROW, street restoration, pavement restoration as indicated in the plans, details, and specifications. This bid item shall include any required testing and inspections.	LS	1	
7	Construction – Concrete Walkways/Sidewalk, Header Curbs, Valley Gutter, all Curbing, Concrete Slab, Asphalt Pavement, Pavement Markings Furnish labor, equipment, and materials as necessary to construct concrete walkways, thickened edge concrete walkways, detectable warning pavers, curb ramps, header curbs, other required curbs, valley gutter, flared ends, ADA surfaces, asphalt pavement restoration, base, sub-base, pavement markings and signage as indicated on the plans details, and specifications. This bid item shall include any required testing and inspections. Work includes all patching and repairing of existing roadway and ROW areas.	LS	1	
8	Construction – Irrigation System Installation Provide labor, equipment, and materials to furnish and install a complete and functioning irrigation system including connection to existing mains and services, valves, piping, fittings, joint restraints, sleeves, controller, rain sensor, systems, pressure testing, electrical grounding and testing, etc. as indicated in the plans, details, contract documents, and specifications. Furnish and install all the necessary electrical materials to provide power for the proposed irrigation pump including directional bore, conduits, conductors, circuit protection, hook-up, start-up and testing; as noted on the plans and specifications. This bid item shall include all required permitting, testing and inspections, and restoration of site, fencing, concrete sidewalks, curbs, asphalt pavement, pavement marking, sod, and any items disturbed for the installation of the irrigation system, and electrical system. Work includes all patching and repairing of existing roadway and ROW areas.	LS	1	

Item	Description of Item	UOM	Qty	Price
9	Construction – Electrical Service and Site Lighting Provide labor, equipment, and materials for electrical service/connections to the new Fire Station building electrical meter, monument sign lights, walkway lighting per plans, details and specifications. Furnish and install all the necessary electrical items including walkway lighting, light poles, pole foundations, inground lights, electrical meter & service, conduits, conductors, circuit protection, hook-up, start-up, and testing; as noted on the plans, details and specifications. This bid item shall include any required permitting, testing and inspections, and restoration of site and any items disturbed for the installation of the electrical system, and FPL service.	LS	1	
10	Construction – Earth Work, Site Grading, Landscaping, Swales, Sodding Provide labor, equipment, and materials to complete earth work, excavation, embankment, imported fill, site grading, landscaping/trees, top soil, swales, sodding, tree removal, tree relocation, tree protection, root pruning, root barriers, and complete restoration of onsite and offsite areas. This bid item shall include any required testing and inspections. Work includes all patching and repairing of existing roadway and ROW areas.	LS	1	
11	Construction – 9-11 Monument Sign, Columns and Fencing for Site Provide labor, equipment, and materials as necessary to design, permit and construct perimeter fencing and 9-11 Monument Sign per plans, details, contract documents, and specifications. This bid item shall include any required permitting, testing and inspections.	LS	1	
12	Construction – Site Furnishing Provide labor, equipment, and materials to install Site Furnishings (Bike Racks). See furnishings per plans, details, contract documents, and specifications.	LS	1	
13	Construction – Fire Station 58 Facility (Building) Provide labor, equipment, and materials to construct and complete the new, Fire Station Facility as specified in the Bid document. This bid item shall include any required testing and inspections.	LS	1	
14	Construction – Building Patio trellis Provide labor, equipment, and materials to construct and complete the new pre-engineered aluminum trellis for the rear patio of the building. This shall be a pre-engineered system ready to be built and installed as configured on the plans. The GC shall supply all engineering and shall provide drawings with a FL licensed engineer signed and sealed.	LS	1	
15	Construction – Emergency Generator and fueling tanks Provide all labor, equipment, and materials to construct, install, and complete operating system of a new 130KW, 156.25KVA LP fuel standby emergency generator with LP fueling tanks as shown and specified in the drawings and specifications.	LS	1	
16	Construction – Parking Lot Provide labor, equipment, and materials to construct and complete the new parking lot & driveways, including concrete pavers system, filter fabric, sand bedding, lime rock base, stabilized subgrade, concrete wheel stops, striping with pavers per plans, details, contract documents, and specifications.	LS	1	

Item	Description of Item	UOM	Qty	Price
17	Relocation – Existing Emergency Vehicle Signal Controller Provide labor, equipment, and materials to relocate the existing emergency vehicle signal controller as per plans details, contract documents, and specifications. (Note: Per Addendum No. 1)	LS	1	
	Base Bid Grand Total (Items 1 thru 17):			

Note: City permit fees shall not be waived and should be included in your bid proposal.

PERMIT FEES (ALLOWANCE) DIRECT PASS THROUGH.....\$ _____

CONTINGENCY (5% OF BASE BID).....\$ _____

COST OF INDEMNIFICATION\$ _____

GRAND TOTAL FOR ALL ITEMS \$ _____

Grand Total (Written in words)

ALL BIDS MUST BE SIGNED WITH THE VENDOR NAME AND BY AN OFFICER OR EMPLOYEE HAVING THE AUTHORITY TO BIND THE COMPANY OR FIRM BY SIGNATURE.

SAFETY DATA SHEETS ENCLOSED? YES _____ NO _____

SPECIFICATION SHEETS/BROCHURES? YES _____ NO _____

WILL YOUR FIRM ACCEPT PAYMENT VIA A CITY OF MARGATE VISA CARD?
YES _____ NO _____

HAVE YOUR INSURANCE REPRESENTATIVE REVIEW THE SAMPLE INSURANCE CERTIFICATE TO ENSURE COMPLIANCE.

Name of CONTRACTOR (Please Print)

Signature

Title

Date

SECTION 081416 FLUSH WOOD DOORS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Solid-core doors with wood-veneer faces.
- B. Related Requirements:
 - 1. Section 061000 "Rough Carpentry".
 - 2. Section 088000 "Glazing" for glass view panels in flush wood doors.

1.3 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of door. Include details of core and edge construction and trim for openings. Include factory-finishing specifications.
- B. Shop Drawings: Indicate location, size, and hand of each door; elevation of each kind of door; construction details not covered in Product Data; and the following:
 - 1. Dimensions and locations of blocking.
 - 2. Dimensions and locations of mortises and holes for hardware.
 - 3. Dimensions and locations of cutouts.
 - 4. Undercuts.
 - 5. Requirements for veneer matching.
 - 6. Doors to be factory finished and finish requirements.
 - 7. Fire-protection ratings for fire-rated doors.
- C. Samples for Initial Selection: For factory-finished doors.
- D. Samples for Verification:

1. Factory finishes applied to actual door face materials, approximately 8 by 10 inches (200 by 250 mm), for each material and finish. For each wood species and transparent finish, provide set of three Samples showing typical range of color and grain to be expected in finished Work.
2. Corner sections of doors, approximately 8 by 10 inches (200 by 250 mm), with door faces and edges representing actual materials to be used.
 - a. Provide Samples for each species of veneer and solid lumber required.
 - b. Provide Samples for each color, texture, and pattern of plastic laminate required.
 - c. Finish veneer-faced door Samples with same materials proposed for factory-finished doors.
3. Frames for light openings, 6 inches (150 mm) long, for each material, type, and finish required.

1.5 INFORMATIONAL SUBMITTALS

- A. Sample Warranty: For special warranty.
- B. Quality Standard Compliance Certificates: WI Certified Compliance Program certificates.

1.6 QUALITY ASSURANCE

- A. Manufacturer Qualifications: A qualified manufacturer that is certified for chain of custody by an FSC-accredited certification body.
- B. Forest Certification: Provide doors made with cores and/or veneers not less than 70 percent of wood products obtained from forests certified by an FSC-accredited certification body to comply with FSC STD-01-001, "FSC Principles and Criteria for Forest Stewardship."

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Comply with requirements of referenced standard and manufacturer's written instructions.
- B. Package doors individually in plastic bags or cardboard cartons. Mark each door on bottom rail with opening number used on Shop Drawings.

1.8 FIELD CONDITIONS

- A. Environmental Limitations: Do not deliver or install doors until spaces are enclosed and weathertight, wet work in spaces is complete and dry, and HVAC system is operating and maintaining ambient temperature and humidity conditions at occupancy levels during remainder of construction period.

- B. Environmental Limitations: Do not deliver or install doors until spaces are enclosed and weathertight, wet work in spaces is complete and dry, and HVAC system is operating and maintaining temperature between 60 and 90 deg F (16 and 32 deg C) and relative humidity between 43 and 70 percent during remainder of construction period.

1.9 WARRANTY

- A. A. Special Warranty: Manufacturer agrees to repair or replace doors that fail in materials or workmanship within specified warranty period.
 - 1. Failures include, but are not limited to, the following:
 - a. Warping (bow, cup, or twist) more than 1/4 inch (6.4 mm) in a 42-by-84-inch (1067-by-2134-mm) section.
 - b. Telegraphing of core construction in face veneers exceeding 0.01 inch in a 3-inch (0.25 mm in a 76.2-mm) span.
 - 2. Warranty shall also include installation and finishing that may be required due to repair or replacement of defective doors.
 - 3. Warranty Period for Solid-Core Interior Doors: Life of installation.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Basis of Design: Algoma Hardwoods, Inc.
 - 1. Other acceptable manufacturers :
 - a. Marshfield Door Systems
 - b. Eggers Industries
- B. Source Limitations: Obtain flush wood doors from single manufacturer.

2.2 FLUSH WOOD DOORS, GENERAL

- A. Quality Standard: In addition to requirements specified, comply with WDMA I.S.1-A, "Architectural Wood Flush Doors."
 - 1. Provide WI Certified Compliance Labels indicating that doors comply with requirements of grades specified.
 - 2. Contract Documents contain selections chosen from options in quality standard and additional requirements beyond those of quality standard. Comply with those selections and requirements in addition to quality standard.
- B. WDMA I.S.1-A Performance Grade: Heavy Duty WDMA I.S.1-A Performance Grade:
 - 1. Heavy Duty unless otherwise indicated.

C. Particleboard-Core Doors:

1. Particleboard: ANSI A208.1, Grade LD-2.
2. Blocking: Provide wood blocking in particleboard-core doors as follows:
 - a. 5-inch (125-mm) top-rail blocking, in doors indicated to have closers.
 - b. 5-inch (125-mm) bottom-rail blocking, in exterior doors and doors indicated to have kick, mop, or armor plates.
 - c. 5-inch (125-mm) midrail blocking, in doors indicated to have exit devices.

2.3 VENEER-FACED DOORS FOR TRANSPARENT FINISH

A. Interior Solid-Core Doors:

1. Grade: Custom (Grade A faces).
2. Species: Paint Grade
3. Cut: Plain sliced (flat sliced).
4. Match between Veneer Leaves: N/A.
5. Assembly of Veneer Leaves on Door Faces: N/A.
6. Exposed Vertical Edges: Applied wood-veneer edges of same species as faces and covering edges of faces - edge Type B.
7. Core: Particleboard.
8. Construction: Five plies. Stiles and rails are bonded to core, then entire unit is abrasive planed before veneering.
9. WDMA I.S.1-A Performance Grade: Heavy Duty.

2.4 LIGHT FRAMES

A. Wood Beads for Light Openings in Wood Doors: Provide manufacturer's standard wood beads unless otherwise indicated.

1. Wood Species: Same species as door faces.
2. Profile: Flush rectangular beads.
3. At wood-core doors with 20-minute fire-protection ratings, provide wood beads and metal glazing clips approved for such use.

B. Wood-Veneered Beads for Light Openings in Fire-Rated Doors: Manufacturer's standard wood-veneered noncombustible beads matching veneer species of door faces and approved for use in doors of fire-protection rating indicated. Include concealed metal glazing clips where required for opening size and fire-protection rating indicated.

2.5 FABRICATION

A. Factory fit doors to suit frame-opening sizes indicated. Comply with clearance requirements of referenced quality standard for fitting unless otherwise indicated.

1. Comply with NFPA 80 requirements for fire-rated doors.

- B. Factory machine doors for hardware that is not surface applied. Locate hardware to comply with DHI-WDHS-3. Comply with final hardware schedules, door frame Shop Drawings, BHMA-156.115-W, and hardware templates.
 - 1. Coordinate with hardware mortises in metal frames to verify dimensions and alignment before factory machining.
 - 2. Metal Astragals: Factory machine astragals and formed-steel edges for hardware for pairs of fire-rated doors.
- C. Openings: Factory cut and trim openings through doors.
 - 1. Light Openings: Trim openings with moldings of material and profile indicated.
 - 2. Glazing: Factory install glazing in doors indicated to be factory finished. Comply with applicable requirements in Section 088000 "Glazing."

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine doors and installed door frames, with Installer present, before hanging doors.
 - 1. Verify that installed frames comply with indicated requirements for type, size, location, and swing characteristics and have been installed with level heads and plumb jambs.
 - 2. Reject doors with defects.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. Hardware: For installation, see Section 087100 "Door Hardware."
- B. Installation Instructions: Install doors to comply with manufacturer's written instructions and referenced quality standard, and as indicated.
 - 1. Install fire-rated doors according to NFPA 80.
 - 2. Install smoke- and draft-control doors according to NFPA 105.
- C. Job-Fitted Doors: Align and fit doors in frames with uniform clearances and bevels as indicated below; do not trim stiles and rails in excess of limits set by manufacturer or permitted for fire-rated doors. Machine doors for hardware. Seal edges of doors, edges of cutouts, and mortises after fitting and machining.
 - 1. Clearances: Provide 1/8 inch (3.2 mm) at heads, jambs, and between pairs of doors. Provide 1/8 inch (3.2 mm) from bottom of door to top of decorative floor finish or covering unless otherwise indicated. Where threshold is shown or scheduled, provide 1/4 inch (6.4 mm) from bottom of door to top of threshold unless otherwise indicated.

- a. Comply with NFPA 80 for fire-rated doors.
 - b. Bevel non-fire-rated doors 1/8 inch in 2 inches (3-1/2 degrees) at lock and hinge edges.
- 2. Bevel fire-rated doors 1/8 inch in 2 inches (3-1/2 degrees) at lock edge; trim stiles and rails only to extent permitted by labeling agency.
- D. Factory-Fitted Doors: Align in frames for uniform clearance at each edge.
- E. Factory-Finished Doors: Restore finish before installation if fitting or machining is required at Project site.

3.3 ADJUSTING

- A. Operation: Rehang or replace doors that do not swing or operate freely.
- B. Finished Doors: Replace doors that are damaged or that do not comply with requirements. Doors may be repaired or refinished if Work complies with requirements and shows no evidence of repair or refinishing.

END OF SECTION 081416

BASIS OF DESIGN (BOD)

FOR

City of Margate Fire Station No. 58



June 11, 2020



**Sustainable Performance Solutions LLC
2929 E. Commercial Blvd., Suite 608
Fort Lauderdale, FL 33308
570-854-1199**

INTRODUCTION

The purpose of this document is to provide clear and concise documentation of the design team's response to the Owner's Project Requirements (OPR), to satisfy applicable regulatory requirements, standards and guidelines and to record the designer's concepts, assumptions, engineering criteria, decisions, selections, and references.

This Basis of Design (BOD) is developed to focus on the building systems and contains preliminary information required to design the building systems. In addition to the BOD, various construction documents including construction drawings, specifications, submittals, systems manuals, record documents, and operation and maintenance manuals may be required to place the building into operation and to adequately verify and evaluate the performance of systems and equipment.

DESCRIPTION OF BUILDING

1. Building Area: 8,904 Square Feet
2. Building Type: Fire-Rescue Station
3. Building Location: Margate, Florida
4. Number of Estimated Occupants (Employees & Visitors): 10-13
5. Primary Building Occupied Schedule: Building is occupied 24/7

BUILDING SYSTEMS

Building Envelope Load Information

1. Load calculation method/software: Trane Trace 700 v6.3.4
2. Summer outdoor design conditions: 90.6 °F DB, 78.3 °F WB
3. Winter outdoor design conditions: 46.7 °F DB
4. Summer indoor design conditions: 72-75 °F DB, 45-50 %RH
5. Winter indoor design conditions: 72-75 °F DB, 45-50 %RH
6. Elevation: 11.61 feet NAVD

Building Envelope Components

1. Roof: 60 mil single-ply TPO on structural concrete deck
2. Roof Finish: White
3. Roof Insulation: R-30
4. Ceiling: Acoustical tile and drywall
5. Ceiling Insulation: None
6. Exterior Wall Frame: CMU
7. Wall Insulation: Polyisocyanurate
8. Floor: Concrete Slab-on-Grade
9. Exterior Door (Bays): Impact-resistant sectional
10. Exterior Door (Personnel): Impact-resistant
11. Windows: Low-e impact-resistant
12. Skylights: None

VENTILATION SCHEDULE				
LOCAL NAME	AREA (SF)	ACTUAL OCCUPANCY	OUTDOOR AIR REQUIRED (CFM)	ACTUAL OUTDOOR AIR PROVIDED (CFM)
BUNKER GEAR ROOM 116	163	1	15	15
CAPTAIN DORM 131	99	1	11	11
CAPTAIN OFFICE 132	99	1	11	11
CORRIDOR 111	63	0	4	4
CORRIDOR 112	400	0	24	24
DECON ROOM 103	70	1	9	9
DORM #6 125	91	1	11	11
DORM #7 126	97	1	11	11
DORM #1 104	100	1	11	11
DORM #2 106	100	1	11	11
DORM #3 108	100	1	11	11
DORM #4 110	100	1	11	11
DORM #5 114	97	1	11	11
EMS STORAGE 107	101	1	12	12
EQUIP UTILITY ROOM 105	130	1	13	13
FITNESS ROOM 133	350	4	101	101
KITCHEN/DINING/DAY ROOM 1 122-1	503	6	60	60
KITCHEN/DINING/DAY ROOM 2 122-2	255	6	76	76
KITCHEN/DINING/DAY ROOM 3 122-3	255	3	30	30
LAUNDRY/UTILITY ROOM	88	1	10	10
LIEUTENANT OFFICE/DORM 129	114	1	12	12
LOBBY 100	115	2	18	18
WATCH & TRIAGE ROOM 101	142	1	15	15

MECHANICAL SYSTEMS

Heating, Ventilating, Air Conditioning (HVAC) Systems

Basis of Design (BOD) - Fire Station No. 58

VRF-1 System 1		Variable refrigerant Flow System				
Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria
Cooling System	VRF Air Conditioners Air Cooled 65000 to 135000 Btu/h Cooling Capacity	96000	13.70	11.00	13.70	12.30
Heating System	Heat Pumps Air Cooled (Heating Mode) 65000 to 135000 Btu/h Clg Cap	108000	3.94	3.30		
Air Handling System - Supply	Air Handler (Supply) - Constant Volume	3680	0.10	0.82		
Air Handling System - Return	Air Handler (Return) - Constant Volume	3680	0.10	0.82		

VRF-2 System 2		Variable refrigerant Flow System				
Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria
Cooling System	VRF Air Conditioners Air Cooled 135000 to 240000 Btu/h Clg Capacity	144000	12.40	10.60	12.40	11.80
Heating System	Heat Pumps Air Cooled (Heating Mode) > 135000 Btu/h Cooling Capacity	160000	3.68	3.20		
Air Handling System - Supply	Air Handler (Supply) - Constant Volume	5085	0.10	0.82		
Air Handling System - Return	Air Handler (Return) - Constant Volume	5085	0.10	0.82		

Domestic Hot Water Heating System

Description	Type	Category	Design Eff	Min Eff	Design Loss	Max Loss
Water Heater 1	Gas Storage water heater	>75000 & ≤155000 Btu/h; < 4000 (Btu/h)/gal	0.96	0.80		1,231.05

ELECTRICAL SYSTEMS

Indoor Lighting Systems

LIGHTING	
LOCAL NAME	TYPE
BUNKER GEAR ROOM 116	LED
CAPTAIN DORM 131	LED
CAPTAIN OFFICE 132	LED
CORRIDOR 111	LED
CORRIDOR 112	LED
DECON ROOM 103	LED
DORM #6 125	LED
DORM #7 126	LED
DORM #1 104	LED
DORM #2 106	LED
DORM #3 108	LED
DORM #4 110	LED
DORM #5 114	LED
EMS STORAGE 107	LED
EQUIP UTILITY ROOM 105	LED
FITNESS ROOM 133	LED
KITCHEN/DINING/DAY ROOM- 1 122-1	LED
KITCHEN/DINING/DAY ROOM- 2 122-2	LED
KITCHEN/DINING/DAY ROOM- 3 122-3	LED
LAUNDRY/UTILITY ROOM	LED
LIEUTENANT OFFICE/DORM 129	LED
LOBBY 100	LED
WATCH & TRIAGE ROOM 101	LED

IRRIGATION CONTROL SYSTEM

The irrigation control system design shall meet the landscape design requirements. The system shall provide appropriate irrigation to the landscape (grass, plants, shrubs, trees, etc.) in the most efficient manner.

The irrigation control system design shall include all system elements such as manufacturer, model, including the following items, but not limited to pressure regulators, valves, backflow prevention devices, filters, piping and piping depth, pressurized main lines and lateral lines, sprinkler heads showing head-to-head coverage, and static pressure reading measured from the point of connection. Drip irrigation components and drip irrigation layout will be detailed in the system design.

Irrigation control design shall accommodate hydrozones accordingly. For example, separate zones may be required for lawns, shrubs, trees, flowers, shady or sunny areas, drip irrigation and/or sprinklers.

A detailed operating sequence including operating schedules, durations and setpoints will be included in the design documents. The irrigation control system shall comply with all local, state, and federal laws and regulations.

BASIS OF DESIGN RESPONSE TO OPR

The systems included herein meet all requirements listed in the Owner's Project Requirements and are capable of supporting the goals identified.

REVIEWED AND APPROVED:



PROJECT ARCHITECT

6/11/2020

DATE

OWNER'S PROJECT REQUIREMENTS (OPR)

FOR

City of Margate Fire Station No. 58



March 19, 2020

Revised April 20, 2020



Sustainable Performance Solutions LLC
2929 E. Commercial Blvd., Suite 608
Fort Lauderdale, FL 33308

INTRODUCTION

The Owner's Project Requirements (OPR) is a document detailing the functional requirements of a project and the owner's expectations of how a facility will be used and operated as related to the building systems being commissioned. The document describes the building's physical and functional characteristics desired by the owner, and establishes performance and acceptance criteria. The OPR serves as a baseline for decision making throughout the design and construction process and shall be used by the commissioning team to evaluate the project's development and performance.

The document is most effective when developed during pre-design, or early in the design process to aid in the design of the facility. Where practical and known, measurable indicators used to verify performance requirements are included. The OPR records the ideas, intentions and criteria applicable to the energy and water consuming systems considered important to the owner in the programming, design, construction and operation of the facility. The document provides the design team information necessary to develop the Basis of Design (BOD). As design and construction progresses, the OPR will be updated as required to respond to changing circumstances and requirements.

OWNER AND USER REQUIREMENTS

This project is referred to as the City of Margate Fire Station No. 58 and will be located at 600 N. Rock Island Rd, Margate, FL 33063. The fire station will be constructed to meet the needs of the City of Margate. This single-story building will be approximately 8,904 square feet and the structure will be constructed primarily of masonry. The facility will accommodate approximately 10-13 employees and visitors daily.

The primary operational occupancy schedule for the building is as follows:

Day	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Occupied Time Start	12:00 am	12:00 am	12:00 am	12:00 am	12:00 am	12:00 am	12:00 am
Occupied Time Stop	11:59 pm	11:59 pm	11:59 pm	11:59 pm	11:59 pm	11:59 pm	11:59 pm

The estimated project construction cost is \$4,500,000 and the projected completion date is scheduled for November 2021. Major systems included in the building and addressed in this document include:

- Heating, Ventilating, Air Conditioning (HVAC) Systems

- Exhaust Air Systems
- Indoor Lighting Systems & Controls
- Domestic Hot Water Heating Systems
- Irrigation Control Systems

ENVIRONMENTAL AND SUSTAINABILITY GOALS

The facility shall be designed to meet the sustainability requirements prescribed in the Florida Green Commercial Building Certification Standard Version 3: Revised 6/10/19. Position the building on the site in an environmentally responsive manner and minimize disruption to the site and maximize the fenestration on the north and south sides. Provide for erosion and sedimentation control with a formal Erosion and Sedimentation Control Plan, signed and sealed by a Professional Engineer. Reduce waste sent to the landfill by diverting a minimum of 75 percent of construction and demolition waste. Maximize water efficiency within the building by providing water fixtures and appliances with the following maximum water consumption: toilets ≤ 1.1 gpf; urinals ≤ 0.125 gpf (1 pint); lavatory faucets ≤ 0.5 gpm; kitchen faucets ≤ 1.5 gpm; showerheads ≤ 2.0 gpm; dishwashers are Energy Star Qualified with Water Factor (WF ≤ 7.0) and Minimize the use of potable water for irrigation by providing $\geq 80\%$ Drought Tolerant Florida Friendly plants and trees; $< 20\%$ Turf/sod (excluding stormwater retention areas); and by grouping plants with similar maintenance requirements together. A healthy and comfortable indoor environmental quality will be maintained by continuously monitoring CO and CO₂; providing and maintaining walk-off mat(s) at the main entrance; providing MERV 13 filters on all air handling equipment; and using only low or no VOC paints, coatings, sealants, adhesives, cleaners, and other materials. Materials and methods shall be selected based on best practices for sustainable construction, in addition to national, regional and local building codes and standards. The design and construction of the building shall minimize maintenance and operation costs. To achieve low operating and maintenance costs, construction materials shall be selected based upon durability and long-term serviceability. The project will include a 911 Memorial that is to be locally constructed and include materials extracted or produced within 700 miles.

ENERGY EFFICIENCY GOALS

Design the facility to exceed by a minimum of 35% the energy efficiency requirements prescribed in the Florida Commercial Building Energy Code. Lighting systems shall be LED and occupancy sensors shall be provided in flexible occupancy spaces. Lighting power density (LPD) shall be < 0.7 W/SF. The domestic hot water heating system shall consist of a 98 percent (min.) efficient, 100-gal LP-fired hot water heater and a 20 gpm circulating pump. The building's major systems shall be commissioned generally in accordance with ASHRAE Standard 202-2013.

INDOOR ENVIRONMENTAL GOALS

In addition to the specific requirements in ENVIRONMENTAL AND SUSTAINABILITY GOALS (above), the building shall be designed to provide a productive, healthy and comfortable indoor environment for Fire Department employees and visitors. The design requirements shall provide indoor air quality acceptable to human occupants and shall minimize adverse health effects. The design of the building shall address the following:

- Temperature and humidity shall be controlled in the range of 72° to 75° F. and 45 to 50% RH.
- Building ventilation shall exceed the requirements of ASHRAE 62.1-2019, particularly in areas affected by engine idling in the bays.
- Systems shall be designed and specified for ambient sound levels compatible with the building functions and occupancy. Sound pressure level in sleeping rooms shall not exceed 45 dBA when occupied with doors closed.
- Vibration reduction from equipment into the building structure and occupied areas shall be provided.
- Occupant control of temperature and lighting within the spaces shall be maximized.

EQUIPMENT AND SYSTEM EXPECTATIONS

All building equipment and systems shall be of sufficient quality, durability, and availability to meet the programmatic functions of the building with optimum value.

Provide utilities to the building site that include electricity, potable water, wastewater, LP connection, and telecommunications systems. Determine capacities required and appropriate systems utilizing the available resources.

Consider replacement, repair and maintenance costs over the life of the facility and select materials and equipment based on minimizing life cycle costs. The design of all systems shall allow for required maintenance and replacement of various system components with minimal effort to access the equipment. All systems and their components should be easily accessible for adjustments to the respective system components. The architect/engineer design team will determine the selection of specific manufacturers for the various systems and equipment. Equipment and systems will have the capacity to integrate and communicate with other systems as necessary.

The design team shall perform engineering calculations to support the mechanical and electrical design and employ standard, recognized computation techniques. All assumptions will be clearly stated with supporting documents referenced. The calculations and assumptions shall be documented in the Basis of Design (BOD). Energy consuming systems and building envelope shall be designed to contribute to the overall building energy goals. Specify HVAC systems with a low life cycle cost and capable of providing suitable indoor environmental quality to facilitate user productivity. Due to the relatively simple nature of this building, HVAC controls should be straightforward and easy to understand.

All systems and equipment shall perform as described on the project plans, specifications, and schedules with regard to capacities, pressure drops, efficiencies and other factors. Environmental systems shall meet their intended performance ratings to maintain building temperatures. Sequences of operation critical for maintaining precise temperature controls shall perform properly. Provide and properly size emergency power in the event of power outages from the utility provider.

BUILDING OCCUPANTS AND OPERATION AND MAINTENANCE EXPECTATIONS

The occupants expect the building will be designed, constructed and operated in a safe and healthy manner suitable for its intended functions. The building must provide environmental conditions required to maintain occupant comfort levels and systems appropriate for the intended operations of the building.

The city intends to employ or contract for operation and maintenance staff to maintain the building systems. The operation and maintenance functions include coordinating the transition of the building operation from the contractor's control to the owner's control, modifying system parameters to meet the owner's and building occupants'

requirements, addressing warranty issues, and providing the required maintenance to ensure systems and equipment meet the project goals and objectives.

Training shall be provided to operation and maintenance personnel to gain the required knowledge for operation and maintenance of the building systems. This training will be specified by the design team and implemented by the construction. Recorded training sessions, if any, will be archived for future use in the event personnel are not available during the contract period, new operation and maintenance staffs are hired, or retraining is required during the life of the building.

Owner's Approval and Signatory: The Owner/Owner's Representative has reviewed and approved the information above.

COTTEN CHRISTIAN, PROJECT MGR.
Print Name


Signature

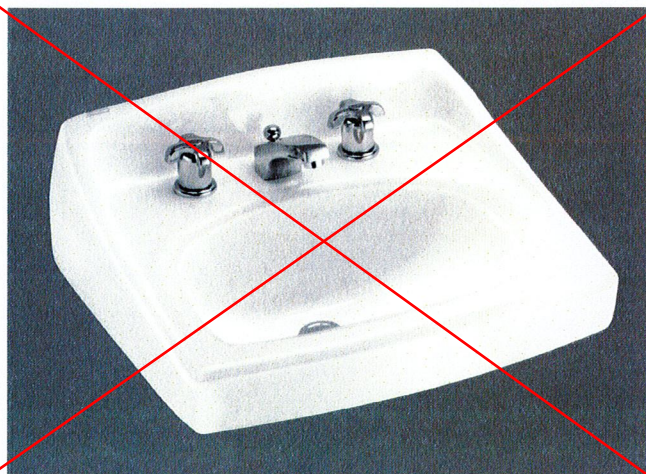
Owner/Owner's Representative

LUCERNE™ WALL-HUNG LAVATORY

- Wall-hung sink
- Vitreous china
- Front overflow
- D-shaped bowl
- Self-draining deck area with contoured back and side splash shields
- Faucet ledge
- Compliant with Texas accessibility standard (TAS) for children age group 13 and up

Faucet holes on 203mm (8") centers (Illus.):

- ☐ **0356.028** For exposed bracket support
Shown with 4801.862 Amarilis Heritage faucet with Triune Cross handles (not included)
- ☐ **0356.015** For wall hanger (included) or concealed arms support
- ☐ **0356.915** For wall hanger (included) or concealed arms support
 - Less overflow



0356.028

Faucet holes on 102mm (4") centers:

- ☐ **0355.027** For exposed bracket support
- ☐ **0355.012** For wall hanger (included) or concealed arms support
- ☐ **0355.912** For wall hanger (included) or concealed arms support
 - Less overflow



0356.041

Single center faucet hole (Illus.):

- ☐ **0356.041** For exposed bracket support
Shown with 1340.000 metering faucet (not included)
- ☐ **0356.421** For wall hanger (included) or concealed arms support
- ☐ **0356.921** For wall hanger (included) or concealed arms support
 - Less overflow
- ☐ **0356.439** For wall hanger (included) or concealed arms support
 - Single faucet hole on right
- ☐ **0356.066** For exposed bracket support
 - Single faucet hole on right

Nominal Dimensions:

521 x 464mm
(20-1/2" x 18-1/4")

Bowl sizes:

381mm (15") wide
254mm (10") front to back
165mm (6-1/2") deep

Compliance Certifications -

Meets or Exceeds the Following Specifications:

- ASME A112.19.2 / CSA B45.1 for Vitreous China Fixtures

SEE FOLLOWING PAGES FOR ROUGHING-IN DIMENSIONS

To Be Specified:

- ☐ Color: ☐ White
- ☐ Faucet*:
- ☐ Faucet Finish:
- ☐ Supplies:
- ☐ 1-1/4" Trap:
- ☐ Nipple:
- ☐ Bracket Support (by others):
- ☐ Concealed Arms Support (by others):

* See faucet section for additional models available



**MEETS THE AMERICANS WITH DISABILITIES ACT GUIDE-
LINES AND ANSI A117.1 ACCESSIBLE AND USABLE
BUILDINGS AND FACILITIES - CHECK LOCAL CODES.**

Top of front rim mounted 864mm (34") from finished floor.

© 2016 AS America Inc.

M37

spec_0355-0356 Lucerne WallHung Lavs Rev. A 8/16

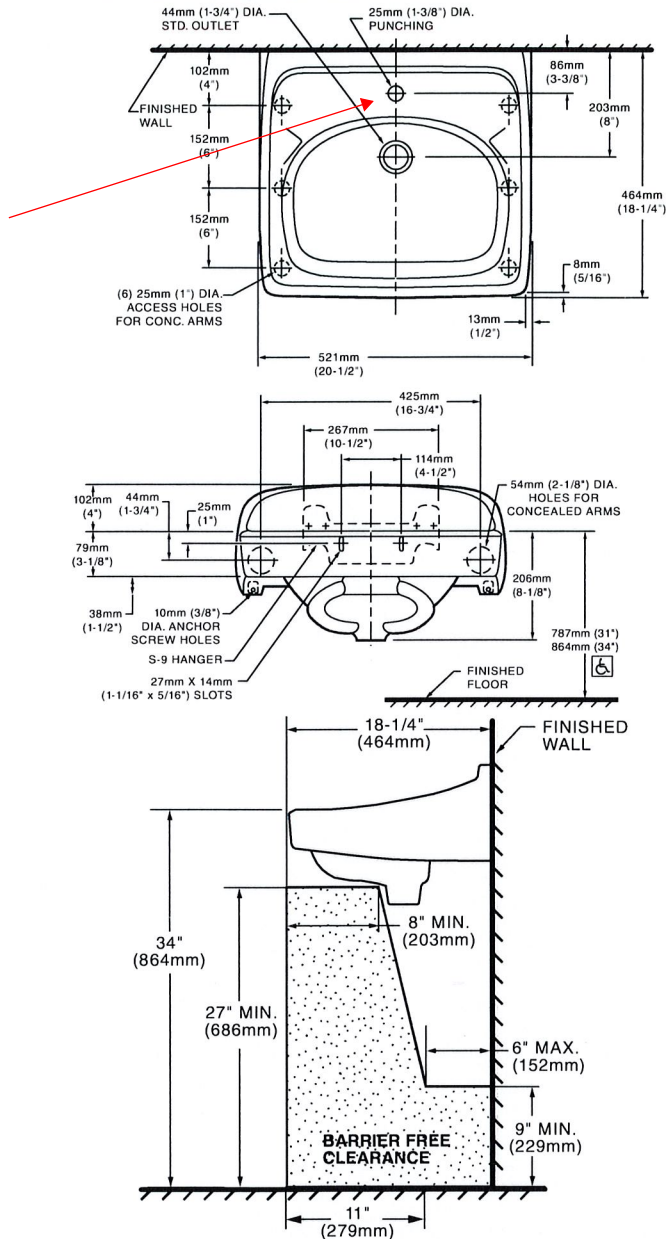
*OK
1/23*



0356.041 SINGLE CENTER HOLE FOR EXPOSED
BRACKET SUPPORT

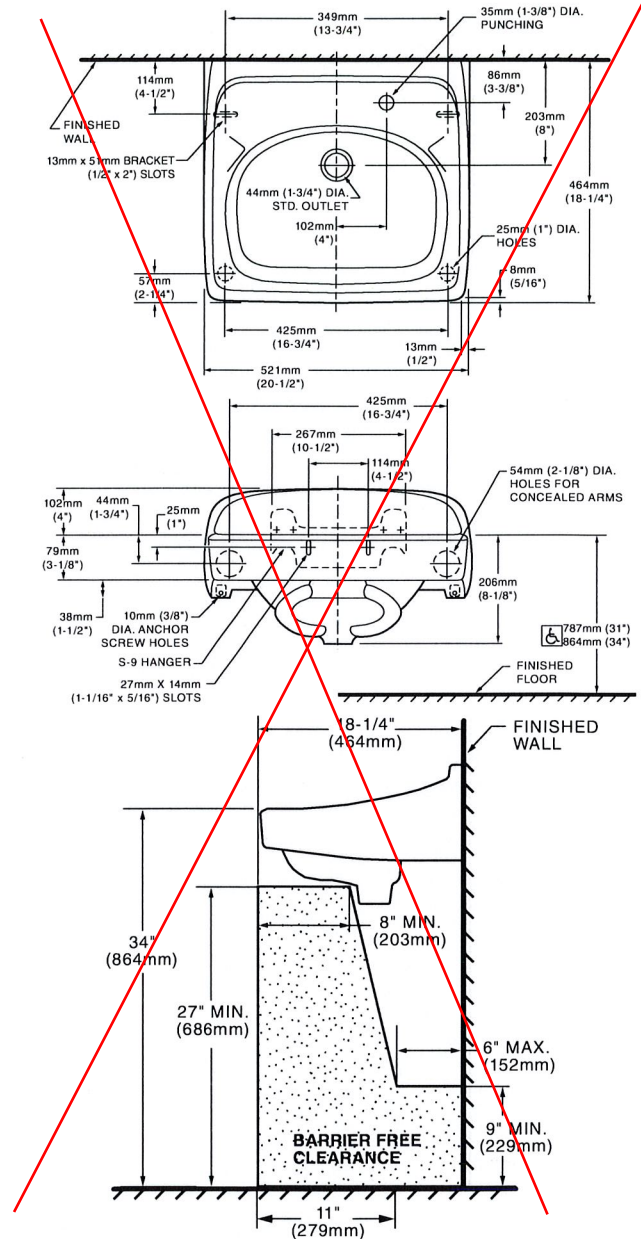
0356.421 SINGLE CENTER HOLE FOR WALL
HANGER OR CONCEALED ARMS

0356.921 LESS OVERFLOW



0356.439 SINGLE CENTER HOLE ON RIGHT FOR WALL
HANGER OR CONCEALED ARMS

0356.066 SINGLE CENTER HOLE ON RIGHT FOR
EXPOSED BRACKET SUPPORT



NOTES:

* DIMENSIONS SHOWN FOR LOCATION OF SUPPLIES AND "P" TRAP ARE SUGGESTED.
PROVIDE SUITABLE REINFORCEMENT FOR ALL WALL SUPPORTS.
FITTINGS NOT INCLUDED AND MUST BE ORDERED SEPARATELY.
CONCEALED ARM SUPPORT AS REQUIRED TO BE FURNISHED BY OTHERS.

IMPORTANT: Dimensions of fixtures are nominal and may vary within the range of tolerances established by ANSI Standard A112.19.2. These measurements are subject to change or cancellation. No responsibility is assumed for use of superseded or voided pages.



LAVATORY DESIGNED TO MEET ADA HANDICAPPED GUIDELINES WITH MOUNTING HEIGHT
SET AT 864MM (34") ABOVE FINISHED FLOOR.

OKC
1/23

CODE NUMBER

3335140

DESCRIPTION

Hardwired Less Transformer Power Supply, Integrated Side Mixer, Polished Chrome Finish, 0.5 gpm, Aerated Spray, Infrared Sensor, Bluetooth AdapterSmart Faucet, Optima® Hardwired-Powered Deck-Mounted Mid Body Faucet.

DETAILS

- Flow Rate: 0.5 gpm (2 Lpm) (0.5GPM)
- Spray Type: Aerated (AER)
- Sensor Type: Infrared (IR)
- Mounting Type: Single Hole
- Power Supply: Hardwired Less Transformer (HLT)
- Temperature Mixer: Integrated Side Mixer (ISM)
- Finish: Polished Chrome (CP)
- Factory Default Timeout: 30s
- Factory Default GPC: 0.25

FEATURES

Commercial Grade, ADA Compliant, Electronic, Sensor-Activated, Cast Brass Hand Washing Faucet with the following features:

- Double Infrared Sensors with Automatic Setup and Indicator Light
- Automatic Self-adapting Sensor Technology
- Magnetic Solenoid Valve
- Water Supply Connection with Flexible High-pressure Hose and Strainer
- 6 Volt DC Plug-in Adapter (must be ordered separately for Less transformer (-LT) faucets)
- Daisy Chain Electrical Splitter Cable included with Less transformer (-LT) faucets
- Appropriate Mounting Hardware included
- Optional 24 Hour Sentinel Activation
- IQ-Click feature permits activation of continuous run and temporary off modes
- Includes EAF44 Power Splitter

ELECTRICAL SPECIFICATIONS

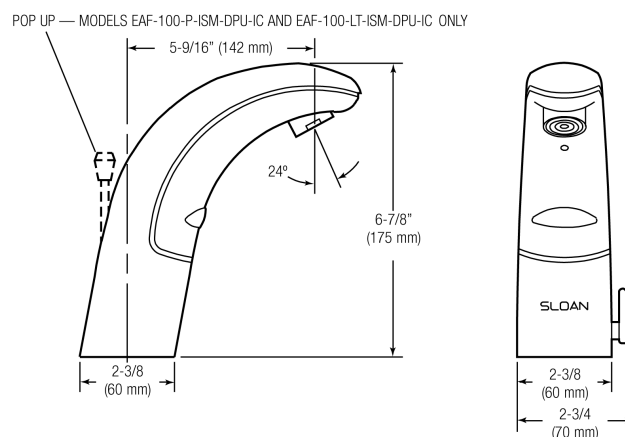
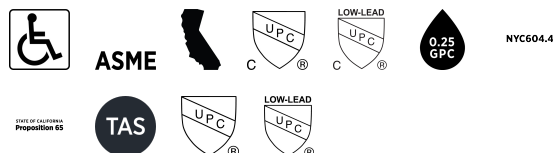
- Battery Life: 3 years 8,000 cycles/month
 - Optional power harvesting significantly extends service life
- Timeout Adjustment Settings: 30s

DOWNLOADS

- [EAF 100/150 Installation Instructions](#)
- [EAF 100/150 \(SP\) Installation Instructions](#)
- [Optima Plus EAF 100 Repair and Maintenance Guide](#)
- [Faucet Spray Heads Repair and Maintenance Guide](#)
- [Additional Downloads](#)



Variation not shown: Integrated Side Mixer

**COMPLIANCES & CERTIFICATIONS**

(ADA Compliant, ASME A112.18.1 Compliant, CEC Compliant, cUPC Certified, cUPC Low Lead Compliant, GPC 0.25 or less, NYC604.4, Proposition 65, TAS, UPC Certified, UPC Low Lead Compliant)

NOTES

All information contained within this document subject to change without notice.

Looking for other variations of the EAF-100 product? [View the general spec sheet with all options.](#)

[Find a matching soap dispenser](#) for this faucet.

[Find a compatible sink](#) for this faucet.

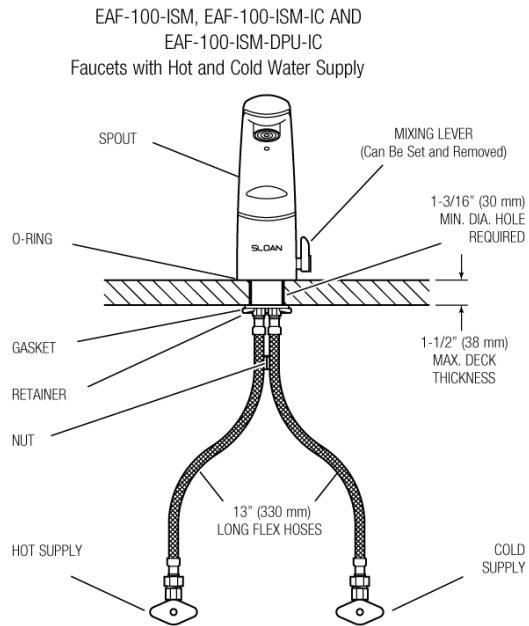
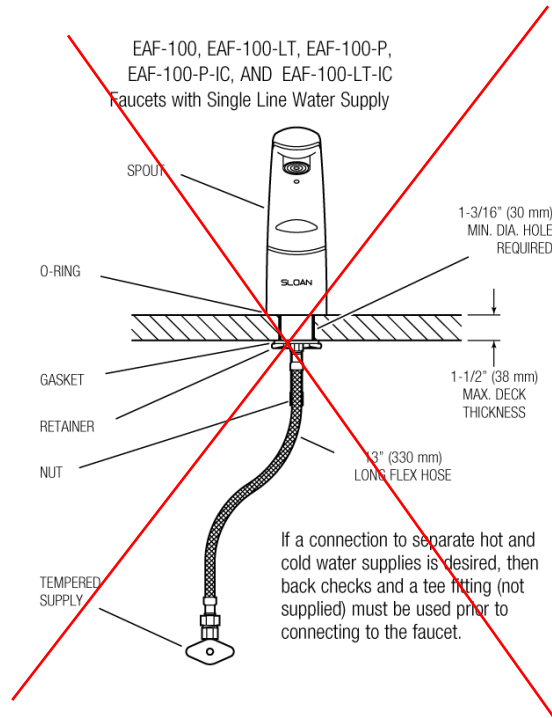
WARRANTY

3 Year

Sloan 10500 Seymour Ave, Franklin Park, IL 60131

Phone: 800.982.5839 • Fax: 800.447.8329 • sloan.com

ROUGH-IN



When the EAF faucet is installed on a sink that has three (3) hole punchings, a Trim Plate should be used. Trim Plates must be specified and ordered separately:

SFP-11
 Trim Plate for 4" (102 mm)
 Centerset Sink

SFP-22
 Trim Plate for 8" (204 mm)
 Centerset Sink

Location: _____

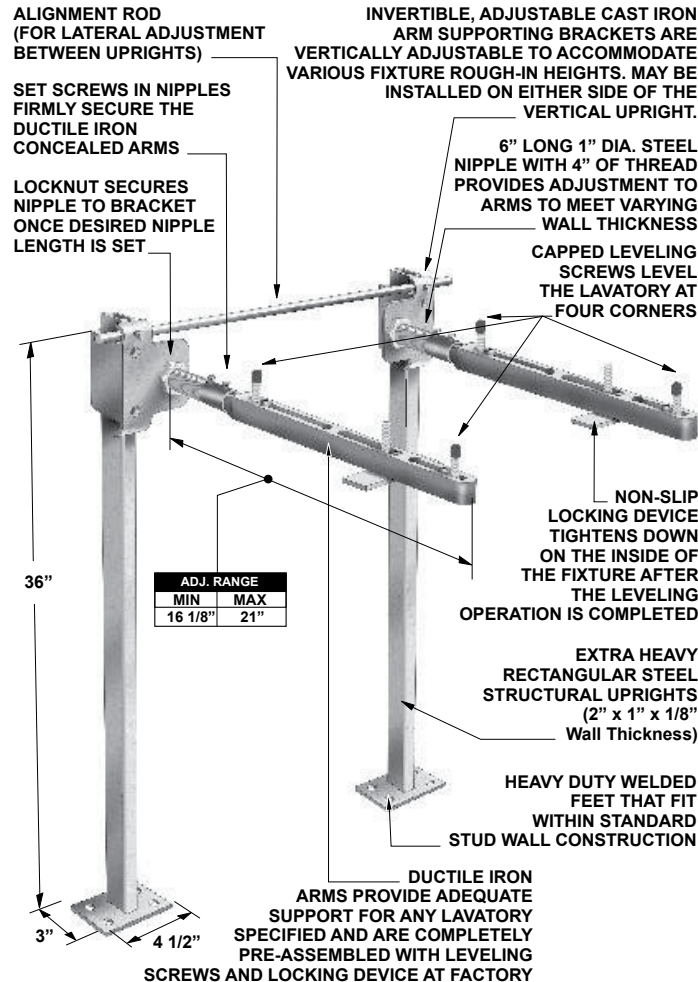


MC-41

FIXTURE CARRIER WITH CONCEALED ARMS

Specification: MIFAB® Series MC-41 floor mounted concealed arm lavatory carrier with lacquered, adjustable, ductile iron concealed support arms. Complete with lacquered cast iron invertible and adjustable arm supporting brackets, adjustable steel nipples with locknut and set screws, alignment rod, two lacquered 2" x 1" x 1/8" thick structural steel uprights with 3" x 4 1/2" welded steel feet and fixture leveling and locking hardware.

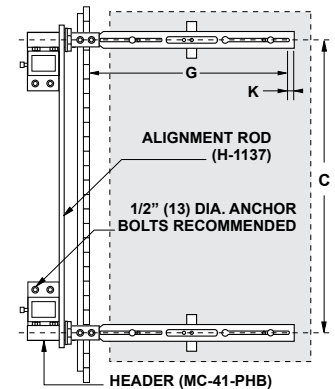
Function: Used to support off-the-floor fixtures so that the vertical load bearing components are concealed within the wall. The fixture carrier has no contact with the finished floor inside of the room.



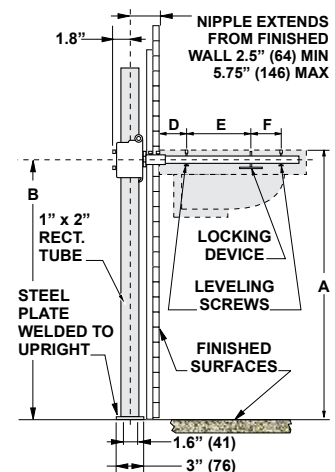
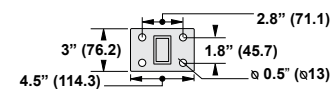
MC-41 Series Meets ANSI/ASME fixture carrier standard A112.6.1M-97

NOTE: FOOT SUPPORTS SHOULD BE SECURELY ANCHORED TO FLOOR WITH 1/2" (13) BOLTS AND ANCHORS BY OTHERS.

NOTE: See the various fixture dimensional rough-in guides on the www.mifab.com website.



BASE DETAIL



SUFFIX	OPTIONAL VARIATIONS
-A	Nipple length over 6" (specify)
-B	Floor to ceiling uprights (specify height required)
-BA	Buy American Act compliant product
-E2	2" chrome plated escutcheons (pair)
-G	Wall support plate
-NW	1" x 5/8" slots through each upright to accommodate piping for narrow wall installations

-PA	Pennsylvania Steel Act compliant product
-PFAB	Prefabricated carrier
-SL	3/4" Slots in legs – to receive 1/2" water piping through legs
see MC-42	Paraplegic Rough-in
see MC-41D	Back to back system
-32	Foot pedal mounting plate
-88	Mounting hardware for cast iron wall hung lavs

CALIFORNIA PROPOSITION 65 WARNING. This product contains chemicals known to the State of California to cause cancer and birth defects or other reproductive harm.

Job Name: _____

Page No: _____

Section No: _____

Contractor: _____

Schedule No: _____

Purchase Order No: _____



WATER
CLOSET

MADERA™ FloWise® 16-1/2" HIGH 1.28 GPF FLUSHOMETER TOILET SYSTEM with EVERCLEAN® SELECTRONIC® EXPOSED AC FLUSH VALVE

BARRIER FREE

MADERA™ FloWise® 16-1/2" HIGH 1.28 GPF FLUSHOMETER TOILET SYSTEM with EVERCLEAN®

- ☐ **3461.712** 1.28 gpf 16-1/2" High Top Spud Bowl and
Selectronic® Exposed AC Flush Valve

BOWL:

- Floor mount elongated flushometer valve toilet
- Vitreous china
- High Efficiency. Operates in the range of 1.1 gpf to 1.6 gpf (4.2 Lpf to 6.0 Lpf)
- Permanent EverClean® surface inhibits the growth of stain- and odor-causing bacteria, mold, and mildew on the surface
- 16-1/2" rim height for accessible application
- Powerful direct-fed siphon jet action
- Fully glazed 2-1/8" trapway
- Condensation channel
- 10" or 12" rough-in
- 10" x 12" water surface area
- 1-1/2" inlet spud
- 100% factory flush tested
- Less toilet seat
- Model 3461.001

SELECTRONIC® FLUSH VALVE:

- Self-Cleaning Piston with integral wiper spring significantly reduces clogging and maintenance
- Selectronic® Proximity System with universal sensor provides hygienic, "hands free" operation
- State-of-the-Art Electronics prevent ghost flushing
- Dezincification Resistant semi-red brass alloy
- Fully Mechanical Manual Override Button can flush the valve without power
- Fail-Safe: Valve automatically closes upon loss of power or water pressure and does not need to be reset
- Adjustable Sanitary Flush cleans the fixture & maintains the trap seal.
- Chemical Resistant EPDM Seals for extended life
- Adjustable Tailpiece for rough-in flexibility
- Can be installed left or right handed
- Includes Class 2 UL certified universal hard-wired AC transformer
- Optional cover plate only required for installation from the front
- Model 6067.121

Includes:

- 047007-0070A Inlet Spud (furnished with bowl)
- 481310-100 2 Bolt caps with retainers (furnished with bowl)
- 1" I.P.S. angle stop with back-flow protection and vandal resistant cap
- 1" Sweat solder kit including cover tube and wall flange
- 1-1/2" High back pressure vacuum breaker, spud coupling and flange



SEE REVERSE FOR ROUGHING-IN DIMENSIONS

High-Efficiency Toilet System

- 20% water savings when compared to 1.6 gpf toilet systems

System MaP* Score:

- 1,000 grams of miso @ 1.28 gpf

* Maximum Performance (MaP) testing performed by IAPMO R&T Lab. MaP Report conducted by Veritec Consulting, Inc. and Koeller and Company.

Operating Pressure:

25 psi (flowing) - 80 psi (static)

Flow Requirement:

25gpm (94.6 L/min.)

Nominal Fixture Dimensions:

718 x 356 x 419mm (28-1/4" x 14" x 16-1/2")

To Be Specified:

- ☐ Color: ☐ White
- ☐ Seat:
 - ☐ American Standard #5901.100
Heavy duty open front less cover
 - ☐ American Standard #5905.100
Extra heavy duty open front less cover



OKC
1/23



**WATER
CLOSET**

MADERA™ FloWise® 16-1/2" HIGH 1.28 GPF FLUSHOMETER TOILET SYSTEM

with EVERCLEAN®
SELECTRONIC® EXPOSED AC FLUSH VALVE



SELECTIONIC® EXPOSED AC FLUSH VALVE

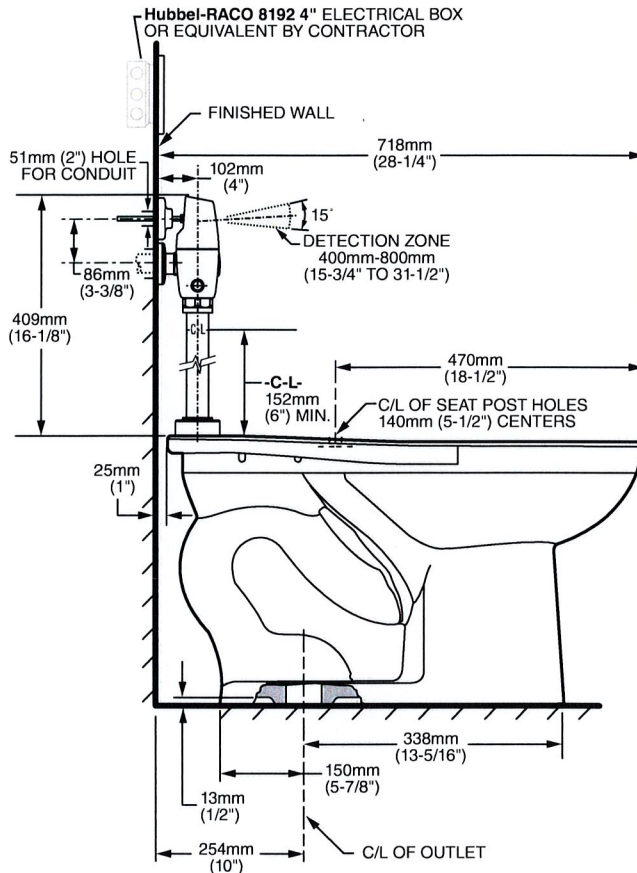
Fixture Compliance Certifications -

Meets or Exceeds the Following Specifications:

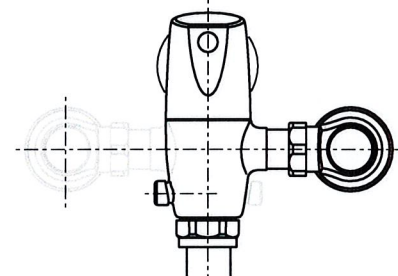
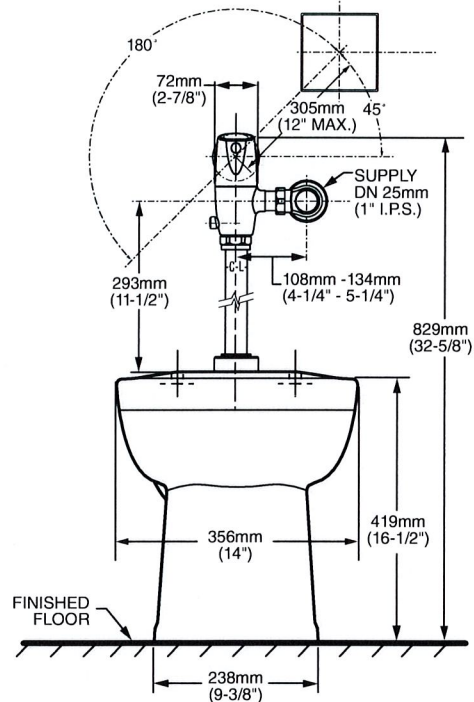
- ASME A112.19.2-2008 / CSA B45.1-08 for Vitreous China Fixtures

Valve Listings:

- ASSE 1037
- ANSI/ASME A112.19.2
- ADA Compliant



*Note: The Critical Line (-C-L-) on Vacuum Breaker must typically be a minimum of 152mm (6") above fixture. Consult Codes for details.



VALVE LEFT or RIGHT HAND INSTALLATION



**MEETS THE AMERICANS WITH DISABILITIES ACT GUIDELINES
AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBLE AND USABLE
BUILDING FACILITIES - CHECK LOCAL CODES.**

NOTES:

TO COMPLY WITH AREA CODE GOVERNING THE HEIGHT OF VACUUM BREAKER ON THE FLUSHOMETER VALVE, THE PLUMBER MUST VERIFY DIMENSIONS SHOWN FOR SUPPLY ROUGHING. THIS TOILET DESIGNED TO ROUGH-IN AT A MINIMUM DIMENSION OF 254MM (10") AND A MAXIMUM DIMENSION OF 305MM (12") FROM FINISHED WALL TO C/L OF OUTLET.

IMPORTANT: Dimensions of fixtures are nominal and may vary within the range of tolerances established by ANSI Standard A112.19.2. These measurements are subject to change or cancellation. No responsibility is assumed for use of superseded or voided pages.

OK
1/23



ADA SHOWER

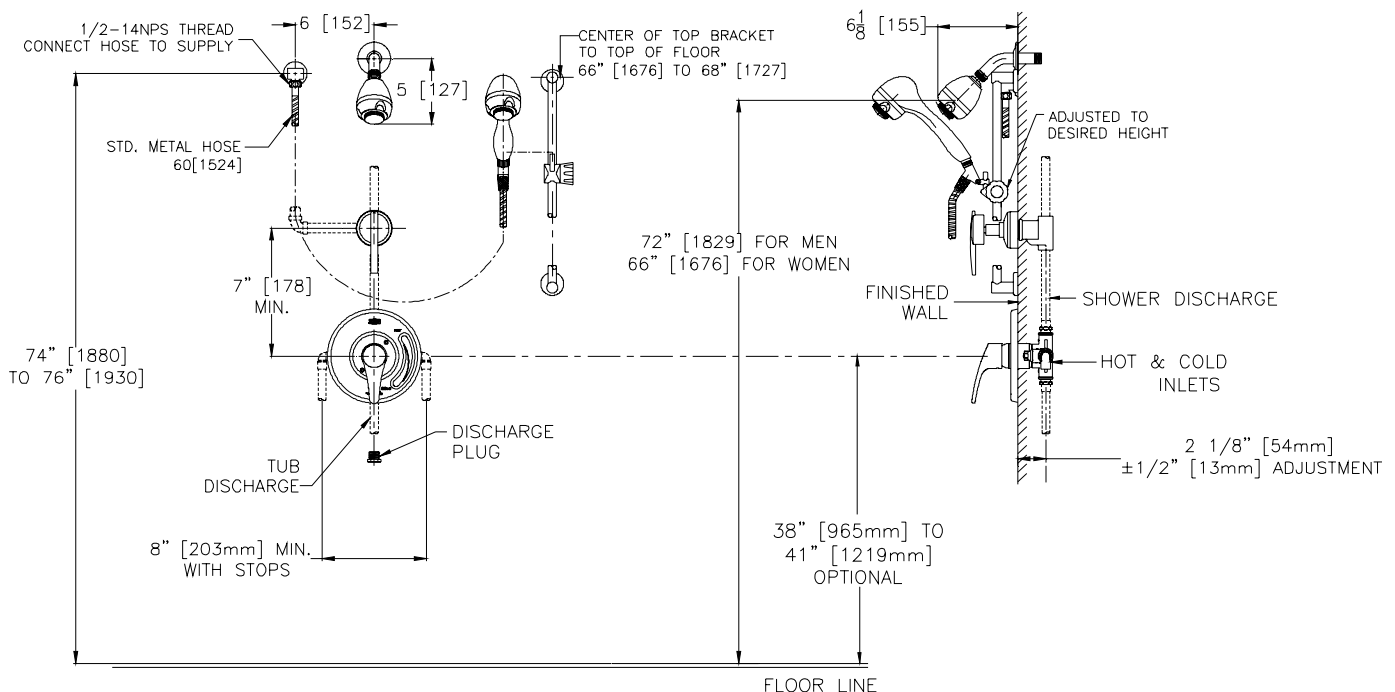
TEMP-GARD III SHOWER UNIT

Z7301-SS-MT-DV-2P-HW-H9-S9

TAG

ENGINEERING SPECIFICATIONS: ZURN Z7301-SS-MT-DV-2P-HW-H9-S9

Single handle pressure balancing mixing shower unit, ceramic control cartridge with stainless steel balancing piston, built in reverse connection capability (To reverse the hot and cold inlets simply remove cartridge and turn 180°), two service stops / check stops, and adjustable limit stop. When valve is turned on it must rotate from cold through to the hot position. All exposed trim and handle are metal with polished nickel chrome plated surface. The valve is supplied with a two-way brass diverter valve, 1.6 GPM adjustable spray hand/wall showerhead in chrome finish, 60" flexible metal hose, 24" mounting slide bar wall connection, (ABS plastic) 1.5 GPM -S9 shower head, arm and flange in chrome plated finish. The valve body is a four port valve with a tub port plug included for shower only applications. The valve inlets, shower and tub outlet are all standard with 1/2" NPT female thread connections. The 1/2" copper sweat options must be specified as shown below.



Note: All dimensions are for reference only. Do not use for pre-plumbing.
Parts shown as hidden lines are supplied by others.

OPTIONS (Check/specify appropriate options) Use with Z7300 prefix

Suffix	Description
___ -CPVC	1/2" Male NPT by CPVC Female Adaptors, shipped loose to be installed in the field.
___ -EXT	Extension Kit, Extends Valve Out by 1".
___ -PEX	1/2" Male NPT by PEX Adaptors, shipped loose to be installed in the field.
___ -SSC	1/2" Female Copper Sweat Connections w/ Service Stops
___ -ST	Sierra Series Decorative Metal Trim
___ -VB	In-Line Vacuum Breaker
___ -WF	Wall Mounting Flange For Fiberglass or Panel Wall Installation
___ -	Handwall Options (See Z7000-HW)

Additional Options

___ Z7000-SC	Pair of Dual Spring Check Valves
___ Z7000-S5	Large Brass Shower Head with Spray Adjustment
___ Z7000-S6	Small Brass Shower Head with Spray Adjustment

ZURN INDUSTRIES, LLC ♦ COMMERCIAL BRASS OPERATION ♦ 2640 SOUTH WORK STREET ♦ FALCONER NY 14733

Phone: 1-800-997-3876 ♦ Fax: 1-919-775-3541 ♦ www.zurn.com

In Canada: ZURN INDUSTRIES LIMITED ♦ 3544 Nashua Drive ♦ Mississauga, Ontario L4V1L2 ♦ Phone: 905/405-8272 Fax: 905/405-1292

STANDARDS

Tested to meet the following standards for valves and plumbing fittings:
ASSE Standard No. 1016
ASME A112.18.1 / CSA B125.1
IAPMO® Listed
Meets or Exceeds ANSI A117.1M standard for physically handicapped

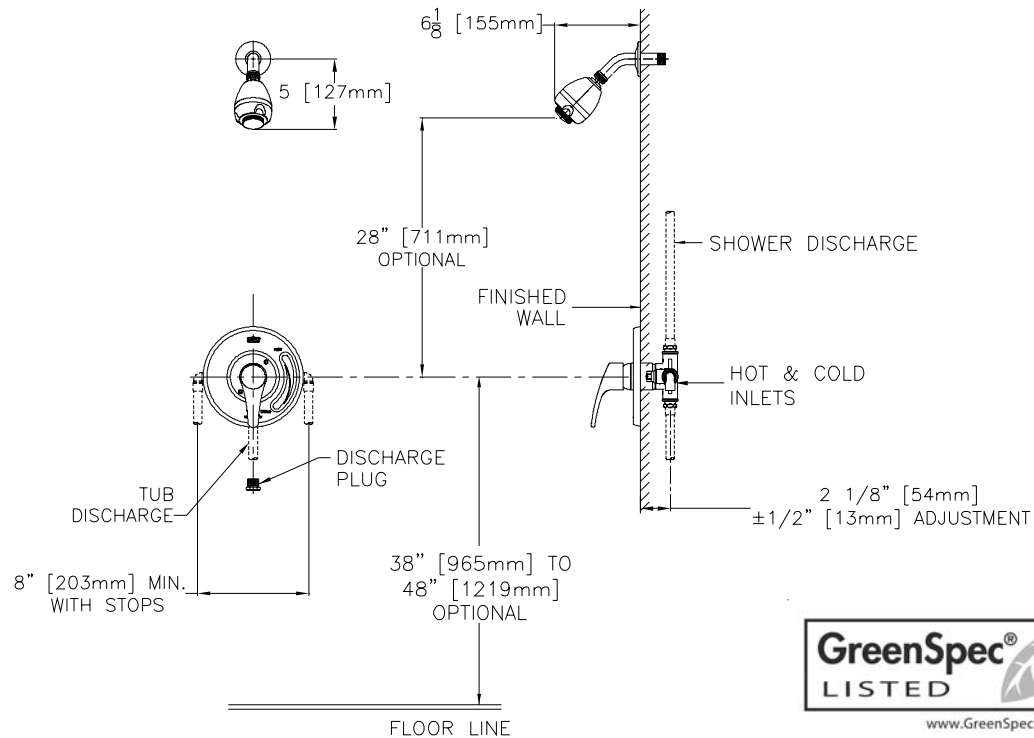




SHOWER

TEMP-GARD III SHOWER UNIT**Z7301-SS-MT-S9****TAG****ENGINEERING SPECIFICATIONS: ZURN Z7301-SS-MT-S9**

Single handle pressure balancing mixing shower unit, ceramic control cartridge with stainless steel balancing piston, built in reverse connection capability (To reverse the hot and cold inlets simply remove cartridge and turn 180°), two service stops / check stops, and adjustable limit stop. When valve is turned on it must rotate from cold through to the hot position. All exposed trim and handle are metal with polished nickel chrome plated surface. The valve is supplied with the -S9, 1.5 gpm shower head, arm and flange in chrome plated finish. The valve body is a four port valve with a tub port plug included for shower only applications. The valve inlets, shower and tub outlet are all standard with 1/2" NPT female thread connections. The 1/2" copper sweat options must be specified as shown below.



Note: All dimensions are for reference only. Do not use for pre-plumbing.
Parts shown as hidden lines are supplied by others.

OPTIONS (Check/specify appropriate options) Use with Z7300 prefix

Suffix	Description
___ -CPVC	1/2" Male NPT by CPVC Female Adaptors, shipped loose to be installed in the field.
___ -EXT	Extension Kit, Extends Valve Out by 1".
___ -PEX	1/2" Male NPT by Pex Adaptors, shipped loose to be installed in the field.
___ -SSC	1/2" Female Copper Sweat Connections w/ Service Stops
___ -ST	Sierra Series Decorative Metal Trim
___ -STN	Sierra Series Decorative Metal Trim, in Satin Nickel Finish
___ -WF	Wall Mounting Flange For Fiberglass or Panel Wall Installation

Additional Options

___ Z7000-SC	Pair of Dual Spring Check Valves
___ Z7000-S5	Large Brass Shower Head with Spray Adjustment
___ Z7000-S6	Small Brass Shower Head with Spray Adjustment

STANDARDS

Tested to meet the following standards for valves and plumbing fittings:
ASSE Standard No. 1016
ASME A112.18.1 / CSA B125.1
IAPMO® Listed
Meets or Exceeds ANSI A117.1M standard for physically handicapped



ZURN INDUSTRIES, LLC ♦ COMMERCIAL BRASS OPERATION ♦ 2640 SOUTH WORK STREET ♦ FALCONER NY 14733

Phone: 1-716-665-1132 ♦ Fax: 1-716-665-1135 ♦ World Wide Web: www.zurn.com

In Canada: ZURN INDUSTRIES LIMITED ♦ 3544 Nashua Drive ♦ Mississauga, Ontario L4V1L2 ♦ Phone: 905/405-8272 Fax: 905/405-1292



SHOWER DRAIN

130 SERIES SHOWER PAN DRAINS TECHNICAL SPECIFICATION

Job Name _____	Item # _____
Location _____	
Engineer _____	Contractor _____
PO # _____	Tag _____
Representative _____	

SPECIFICATIONS

Oatey 130 series shower pan drains shall be used in residential and commercial applications when connecting to a DWV system. Using the countersunk holes, secure the flange base to the subfloor with an approved fastener. Shower pan drain shall have a solvent weld connection over 2" Sch. 40 DWV hub connection which conforms to ASTM D2665 (PVC) or D2661 (ABS). Shower drain base available in both PVC and ABS can be solvent welded over 2" Sch. 40 or solvent welded inside 3" Sch. 40 DWV. Strainer shall meet all necessary load and flow requirements for installations in shower areas. Base accepts 130 series ¼ Turn Test Plug, which holds 40ft of head pressure. Clamp collar ring fastens by use of hex bolts that thread into brass inserts and has improved weep holes and channels, which can be inverted to achieve an additional 1" in finished height.

FEATURES AND MATERIALS

Drain Base & Barrel	PVC, ABS
Strainer	18 Gauge 304 Stainless Steel
Test Plug	Polypropylene with SBR Gasket

APPROVALS AND LISTINGS



Uniform Plumbing Code (UPC®)



National Plumbing Code of Canada

IPC

International Plumbing Code (IPC®)



ASME A112.18.2-2015/CSA B125.2-15

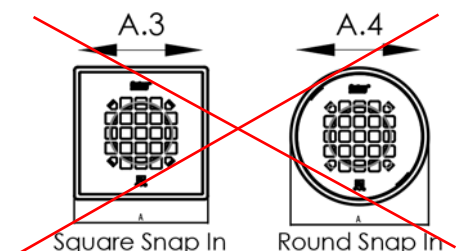
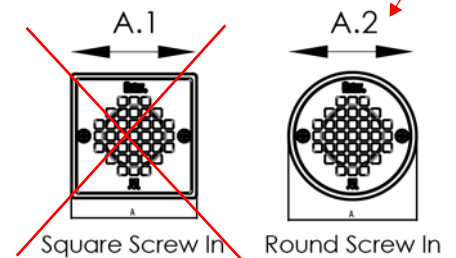
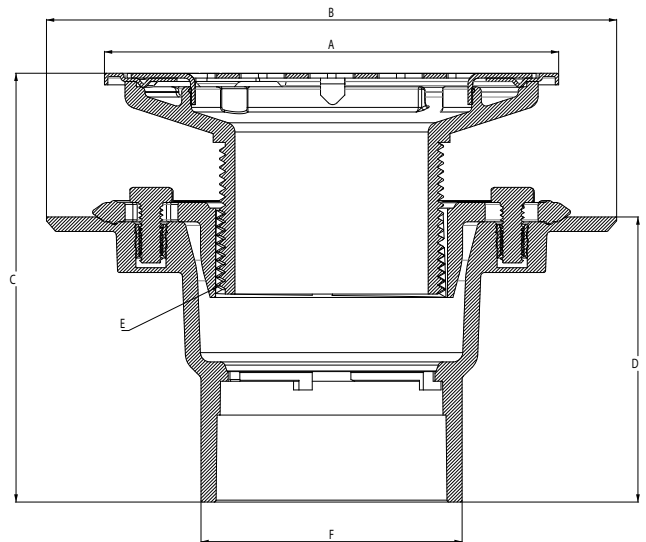
DIMENSIONS

[A]:	Strainer Dimension	See Drawing Below
[B]:	Flange Diameter	5.90"
[C]:	Overall Height	3.76"-3.76"
[D]:	Base Height	2.95"
[E]:	Barrel Thread	2"-11.5 NPSM
[F]:	Hub Connection	2" Sch. 40

STRAINER DIMENSIONS:

STRAINER FLOW CAPACITY: 7 GPM | 27 L/M

A.1	Square Screw In	4.26"
A.2	Round Screw In	4.37"
A.3	Square Snap In	4.54"
A.4	Round Snap In	4.7"



PRODUCT SPECIFICATIONS

Elkay Lustertone™ Classic Stainless Steel 31" x 22" x 6", Single Bowl Drop-in ADA Sink. Sink is manufactured from 18 gauge 304 Stainless Steel with a Lustrous Satin finish, Rear Center drain placement, and Bottom only pads.

Installation Type:	Drop-in
Material:	304 Stainless Steel
Finish:	Lustrous Satin
Gauge:	18
Sound Deadening:	Bottom only pads
Number of Bowls:	1
Sink Dimensions:	31" x 22" x 6"
Bowl 1 Dimensions:	28" x 16" x 5-7/8"
Drain Size:	3-1/2" (89mm)
Drain Location:	Rear Center
Minimum Cabinet Size:	36"
Mounting Hardware:	Part # 64090014 included for countertops up to 3/4" (19mm) thick
Cutout Template #:	1000001239

Template is available for download at [elkay.com](#). CAD software will be required to open the template.

Cutout Dimensions for Drop-in Installation:

30-3/8" x 21-3/8" (772mm x 543mm) with 1-1/2" (38mm) corner radius

Custom Options	
<input type="checkbox"/> Type 316 Stainless Steel	
Drain Location	
<input type="checkbox"/> Right Rear	<input type="checkbox"/> Left Rear
<input type="checkbox"/> Center	<input type="checkbox"/> Center Rear
Overflow Location	
<input type="checkbox"/> Front	<input type="checkbox"/> Rear
Alternate Punching	
<input type="checkbox"/> Faucet Model:	<input type="checkbox"/> Punch Required:
Sink Size	
<input type="checkbox"/> Bowl Depth:	<input type="checkbox"/> Drainboard Width:



AMERICAN PRIDE. A LIFETIME TRADITION.

Like your family, the Elkay family has values and traditions that endure. For almost a century, Elkay has been a family-owned and operated company, providing thousands of jobs that support our families and communities.



Product Compliance: ADA & ICC A117.1
ASME A112.19.3/CSA B45.4
BUY AMERICAN ACT



C

Sinks are listed by IAPMO® as meeting the applicable requirements of the Uniform Plumbing Code®, International Plumbing Code®, and National Plumbing Code of Canada.



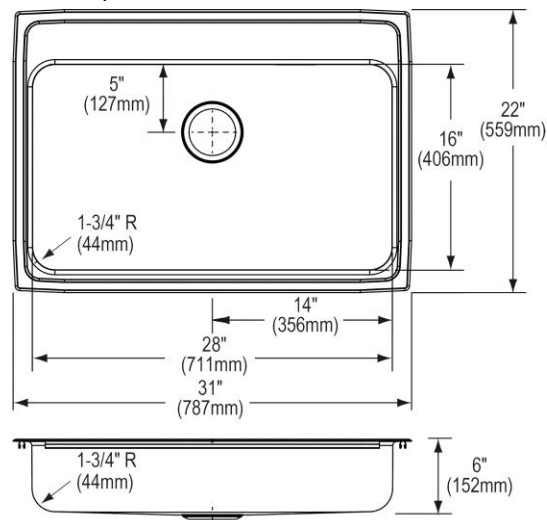
Complies with ADA & ICC A117.1 accessibility requirements when installed according to the requirements outlined in these standards.

[Clean and Care Manual \(PDF\)](#)

[Installation Instructions \(PDF\)](#)

[Warranty \(PDF\)](#)

Similar models are available with: Quick-Clip Mounting System, additional ADA depths



PART: _____ QTY: _____

PROJECT: _____

CONTACT: _____

DATE: _____

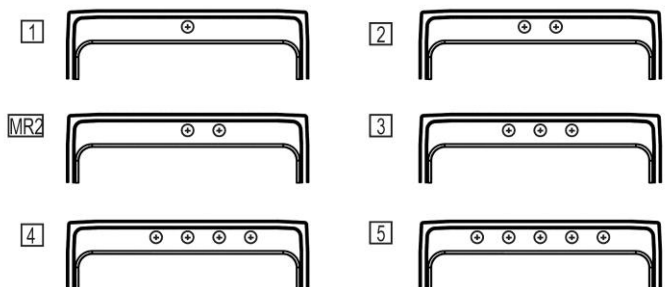
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APPROVAL: _____

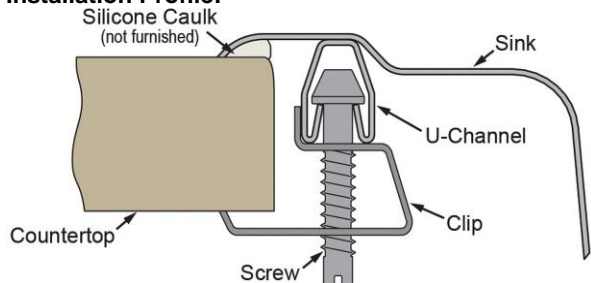
In keeping with our policy of continuing product improvement, Elkay reserves the right to change product specifications without notice. Please visit [elkay.com](#) for the most current version of Elkay product specification sheets. This specification describes an Elkay product with design, quality, and functional benefits to the user. When making a comparison of other producers' offerings, be certain these features are not overlooked.

Hole Drilling Configurations:

1-1/2" (38mm) Diameter Faucet Holes on 4" (102mm) Centers



Installation Profile:



OPTIONAL ACCESSORIES

Bottom Grid:	LKWOBG2816SS
Cutting Board:	CB1713, CBS1316
Drain:	LK99, LKAD35
Faucet:	LKGT1041CR, LKGT1041NK, LKGT1041RB
Hardware:	LK364, LK463
Rinsing Basket:	LKWERBSS
Soap Dispenser:	LKGT1054

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PRODUCT SPECIFICATIONS

Elkay 3-1/2" Drain Type 304 Stainless Steel Body, Strainer and Tailpiece. Overall dimensions are 4-5/8" x 4-5/8" x 6-5/8". Made of Stainless Steel.

Material:	Stainless Steel
Finish:	Polished Stainless Steel
Dimensions:	4-5/8" x 4-5/8" x 6-5/8"
Shipping Weight:	1 lbs.

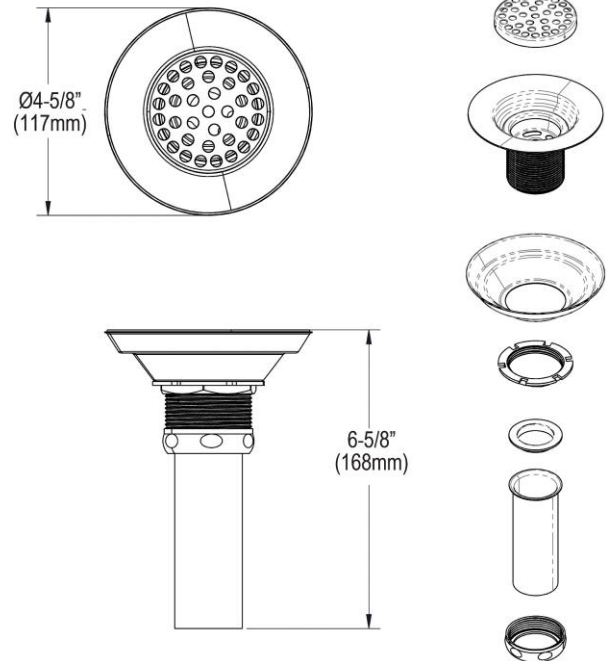
- Perforated 3" grid strainer.
- 1-1/2" O.D. x 4" tailpiece.



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Like your family, the Elkay family has values and traditions that endure. For almost a century, Elkay has been a family-owned and operated company, providing thousands of jobs that support our families and communities.

Product Compliance: ASME A112.18.2/CSA B125.2

[Clean and Care Manual \(PDF\)](#)
[Installation Instructions \(PDF\)](#)



PART: _____ QTY: _____

PROJECT: _____

CONTACT: _____

DATE: _____

NOTES: _____

APPROVAL: _____

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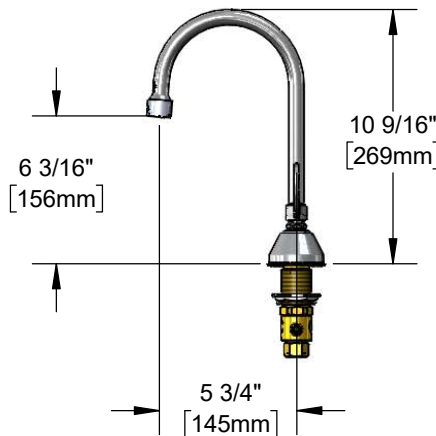
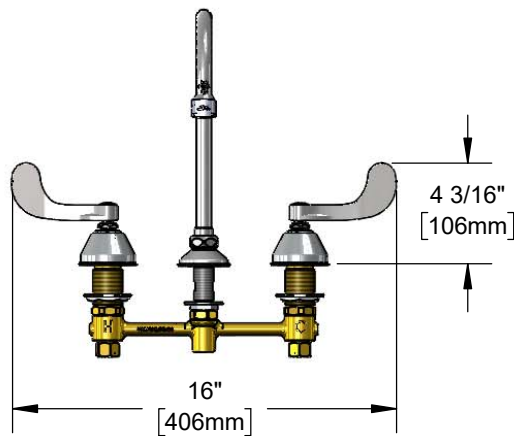


B-2866-QT-VF05G EasyInstall Concealed Widespread Lavatory Faucet

Architect/Engineering Specifications:

8" concealed deck mount mixing faucet with forged brass body, 5 3/4" swivel/rigid gooseneck with 0.5 GPM vandal resistant non-aerated spray device, compression cartridges with spring checks, 4" wrist action handles and vandal resistant screws, chrome plated escutcheons with gaskets and 1/2" NPT male inlets with coupling nuts. Certified to ASME A112.18.1/CSA B125.1, NSF 61-Section 9 and NSF 372. Meets ADA ANSI/ICC A117.1 requirements.

Job Name _____
 Model Specified _____ Quantity _____
 Variations Specified _____
 Date _____



Features & Benefits:

- 8" EasyInstall concealed deck mount faucet w/ forged brass body
- 5 3/4" swivel/rigid gooseneck
- Lock washer provided for rigid application
- 0.5 GPM vandal resistant non-aerated spray device, Series 6 (B-0199-06-N05)
- Quarter-Turn Eterna compression cartridges w/ spring checks to prevent cross flow of water
- 4" wrist action handles w/ color coded indexes
- Vandal resistant screws
- 1/2" NPT male inlets w/ coupling nuts
- Rubber gaskets for better countertop sealing
- Material: Forged brass body, chrome plated metal handles and escutcheons & polished chrome plated brass tubular spout

Product Compliance:

- ASME A112.18.1 / CSA B125.1
- NSF 61 - Section 9
- NSF 372 (Low Lead Content)
- ANSI A117.1 (ADA)

Warranty: One Year (Limited)

Performance Data:

- Pressure: 20 - 125 psi
- Temperature: 40 °F - 140 °F
- Flow Rate: 0.5 GPM @ 60 psi



ADA Compliant

Optional Outlets (Series 1 / VR Series 6)

GPM	Aerated	Non-Aerated (Laminar)	VR Aerated	VR Non-Aerated (VR Laminar)
0.35	N/A	<input type="checkbox"/> B-0199-01-N035	N/A	<input type="checkbox"/> B-0199-06-N035
0.5	N/A	<input type="checkbox"/> B-0199-01-N05	N/A	Standard
1.0	<input type="checkbox"/> B-0199-01-F10	N/A	<input type="checkbox"/> B-0199-06-F10	N/A
1.2	<input type="checkbox"/> B-0199-01-F12	<input type="checkbox"/> B-0199-01-LF12	<input type="checkbox"/> B-0199-06-F12	<input type="checkbox"/> B-0199-06-LF12
1.5	<input type="checkbox"/> B-0199-01-WS	<input type="checkbox"/> B-0199-29	<input type="checkbox"/> B-0199-06-WS	<input type="checkbox"/> B-0199-29VR
2.2	<input type="checkbox"/> B-0199-01	<input type="checkbox"/> B-0199-21	<input type="checkbox"/> B-0199-06	<input type="checkbox"/> B-0199-21-VRF

Optional Handles

- ☐ 4" Wrist Action (Standard)
- ☐ Lever
- ☐ 4-Arm

Optional Cartridges

- ☐ Quarter-Turn Cerama w/ Check Valve
- ☐ Quarter-Turn Eterna w/ Spring Check (Standard)
- ☐ Push Button Metering
- ☐ Pivot Action Metering
- ☐ Wrist Action Metering



PRODUCT SPECIFICATIONS

Elkay Lustertone™ Classic Stainless Steel 33" x 22" x 8-1/8", Equal Double Bowl Drop-in Sink with Quick-clip. Sink is manufactured from 18 gauge 304 Stainless Steel with a Lustrous Satin finish, Center drain placement, and Sides and Bottom pads.

Installation Type:	Drop-in
Material:	304 Stainless Steel
Special Features:	Quick-Clip Mounting System
Finish:	Lustrous Satin
Gauge:	18
Sound Deadening:	Sides and Bottom pads
Number of Bowls:	2
Sink Dimensions:	33" x 22" x 8-1/8"
Bowl 1 Dimensions:	13-1/2" x 16" x 7-3/4"
Bowl 2 Dimensions:	13-1/2" x 16" x 7-3/4"
Drain Size:	3-1/2" (89mm)
Drain Location:	Center
Minimum Cabinet Size:	36"
Mounting Hardware:	Included for 3/4" (19mm) countertop
Cutout Template #:	1000001189

Template is available for download at [elkay.com](#). CAD software will be required to open the template.

Cutout Dimensions for Drop-in Installation:

32-3/8" x 21-3/8" (822mm x 543mm) with 1-1/2" (38mm) corner radius

Custom Options	
<input type="checkbox"/> Type 316 Stainless Steel	
Drain Location	
<input type="checkbox"/> Right Rear	<input type="checkbox"/> Left Rear
<input type="checkbox"/> Center	<input type="checkbox"/> Center Rear
Overflow Location	
<input type="checkbox"/> Front	<input type="checkbox"/> Rear
Alternate Punching	
<input type="checkbox"/> Faucet Model:	<input type="checkbox"/> Punch Required:
Sink Size	
<input type="checkbox"/> Bowl Depth:	<input type="checkbox"/> Drainboard Width:

*Options available if applicable



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Product Compliance: ASME A112.19.3/CSA B45.4
BUY AMERICAN ACT



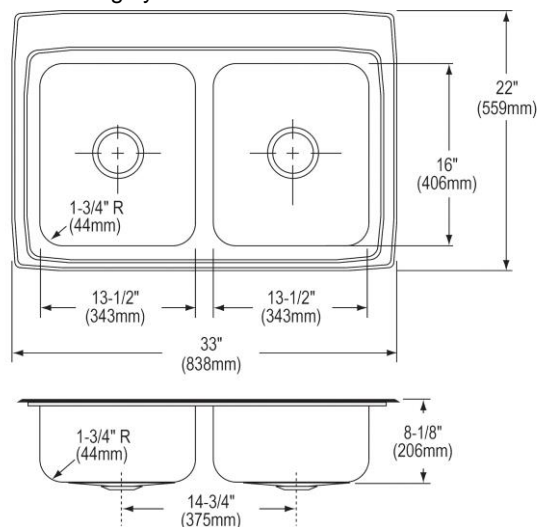
Sinks are listed by IAPMO® as meeting the applicable requirements of the Uniform Plumbing Code®, International Plumbing Code®, and National Plumbing Code of Canada.

[Clean and Care Manual \(PDF\)](#)

[Installation Instructions \(PDF\)](#)

[Warranty \(PDF\)](#)

Similar models are available with: extra deep bowls, U Channel mounting system



PART: _____ QTY: _____

PROJECT: _____

CONTACT: _____

DATE: _____

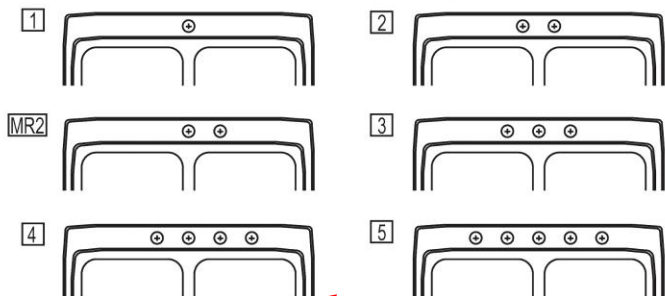
NOTES: _____

APPROVAL: _____

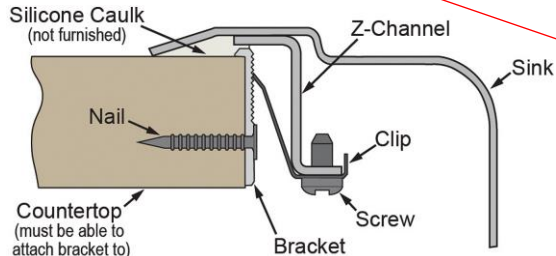
In keeping with our policy of continuing product improvement, Elkay reserves the right to change product specifications without notice. Please visit [elkay.com](#) for the most current version of Elkay product specification sheets. This specification describes an Elkay product with design, quality, and functional benefits to the user. When making a comparison of other producers' offerings, be certain these features are not overlooked.

Hole Drilling Configurations:

1-1/2" (38mm) Diameter Faucet Holes on 4" (102mm) Centers



Installation Profile:



OPTIONAL ACCESSORIES

Bottom Grid:	LKWBG1316SS
Cutting Board:	CB1613, CB1713, CBS1316
Drain:	LK99
Faucet:	LKGT1041CR, LKGT1041NK, LKGT1041RB
Rinsing Basket:	LKWRB1316SS, LKWERBSS
Soap Dispenser:	LKGT1054

In keeping with our policy of continuing product improvement, Elkay reserves the right to change product specifications without notice. Please visit elkay.com for the most current version of Elkay product specification sheets. This specification describes an Elkay product with design, quality, and functional benefits to the user. When making a comparison of other producers' offerings, be certain these features are not overlooked.

PRODUCT SPECIFICATIONS

Elkay 3-1/2" Drain Fitting Type 304 Stainless Steel Body, Strainer Basket and Tailpiece. Overall dimensions are 4-7/16" x 4-7/16" x 7-5/16". Made of Stainless Steel.

Material:	Stainless Steel
Finish:	Polished Stainless Steel
Dimensions:	4-7/16" x 4-7/16" x 7-5/16"
Shipping Weight:	1 lbs.

Special Note: Replacement strainer basket 72002160: \$10.00

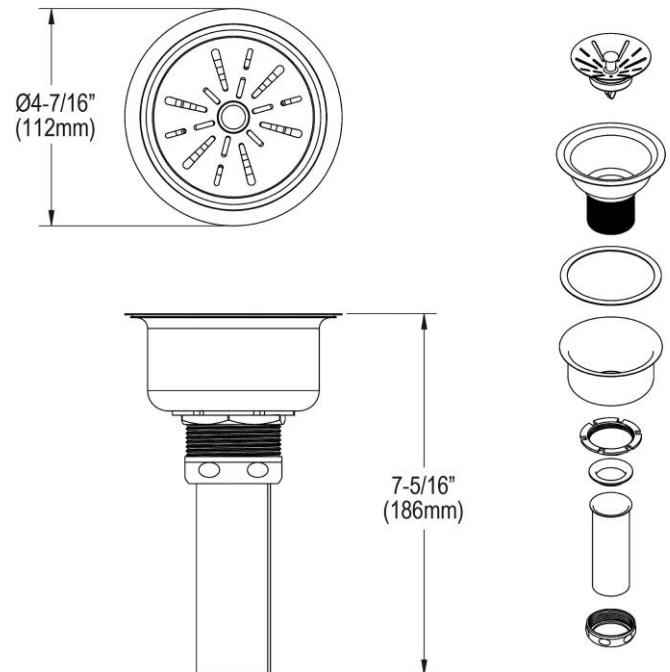
- Designed to fit 3-1/2" (89mm) drain opening with an overall flange size of 4-1/2" (114mm).
- 1-1/2" O.D. x 4" chrome plated brass tailpiece.
- Strainer Basket with Metal Stem and Rubber Seal.
- Type 304 stainless steel body.
- Polished finish.



AMERICAN PRIDE. A LIFETIME TRADITION.
Like your family, the Elkay family has values and traditions that endure. For almost a century, Elkay has been a family-owned and operated company, providing thousands of jobs that support our families and communities.

Product Compliance: ASME A112.18.2/CSA B125.2

[Clean and Care Manual \(PDF\)](#)
[Installation Instructions \(PDF\)](#)



PART: _____ QTY: _____

PROJECT: _____

CONTACT: _____

DATE: _____

NOTES: _____

APPROVAL: _____

In keeping with our policy of continuing product improvement, Elkay reserves the right to change product specifications without notice. Please visit elkay.com for the most current version of Elkay product specification sheets. This specification describes an Elkay product with design, quality, and functional benefits to the user. When making a comparison of other producers' offerings, be certain these features are not overlooked.



Single Lever Faucets

B-2730-WS

KITCHEN SINK

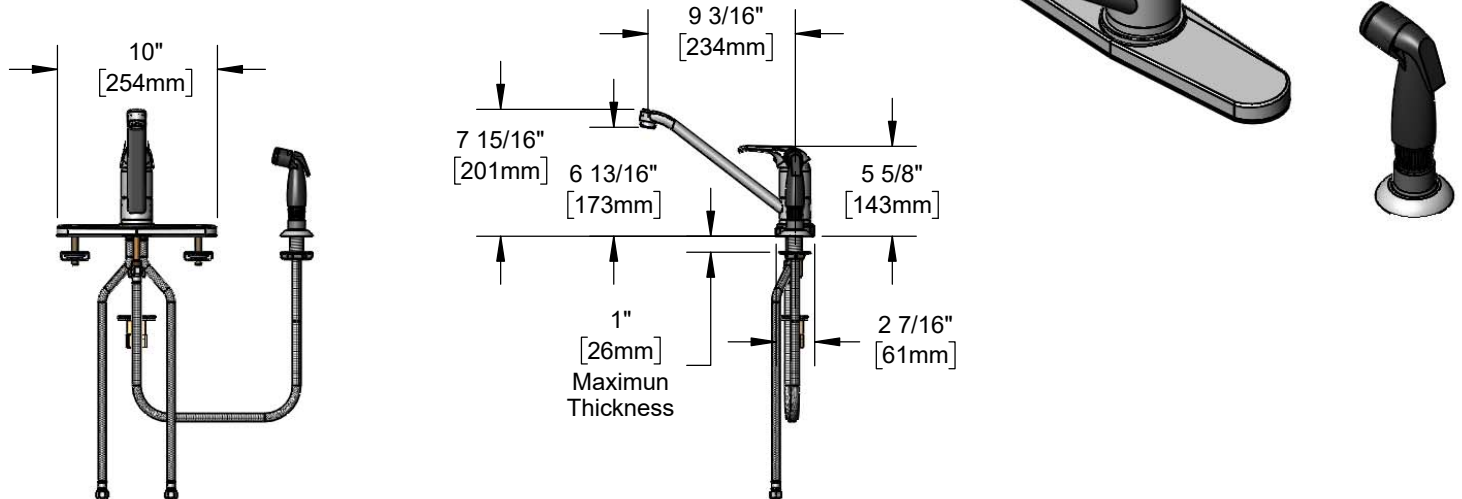
TAG:

Single Lever Mixing Faucet

Architect/Engineering Specifications:

Deck mounted single lever faucet with 10" deck plate, polished chrome plated brass body with polished chrome plated deck plate cover, 9" swivel spout, 1.5 GPM aerator, ceramic cartridge with adjustable temperature limit stop, single lever handle and 16" flexible stainless steel supply hoses with 3/8" O.D. compression connections, 4' sidespray with hose guide. Certified to ASME A112.18.1/CSA B125.1, NSF 61-Section 9, NSF 372 and EPA WaterSense. Meets ADA ANSI/ICC A117.1.

Job Name _____
 Model Specified _____ Quantity _____
 Variations Specified _____
 Date _____



Features & Benefits:

- Deck mount single lever faucet with polished chrome plated brass body
- Polished chrome plated brass 10" deck plate cover (fits 8" hole centers)
- 9" swivel spout
- 1.5 GPM aerator, Series 4 (B-0199-04-WS)
- Ceramic cartridge w/ adjustable temperature limit stop
- Single lever handle w/ color coded index
- 16" flexible stainless steel supply hoses with 3/8" O.D. compression connections
- 4' sidespray w/ hose guide
- Material: Polished chrome plated brass body and spout, polished chrome plated metal deck plate cover, chrome plated metal handle and stainless steel braided hoses

Product Compliance:

- ASME A112.18.1 / CSA B125.1
- NSF 61 - Section 9
- NSF 372 (Low Lead Content)
- ANSI A117.1 (ADA)
- EPA WaterSense



Warranty: One Year (Limited)

- Ceramic Cartridge: Two Year (Limited)



ADA Compliant

Performance Data:

- Pressure: 20 - 125 psi
- Temperature: 40°F - 140°F
- Flow Rate:
 Faucet: 1.5 GPM @ 60 psi
 Sidespray: 2.2 GPM @ 60 psi



Optional Outlets (Series 4 / VR Series 9)

GPM	Aerated	Non-Aerated (Laminar)	VR Aerated	VR Non-Aerated (VR Laminar)
0.35	N/A	<input type="checkbox"/> B-0199-04-N035	N/A	<input type="checkbox"/> B-0199-09-N035
0.5	N/A	<input type="checkbox"/> B-0199-04-N05	N/A	<input type="checkbox"/> B-0199-09-N05
1.0	N/A	N/A	N/A	<input type="checkbox"/> B-0199-09-LF10
1.5	Standard	N/A	<input type="checkbox"/> B-0199-09-WS	<input type="checkbox"/> B-0199-09-LF15
2.2	<input type="checkbox"/> B-0199-04	<input type="checkbox"/> B-0199-25	<input type="checkbox"/> B-0199-09	<input type="checkbox"/> B-0199-27



T&S BRASS AND BRONZE WORKS, INC.



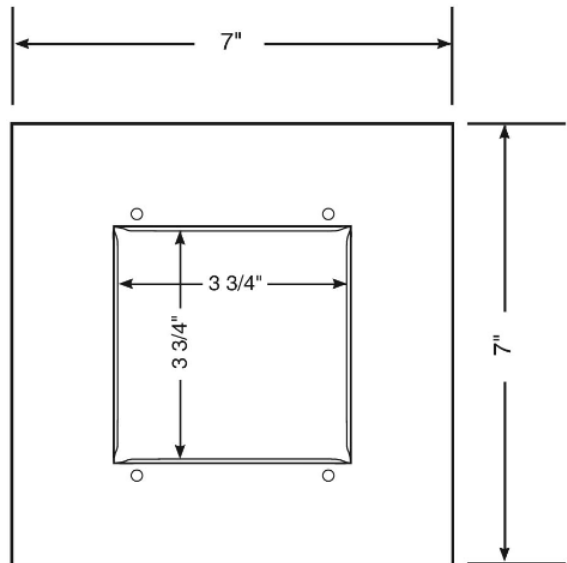
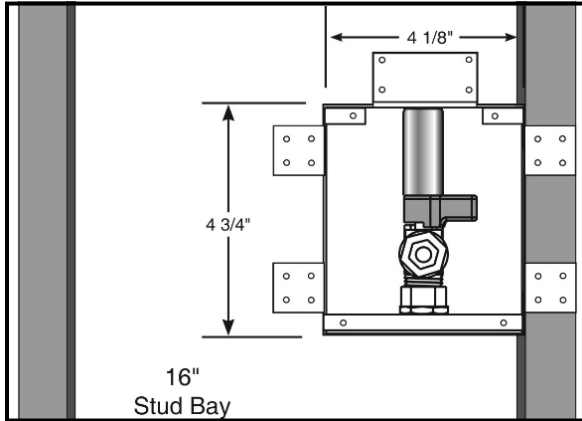
• 2 Saddleback Cove • Travelers Rest, SC 29690
 Ph 800-476-4103 • Fax 864-834-3518
 • Simi Valley, CA • Ph 800-423-0150 • www.tsbrass.com

Date: 10/31/19



White Powder Coated Ice Maker Outlet Box

With Lead Free Hammer Arrester Valves



SPECIFICATION

Furnish and install recessed, white powder coated ice maker outlet box. Ice maker outlet box shall have a brass plated, quarter turn hammer arrester valve meeting Lead-Free requirements NSF61-NSF/ANSI 372. Valve shall feature either Mylar® tag and AB1953 stamping or white handle and check-mark logo for easy Lead-Free identification. Unit shall be Guy Gray™ product code checked below as manufactured by IPS Corporation.

NOTE:
WATER SUPPLY BOX FOR
PANTRY REFRIGERATORS
WITH ICE MAKERS

Product Code #	Model Number	Product Description	Units/Case
88531	MIB1HAAB	Brass Qtr Turn Hammer Arrester Valve, Installed, 1/2" Sweat Conx.	5
88533	MIB2HAAB	Brass Qtr Turn Hammer Arrester Valve, Installed, 1/2" CPVC Conx.	5

IPS
CORPORATION

www.ipscorp.com watertite@ipscorp.com

500 Distribution Parkway, Collierville, TN 38017, USA ■ TEL: 901-853-5001 ■ WATS: 800-888-8312 ■ FAX: 901-853-5008



ADDENDUM NO. 4

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

Tuesday, October 6, 2020

TO ALL BIDDERS:

Please incorporate the following information/clarifications, changes, additions, and/or deletions into the specification packet for the above-referenced project.

- 1. ADDITION/DELETION:** ADD the attached new page 18b to the Schedule of Bid Pricing under Part I Bidding Requirements.

DELETE: The previously supplied page 18a that was issued with as part of Addendum No. 3.

REASON: The new final page of the Schedule of Bid Pricing (page 18b) has been modified to include a specific dollar amount allowance for the direct pass through costs for permit fees and special inspections.

- 2. CLARIFICATION:** As stated during the mandatory pre-bid conference held on September 22, 2020, all temporary construction fencing shall be erected utilizing staked (ground penetrating) fence posts and not surface fence posts secured by sandbags or other methods. All construction fencing shall include mesh screening

- 3. REQUEST FOR INFORMATION:** At the end of the Schedule of Bid Prices form, the following questions are listed. What does the City require proposers to submit or attest to, in response to these questions?

SAFETY DATA SHEETS ENCLOSED? YES_____ NO_____

SPECIFICATION SHEETS/BROCHURES? YES_____ NO_____

RESPONSE: This language is part of our standard bid template and may be more applicable for bids for commodities and/or bids where equivalent or equal products to what is specified are being accepted by the City and offered by the bidder. Any bidder that possesses Safety Data Sheets of Specification Sheets/Brochures that need to be submitted along with their bid should check "YES" and provide the appropriate information. If there is no need to submit such information, then check "NO".

- 4. REQUEST FOR INFORMATION:** Finish schedule for Corridor 112 indicates wall tile. Wall type 5 does not indicate wall tile and there are no elevations pertaining to this corridor. If these walls receive tile, please provide elevations.

RESPONSE: There is p1 and p3 paint only in the corridor.

- 5. REQUEST FOR INFORMATION:** Will electronic bid bonds be acceptable to be submitted with our bid package? Please see the note below from our bonding agency.

"The requested bid bond for the above-referenced has been approved. Attached please find the said bid bond. Please be advised, due to the COVID19 pandemic and the Shelter-in-Place requirements, the surety has provided an e-seal we can use in place of the raised seal so we could issue bonds, consents, change orders, etc. electronically. Therefore, the attached electronic bond meets the legal standards for the wet signature and raised seal requirements. As long as the obligee accepts this electronic bid bond as an original it will be equally binding and enforceable. Furthermore, the obligee can also call the phone number on the attached power of attorney to confirm its validity."

RESPONSE: As long as bidders present a printed copy of a legally binding bid bond from a proper surety with their original bid document it will be acceptable. **This applies to the bid bond only and not to the actual bid document which still is required to be an original.**

This addendum consists of one four (4) pages.

There are no other changes to the bid document at this time aside from clarifications and information provided herein. The bid opening and submission deadline date, and time remain unchanged. As a reminder, due to COVID-19 concerns, the public bid opening will take place outside of the main entry doors of the Margate City Hall which is the bid submission location. Interested parties are welcome to be present and asked to wear a mask.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Please sign and return the acknowledgment page of this addendum by email or by fax. The original acknowledgement page is to be included with your qualifications submission.

ACKNOWLEDGEMENT FORM

ADDENDUM NO. 4

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

I acknowledge receipt of Addendum No. 4 for Bid No. 2020-014. This addendum contains four (4) pages. Please include the original of this form in your qualifications submission.

Company Name: _____

Address: _____

Name of Signer _____
(please print)

Signature: _____ Date: _____

Telephone: _____ Facsimile: _____

Please fax your completed form to (954) 935-5258 or e-mail to purchase@margatefl.com.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Tuesday, October 6, 2020

NOTE: The original of this form must be included with your qualifications submission.

Item	Description of Item	UOM	Qty	Price
17	Relocation – Existing Emergency Vehicle Signal Controller Provide labor, equipment, and materials to relocate the existing emergency vehicle signal controller as per plans details, contract documents, and specifications. (Note: Per Addendum No. 1)	LS	1	
	Base Bid Grand Total (Items 1 thru 17):			

Note: City permit fees shall not be waived and should be included in your bid proposal.

***PERMIT FEES (ALLOWANCE) DIRECT PASS THROUGH.....\$ 135,000.00** _____

*110,000 for City permit fees and \$25,000 for Special Inspection fees

CONTINGENCY (5% OF BASE BID).....\$ _____

COST OF INDEMNIFICATION\$ _____

GRAND TOTAL FOR ALL ITEMS \$ _____

Grand Total (Written in words)

ALL BIDS MUST BE SIGNED WITH THE VENDOR NAME AND BY AN OFFICER OR EMPLOYEE HAVING THE AUTHORITY TO BIND THE COMPANY OR FIRM BY SIGNATURE.

SAFETY DATA SHEETS ENCLOSED? YES _____ **NO** _____

SPECIFICATION SHEETS/BROCHURES? YES _____ **NO** _____

WILL YOUR FIRM ACCEPT PAYMENT VIA A CITY OF MARGATE VISA CARD?

YES _____ **NO** _____

HAVE YOUR INSURANCE REPRESENTATIVE REVIEW THE SAMPLE INSURANCE CERTIFICATE TO ENSURE COMPLIANCE.

Name of CONTRACTOR (Please Print)

Signature

Title

Date



ADDENDUM NO. 5

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

Tuesday, October 6, 2020

TO ALL BIDDERS:

Please incorporate the following information/clarifications, changes, additions, and/or deletions into the specification packet for the above-referenced project.

- 1. ADDITION/DELETION: ADD** the new bid submission deadline and bid opening date and time of 2:30 p.m., Thursday, October 8, 2020 to the bid document.

DELETE: All bid document references to an 11:00 a.m., Wednesday, October 7, 2020 bid submission deadline and bid opening date and replace those references with the new information provided above.

REASON: The bid due date deadline and opening time was revised to allow potential bidders sufficient time to receive the clarifications that were provided by addenda during the final week of bidding and communicate same to their potential subcontractors.

This addendum consists of two (2) pages.

As a reminder, due to COVID-19 concerns, the public bid opening will take place outside of the main entry doors of the Margate City Hall which is the bid submission location. Interested parties are welcome to be present and asked to wear a mask.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Please sign and return the acknowledgment page of this addendum by email or by fax. The original acknowledgement page is to be included with your qualifications submission.

ACKNOWLEDGEMENT FORM

ADDENDUM NO. 5

BID NO. 2020-014

FIRE STATION NO. 58 – DEMOLITION AND NEW CONSTRUCTION

I acknowledge receipt of Addendum No. 5 for Bid No. 2020-014. This addendum contains two (2) pages. Please include the original of this form in your qualifications submission.

Company Name: _____

Address: _____

Name of Signer _____
(please print)

Signature: _____ Date: _____

Telephone: _____ Facsimile: _____

Please fax your completed form to (954) 935-5258 or e-mail to purchase@margatefl.com.

Spencer Shambray
Spencer Shambray, CPPB
Purchasing Manager

Tuesday, October 6, 2020

NOTE: The original of this form must be included with your qualifications submission.