

PRELIMINARY LAND DEVELOPMENT PLANS

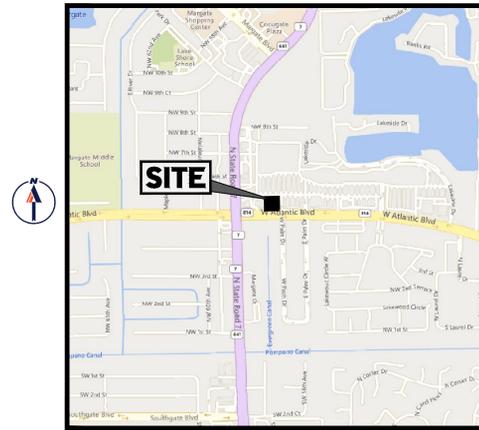
FOR CHIPOTLE - MARGATE

5555 W ATLANTIC BOULEVARD
MARGATE, FL 33063
PARCEL ID NUMBER: 484136060019

REFERENCES AND CONTACTS

- BOUNDARY & TOPOGRAPHIC SURVEY:**
 CAULFIELD & WHEELER, INC
 7900 GLADES ROAD
 SUITE 100
 BOCA RATON, FL 33434
 DATED: 5/4/2021
 PROJECT #: 9435
 ELEVATIONS: NAVD 1998
- ARCHITECTURAL PLAN:**
 FWH ARCHITECTS
 3338 GRAND BOULEVARD
 SUITE 201
 HOLIDAY, FL 34890
 PHONE: 727-815-3338
 DATE: 6/11/2021
- LANDSCAPE ARCHITECT:**
 SCOTT BARBER DESIGNS P.A.
 1051 WYNDCLIFF DRIVE
 WELLINGTON, FL 33414
- GOVERNING AGENCIES**
 - CITY OF MARGATE**
 PLANNING & ZONING
 901 NW 66TH AVENUE
 SUITE C
 MARGATE, FL 33063
 PHONE: 954-884-3684
 - SFWMD**
 3301 GUN CLUB ROAD
 WEST PALM BEACH, FL 33406
 PHONE: (561) 686-8800
 - UTILITIES**
 - WATER/SEWER**
 CITY OF MARGATE
 DEPARTMENT OF ENVIRONMENTAL & ENGINEERING SERVICES
 901 NW 66TH AVENUE
 SUITE A
 MARGATE, FL 33063
 PHONE: (904) 972-8828 ext. 210
 - CABLE**
 COMCAST
 RICARDO DAVIDSON
 PHONE: (786) 586-5805
 - TELEPHONE**
 AT&T
 DINO FARUGGIO
 PHONE: (561) 997-0240
 - GAS**
 TEDD PEOPLES GAS SOUTH FLORIDA
 JOAN DOMING
 PHONE: (813) 275-3783

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LOCATION MAP
SCALE: N.T.S.

DEVELOPER/OWNER
 FERBER CONSTRUCTION MANAGEMENT, LLC
 2655 NORTH OCEAN DRIVE
 SINGER ISLAND, FL SUITE 401
 JEFF ZITO
 (561) 625-9125

PREPARED BY

BOHLER //

CONTACT:

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X	X	TRUCK TURN PLAN C-302
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X	X	PAVING, GRADING AND DRAINAGE PLAN C-401
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SIGNATURE DATE

SIGNATURE DATE SIGNATURE DATE

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PROJECT # _____

REVISION DATE: _____

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SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



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PROJECT No.: FLB200099
 DRAWN BY: REM
 CHECKED BY: MEK
 DATE: 6/11/2021
 CAD ID: CNDS

PROP. SITE PLAN DOCUMENTS FOR



CHIPOTLE - MARGATE
 5555 W ATLANTIC BOULEVARD
 MARGATE, FL 33063

BOHLER //

1900 NW CORPORATE BOULEVARD
 SUITE 101E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0280
 Fax: (561) 571-0281
 FLORIDA BUSINESS CERT. OF AUTH. No. 30780

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COVER SHEET

SHEET NUMBER:
C-101

ORG. DATE - 6/11/2021

STANDARD DRAWING LEGEND

FOR ENTIRE PLAN SET

LIMIT OF WORK		—LOW—LOW—									
LIMIT OF DISTURBANCE		—LOD—LOD—									
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE									
---	ON-SITE PROPERTY LINE / R.O.W. LINE	---									
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---									
---	EASEMENT LINE	---									
---	SETBACK LINE	---									
<table border="1"> <tr> <td rowspan="4">CONCRETE CURB & GUTTER</td> <td>CURB AND GUTTER</td> <td></td> </tr> <tr> <td>SPLIT</td> <td></td> </tr> <tr> <td>TRANSITION</td> <td></td> </tr> <tr> <td>DEPRESSED CURB AND GUTTER</td> <td></td> </tr> </table>			CONCRETE CURB & GUTTER	CURB AND GUTTER		SPLIT		TRANSITION		DEPRESSED CURB AND GUTTER	
CONCRETE CURB & GUTTER	CURB AND GUTTER										
	SPLIT										
	TRANSITION										
	DEPRESSED CURB AND GUTTER										
	UTILITY POLE WITH LIGHT										
	POLE LIGHT										
	TRAFFIC LIGHT										
	UTILITY POLE										
	TYPICAL LIGHT										
	ACORN LIGHT										
	TYPICAL SIGN										
	PARKING COUNTS										
<table border="1"> <tr> <td>---</td> <td>CONTOUR LINE</td> <td>---</td> </tr> <tr> <td>---</td> <td>SPOT ELEVATIONS</td> <td>---</td> </tr> </table>			---	CONTOUR LINE	---	---	SPOT ELEVATIONS	---			
---	CONTOUR LINE	---									
---	SPOT ELEVATIONS	---									
	SANITARY LABEL										
	STORM LABEL										
SL	SANITARY SEWER LATERAL	SL									
W	UNDERGROUND WATER LINE	W									
E	UNDERGROUND ELECTRIC LINE	E									
G	UNDERGROUND GAS LINE	G									
OH	OVERHEAD WIRE	OH									
T	UNDERGROUND TELEPHONE LINE	T									
C	UNDERGROUND CABLE LINE	C									
S	STORM SEWER	S									
S	SANITARY SEWER MAIN	S									
	HYDRANT										
	SANITARY MANHOLE										
	STORM MANHOLE										
	WATER METER										
	WATER VALVE										
	GAS VALVE										
	GAS METER										
	TYPICAL END SECTION										
	HEADWALL OR ENDWALL										
	GRATE INLET										
	CURB INLET										
	CLEAN OUT										
	ELECTRIC MANHOLE										
	TELEPHONE MANHOLE										
	ELECTRIC BOX										
	ELECTRIC PEDESTAL										
	MONITORING WELL										
	TEST PIT										
	BENCHMARK										
	BORING										

STANDARD ABBREVIATIONS

FOR ENTIRE PLAN SET

AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLDG	BUILDING
BM	BUILDING BENCHMARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR (AT DOOR)
GH	GRADE HIGHER SIDE OF WALL
GL	GRADE LOWER SIDE OF WALL
GR	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
IP	INLET PROTECTION
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
L/S	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PA	POINT OF ANALYSIS
PC	POINT CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RET WALL	RETAINING WALL
RAW	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
SW	SIDEWALK
T	TRANSFORMER
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TELE	TELEPHONE
TPF	TREE PROTECTION FENCE
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
W	WIDE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

GRADING LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	CONTOUR LINE	---
---	SPOT ELEVATIONS	---
	SANITARY LABEL	
	STORM LABEL	
	STORM SEWER	
	STORM MANHOLE	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	MONITORING WELL	
	BORING	
	BENCHMARK	
	TEST PIT	

UTILITY LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	SANITARY LABEL	
	STORM LABEL	
SL	SANITARY SEWER LATERAL	SL
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
G	UNDERGROUND GAS LINE	G
OH	OVERHEAD WIRE	OH
T	UNDERGROUND TELEPHONE LINE	T
C	UNDERGROUND CABLE LINE	C
S	STORM SEWER	S
S	SANITARY SEWER MAIN	S
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	WATER METER	
	WATER VALVE	
	GAS VALVE	
	GAS METER	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	CLEAN OUT	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	ELECTRIC BOX	
	ELECTRIC PEDESTAL	
	MONITORING WELL	
	TEST PIT	

PROPOSED EASEMENT LEGEND

	COMMON SHARED
	INGRESS-EGRESS
	PUBLIC ACCESS
	PUBLIC UTILITY
	SANITARY SEWER
	SIGHT DISTANCE
	STORM DRAIN
	VARIABLE WIDTHS
	WATER

DEMOLITION / REMOVAL LEGEND

DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT
---	EASEMENT LINE
---	CONCRETE CURB & GUTTER
---	UTILITY POLE WITH LIGHT
---	POLE LIGHT
---	TRAFFIC LIGHT
---	UTILITY POLE
---	TYPICAL LIGHT
---	ACORN LIGHT
---	TYPICAL SIGN
---	PARKING COUNTS
---	SPOT ELEVATIONS
	SANITARY LABEL
	STORM LABEL
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C	UNDERGROUND CABLE LINE
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S	SANITARY SEWER MAIN
	HYDRANT
	SANITARY MANHOLE
	STORM MANHOLE
	WATER METER
	WATER VALVE
	GAS VALVE
	GAS METER
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	HEADWALL OR ENDWALL
	YARD INLET
	CURB INLET
	CLEAN OUT
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	ELECTRIC BOX
	ELECTRIC PEDESTAL
	MONITORING WELL
	TEST PIT

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PROJECT No.:	FLB200099
DRAWN BY:	REM
CHECKED BY:	MEK
DATE:	6/11/2021
CAD ID:	CNDS

PROJECT:

PROP. SITE PLAN DOCUMENTS
 FOR

 CHIPOTLE - MARGATE
 5555 W ATLANTIC BOULEVARD
 MARGATE, FL 33063

BOHLER
 1900 NW CORPORATE BOULEVARD
 SUITE 101E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0280
 Fax: (561) 571-0281
 FLORIDA BUSINESS CERT. OF AUTH. No. 30780

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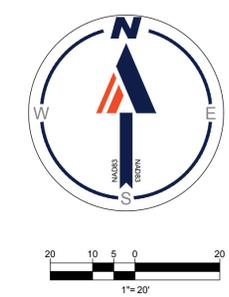
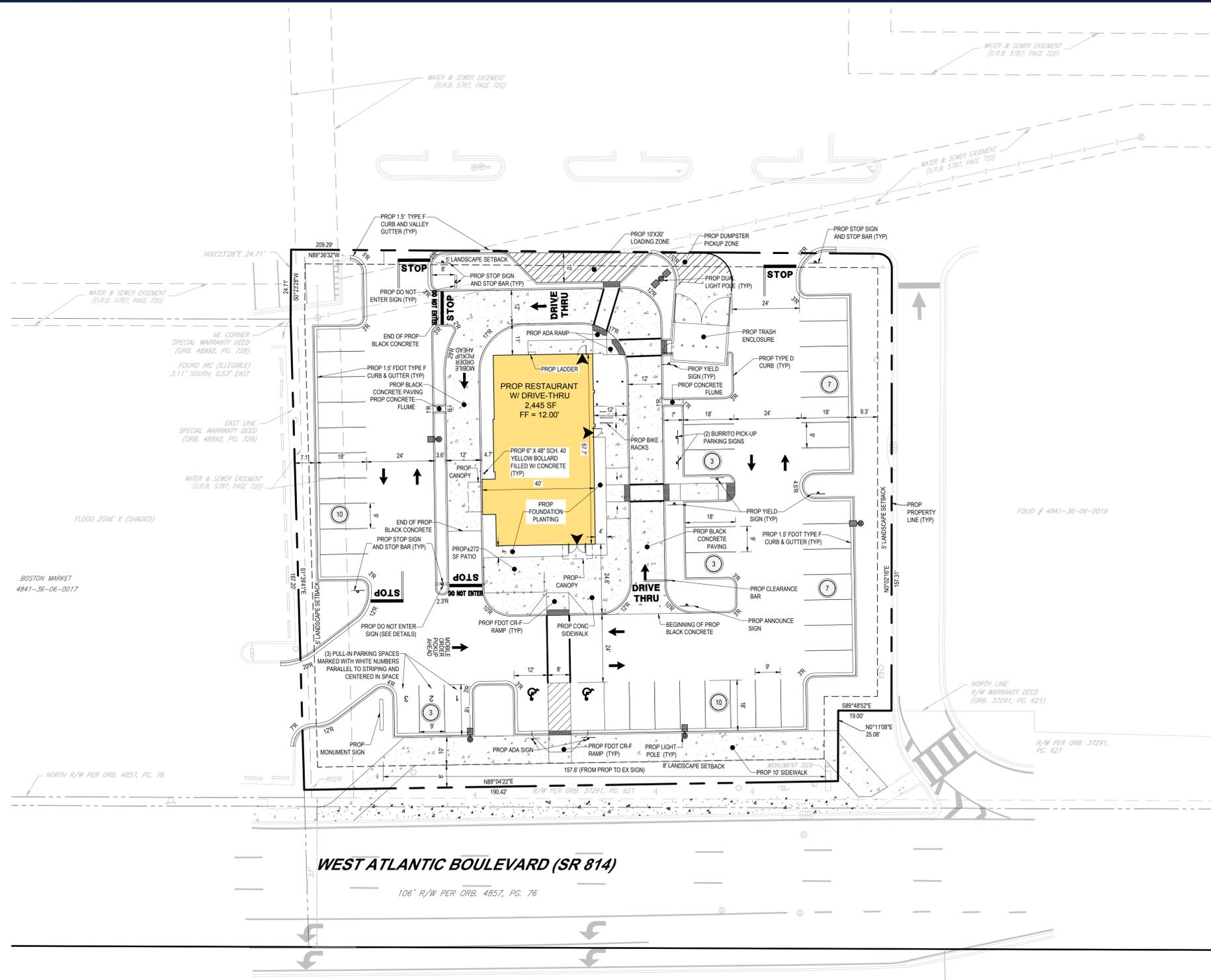
SHEET TITLE:

GENERAL LEGENDS

SHEET NUMBER:

C-103

ORG. DATE - 6/11/2021



SITE DATA TABLE			
JURISDICTION	CITY OF MARGATE		
TOTAL LOT AREA	39,726 SF OR 0.91 AC (100%)		
TOTAL IMPERVIOUS AREA	31,347 SF OR 0.72 AC (79.0%)		
BUILDING AREA	2,445 SF OR 0.06 AC (6.2%)		
TOTAL PERVIOUS AREA	8,382 SF OR 0.19 AC (21.0%)		
VEHICULAR USE AREA	21,316 SF OR 0.49 AC (55.5%)		
FLOOR AREA	6.20%		
LOT COVERAGE	6.20%		
CURRENT ZONING	TOC - C. TRANSIT-ORIENTED CORRIDOR - CORRIDOR		
PROPOSED ZONING	TOC - C. TRANSIT-ORIENTED CORRIDOR - CORRIDOR		
BUILDING SETBACK	REQUIRED	PROVIDED	
FRONT SETBACK (SOUTH)	18'	±85.4'	
REAR SETBACK (NORTH)	0'	±37.0'	
SIDE SETBACK (EAST)	0'	±106.6'	
SIDE SETBACK (WEST)	0'	±66.6'	
LANDSCAPE BUFFER			
REAR (NORTH)	5'	5'	
R/W (SOUTH)	18' (8' LANDSCAPE + 10' SIDEWALK)	18'	
SIDE (EAST/WEST)	5'	5'	
PARKING	PARKING CREDIT	PARKING REQUIRED	PARKING PROVIDED
CHIPOTLE MEXICAN GRILL (1 SPACE PER 30 S.F. OF CUSTOMER SERVICE FLOOR AREA)	(2 PERCENT OR 3 SPACE MIN. CREDIT WITHIN 400 FT OF BROWARD COUNTY TRANSIT STOP) = 3 SPACES	(1,200 SF SERVICE AREA X 1 SPACE PER 30 S.F.) = 3 SPACE CREDIT = 3 SPACES	43 SPACES
ADA PARKING		2	2

NOTE: ALL PARKING STALLS ARE 9' WIDE X 10' DEEP (12' X 18' FOR ADA)

SITE NOTES:

- ALL DIMENSIONS ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
- ALL RADII DIMENSIONS ARE 3' TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION, AND PALM BEACH COUNTY LAND DEVELOPMENT CODE.
- FREE STANDING SIGNAGE SHOWN ONLY FOR REPRESENTATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY.
- PROPOSED DUMPSTER ENCLOSURE WILL HAVE A COMPATIBLE FINISH AND COLOR WITH THE RESPECTIVE STRUCTURE.
- ALL IMPACTED RIGHT-OF-WAY AREAS SHALL BE SODDED.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED VIA PARAPET WALLS SO AS NOT TO BE VISIBLE FROM GROUND LEVEL.
- THERE SHALL BE NO OUTSIDE STORAGE OF MATERIAL OR EQUIPMENT WITH THE EXCEPTION OF DINING APPARATUS-TABLES, CHAIRS, UMBRELLA AND BENCHES.
- THE AMOUNT OF EXTERIOR LIGHTING SHALL BE REDUCED TO 0.00 FOOTCANDLE READINGS AT THE PROPERTY LINE.
- PLEASE SEE C-501 UTILITY PLAN FOR PROPOSED UTILITIES WHICH ARE NOT SHOWN ON THIS SHEET FOR CLARITY.
- ALL PAVEMENT MARKINGS TO BE INSTALLED WITH SLIP RESISTANT PAINT.
- SIDEWALK CURBING ALONG STORE FRONT FRONTAGE TO BE TRAFFIC YELLOW.
- TANK MUST NOT BE LOCATED WITHIN 500FT OF A MUNICIPAL WELL SOURCE AND/OR WITHIN 100FT OF A RESIDENTIAL WELL SOURCE

ADA ACCESSIBILITY NOTES:

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE ROW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.

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 SITE CIVIL AND CONSULTING ENGINEERING
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PROJECT No.: FLB200099
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 DATE: 6/11/2021
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PROP. SITE PLAN DOCUMENTS

FOR

FERBER

CHIPOTLE - MARGATE
 5555 W ATLANTIC BOULEVARD
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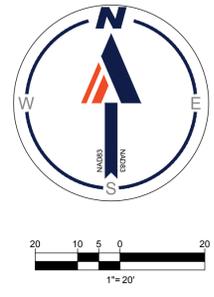
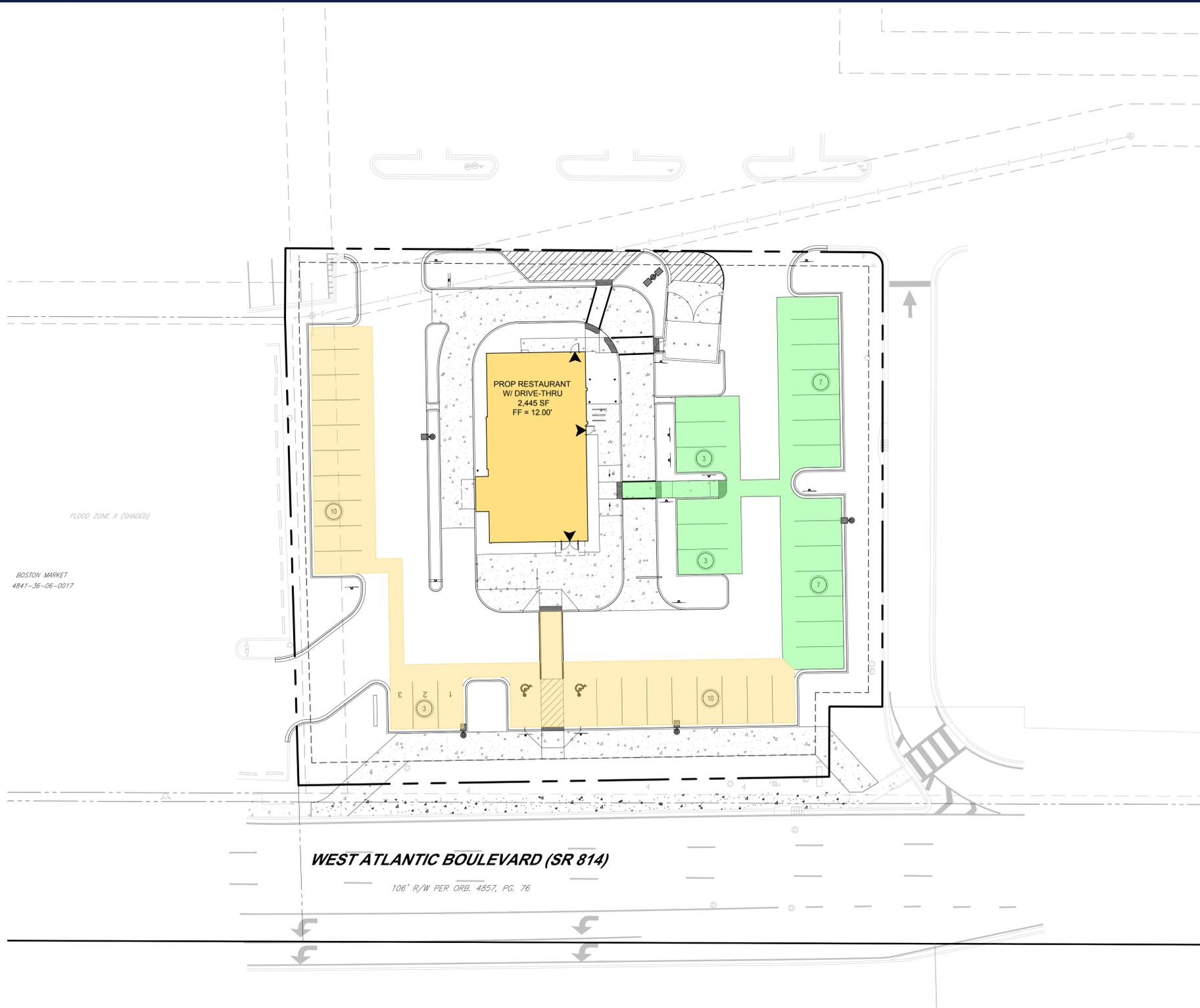
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SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-301

ORG. DATE - 6/11/2021



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 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
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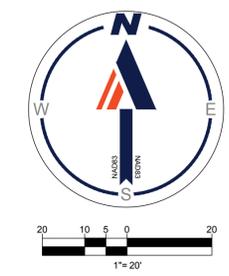
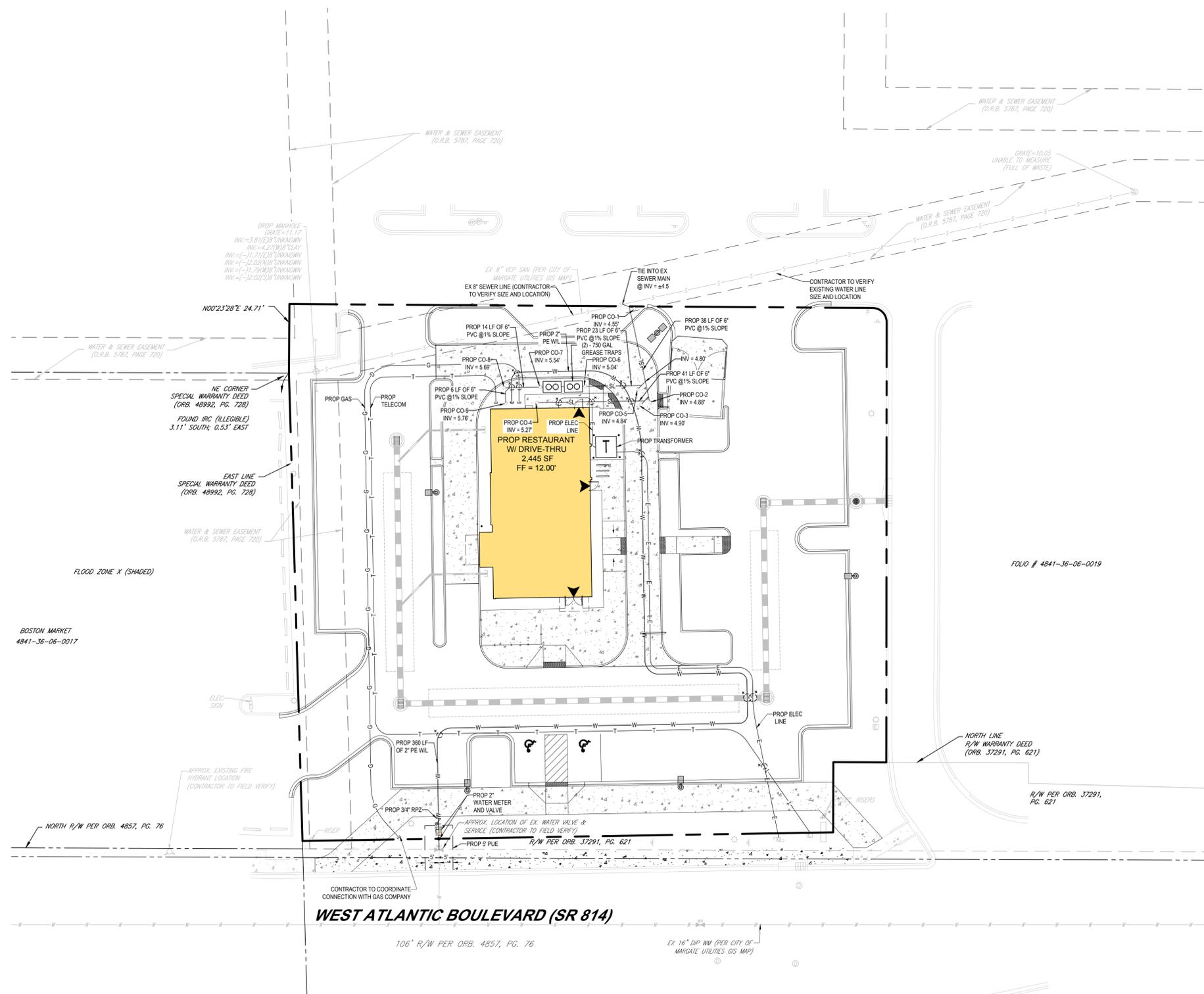
SHEET TITLE:
PEDESTRIAN ACCESS PLAN

SHEET NUMBER:
C-303

ORG. DATE - 6/11/2021

ADA ACCESSIBILITY NOTES:

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE ROW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.



WATER DISTRIBUTION NOTES:

- CONTRACTOR SHALL FOLLOW GUIDELINES AND PROCEDURES OUTLINED BY UTILITY PROVIDER, AND HAVE UTILITY PROVIDER'S MANUAL ON-SITE AT ALL TIMES. THIS POLICY MANUAL SHALL BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS AS IT PERTAINS TO APPROVED MATERIALS, INSTALLATION METHODS, INSPECTION NOTIFICATION AND AS-BUILT PROJECT CLOSEOUT REQUIREMENTS.

UTILITY CROSSING NOTE:

- UTILITY CROSSINGS MARKED WITH "X" SHALL MAINTAIN 12" VERTICAL CLEARANCE UNLESS OTHERWISE NOTED.

SANITARY SEWER NOTES:

- GENERAL:
 - DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURES.
 - PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR TO TELEVIEW EXISTING SANITARY SEWER LINE FROM POINT OF CONNECTION THROUGH THE NEXT SEQUENTIAL DOWNSTREAM RUN OF PIPE. ADDITIONALLY, PRIOR TO COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL TELEVIEW THE NEWLY INSTALLED SANITARY SEWER MAIN TO ENSURE NO DIPS OR DEBRIS WITHIN LINE.
- MATERIALS:
 - ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26 WITH PUSH-ON RUBBER GASKET JOINTS.
 - ALL FITTINGS SHALL BE SDR 35 AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.
 - ALL SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE A LID THAT IS H20 LOADING.
- INSTALLATION:
 - PIPE AND FITTINGS:
 - SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UNI-BELL PLASTICS PIPE ASSOCIATION'S RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE.
 - BEDDING AND INITIAL BACKFILL (12 INCHES) OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.
 - CLEANOUTS:
 - CLEANOUTS SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM CLEAN SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE.
 - ALL OPENINGS AND JOINTS SHALL BE SEALED WATER-TIGHT.
 - SERVICE:
 - MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE 1.00%.
 - EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.
 - CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
- TESTING:
 - AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
 - AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.
 - SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED.
 - CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO THE CERTIFICATION TO ANY AGENCY.
 - GENERAL CONTRACTOR SHALL EMPLOY AN INDEPENDENT INSPECTOR FOR 100% CONTINUOUS INSPECTION OF THE BEDDING AND BACKFILL OPERATION. COMPACTION TESTS SHALL BE TAKEN AT THE BOTTOM OF TRENCH AND AT EACH LIFT OF BACKFILL.
 - GENERAL CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR ASOBSULT TOP OF PIPE ELEVATIONS TAKEN WHEN BEDDING OPERATION IS 75% COMPLETE. THESE ELEVATIONS SHALL BE TAKEN AT POINTS OF CONNECTION, CHANGES IN DIRECTION AND AT MINIMUM 20' INTERVALS ALONG THE LENGTH OF THE PIPE. THESE ELEVATIONS SHALL BE RECORDED AS AS-BUILT DIMENSIONS ON SITE PLAN REVIEW BY PROJECT ENGINEER.
 - ALL SANITARY LINES ARE TO BE FLUSHED PRIOR TO CONTRACTOR TURNOVER OF THE FACILITY.

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 DRAWN BY: REM
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 CAD ID: UTIL

PROP. SITE PLAN DOCUMENTS

FOR

FERBER

CHIPOTLE - MARGATE
 5555 W ATLANTIC BOULEVARD
 MARGATE, FL 33063

BOHLER

1900 NW CORPORATE BOULEVARD
 SUITE 101E
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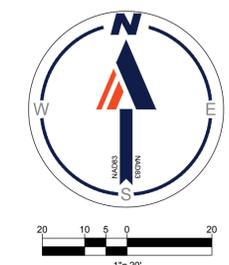
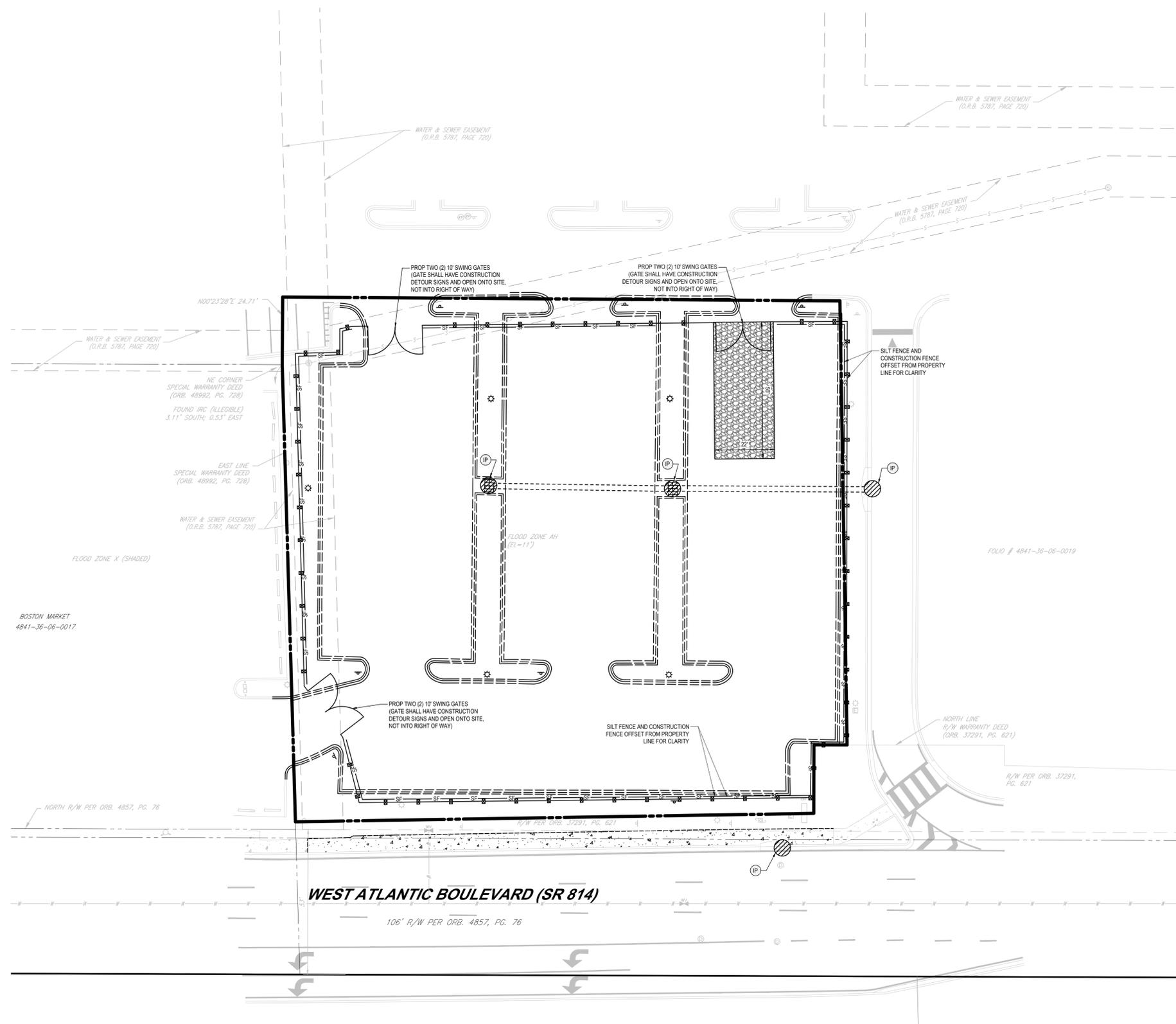
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SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-501

ORG. DATE - 6/11/2024

8/6/10, 2021
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POLLUTION PREVENTION NOTES:

1. EROSION AND SEDIMENT CONTROL BMP'S IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFF SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON SITE WETLANDS AND SURFACE WATERS. BMP'S SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. [THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.]
2. OFF SITE SURFACE WATER DISCHARGES, OR DISCHARGES TO ONSITE WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 29 Nephelometric Turbidity Units (NTU's) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO WATER RESOURCES WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
3. THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296.320(4)(C)1, F.A.C., BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.
4. FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO WATER RESOURCES. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.
5. IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND WATER RESOURCES SHALL BE CONTACTED.
6. PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.
7. NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM:
 - A. NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(a), F.A.C.
 - B. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-621.300(4)(A) PART III.C.2, F.A.C.
 - C. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO WATER RESOURCES IN ACCORDANCE WITH RULE 62-621.300(4)(a)PART III.D.1, F.A.C.
 - D. THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(a)PART V.D.6, F.A.C.
 - E. A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO COUNTY OR STATE INSPECTORS.
8. THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING, TO SURFACE WATERS, OR ANY PORTION OF THE M54 WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP). PERMIT(S) SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING.

MAINTENANCE NOTES:

- N.P.D.E.S. PERMIT COMPLIANCE REQUIRES INSPECTIONS EVERY 7 CALENDAR DAYS BY A NPDES QUALIFIED INSPECTOR AND PERIODIC INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL EVENT OF 0.5 INCHES OR GREATER. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR ROUTINE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS FURTHER MAINTENANCE AS OUTLINED BELOW.
1. THROUGHOUT THE CONSTRUCTION PERIOD, ALL MUD/SILT TRACKED ONTO EXISTING FDOT ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
 2. CATCH BASIN INLET AND CONCRETE FLUME FILTERS SHALL BE MAINTAINED CLEAN AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. WEEKLY INSPECTIONS WILL BE PERFORMED EVERY 7 CALENDAR DAYS. IF A FILTER HAS HOLES OR IS INUNDATED WITH SEDIMENT, THE FILTER WILL REQUIRE REPLACEMENT.
 3. CONSTRUCTION ACCESS AND TRACKING MAT MUST BE MAINTAINED AS NECESSARY. REPLENISH CRUSHED AGGREGATE IF PRESENT LAYER IS FILLED WITH SEDIMENT, POOLING WATER OR HAS RUTS. A NEW LAYER MAY BE ADDED IF OLD LAYERS BECOME COMPACTED.
 4. SILT FENCE IS TO BE INSPECTED DAILY BY CONTRACTOR AND EVERY 7 CALENDAR DAYS BY NPDES QUALIFIED INSPECTOR. IF REPAIRS OR REPLACEMENT IS NECESSARY, IT SHALL BE PERFORMED IMMEDIATELY. THE SILT FENCE SHOULD BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE FENCE. CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. IT WOULD ALSO BE NECESSARY TO REINSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
 5. SEEDING OR RESEEDING MAY BE REQUIRED IMMEDIATELY TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
 6. REMOVE ANY VISIBLE SEDIMENT FROM THE POND BOTTOM TO KEEP THE BASIN DESIGNED INFILTRATION PERFORMANCE.
 7. THE CONTRACTOR SHALL CONTINUOUSLY ENSURE THAT THE PERIMETER OF THE SITE, INCLUDING CONSTRUCTION ENTRANCES, IS SECURED FROM ALLOWING DEBRIS TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RAINFALL EVENTS. A WEEKLY LOG SHALL BE UPDATED AND KEPT ON-SITE IN ACCORDANCE WITH THE NPDES PERMIT. BY BIDDING DOCUMENTS CONTRACTOR ACKNOWLEDGES HE/SHE IS AWARE OF NPDES GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBILITY FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.

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 CHECKED BY: MEK
 DATE: 6/11/2021
 CAD ID: EROS

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FERBER

CHIPOTLE - MARGATE
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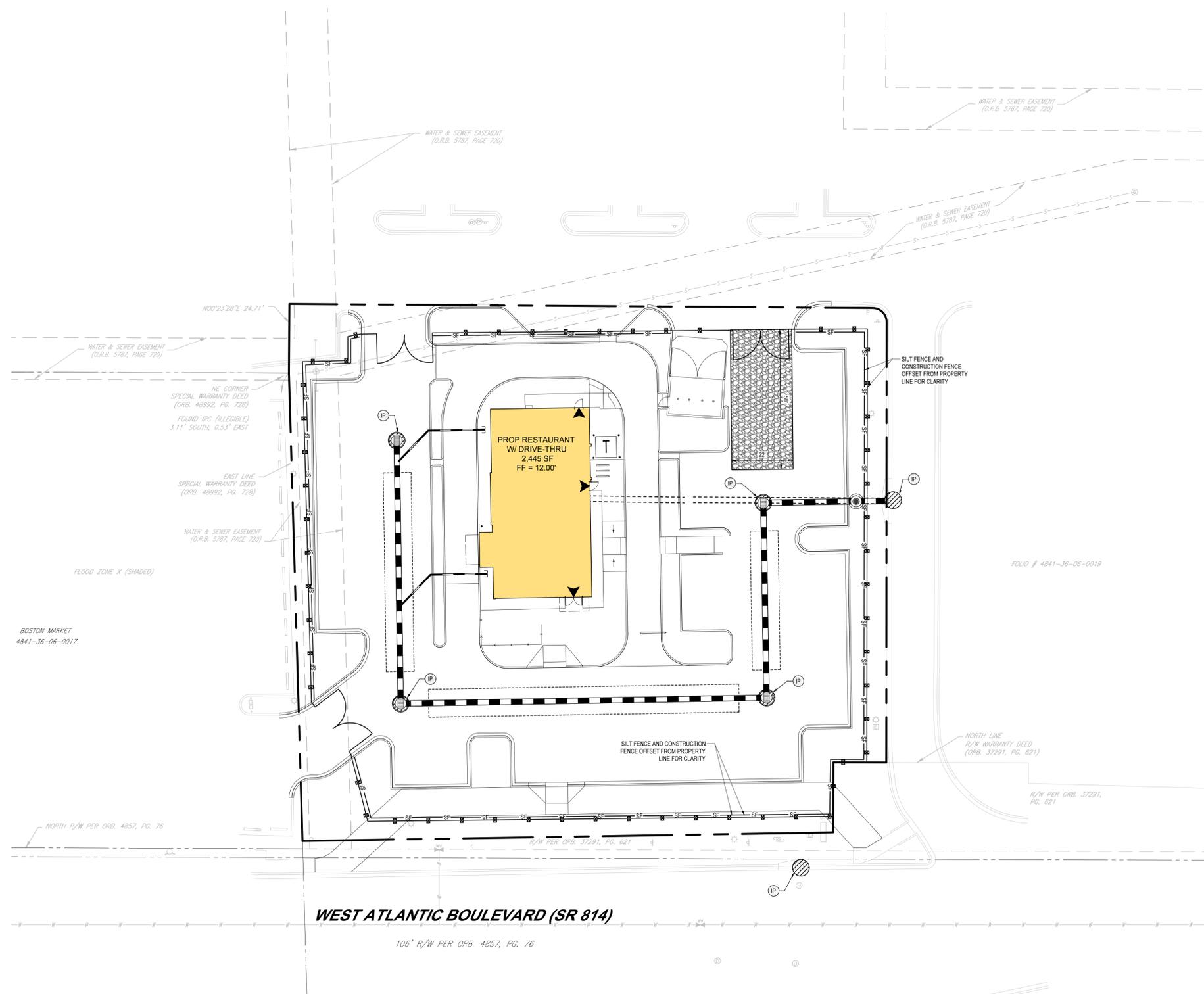
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SHEET TITLE:
PHASE 1 SOIL EROSION CONTROL PLAN

SHEET NUMBER:
C-601

ORG. DATE - 6/11/2021

6/11/2021 11:02:01 AM H:\2021\FLB200099\DRAWINGS\PLAN SETS\FLB200099 - EROS - 0 - X\X\OUT - C-601 PHASE 1 SOIL EROSION CONTROL PLAN.dwg



POLLUTION PREVENTION NOTES:

1. EROSION AND SEDIMENT CONTROL BMP'S IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFF SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON SITE WETLANDS AND SURFACE WATERS. BMP'S SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. [THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.]
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MAINTENANCE NOTES:

- N.P.D.E.S. PERMIT COMPLIANCE REQUIRES INSPECTIONS EVERY 7 CALENDAR DAYS BY A NPDES QUALIFIED INSPECTOR AND PERIODIC INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL EVENT OF 0.5 INCHES OR GREATER. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR ROUTINE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS FURTHER MAINTENANCE AS OUTLINED BELOW.
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PROJECT No.:	FLB200099
DRAWN BY:	REM
CHECKED BY:	MEK
DATE:	6/11/2021
CAD ID:	EROS

PROP. SITE PLAN DOCUMENTS
 FOR

CHIPOTLE - MARGATE
 5555 W ATLANTIC BOULEVARD
 MARGATE, FL 33063

BOHLER
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 BOCA RATON, FLORIDA 33431
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 FLORIDA BUSINESS CERT. OF AUTH. No. 30780

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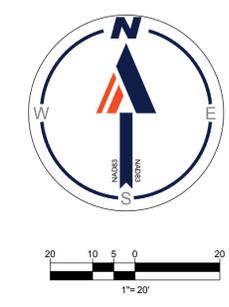
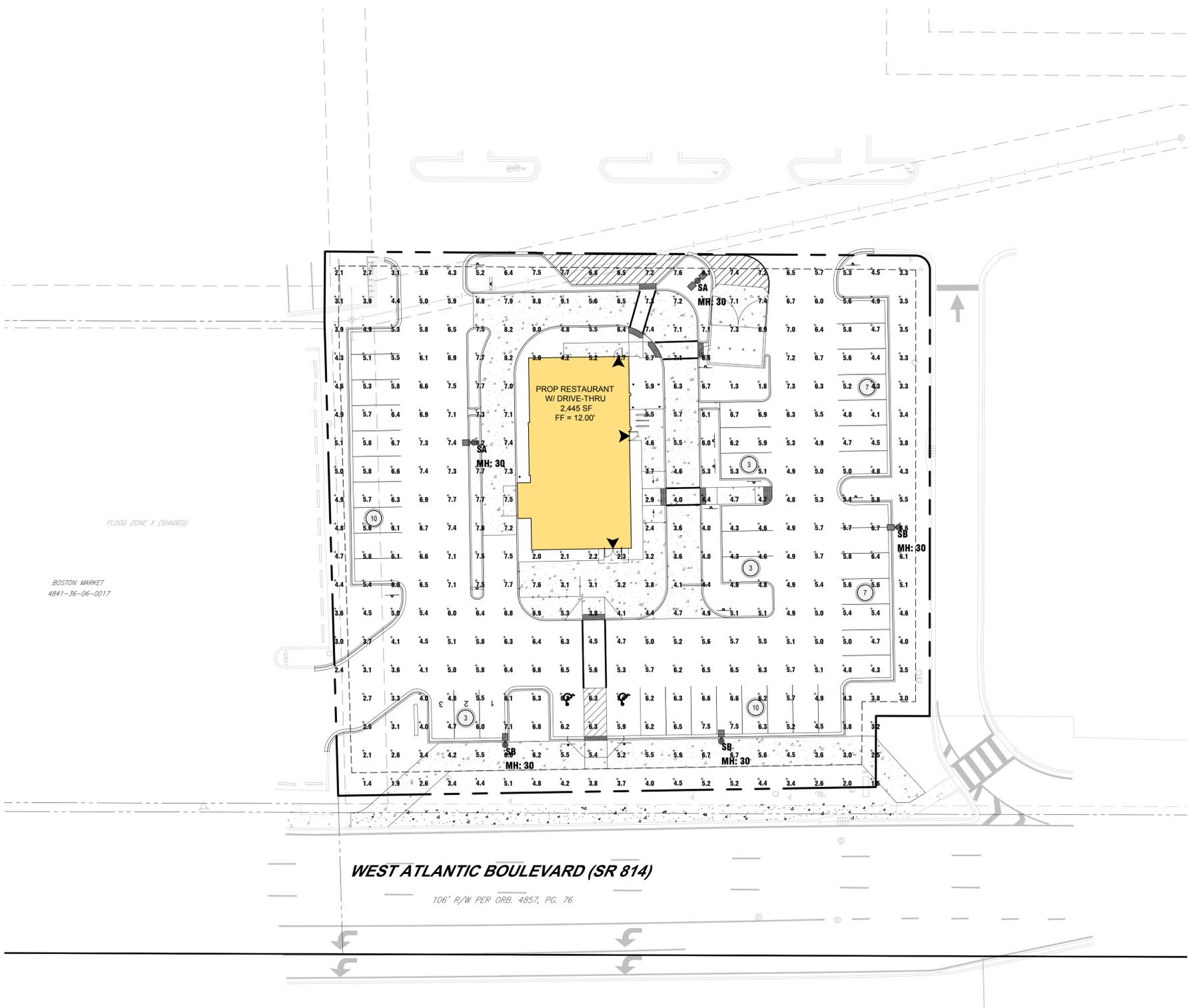
SHEET TITLE:
PHASE 2 SOIL EROSION CONTROL PLAN

SHEET NUMBER:
C-602

ORG. DATE - 6/11/2021

6/11/2021 11:02:01 AM FLB200099.DRAWINGS\PLAN SETS\FLB200099 - EROS - 0 - JAVOUT - C-602 PHASE 2 SOIL EROSION CONTROL PLAN

SEP 09, 2021 11:02:01/FL200099/DRAWINGS/PLAN SETS/FL200099 - LGHT - 0 - JAVOUT: C-701 LIGHTING PLAN



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PROJECT: **PROP. SITE PLAN DOCUMENTS FOR**
 PROJECT NO.: FLB200099
 DRAWN BY: REM
 CHECKED BY: MEK
 DATE: 6/11/2021
 CAD ID: ---

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SHEET TITLE:
LIGHTING PLAN

SHEET NUMBER:
C-701

ORG. DATE - 6/11/2021

Lighting Schedule

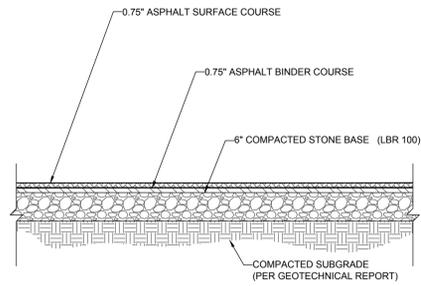
Project: CHIPOTLE, MARGATE - SITE - REV1 -- 6/11/2021

Symbol	Qty	Label	Description	LF	Lot. Watts	Total Watts
⊙	2	SA	STANDARD VHO-0_T10_35_04 PALE MOUNT 3P APF	0.800	400	3200
⊙	2	SB	STANDARD VHO-0_T10_35_04 PALE MOUNT 3P APF	0.800	400	3200

Calculative Summary

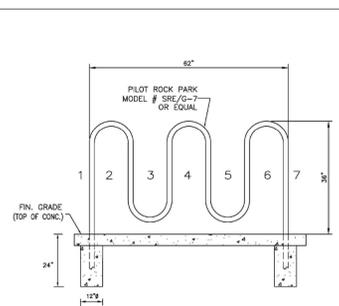
Project: CHIPOTLE, MARGATE - SITE - REV1 -- 6/11/2021

Label	Avg	Max	Min	Avg Min	Max Min
PARK & DRIVE	3.00	6.1	2.6	2.00	4.00



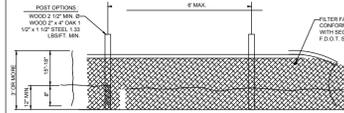
NOTE:
1. SECTION SHOWN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY ECS FLORIDA, LLC, ENTITLED GEOTECHNICAL ENGINEERING REPORT CHIPOTLE RESTAURANT - MARGATE, DATED JULY 29, 2021 (PROJECT #253770). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

STANDARD DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

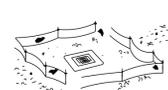


NOTE:
1. CURB RACK SHALL BE EMBEDDED INTO A 24\"/>

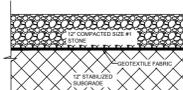
CURB INLET PROTECTION
DETAIL NOT TO SCALE



SILT FENCE DETAIL NOT TO SCALE
(PER FOOT INDEX #102)

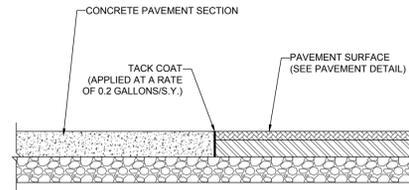


SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS

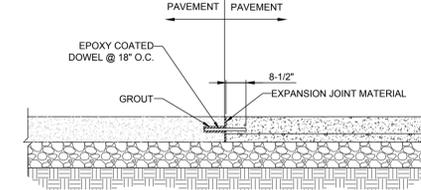


SOIL TRACKING PREVENTION MAT DETAIL NOT TO SCALE
(PER FOOT INDEX #106)

1. EROSION AND SEDIMENT CONTROL BARRIERS IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE INSTALLED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM OPENING INTO WATERS OR ON SITE WETLANDS AND SURFACE WATERS. BARRIERS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT THE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. THE OPERATOR OF THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION SITE SHALL BE RESPONSIBLE FOR MONITORING THESE ACTIVITIES AT THE RESERVE (SEE CONFORMANCE).
2. OFF SITE SURFACE WATER DISCHARGES, OR DISCHARGES TO OPEN WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 20 NAPHELOIDIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND SHALL BE IMMEDIATELY REPORTED TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
3. THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION OR EMISSIONS OF UNCOMBUSTED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62B-30.001, F.A.C. IF UNLAWFUL EMISSIONS ARE OBSERVED, THE OPERATOR SHALL IMMEDIATELY REPORT TO THE FDEP.
4. FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO WATER RESOURCES. SPILLS ON GROUND SURFACES SHALL BE CLEANED UP AS SOON AS PRACTICAL.
5. IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND THE WATER RESOURCES SHALL BE CONTACTED.
6. PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.
7. NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
 - A. WHERE CONSTRUCTION GENERATES EROSION CONTROL SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62B-30.004, F.A.C.
 - B. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE ESEP COVERAGE CONTRIBUTION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62B-30.004 PART 1.2, F.A.C.
 - C. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE ESEP COVERAGE CONTRIBUTION LETTER SHALL BE PROVIDED TO WATER RESOURCES IN ACCORDANCE WITH RULE 62B-30.004 PART 1.2, F.A.C.
 - D. THE NPDES SHALL BE OBTAINED IN ACCORDANCE WITH RULE 62B-30.004 PART 1.0, F.A.C.
 - E. A COPY OF THE NPDES AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO COUNTY OR STATE SUPERVISORS.
8. THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH Dewatering, TO SURFACE WATERS, OR ANY PORTION OF THE HSE WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). PERMITS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF Dewatering.

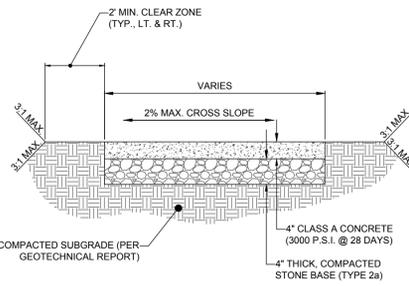


CONCRETE-TO-ASPHALT DETAIL
NOT TO SCALE



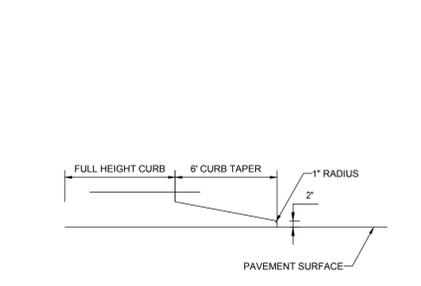
NOTE:
1. CONTRACTOR TO BLOW OUT DUST FROM DRILLED HOLES PRIOR TO APPLYING GROUT.

CONCRETE DOWELING DETAIL
NOT TO SCALE

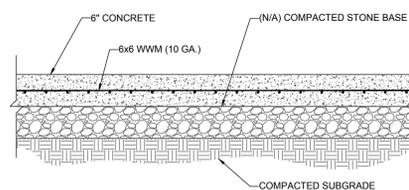


NOTE:
1. EXPANSION JOINTS 1/2\"/>

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

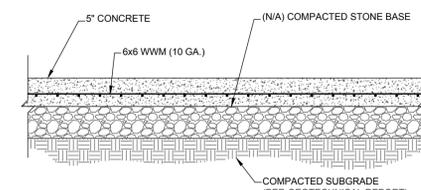


CURB TAPER DETAIL
NOT TO SCALE



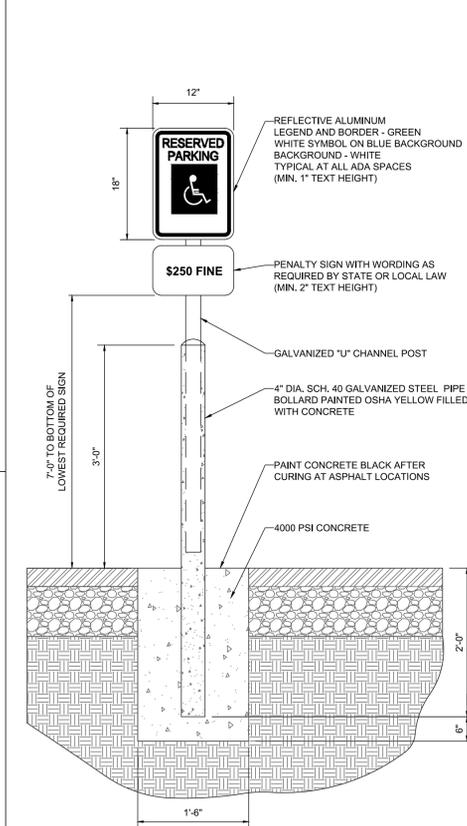
NOTE:
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HEAVY DUTY CONCRETE SECTION
NOT TO SCALE



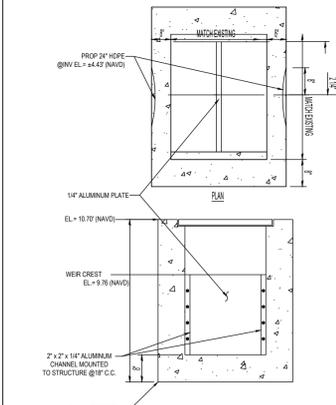
NOTE:
1. SECTION SHOWN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY ECS FLORIDA, LLC, ENTITLED GEOTECHNICAL ENGINEERING REPORT CHIPOTLE RESTAURANT - MARGATE, DATED JULY 29, 2021 (PROJECT #253770). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

STANDARD DUTY CONCRETE SECTION
NOT TO SCALE



NOTE:
ONE AT EACH ADA SPACE, WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES

BOLLARD MOUNTED ADA PARKING SIGN DETAIL
NOT TO SCALE



EXISTING CONTROL STRUCTURE DETAIL
NOT TO SCALE

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

PERMIT SET
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLB200099
DRAWN BY: REM
CHECKED BY: MEK
DATE: 6/11/2024
CAD ID: CND5

PROP. SITE PLAN DOCUMENTS
FOR
FERBER
CHIPOTLE - MARGATE
5555 W ATLANTIC BOULEVARD
MARGATE, FL 33063

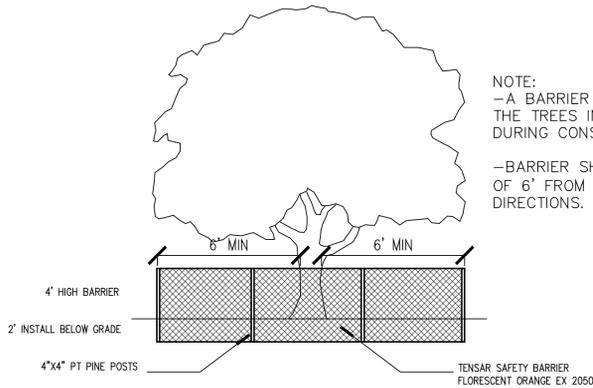
BOHLER
1900 NW CORPORATE BOULEVARD
SUITE 101E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CERT. OF AUTH. NO. 30780

This item has been digitally signed and sealed by Mohammed Merouane El Kaoussi, PE, on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SHEET TITLE:
CONSTRUCTION DETAILS
SHEET NUMBER:
C-901
ORG. DATE - 6/11/2024

Tree Disposition

No	Botanical Name	Common Name	DBH (in)	HT (ft.)	SPR (ft.)	Condition	Disposition
1	Swietenia mahogany	Mahogany	10.5"	33'	24'	Good	Remain
2	Swietenia mahogany	Mahogany	21"	38'	35'	Good	Remain
3	Swietenia mahogany	Mahogany	18.5"	38'	40'	Good	Remain
4	Sabal Palmetto	Sabal Palm	9.5"	36'	10'	Good	Remove
5	Sabal Palmetto	Sabal Palm	13.5"	27'	10'	Good	Remove
6	Sabal Palmetto	Sabal Palm	8.5"	33'	10'	Good	Remove
7	Swietenia mahogany	Mahogany	24"	40'	45'	Good	Remove
8	Swietenia mahogany	Mahogany	24"	38'	40'	Good	Remove
9	Swietenia mahogany	Mahogany	13.5"	38'	22'	Good	Remove
10	Swietenia mahogany	Mahogany	36"	50'	50'	Good	Remove
11	Bursera simaruba	Gumbol Limbo	10.5"	25'	21'	Good	Remove
12	Quercus virginiana	Live Oak	11"	28'	20'	Good	Remove
13	Conocarpus erectus 'sericeus'	Silver Buttonwood	11"	24'	18'	Fair	Remove
14	Conocarpus erectus 'sericeus'	Silver Buttonwood	13.5"	20'	18'	Good	Remove
15	Quercus virginiana	Live Oak	12.5"	30'	24'	Good	Remove
16	Quercus virginiana	Live Oak	13"	33'	24'	Good	Relocate
17	Conocarpus erectus 'sericeus'	Silver Buttonwood	1 @ 3.5' / 2 @ 4.5' / 3 @ 4.5"	14'	14'	Good	Remove
18	Conocarpus erectus 'sericeus'	Silver Buttonwood	9"	16'	14'	Good	Remove
19	Conocarpus erectus 'sericeus'	Silver Buttonwood	9"	18'	14'	Good	Remove
20	Conocarpus erectus 'sericeus'	Silver Buttonwood	7"	13'	10'	Poor	Remove
21	Quercus virginiana	Live Oak	15.5"	28'	24'	Good	Remove
22	Syagrus romanzoffiana	Queen Palm	7"	25'	12'	Poor	Remove
23	Syagrus romanzoffiana	Queen Palm	12"	25'	12'	Fair	Remove
24	Syagrus romanzoffiana	Queen Palm	9.5"	24'	12'	Fair	Remove
25	Syagrus romanzoffiana	Queen Palm	9"	20'	8'	Poor	Remove
26	Syagrus romanzoffiana	Queen Palm	10"	22'	12'	Fair	Remove

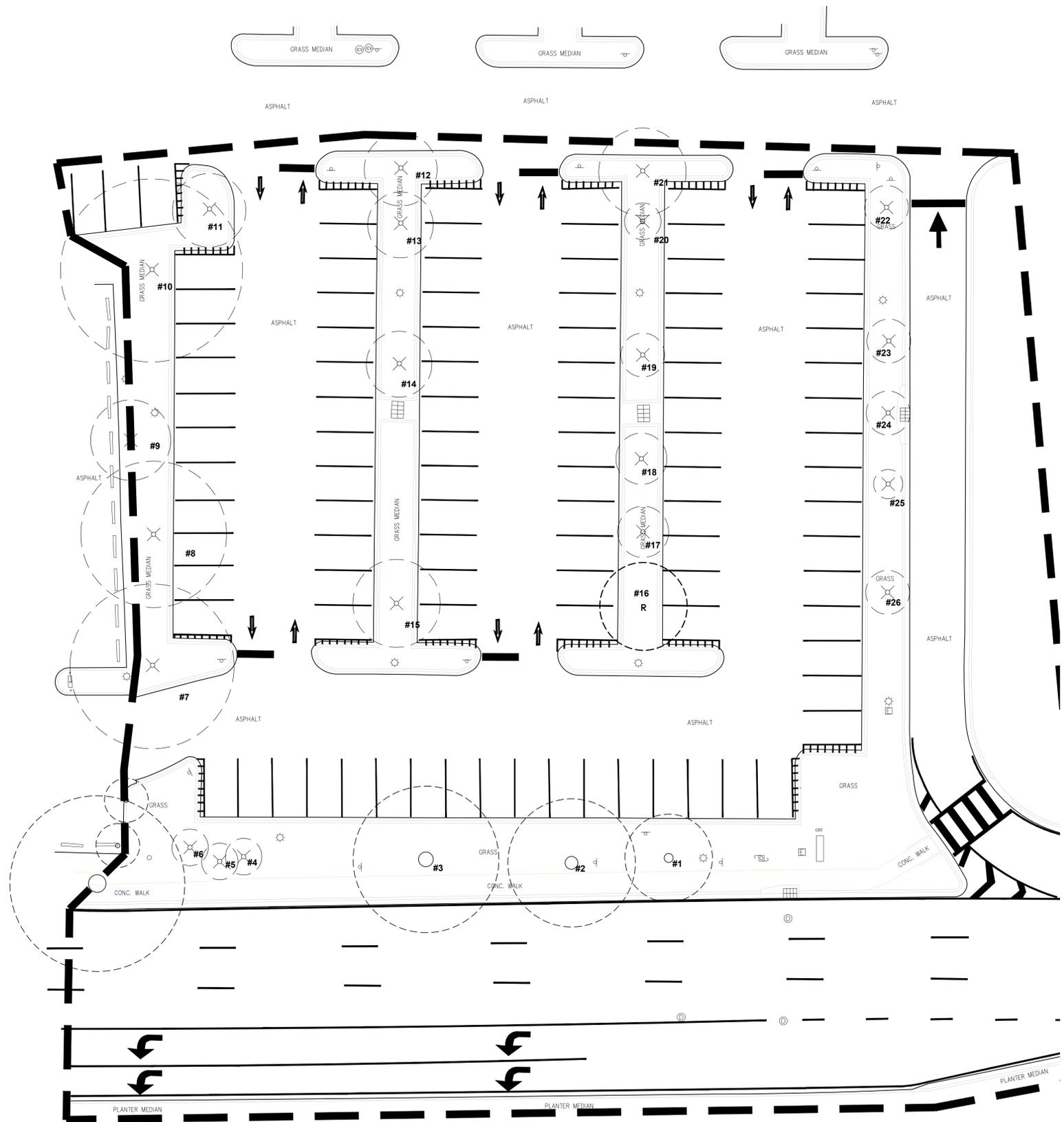


TREE BARRIER DETAIL

N.T.S.

KEY FOR TREES

- TREES TO REMAIN
- TREES TO BE RELOCATED
- TREES TO BE REMOVED



REVISIONS

LICENSED PROFESSIONAL

DIEGO J. VANDERBIEST, R.L.A.
 FLORIDA NO. 6667355
 DATE:

TREE DISPOSITION PLAN

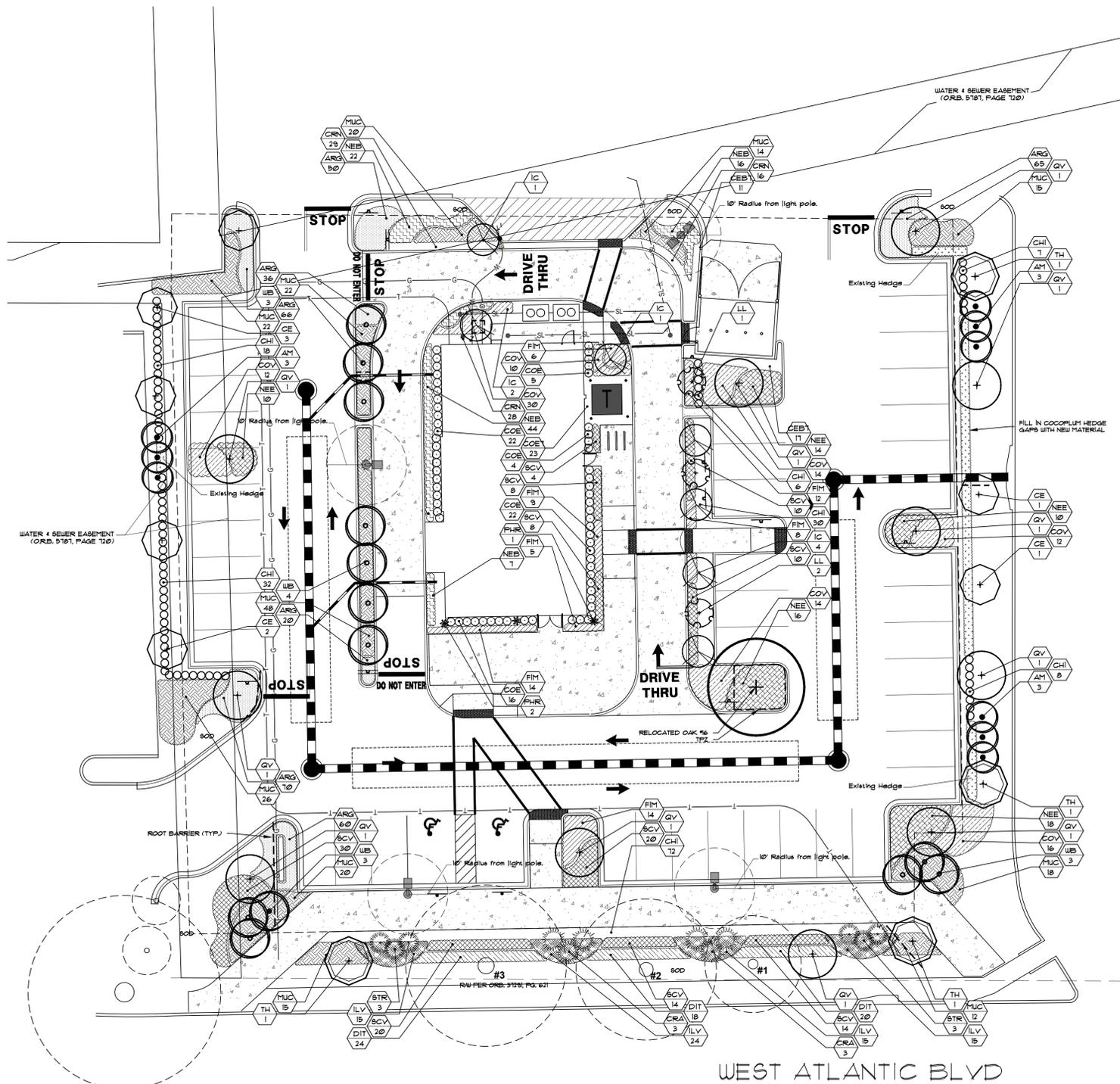
QRS RESTAURANT
 MARGATE REALTY NO.1
 5555 WEST ATLANTIC BLVD
 MARGATE, FLORIDA



12950 Northwest 113 Ct.
 Miami, FL 33178
 P. 305-884-5700 F. 305-884-8843

Date 06/10/2021
 Scale 1/16"=1'-0"
 Drawn NL
 Check AM
 Sheet

TD-1
 Of 1 Sheets



Plantlist - Chipotle

TREES & PALMS

QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	CATEGORY	Native
9	AM	Adonia merrillii	Christmas Palm	12' oa ht, 6' ct	CAT. 4	
7	CE*	Conocarpus erectus 'sericeus'	Silver Buttonwood	12' ht, 2" cal	CAT. 2	Yes
11	QV*	Quercus virginiana	Live Oak	12' ht, 2" cal	CAT. 1	Yes
3	LL*	Ligustrum lucidum	Ligustrum	8' oa ht, 8" spr, 4" ct, multi	CAT. 2	
4	TH	Tabebuia heterophylla	Pink Tabebuia	12' ht, 2" cal	CAT. 2	
8	IC	Ilex cassine	Dahoon Holly	12' ht, 2" cal	CAT. 2	Yes
13	WB	Wodyetia bifurcata	Foxtail Palm	12' oa ht, 6' ct	CAT. 4	

SHRUBS & GROUNDCOVERS

QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	CATEGORY	Native
172	CHI*	Chrysobalanus icaco 'red tip'	Red Tip Cocoplum	3 gal, 24" ht, 24" spr	N/A	Yes
28	CEB7*	Conocarpus erectus 'sericeus'	Green Buttonwood	7 gal, 36" ht	N/A	
23	COE7*	Conocarpus erectus 'sericeus'	Silver Buttonwood	7 gal, 5'-6" ht	N/A	Yes
69	COE*	Conocarpus erectus 'sericeus'	Silver Buttonwood	3 gal, 24" ht, 24" spr	N/A	Yes
108	COV	Codiaeum variegatum	Croton	3 gal, 24" ht, 24" spr	N/A	
68	FIM	Ficus microcarpa	Green Island Ficus	3 gal, 24" ht, 24" spr	N/A	
68	NEE*	Nephrolepis exaltata	Sword Fern	3 gal, 18" ht, 18 spr	N/A	Yes
3	PHR	Phoenix roebelenii	Dwarf Date Palm	7 gal	N/A	
232	MUC*	Muhlenbergia capillaris	Muhly Grass	3 gal, 18" ht, 18 spr	N/A	Yes
69	ILV*	Ilex vomitoria	Schilling Dwarf	3 gal	N/A	Yes
62	DIT*	Dianella asiaticum 'variegata'	Flex Lily	3 gal	N/A	Yes
73	CRN	Clusia rosea 'Nana'	Dwarf Clusia	3 gal, 18" ht, 18 spr	N/A	
6	CRA	Crinum asiaticum 'redleaf'	Red Leaf Crinum	15 gal	N/A	
89	NEB*	Nephrolepis biserrata	Macho Fern	3 gal, 18" ht, 18 spr	N/A	Yes
367	ARG*	Arachis glabrata, Benth	Perennial peanut	1 gal	N/A	Yes
6	STR	Strelitzia reginae	Orange Bird of Paradise	7 gal	N/A	
138	SCV	Schefflera arboricola 'trinette'	Trinette	3 gal, 24" ht, 24" spr	N/A	

* Denotes Native species (Percentage Native Trees - 70% & Percentage Native Shrubs - 95%)

NOTE: SHORTFALL OF 1 REQUIRED TREES ON THE NORTH PERIMETER. A DONATION TO THE TREE TRUST FUND WILL BE GIVEN.

**LANDSCAPE REQUIREMENTS
PLANTING DATA TABLE**

Category	Code Requirements	Required	Provided
Right-of-way Urban greenway 160 L.F. Section 23-6(B)(2)	1 Shade tree / 30 lf planting strip landscaped	6 Filled	6 Filled
West Perimeter (Commercial) 140 L.F. Section 23-7	1 canopy tree / 75 lf 70% sf to be landscaped	2 70%	4 77%
North Perimeter (Commercial) 88 L.F. Section 23-7	1 canopy tree / 75 lf 70% sf to be landscaped	2 70%	1 78%
Parking area and pedestrian zone Section 23-8	1 Shade tree / 200 sf 5 Shrubs / 200 sf 70% sf to be landscaped	22 109 70%	23 973 95%

REVISIONS
CITY COMMENTS 8/21/21

LICENSED PROFESSIONAL

DIEGO J. VANDERBIEST, RLA
FLORIDA NO. 6667335
DATE:

LANDSCAPE PLAN

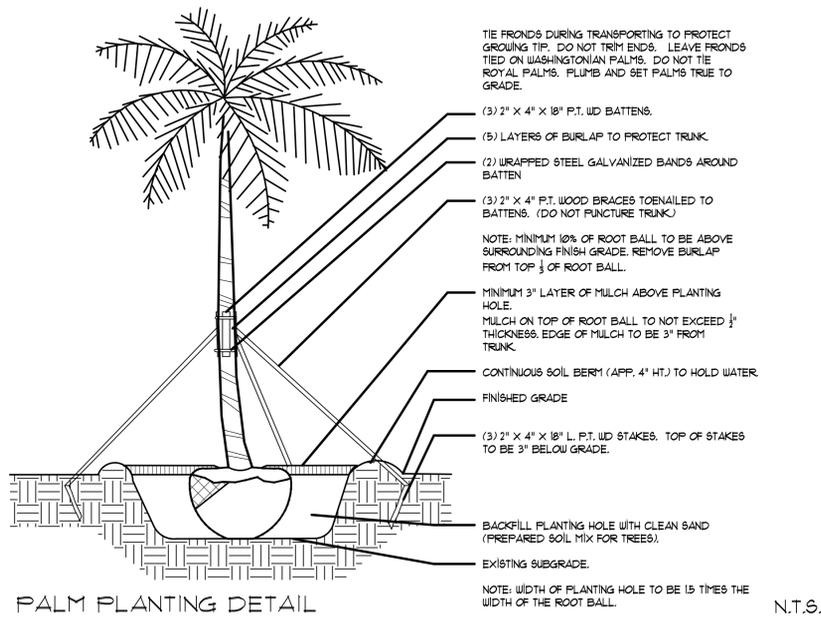
QRS RESTAURANT
MARGATE REALTY NO.1
5555 WEST ATLANTIC BLVD
MARGATE, FLORIDA

DIXIE LANDSCAPE
12950 Northwest 113 Ct.
Miami, FL 33178
P. 305-884-5700 F. 305-884-8843
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Date 06/10/2021
Scale 1/16"=1'-0"
Drawn EH
Check DV
Sheet

LA-1
Of 2 Sheets

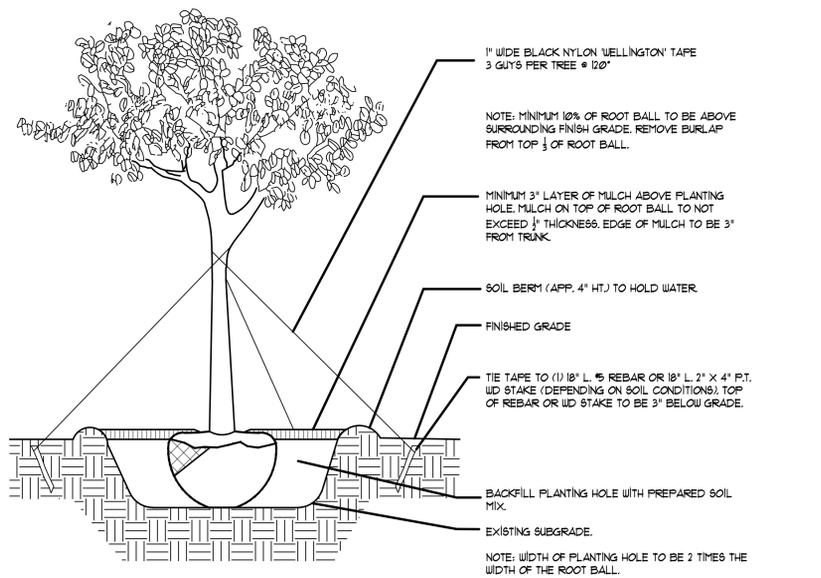




PALM PLANTING DETAIL

LARGE TREE PLANTING DETAIL SIMILAR

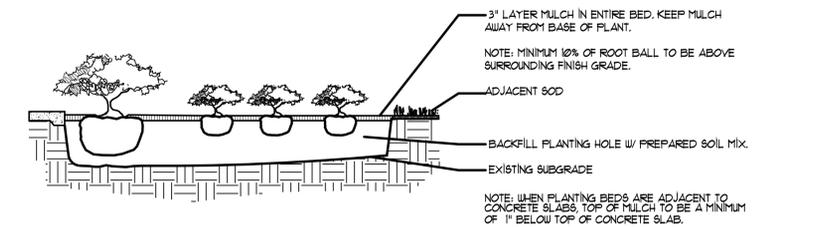
N.T.S.



TREE PLANTING DETAIL

TREES WITH 3" CALIPER OR LESS

N.T.S.



SHRUB/GROUND COVER DETAIL

N.T.S.

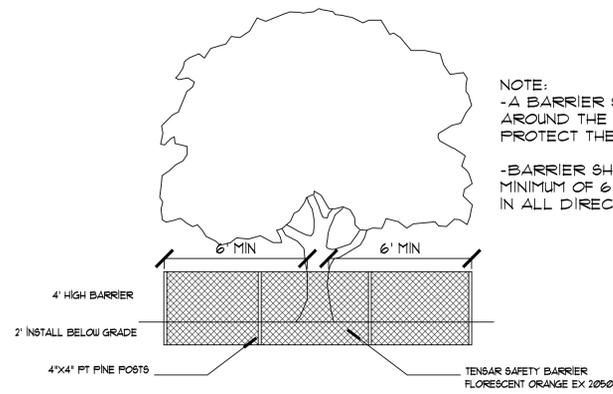
PLANT NOTES

1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS: PARTS I AND II, 2ND EDITION; FEBRUARY 1998, RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL).
3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING IN TRUNKS PERMITTED.
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
6. ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
7. LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE ONE'S OWN QUANTITY COUNTS (PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST). LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
8. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
9. NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
10. ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.

Plantlist - Chipotle

TREES & PALMS						
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	CATEGORY	Native
9	AM	Adonia merillii	Christmas Palm	12 oa ht, 6' ct	CAT. 4	
7	CE*	Conocarpus erectus 'sericeus'	Silver Buttonwood	12' ht, 2" cal	CAT. 2	Yes
11	QV*	Quercus virginiana	Live Oak	12' ht, 2" cal	CAT. 1	Yes
3	LL*	Ligustrum lucidum	Ligustrum	8' oa ht, 8" spr, 4' ct, multi	CAT. 2	
4	TH	Tabebuia heterophylla	Pink Tabebuia	12' ht, 2" cal	CAT. 2	
8	IC	Ilex cassine	Dahoon Holly	12' ht, 2" cal	CAT. 2	Yes
13	WB	Wodyetia bifurcata	Foxtail Palm	12 oa ht, 8' ct	CAT. 4	
SHRUBS & GROUNDCOVERS						
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	CATEGORY	Native
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28	CEB7*	Conocarpus erectus 'sericeus'	Green Buttonwood	7 gal, 36" ht	N/A	
23	COE7*	Conocarpus erectus 'sericeus'	Silver Buttonwood	7 gal, 5'-6" ht	N/A	Yes
69	COE*	Conocarpus erectus 'sericeus'	Silver Buttonwood	3 gal, 24" ht, 24" spr	N/A	Yes
108	COV	Codiaeum variegatum	Croton	3 gal, 24" ht, 24" spr	N/A	
68	FIM	Ficus microcarpa	Green Island Ficus	3 gal, 24" ht, 24" spr	N/A	
68	NEE*	Nephrolepis exaltata	Sword Fern	3 gal, 18" ht, 18 spr	N/A	Yes
3	PHR	Phoenix roebelenii	Dwarf Date Palm	7 gal	N/A	
232	MUC*	Muhlenbergia capillaris	Muhly Grass	3 gal, 18" ht, 18 spr	N/A	Yes
69	ILV*	Ilex vomitoria	Schilling Dwarf	3 gal	N/A	Yes
62	DIT*	Dianella asiaticum 'variegata'	Flex Lily	3 gal	N/A	Yes
73	CRN	Clusia rosea 'Nana'	Dwarf Clusia	3 gal, 18" ht, 18 spr	N/A	
6	CRA	Crinum asiaticum 'redleaf'	Red Leaf Crinum	15 gal	N/A	
89	NEB*	Nephrolepis biserrata	Macho Fern	3 gal, 18" ht, 18 spr	N/A	Yes
367	ARG*	Arachis glabrata, Benth	Perennial peanut	1 gal	N/A	Yes
6	STR	Strelitzia reginae	Orange Bird of Paradise	7 gal	N/A	
138	SCV	Schefflera arborescens 'trinetta'	Trinette	3 gal, 24" ht, 24" spr	N/A	

* Denotes Native species (Percentage Native Trees - 70% & Percentage Native Shrubs - 95%)



TREE BARRIER DETAIL

N.T.S.

REVISIONS
CITY COMMENTS 8/21/21

LICENSED PROFESSIONAL

DIEGO J. VANDERBILT, R.L.A.
FLORIDA NO. 6667335
DATE:

LANDSCAPE DETAILS

QRS RESTAURANT
MARGATE REALTY NO.1
5555 WEST ATLANTIC BLVD
MARGATE, FLORIDA



12950 Northwest 113 Ct.
Miami, FL 33178
P. 305-884-5700 F. 305-884-8843

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Date 06/10/2021
Scale N/A
Drawn EH
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Sheet

LA-2
Of 2 Sheets



Irrigation Notes

LAYOUT

LAYOUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES. MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED TO TAKE INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATIONS PRIOR TO EXCAVATING TRENCHES.

FLAG ALL SPRINKLER HEAD LOCATIONS. ADJUST LOCATION AND MAKE THE NECESSARY MODIFICATIONS TO NOZZLE TYPES ETC. AS REQUIRED TO INSURE 100% COVERAGE AND 50% OVERLAP.

LOW ANGLE TRAJECTORY NOZZLES SHALL BE USED WHEN ALL SPRINKLERS AND ROTORS ARE LOCATED WITHIN 100' OF POOLS OR PUBLIC GATHERING AREAS.

PIPE

PIPE LOCATIONS SHOWN ON PLAN ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED IN THE FIELD. WHEN LAYING-OUT MAINS AND LATERALS, LOCATE PIPE NEAR EDGES OF PAVEMENT OR AGAINST BUILDINGS WHEREVER POSSIBLE TO ALLOW SPACE FOR PLANT ROOT BALLS.

PIPING UNDER HARDSCAPES SUCH AS ROADS, WALKS, AND PATIOS ARE TO BE SLEEVED USING SCH. 40 PIPE.

PIPES 4" AND UNDER TO BE SOLVENT WELD. LARGER PIPES TO BE GASKETED 'O' RING PIPES AND USE THRUST BLOCKS OR MEGA LUGS AND DUCTILE IRON FITTINGS AT TURNING LOCATIONS.

*SIZE ALL PIPE SO NOT TO EXCEED 5' PER SECOND
*INSTALL RAIN SENSOR AS PER LOCAL CODE

PIPES CONVEYING RECLAIM WATER SHALL HAVE A 3' HORIZONTAL DISTANCE SEPARATION FROM OTHER PIPING OR UTILITY SERVICES. AN 18" VERTICAL SEPARATION SHALL BE MAINTAINED WHEN APPLICABLE.

AIR RELEASE VALVES TO BE USED AT THE END OF ALL MAINLINE RUNS.

WIRES

LOW VOLTAGE WIRE TO BE INSTALLED ALONG MAINLINE INSTALLATION. USE 2" SCH. 40 PVC WITH SWEEP ELBOWS AT TURNING LOCATIONS WHEN SLEEVING IS REQUIRED. ALL SPLICES SHALL BE ENCLOSED WITHIN A VALVE/SPLICE BOX.

WIRE SIZED AND COLORED AS FOLLOWS:

- #12 WHITE FOR COMMON
- #12 SPARE BLACK COMMON (1 SPARE NEEDED PER 10 HOT WIRES)
- #14 RED HOT WIRES
- #14 SPARE YELLOW HOT WIRE (1 SPARES NEEDED PER 10 HOT WIRES, 3 SPARE MINIMUM)

WHEN WIRE RUNS EXCEEDS 3,500 LINEAR FEET, USE #10 FOR COMMON WIRES AND #12 FOR HOT/SPARE WIRES.

ALL IRRIGATION CONTROLLERS TO BE PROPERLY GROUNDED IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.

FLUSHING

PRIOR TO PLACEMENT OF HEADS FLUSH ALL LINES UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS.

TRENCHING

TRENCH BOTTOM TO BE UNIFORM AND FREE OF DEBRIS. NATIVE EXCAVATED MATERIAL USED TO BACKFILL TRENCH SHALL BE FREE FROM ROCKS OR STONES LARGER THAN 1" IN DIAMETER.

MISC.

PRESSURE TEST MAINLINE AS PER FLORIDA BUILDING CODE. INSTALL IRRIGATION SYSTEM AS PER LATEST EDITION OF THE FLORIDA BUILDING CODE, APPENDIX F., AND ALL PERTINENT LOCAL CODES.

SPRAY HEADS INSTALLED IN SHRUB AREAS TO BE 12 INCH POP-UPS OR INSTALLED ON RISERS.

DESIGN

THIS DESIGN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SUCH AS PIPES, VALVES, , ETC., SHOWN WITHIN PERVIOUS AREAS ARE FOR DESIGN CLARIFICATION ONLY. THE IRRIGATION CONTRACTOR SHALL INSTALL IRRIGATION EQUIPMENT IN PLANTING AREAS WHEREVER POSSIBLE.

THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, INCLUDING BUT NOT LIMITED TO GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, UTILITIES AND EXISTING IRRIGATION EQUIPMENT. THE IRRIGATION CONTRACTOR IS RESPONSIBLE SHALL REPAIR AND/OR REPLACE ANY DAMAGE CREATED BY THEIR WORK. THEY SHALL COORDINATE HIS WORK WITH OTHER CONTRACTOR OR MUNICIPAL AUTHORITIES FOR THE LOCATION AND INSTALLATION OF IRRIGATION EQUIPMENT UNDER ROADWAYS AND PAVING, SLEEVES THROUGH WALLS AND FLOORS, ETC.

INSTALL ALL IRRIGATION EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SUBSTITUTIONS FOR IRRIGATION EQUIPMENT TO BE APPROVED BY THE IRRIGATION DESIGNER. EQUIPMENT CHANGES TO INCLUDE BUT NOT LIMITED TO PUMP, CONTROLLER, SPRAY HEADS, ROTORS, AND VALVES.

DO NOT INSTALL IRRIGATION EQUIPMENT AS SHOWN ON THE DRAWINGS WHEN FIELD CONDITIONS DIFFER. OBSTRUCTIONS OR DIFFERENCES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR TO ASSUME FULL RESPONSIBILITY.

EQUIPMENT TABLE

Irrigation Heads	
Symbol	Description
	RAINBIRD 1800 SERIES 8 Series 6" above finish grade trajectory 5 deg 90°
	RAINBIRD 1800 SERIES 8 Series 6" above finish grade trajectory 5 deg 180°
	RAINBIRD 1800 SERIES 10 Series trajectory 15 deg 90°
	RAINBIRD 1800 SERIES 10 Series trajectory 15 deg 180°
	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 90°
	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 180°
	RAINBIRD 1800 SERIES 15 Strip Series trajectory 30 deg EST*
	RAINBIRD 1800 SERIES 15 Strip Series trajectory 30 deg SST*

Pipe	
Symbol	Description
	Class 160 PVC (Lateral)
	SCH 40 PVC (Mainline)
	SCH 40 PVC (Sleeve)

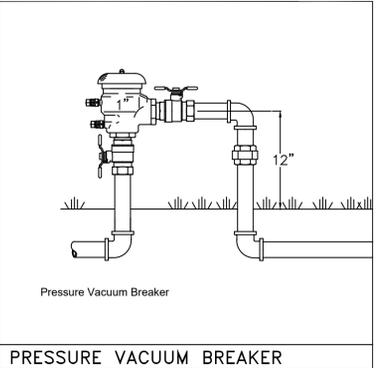
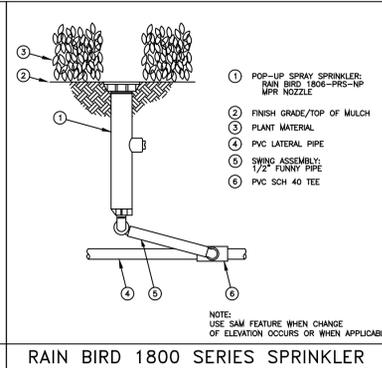
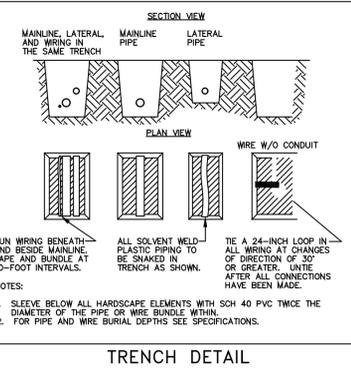
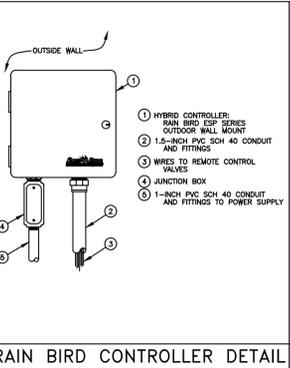
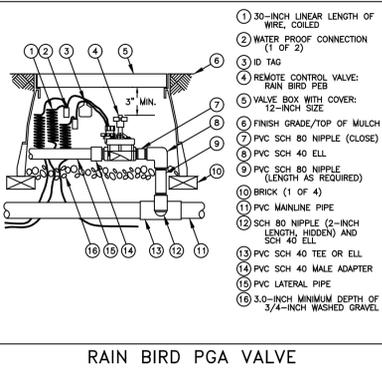
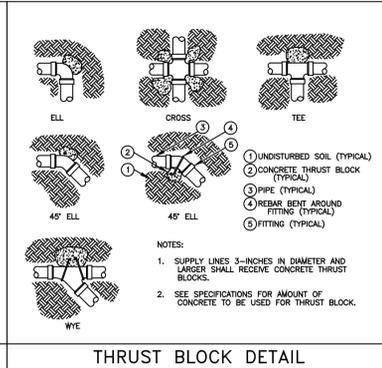
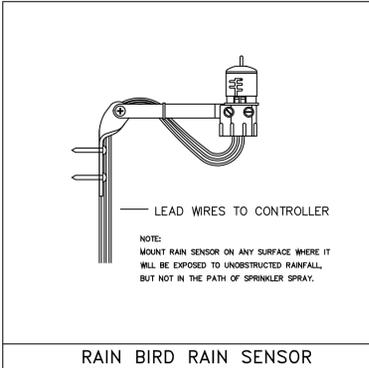
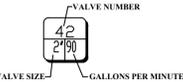
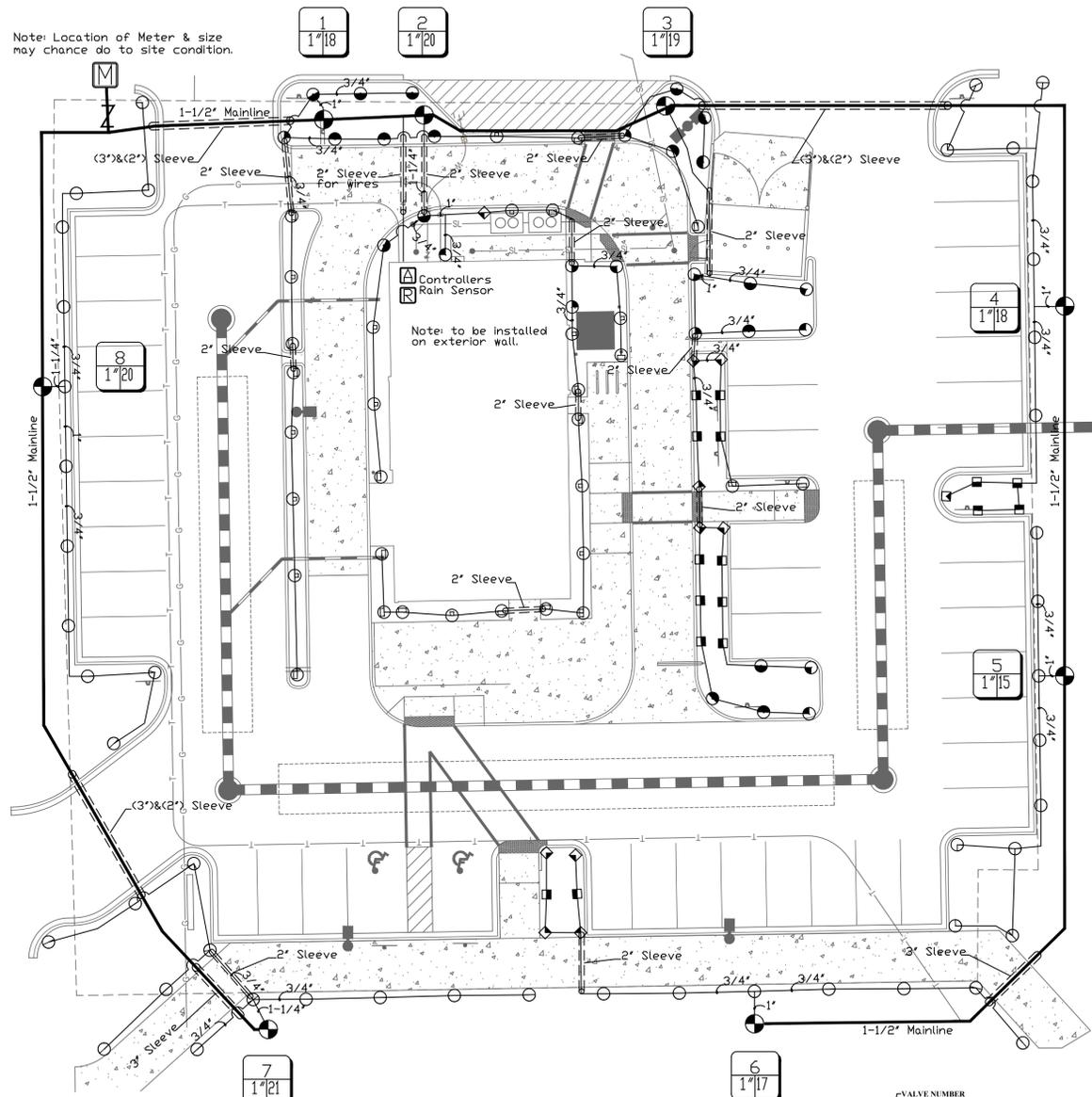
Valves	
Symbol	Description
	RAINBIRD PGA Valve

Controllers	
Symbol	Description
	Rainbird ESP-ME
	Rain Sensor

Water Meters	
Symbol	Description
	Proposed 1' Water Meter

Backflow Preventers	
Symbol	Description
	Pressure Vacuum Breaker

Note: Location of Meter & size may change do to site condition.



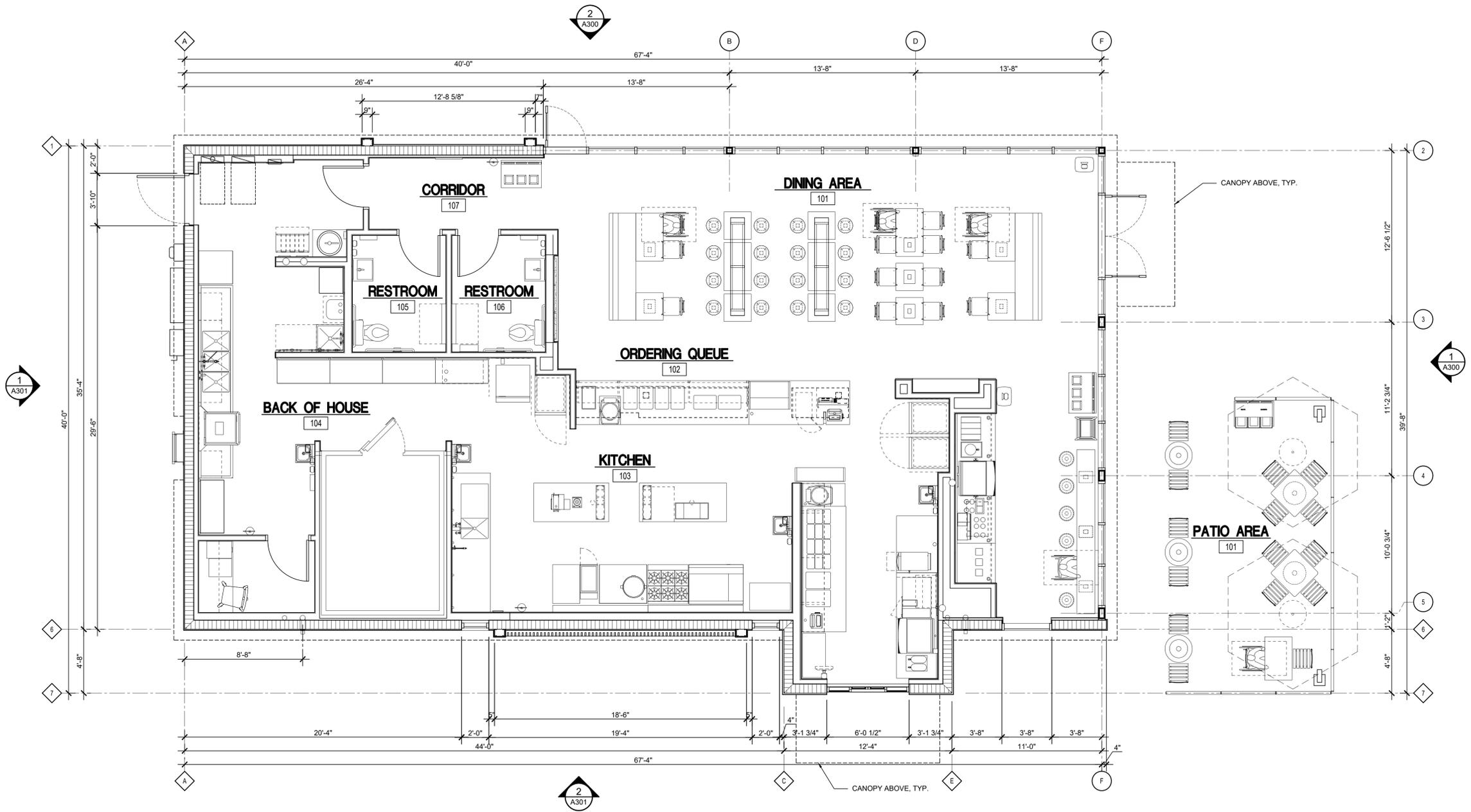
REVISIONS	
CITY COMMENTS	8/21/21

LICENSED PROFESSIONAL
DIEGO J. VANDERBIET, R.L.A.
FLORIDA NO. 6667355
DATE:

QSR RESTAURANT
MARGATE REALTY NO.1
5555 WEST ATLANTIC BLVD
MARGATE, FLORIDA

DIXIE
LANDSCAPE
 12950 Northwest 113 Ct.
 Miami, FL 33178
 P. 305-884-5700 F. 305-884-8843

Date 06/11/2021
 Scale 1=30'
 Drawn AM
 Check AM
 Sheet
IR-01
 Of 1 Sheets



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

PLUMBING FIXTURE SCHEDULE AND DEMANDS

TAG / FIXTURE	QTY	CONNECTION SIZES			FIXTURE UNITS (EACH)				FIXTURE UNITS (TOTAL)				
		CW	HW	WASTE	CW	HW	TOTAL	SAN	CW	HW	TOTAL	SAN	
BFP-1 RPZ BACKFLOW PREVENTER	1	1/2"			1				1				
DM-1 DISH MACHINE	1		3/4"	1 1/2"	0	1	1	0	0	1	1	0	0
ET-1 EXPANSION TANK	1	3/4"			0	0	0	0	0	0	0	0	0
FD-1 FLOOR DRAIN	7			2"			0	2	0	0	0	0	14
FS-1 FLOOR SINK	7			3"			0	5	0	0	0	0	35
HB-1 HOSE BIBB	2	1/2"	1/2"		1.5	1.5	2	0	3	3	4	0	0
HB-2 HOSE BIBB	1	1/2"			1.5	0	1.5	0	1.5	0	1.5	0	0
HS-1A RESTROOM HAND SINK	2	0"	0"	2"	0	0	0	1	0	0	0	2	2
HS-1B RESTROOM HAND SINK FAUCET	2	1/2"	1/2"	0"	1.5	1.5	2	0	3	3	4	0	0
HS-2 KITCHEN HAND SINK	4	1/2"	1/2"	2"	1.5	1.5	2	1	6	6	8	4	4
MB-1A MOP BASIN	1	0"	0"	3"	0	0	0	3	0	0	0	3	3
MB-1B MOP BASIN FAUCET	1	1/2"	1/2"	0"	2.25	2.25	3	0	2.25	2.25	3	0	0
PF-1 POT FILLER	1	1/2"			1.5	0	1.5		1.5	0	1.5	0	0
RH-1 FREEZE PROOF ROOF HYDRANT	1	3/4"			1	0	1		1	0	1	0	0
SK-1 THREE COMPARTMENT SINK	1	1/2"	1/2"	2"	4	4	4	5	4	4	4	5	5
SK-2 PREP SINK	1	3/4"	3/4"	2"	3	3	4	0	3	3	4	0	0
TD-1 TRENCH DRAIN	1			2"	0	0	0	2	0	0	0	0	2
WC-1 WATER CLOSET	2	1/2"		3"	5	0	5	4	10	0	10	8	8
WS-1 WATER SOFTENER	1	1"			0	0	0	0	0	0	0	0	0
	38								36.25	22.25	42	73	



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PONTE VEDRA BEACH, FLORIDA 32082
PHONE: (904) 285-7600 FAX: (904) 285-5443

TO THE BEST OF THE KNOWLEDGE
OF THE ARCHITECTS AND
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APPLICABLE MINIMUM BUILDING
CODES AND THE APPLICABLE
MINIMUM FIRE SAFETY STANDARDS

GUY F. FABER
FL License No. AR0015323
seal

no.	date	revision descriptions

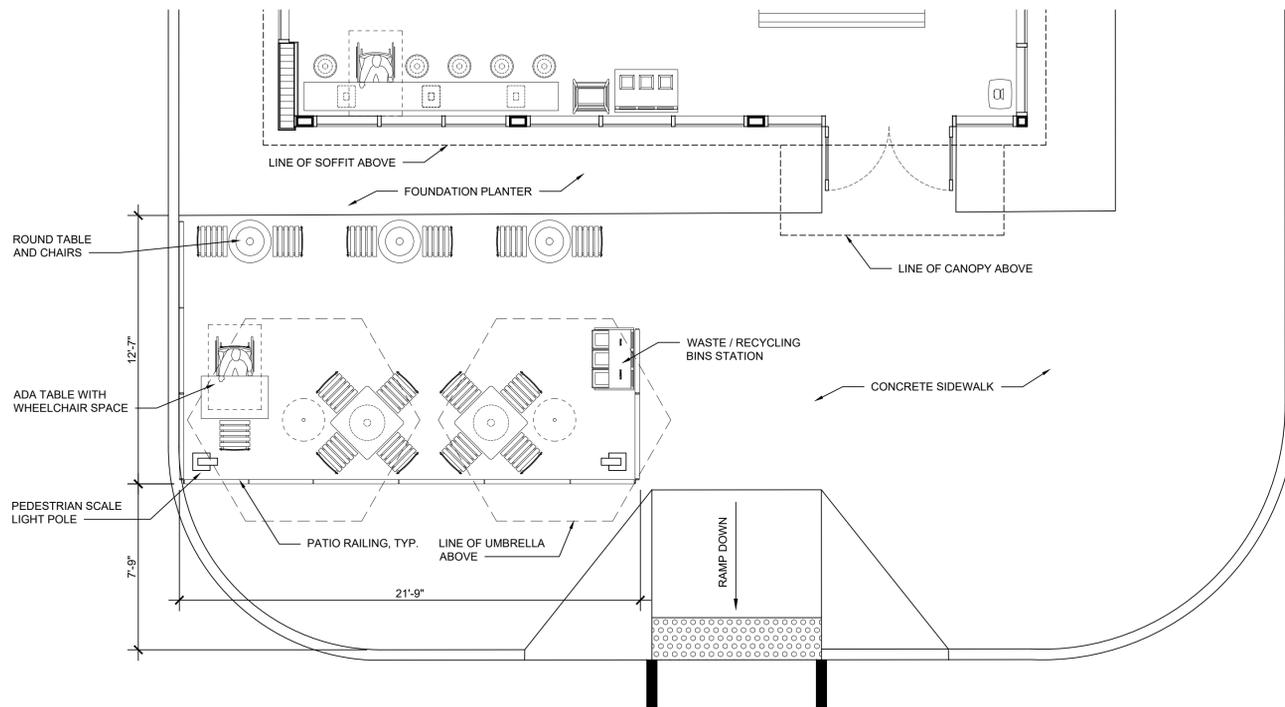
CHIPOTLE MEXICAN GRILL
BUILDING SHELL
US 441 AND ATLANTIC BLVD
MARGATE, FL 33063

09.07.21
date

21045
comm. no.

FLOOR PLAN

A100



1 PATIO PLAN
SCALE: 1/4" = 1'-0"



PATIO ADA TABLE
NOT TO A SCALE



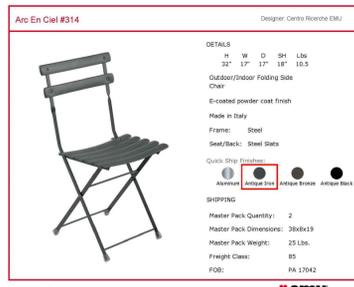
PATIO ROUND TABLE
NOT TO A SCALE



PATIO SQUARE TABLE
NOT TO A SCALE



WASTE / RECYCLE BIN STATION
NOT TO A SCALE



PATIO CHAIR
NOT TO A SCALE



WASTE / RECYCLING STATION
CURRENT RAILING STYLE



BLACK UMBRELLA
CURRENT RAILING STYLE



BLACK UMBRELLAS
ROUND TABLE AND CHAIRS
NOTE: DISCONTINUED RAILING STYLE
ADA TABLE

**EXAMPLE IMAGES
PATIO WITH FURNITURE, UMBRELLAS AND RAILING**
NOT TO A SCALE



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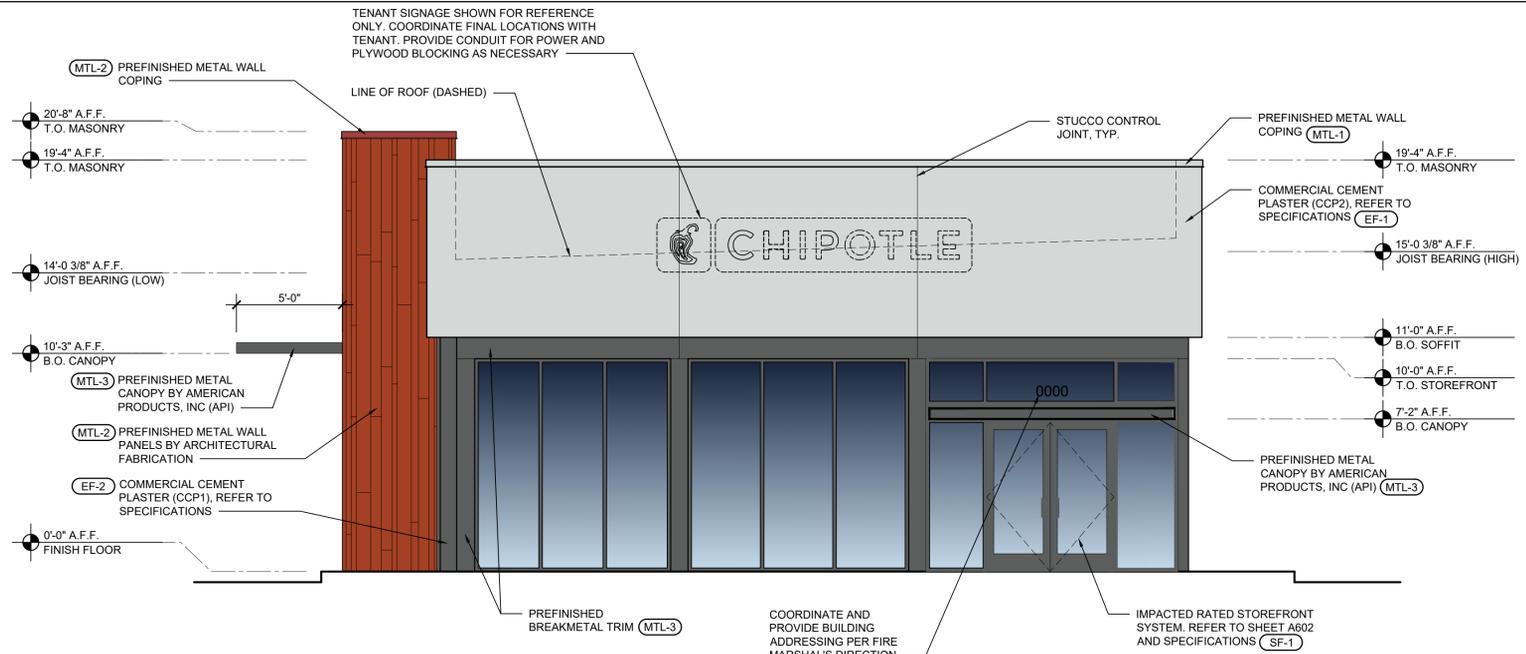
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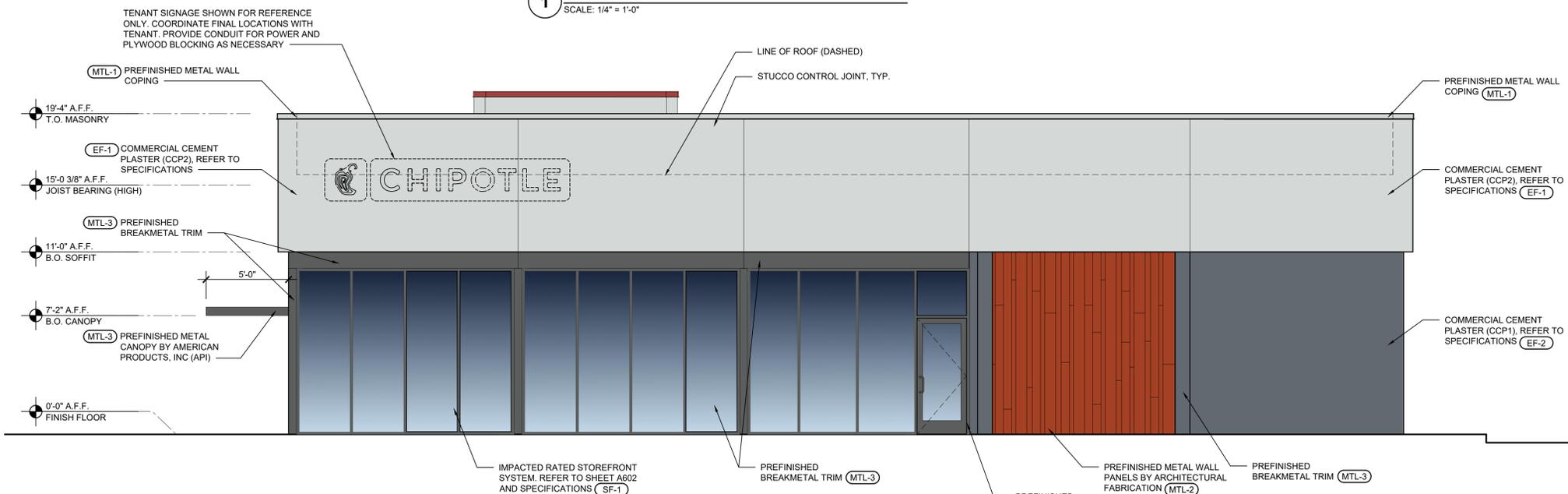
09.07.21
date
21045
comm. no.

PATIO
INFORMATION

A101



1 SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES	CRITICAL NOTES	EXTERIOR FINISH NOTES	EXTERIOR FINISH SCHEDULE																																																					
<p>TO THE FULLEST EXTENT POSSIBLE, BUILDING COMPONENTS WILL BE MARKED AS 'TYPICAL' (TYP.). WHERE SO, KEYED NOTES WILL NOT BE DUPLICATED FOR COMPONENTS OF LIKE KIND. SHOULD THE CONTRACTOR REQUIRE CLARIFICATION OF ANY SUCH COMPONENT, A REQUEST FOR INFORMATION (RFI) SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO BID.</p> <p>SIGNAGE NOTES:</p> <p>ANY BUILDING MOUNTED SIGNAGE DEPICTED IN THESE DOCUMENTS IS FOR COORDINATION PURPOSES ONLY AND IS NOT INTENDED FOR FABRICATION OR INSTALLATION BY THE GENERAL CONTRACTOR. IT SHALL BE UNDERSTOOD THAT ALL EXTERIOR BUILDING MOUNTED AND SITE SIGNAGE WILL BE PERMITTED SEPARATELY BY THE OWNER'S SIGN VENDOR. AT THAT TIME, COMPLETE DETAILS INCLUDING, BUT NOT LIMITED TO, SIGN FABRICATION, SIGN INSTALLATION, SIGN AREA AND QUANTITIES, ETC. SHALL BE SUBMITTED (BY THE SIGN VENDOR) FOR PERMIT AND APPROVAL PRIOR TO COMMENCEMENT OF WORK. SEE ELECTRICAL DRAWINGS FOR POWER REQUIREMENTS.</p> <p>FACILITY ADDRESS REQUIREMENTS:</p> <p>NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.</p> <p>ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. NUMERALS SHALL BE AT LEAST 6 INCHES IN HEIGHT.</p> <p>WHERE ADDRESS IDENTIFICATION IS REQUIRED BY THE FIRE OFFICIAL ON OTHER ELEVATIONS OF BUILDINGS, SUCH NUMERALS SHALL NOT BE LESS THAN SIX INCHES IN HEIGHT.</p> <p>ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS.</p>	<p>WALL FINISHES AT PARAPET RETURNS:</p> <p>THE DESIGN INTENT FOR PARAPET WALLS THAT RETURN ONTO THE ROOF SURFACE IS THAT THEY, WHERE EXPOSED TO VIEW, ARE TO BE PROVIDED WITH WALL FINISHES THAT ARE CONSISTENT WITH THE ADJACENT BUILDING ELEVATIONS. FOR EXAMPLE, IF CEMENT PLASTER IS PROVIDED ALONG THE MAIN BUILDING ELEVATION, THE PARAPET RETURNS ARE TO BE PROVIDED WITH EQUAL FINISHES.</p> <p>THE SHELL GENERAL CONTRACTOR SHALL FULLY REVIEW AND COORDINATE WALL FINISHES WITH APPLICABLE TRADES PRIOR TO INSTALLATION. UNDER NO CIRCUMSTANCES WILL EXPOSED ROOF MEMBRANE BE ACCEPTED AS A WALL FINISH AT THE PARAPET RETURN CONDITIONS NOTED.</p> <p>WALL COUNTERFLASHING DETAILS:</p> <p>REFER TO WALL SECTIONS AND ENLARGED DETAILS FOR THE SPECIFIED COUNTERFLASHING REQUIRED ABOVE CANOPIES, AWNINGS, PLASTER CAPS AND, WHERE APPLICABLE, TRIM MOULDING. IN SUCH CASES, THE DESIGN INTENT IS TO LIMIT THE VISIBILITY OF COUNTERFLASHINGS BY INCORPORATING LOW PROFILE OR CONCEALED FLASHINGS.</p> <p>THE SHELL GENERAL CONTRACTOR SHALL FULLY REVIEW AND COORDINATE ALL WALL COUNTERFLASHING REQUIREMENTS WITH THE ROOFER AND APPLICABLE TRADES PRIOR TO INSTALLATION. SHOULD CLARIFICATION OF ANY DETAIL BE NEEDED, THE SHELL GENERAL CONTRACTOR SHALL SUBMIT AN RFI TO THE ARCHITECT PRIOR TO INSTALLATION.</p> <p>UNDER NO CIRCUMSTANCES WILL EXPOSED SINGLE-PLY MEMBRANE BE AN ACCEPTABLE MEANS OF FLASHING AT THE CONDITIONS NOTED.</p>	<p>EXTERIOR INSULATION FINISH SYSTEM (EIFS) REQUIREMENTS:</p> <p>1. THE STANDARD FINISH COAT OVER CEMENT PLASTER SURFACES SHALL BE AN ACRYLIC EIFS FINISH COAT, "DRYVIT TAFTS" (OPTION 1) AS MANUFACTURED BY DRYVIT SYSTEMS, INC. COLORS, AS SPECIFIED ON THE EXTERIOR FINISH SCHEDULE, HAVE BEEN SELECTED FROM DRYVIT'S STANDARD COLORS. THIS SYSTEM CONSISTS OF A TINTED PRIMER AND TEXTURED ACRYLIC FINISH WITH INTEGRAL COLOR. THE SPECIFIED SYSTEM HAS A 10-YEAR MANUFACTURER WARRANTY.</p> <p>2. WHERE A CUSTOM COLOR IS REQUIRED FOR THE FINISH COAT OVER CEMENT PLASTER SURFACES, AN ACRYLIC EIFS FINISH COAT, "DRYVIT TAFTS" (OPTION 1) WITH STRATOTONE COLOR MATCHING SYSTEM AS MANUFACTURED BY DRYVIT SYSTEMS, INC. SHALL BE PROVIDED. CUSTOM COLORS ARE SPECIFIED ON THE EXTERIOR FINISH SCHEDULE. THIS SYSTEM CONSISTS OF A TINTED PRIMER AND TEXTURED ACRYLIC FINISH WITH INTEGRAL COLOR. THE SPECIFIED SYSTEM HAS A 5-YEAR MANUFACTURER WARRANTY.</p> <p>3. ALL FINISH COAT TEXTURES SHALL BE "SANDPEBBLE" UNLESS OTHERWISE NOTED.</p> <p>4. WHERE FOAM TRIM, CORNICE MOLDING OR OTHER SHAPES ARE SPECIFIED, COMPONENTS SHALL BE AS MANUFACTURED BY "DRYVIT SHAPES BY ACROCORE" AND SHALL BE COMPRISED OF A TYPE 1 CLASSIFICATION EXPANDED POLYSTYRENE WRAPPED IN A FLEXIBLE IMPACT RESISTANT FIBERGLASS MESH AND COATED WITH A FACTORY APPLIED POLYMER MODIFIED, FLEXIBLE CEMENT COATING.</p> <p>5. ALL GENERAL CONTRACTOR BIDS SHALL INCLUDE THE ABOVE STATED SYSTEMS / PRODUCTS IN THEIR BASE BIDS. SUBSTITUTIONS WILL BE CONSIDERED FOR APPROVAL BUT ONLY IF FULLY QUALIFIED IN BIDS INCLUDING COMPLETE SYSTEM / PRODUCT SPECIFICATIONS AND ASSOCIATED COSTS.</p>	<p>ALUMINUM COPING AND DRIP EDGES:</p> <p>1. ALL COMPONENTS SHALL BE PREFINISHED WITH A FACTORY APPLIED, KYNAR 500 FINISH OR MANUFACTURER EQUIVALENT.</p> <p>ELECTRICAL GEAR, ROOF LADDER AND DOOR AND FRAME ON THE NORTH (REAR) FACADE:</p> <p>1. ALL COMPONENTS SHALL BE PAINTED PT-1.</p> <p>GENERAL:</p> <p>1. WHERE PLASTER REVEALS ARE NOT PREFINISHED, REVEALS SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR UNLESS OTHERWISE NOTED.</p> <p>2. ALL EXPOSED, BUILDING MOUNTED UTILITIES AND CONDUITS SHALL BE PAINTED TO MATCH THE ADJACENT WALL SURFACES UNLESS OTHERWISE NOTED.</p> <p>THE CONTRACTOR SHALL REQUEST A COLORIZED COPY OF THE ELEVATIONS FROM THE ARCHITECT PRIOR TO ORDERING OR APPLYING EIFS, PAINT AND OTHER EXTERIOR FINISHES. THE COLORIZED ELEVATIONS WILL HELP CONFIRM COLORS AND ASSIST THE PAINTER WHERE COLOR CHANGES OCCUR.</p>	<p>CEMENT PLASTER / EIFS FINISHES - ACRYLIC DPR EIFS FINISH WITH INTEGRAL COLOR AND TEXTURE. COLOR MATCH REFERENCED PAINTS.</p> <table border="1"> <thead> <tr> <th>TAG</th> <th>MANUFACTURER</th> <th>COLOR</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>EF-1</td> <td>DRYVIT</td> <td>SW 6253 "OLYMPUS WHITE"</td> <td>CUSTOM DRYVIT COLOR</td> </tr> <tr> <td>EF-2</td> <td>DRYVIT</td> <td>SW 6257 "GIBLALTAR"</td> <td>CUSTOM DRYVIT COLOR</td> </tr> <tr> <td>EF-3</td> <td>DRYVIT</td> <td>PPG "AUTUMN RIDGE"</td> <td>CUSTOM DRYVIT COLOR</td> </tr> </tbody> </table> <p>PAIN FINISHES</p> <table border="1"> <thead> <tr> <th>TAG</th> <th>MANUFACTURER</th> <th>COLOR</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>PT-1</td> <td>SHERWIN WILLIAMS</td> <td>"GIBLALTAR"</td> <td></td> </tr> </tbody> </table> <p>METAL COPING, TRIM AND CANOPIES</p> <table border="1"> <thead> <tr> <th>TAG</th> <th>MANUFACTURER</th> <th>COLOR</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>MTL-1</td> <td>TBD</td> <td>MATCH EF-1 "OLYMPUS WHITE"</td> <td></td> </tr> <tr> <td>MTL-2</td> <td>ARCHITECTURAL FABRICATIONS</td> <td>"RUSTIC TEXTURE"</td> <td>PREFINISHED METAL WALL PANELS IN VARIOUS WIDTHS AND PANEL LENGTHS</td> </tr> <tr> <td>MTL-3</td> <td>TBD</td> <td>MATCH SF-1 "CHARCOAL"</td> <td></td> </tr> </tbody> </table> <p>ALUMINUM STOREFRONT / DRIVE-THRU PICK-UP WINDOW</p> <table border="1"> <thead> <tr> <th>TAG</th> <th>MANUFACTURER</th> <th>COLOR</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>SF-1</td> <td>KAWNEER</td> <td>"CHARCOAL"</td> <td>PERMAFLUOR COATING</td> </tr> <tr> <td>SF-2</td> <td>QUICKSERV</td> <td>"BRONZE"</td> <td></td> </tr> </tbody> </table>	TAG	MANUFACTURER	COLOR	DESCRIPTION	EF-1	DRYVIT	SW 6253 "OLYMPUS WHITE"	CUSTOM DRYVIT COLOR	EF-2	DRYVIT	SW 6257 "GIBLALTAR"	CUSTOM DRYVIT COLOR	EF-3	DRYVIT	PPG "AUTUMN RIDGE"	CUSTOM DRYVIT COLOR	TAG	MANUFACTURER	COLOR	DESCRIPTION	PT-1	SHERWIN WILLIAMS	"GIBLALTAR"		TAG	MANUFACTURER	COLOR	DESCRIPTION	MTL-1	TBD	MATCH EF-1 "OLYMPUS WHITE"		MTL-2	ARCHITECTURAL FABRICATIONS	"RUSTIC TEXTURE"	PREFINISHED METAL WALL PANELS IN VARIOUS WIDTHS AND PANEL LENGTHS	MTL-3	TBD	MATCH SF-1 "CHARCOAL"		TAG	MANUFACTURER	COLOR	DESCRIPTION	SF-1	KAWNEER	"CHARCOAL"	PERMAFLUOR COATING	SF-2	QUICKSERV	"BRONZE"	
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MTL-1	TBD	MATCH EF-1 "OLYMPUS WHITE"																																																						
MTL-2	ARCHITECTURAL FABRICATIONS	"RUSTIC TEXTURE"	PREFINISHED METAL WALL PANELS IN VARIOUS WIDTHS AND PANEL LENGTHS																																																					
MTL-3	TBD	MATCH SF-1 "CHARCOAL"																																																						
TAG	MANUFACTURER	COLOR	DESCRIPTION																																																					
SF-1	KAWNEER	"CHARCOAL"	PERMAFLUOR COATING																																																					
SF-2	QUICKSERV	"BRONZE"																																																						



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TO THE BEST OF THE KNOWLEDGE OF THE ARCHITECTS AND ENGINEERS, SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS.

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FL License No. AR0015323
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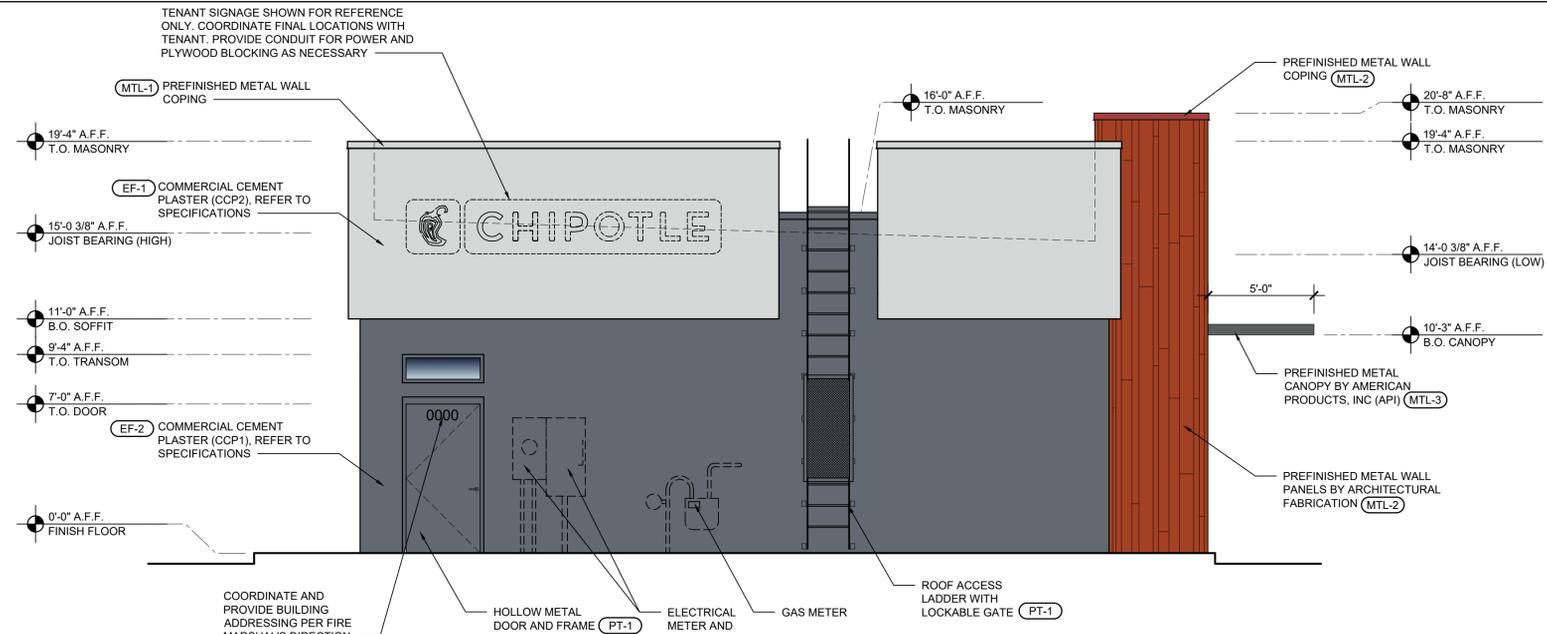
no.	date	revision descriptions

CHIPOTLE MEXICAN GRILL
BUILDING SHELL
US 441 AND ATLANTIC BLVD
MARGATE, FL 33063

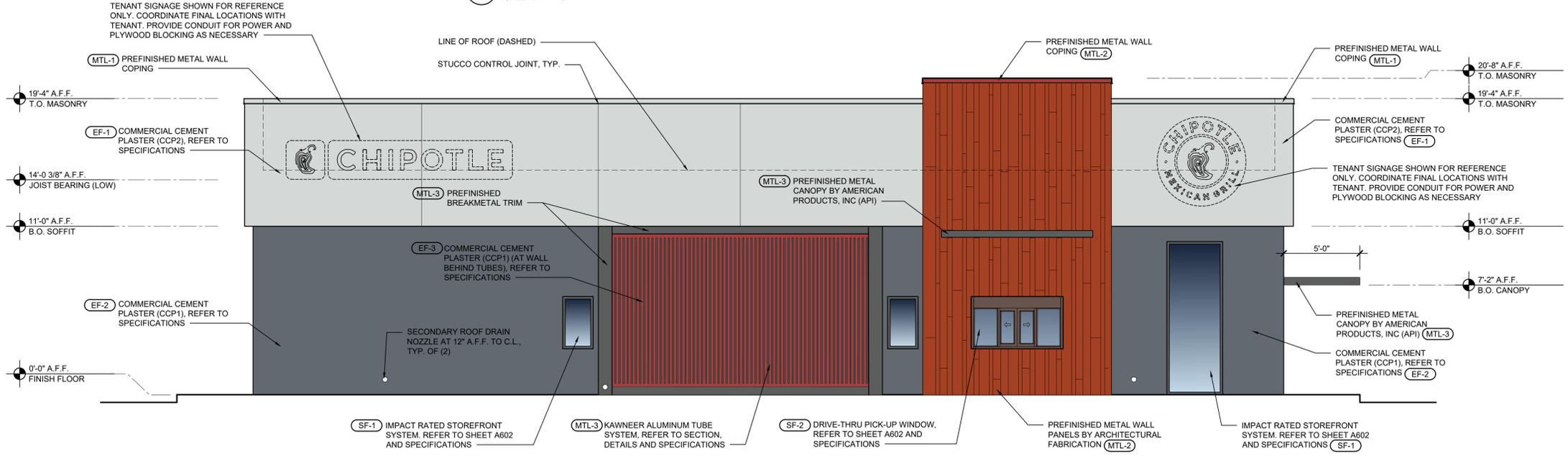
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date
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comm. no.

EXTERIOR ELEVATIONS

A300



1 NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

TO THE FULLEST EXTENT POSSIBLE, BUILDING COMPONENTS WILL BE MARKED AS TYPICAL (TYP.). WHERE SO, KEYED NOTES WILL NOT BE DUPLICATED FOR COMPONENTS OF LIKE KIND. SHOULD THE CONTRACTOR REQUIRE CLARIFICATION OF ANY SUCH COMPONENT, A REQUEST FOR INFORMATION (RFI) SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO BID.

SIGNAGE NOTES:

ANY BUILDING MOUNTED SIGNAGE DEPICTED IN THESE DOCUMENTS IS FOR COORDINATION PURPOSES ONLY AND IS NOT INTENDED FOR FABRICATION OR INSTALLATION BY THE GENERAL CONTRACTOR. IT SHALL BE UNDERSTOOD THAT ALL EXTERIOR BUILDING MOUNTED AND SITE SIGNAGE WILL BE PERMITTED SEPARATELY BY THE OWNER'S SIGN VENDOR. AT THAT TIME, COMPLETE DETAILS INCLUDING, BUT NOT LIMITED TO, SIGN FABRICATION, SIGN INSTALLATION, SIGN AREA AND QUANTITIES, ETC. SHALL BE SUBMITTED (BY THE SIGN VENDOR) FOR PERMIT AND APPROVAL PRIOR TO COMMENCEMENT OF WORK. SEE ELECTRICAL DRAWINGS FOR POWER REQUIREMENTS.

FACILITY ADDRESS REQUIREMENTS:

NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. NUMERALS SHALL BE AT LEAST 6 INCHES IN HEIGHT.

WHERE ADDRESS IDENTIFICATION IS REQUIRED BY THE FIRE OFFICIAL ON OTHER ELEVATIONS OF BUILDINGS, SUCH NUMERALS SHALL NOT BE LESS THAN SIX INCHES IN HEIGHT.

ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS.

CRITICAL NOTES

WALL FINISHES AT PARAPET RETURNS:
THE DESIGN INTENT FOR PARAPET WALLS THAT RETURN ONTO THE ROOF SURFACE IS THAT THEY, WHERE EXPOSED TO VIEW, ARE TO BE PROVIDED WITH WALL FINISHES THAT ARE CONSISTENT WITH THE ADJACENT BUILDING ELEVATIONS. FOR EXAMPLE, IF CEMENT PLASTER IS PROVIDED ALONG THE MAIN BUILDING ELEVATION, THE PARAPET RETURNS ARE TO BE PROVIDED WITH EQUAL FINISHES.

THE SHELL GENERAL CONTRACTOR SHALL FULLY REVIEW AND COORDINATE WALL FINISHES WITH APPLICABLE TRADES PRIOR TO INSTALLATION. UNDER NO CIRCUMSTANCES WILL EXPOSED ROOF MEMBRANE BE ACCEPTED AS A WALL FINISH AT THE PARAPET RETURN CONDITIONS NOTED.

WALL COUNTERFLASHING DETAILS:
REFER TO WALL SECTIONS AND ENLARGED DETAILS FOR THE SPECIFIED COUNTERFLASHING REQUIRED ABOVE CANOPIES, AWNINGS, PLASTER CAPS AND, WHERE APPLICABLE, TRIM MOULDING. IN SUCH CASES, THE DESIGN INTENT IS TO LIMIT THE VISIBILITY OF COUNTERFLASHINGS BY INCORPORATING LOW PROFILE OR CONCEALED FLASHINGS.

THE SHELL GENERAL CONTRACTOR SHALL FULLY REVIEW AND COORDINATE ALL WALL COUNTERFLASHING REQUIREMENTS WITH THE ROOFER AND APPLICABLE TRADES PRIOR TO INSTALLATION. SHOULD CLARIFICATION OF ANY DETAIL BE NEEDED, THE SHELL GENERAL CONTRACTOR SHALL SUBMIT AN RFI TO THE ARCHITECT PRIOR TO INSTALLATION.

UNDER NO CIRCUMSTANCES WILL EXPOSED SINGLE-PLY MEMBRANE BE AN ACCEPTABLE MEANS OF FLASHING AT THE CONDITIONS NOTED.

EXTERIOR FINISH NOTES

EXTERIOR INSULATION FINISH SYSTEM (EIFS) REQUIREMENTS:

- THE STANDARD FINISH COAT OVER CEMENT PLASTER SURFACES SHALL BE AN ACRYLIC EIFS FINISH COAT, "DRYVIT TAFTS" (OPTION 1) AS MANUFACTURED BY DRYVIT SYSTEMS, INC. COLORS, AS SPECIFIED ON THE EXTERIOR FINISH SCHEDULE, HAVE BEEN SELECTED FROM DRYVIT'S STANDARD COLORS. THIS SYSTEM CONSISTS OF A TINTED PRIMER AND TEXTURED ACRYLIC FINISH WITH INTEGRAL COLOR. THE SPECIFIED SYSTEM HAS A 10-YEAR MANUFACTURER WARRANTY.
- WHERE A CUSTOM COLOR IS REQUIRED FOR THE FINISH COAT OVER CEMENT PLASTER SURFACES, AN ACRYLIC EIFS FINISH COAT, "DRYVIT TAFTS" (OPTION 1) WITH STRATOTONE COLOR MATCHING SYSTEM AS MANUFACTURED BY DRYVIT SYSTEMS, INC. SHALL BE PROVIDED. CUSTOM COLORS ARE SPECIFIED ON THE EXTERIOR FINISH SCHEDULE. THIS SYSTEM CONSISTS OF A TINTED PRIMER AND TEXTURED ACRYLIC FINISH WITH INTEGRAL COLOR. THE SPECIFIED SYSTEM HAS A 5-YEAR MANUFACTURER WARRANTY.
- ALL FINISH COAT TEXTURES SHALL BE "SANDPEBBLE" UNLESS OTHERWISE NOTED.
- WHERE FOAM TRIM, CORNICE MOLDING OR OTHER SHAPES ARE SPECIFIED, COMPONENTS SHALL BE AS MANUFACTURED BY "DRYVIT SHAPES BY ACRACORE" AND SHALL BE COMPRISED OF A TYPE 1 CLASSIFICATION EXPANDED POLYSTYRENE WRAPPED IN A FLEXIBLE IMPACT RESISTANT FIBERGLASS MESH AND COATED WITH A FACTORY APPLIED POLYMER MODIFIED, FLEXIBLE CEMENT COATING.
- ALL GENERAL CONTRACTOR BIDS SHALL INCLUDE THE ABOVE STATED SYSTEMS / PRODUCTS IN THEIR BASE BIDS. SUBSTITUTIONS WILL BE CONSIDERED FOR APPROVAL BUT ONLY IF FULLY QUALIFIED IN BIDS INCLUDING COMPLETE SYSTEM / PRODUCT SPECIFICATIONS AND ASSOCIATED COSTS.

EXTERIOR FINISH SCHEDULE

CEMENT PLASTER / EIFS FINISHES - ACRYLIC DPR EIFS FINISH WITH INTEGRAL COLOR AND TEXTURE. COLOR MATCH REFERENCED PAINTS.

TAG	MANUFACTURER	COLOR	DESCRIPTION
EF-1	DRYVIT	SW 6253 "OLYMPUS WHITE"	CUSTOM DRYVIT COLOR
EF-2	DRYVIT	SW 6257 "GIBRALTAR"	CUSTOM DRYVIT COLOR
EF-3	DRYVIT	PPG "AUTUMN RIDGE"	CUSTOM DRYVIT COLOR

PAINT FINISHES

TAG	MANUFACTURER	COLOR	DESCRIPTION
PT-1	SHERWIN WILLIAMS	"GIBRALTAR"	

METAL COPING, TRIM AND CANOPIES

TAG	MANUFACTURER	COLOR	DESCRIPTION
MTL-1	TBD	MATCH EF-1 "OLYMPUS WHITE"	
MTL-2	ARCHITECTURAL FABRICATIONS	"RUSTIC TEXTURE"	PREFINISHED METAL WALL PANELS IN VARIOUS WIDTHS AND PANEL LENGTHS
MTL-3	TBD	MATCH SF-1 "CHARCOAL"	

ALUMINUM STOREFRONT / DRIVE-THRU PICK-UP WINDOW

TAG	MANUFACTURER	COLOR	DESCRIPTION
SF-1	KAWNEER	"CHARCOAL"	PERMAFLUOR COATING
SF-2	QUICKSERV	"BRONZE"	



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FL License No. AR0015323
seal

no.	date	revision descriptions

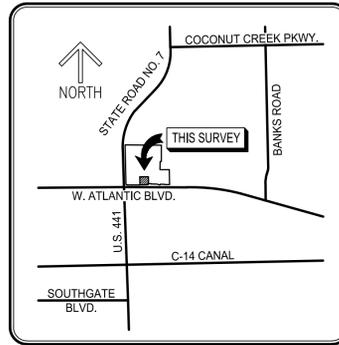
CHIPOTLE MEXICAN GRILL
BUILDING SHELL
US 441 AND ATLANTIC BLVD
MARGATE, FL 33063

09.07.21
date
21045
comm. no.

EXTERIOR
ELEVATIONS

A301

ALTA/NSPS LAND TITLE SURVEY



SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST
LOCATION MAP
(NOT TO SCALE)

DESCRIPTION:

A PORTION OF THE SHOPPING CENTER TRACT, MARGATE REALTY NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 42, PAGE 42 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST QUARTER (E 1/4) CORNER OF SECTION 36, TOWNSHIP 48, RANGE 41, BROWARD COUNTY, FLORIDA; THENCE ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SAID SECTION 36 ON A GRID BEARING OF NORTH 89°48'34" WEST A DISTANCE OF 746.71 FEET; THENCE NORTH 01°39'41" WEST A DISTANCE OF 55.83 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN RIGHT-OF-WAY WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 37291, PAGE 621 OF SAID BROWARD COUNTY PUBLIC RECORDS AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 01°39'41" WEST ALONG THE EAST LINE OF THE LANDS DESCRIBED IN THAT SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 48992, PAGE 728 OF SAID PUBLIC RECORDS, A DISTANCE OF 167.20 FEET TO THE NORTHEAST CORNER OF THE LAST DESCRIBED DEED; THENCE NORTH 00°23'28" EAST A DISTANCE OF 24.71 FEET; THENCE SOUTH 89°36'32" EAST A DISTANCE OF 209.29 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 5.00 FEET, A CENTRAL ANGLE OF 89°38'48" AND AN ARC LENGTH OF 7.82 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 00°02'16" WEST A DISTANCE OF 157.31 FEET TO THE NORTH LINE OF THE AFOREMENTIONED RIGHT-OF-WAY WARRANTY DEED; THENCE ALONG SAID NORTH LINE THE FOLLOWING THREE (3) COURSES AND DISTANCES: NORTH 89°48'52" WEST A DISTANCE OF 19.00 FEET; THENCE SOUTH 00°11'08" WEST A DISTANCE OF 25.08 FEET; THENCE SOUTH 89°04'22" WEST A DISTANCE OF 190.42 FEET TO THE POINT OF BEGINNING;

SAID LANDS LYING AND BEING IN THE CITY OF MARGATE, BROWARD COUNTY, FLORIDA AND CONTAINING 39,725 SQUARE FEET (0.912 ACRE), MORE OR LESS.

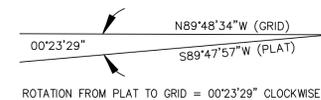
SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, AND RIGHTS-OF-WAY OF RECORD.

SCHEDULE B-II EXCEPTIONS

- EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORDS. **[INFORMATIONAL]**
- GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2021 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE. **[INFORMATIONAL]**
- RIGHTS OF TENANTS AND/OR PARTIES IN POSSESSION, AND ANY PARTIES CLAIMING, BY THROUGH OR UNDER SAID TENANTS OR PARTIES IN POSSESSION, AS TO ANY UNRECORDED LEASES OR RENTAL AGREEMENTS. **[INFORMATIONAL]**
- MATTERS AS CONTAINED ON THE PLAT OF MARGATE REALTY NO. 1 RECORDED IN PLAT BOOK 42, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. **[AFFECTS AS SHOWN]**
- EASEMENTS, LIMITED ACCESS LINES, RESTRICTIONS AND LIMITATIONS AS SHOWN ON THE PLAT OF LAKEWOOD COMMERCIAL, RECORDED IN PLAT BOOK 120, PAGE 27; AS AFFECTED BY THAT AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT FILED AUGUST 8, 1988 IN OFFICIAL RECORDS BOOK 15706, PAGE 330 AND AMENDMENT OF NOTATION ON PLAT FILED AUGUST 18, 1988 IN OFFICIAL RECORDS BOOK 15706, PAGE 334. **[DOES NOT AFFECT]**
- EASEMENT GRANTED TO FLORIDA POWER & LIGHT COMPANY, DATED JUNE 21, 1962, FILED NOVEMBER 13, 1962, IN OFFICIAL RECORDS BOOK 2490, PAGE 754. **[DOES NOT AFFECT]**
- TERMS AND PROVISIONS OF AGREEMENT BETWEEN SAMOS CORP., AND MARGATE UTILITIES CORPORATION, DATED SEPTEMBER 11, 1970, FILED OCTOBER 20, 1970 IN OFFICIAL RECORDS BOOK 4329, PAGE 124 **[AFFECTS - NOT PLOTTABLE]** AS AMENDED BY INSTRUMENT FILED NOVEMBER 11, 1971 IN OFFICIAL RECORDS BOOK 4673, PAGE 844 **[AFFECTS - NOT PLOTTABLE]**, SUBSEQUENTLY AMENDED BY DEVELOPER'S AGREEMENT BETWEEN ALEC P. COURTELIS ET. AL. AND MARGATE UTILITY AUTHORITY, INC., A FLORIDA CORPORATION, FILED JUNE 5, 1973 IN OFFICIAL RECORDS BOOK 5310, PAGE 295 **[AFFECTS - NOT PLOTTABLE]**, AND AS AFFECTED BY ADDENDUM TO DEVELOPER'S AGREEMENT FILED IN OFFICIAL RECORDS BOOK 11858, PAGE 26 **[DOES NOT AFFECT]**; AND ADDENDUM TO DEVELOPER'S AGREEMENT FILED IN OFFICIAL RECORDS BOOK 12236, PAGE 26 **[DOES NOT AFFECT]**; ASSIGNMENT OF DEVELOPER RIGHTS (AS TO PHASE I) FILED IN OFFICIAL RECORDS BOOK 15441, PAGE 512; ASSIGNMENT OF EQUIVALENT RESIDENTIAL CONNECTIONS, RECORDED IN OFFICIAL RECORDS BOOK 36097, PAGE 531; FIRST AMENDMENT TO ASSIGNMENT OF EQUIVALENT RESIDENTIAL CONNECTIONS RECORDED IN OFFICIAL RECORDS BOOK 41316, PAGE 1650 **[AFFECTS - NOT PLOTTABLE]**; AND RESOLUTION 2006-246 VACATING A PORTION OF WATER AND SEWER EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 41886, PAGE 177. **[DOES NOT AFFECT]**
- EASEMENT BETWEEN ALEC P. COURTELIS AND DONALD L. SMITH, JR. AND MARGATE UTILITY AUTHORITY, INC., A FLORIDA CORPORATION DATED NOVEMBER 1, 1973 AND FILED JUNE 3, 1974 IN OFFICIAL RECORDS BOOK 5787, PAGE 720. **[AFFECTS AS SHOWN]**
- TERMS, CONDITIONS AND PROVISIONS OF THAT CERTAIN DECLARATION ESTABLISHING RECIPROCAL EASEMENTS FOR INGRESS AND EGRESS AND PARKING BY ALEC P. COURTELIS AND DONALD L. SMITH, JR., D/B/A BROWARD ASSOCIATES DATED JUNE 9, 1975 AND RECORDED JUNE 25, 1975 IN OFFICIAL RECORDS BOOK 6249, PAGE 478. **[AFFECTS - NOT PLOTTABLE]**
- TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THAT CROSS PARKING AGREEMENT BETWEEN ALEC P. COURTELIS AND DONALD L. SMITH, JR. AND G.L.A. ENTERPRISES OF MARGATE DATED JULY 20, 1997, FILED SEPTEMBER 30, 1977 IN OFFICIAL RECORDS BOOK 7226, PAGE 316, AS AMENDED BY INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 31710, PAGE 1653. **[BOTH AFFECT - NOT PLOTTABLE]**
- GRANT OF EASEMENT BETWEEN M.A.P. VIEWPOINTE, INC., A FLORIDA CORPORATION, AND V.L.R.C. ASSOCIATES, A FLORIDA GENERAL PARTNERSHIP AND ALEC P. COURTELIS AND DONALD L. SMITH, JR. D/B/A BROWARD ASSOCIATES, DATED AUGUST 8, 1983, FILED OCTOBER 31, 1983, IN OFFICIAL RECORDS BOOK 11235, PAGE 267. **[DOES NOT AFFECT]**
- ASSIGNMENT OF DEVELOPER RIGHTS UNDER UTILITY SERVICE AGREEMENTS DATED JANUARY 31, 1984, FILED OCTOBER 1, 1984, IN OFFICIAL RECORDS BOOK 12030, PAGE 730 AND DATED APRIL 10, 1985, FILED JULY 2, 1985, IN OFFICIAL RECORDS BOOK 12652, PAGE 175. **[BOTH DO NOT AFFECT]**
- DECLARATION AND GRANT OF EASEMENTS FOR LAKEWOOD MALL DATED DECEMBER 11, 1985 AND FILED JANUARY 6, 1986 IN OFFICIAL RECORDS BOOK 13092, PAGE 412; AS AMENDED BY AMENDED DECLARATION AND GRANT OF EASEMENTS FILED APRIL 8, 1986 IN OFFICIAL RECORDS BOOK 13307, PAGE 905. **[BOTH AFFECT - NOT PLOTTABLE]**
- EASEMENTS GRANTED IN THAT CERTAIN WARRANTY DEED TO MCDONALD'S RESTAURANTS OF FLORIDA, INC., A FLORIDA CORPORATION DATED JUNE 16, 1988 AND FILED JULY 1, 1988 IN OFFICIAL RECORDS BOOK 15568, PAGE 624, AS ASSIGNED BY ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 41398, PAGE 139 AND ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 48845, PAGE 137. **[ALL DO NOT AFFECT]**
- TERMS, CONDITIONS AND PROVISIONS OF THAT CERTAIN DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS BY AND BETWEEN PAN THOMAS COURTELIS, AS TRUSTEE, AND DONALD L. SMITH, JR., AND PENINSULA BANK RECORDED IN OFFICIAL RECORDS BOOK 29088, PAGE 1487, AS ASSIGNED BY ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 48911, PAGE 643. **[ALL DO NOT AFFECT]**
- TERMS, CONDITIONS AND PROVISIONS OF THAT CERTAIN UNRECORDED LEASE BY AND BETWEEN LAKEWOOD ASSOCIATES, LTD., AND MARSHALLS OF MA, INC., AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 32017 PAGE 1976. **[DOES NOT AFFECT]**
- TERMS, CONDITIONS AND PROVISIONS OF THAT CERTAIN UNRECORDED LEASE BY AND BETWEEN LAKEWOOD ASSOCIATES, LTD., AND WALGREEN CO., AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 32169, PAGE 1759, TOGETHER WITH CONSENT RECORDED IN OFFICIAL RECORDS BOOK 36097, PAGE 529. **[DOES NOT AFFECT]**
- TERMS, CONDITIONS, AND PROVISIONS OF ASSIGNMENT OF EQUIVALENT RESIDENTIAL CONNECTIONS, RECORDED IN OFFICIAL RECORDS BOOK 32558, PAGE 1387. **[AFFECTS - NOT PLOTTABLE]**
- RESTRICTIVE COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS SET FORTH IN THE DECLARATION OF EASEMENTS, RESTRICTIONS AND COVENANTS RECORDED IN OFFICIAL RECORDS BOOK 36097, PAGE 505, AS AMENDED BY FIRST AMENDMENT TO DECLARATION OF EASEMENTS, RESTRICTIONS AND COVENANTS RECORDED IN OFFICIAL RECORDS BOOK 41494, PAGE 1999. **[AFFECTS - NOT PLOTTABLE]**
- EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 36949, PAGE 953. **[DOES NOT AFFECT]**
- EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 36949, PAGE 955. **[DOES NOT AFFECT]**
- EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 36949, PAGE 957. **[DOES NOT AFFECT]**
- EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 36949, PAGE 959. **[DOES NOT AFFECT]**
- DECLARATION OF USE RESTRICTIONS MADE BY LAKEWOOD RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LAKEWOOD RETAIL II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, RECORDED MARCH 14, 2018 IN OFFICIAL RECORDS INSTRUMENT NO. 114947046. **[DOES NOT AFFECT]**

SURVEYOR'S NOTES AND REPORT:

- REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN ORIGINAL SURVEYOR'S SEAL.
- SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE ORIGINAL SEAL, OR AN AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL, OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
- THE BOUNDARY SHOWN HEREON IS BASED ON THE PLAT OF MARGATE REALTY NO. 1, RECORDED IN PLAT BOOK 42, PAGE 42, AND RIGHT-OF-WAY WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 37291, PAGE 621, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA
- BEARINGS SHOWN HEREON ARE GRID AS DETERMINED FROM THE FLORIDA STATE PLANE COORDINATES SHOWN ON THE BROWARD COUNTY HIGHWAY CONSTRUCTION & ENGINEERING DIVISION MAP OF SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST, AND REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, EAST ZONE, TRANSVERSE MERCATOR PROJECTION, THE SOUTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST HAS A GRID BEARING OF NORTH 89°48'34" WEST.
- DISTANCES AND ELEVATIONS SHOWN HEREON ARE BASED ON THE U.S. SURVEY FOOT, UNLESS OTHERWISE NOTED.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
- BENCHMARK OF ORIGIN DESCRIPTION: BROWARD COUNTY BENCHMARK #1439. PUBLISHED ELEVATION = 16.543' NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929). ELEVATION = 14.985' (NAVD 1988) VERTICAL DATUM CONVERSION: (NGVD 1929) - 1.558' = (NAVD 1988)
- THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ±0.03' FOR HARD SURFACE ELEVATIONS AND ±0.1' FOR SOFT SURFACE ELEVATIONS.
- FLOOD ZONE: "AH" (EL. 11'); CITY OF MARGATE COMMUNITY PANEL NUMBER 120047 0355 H; FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12011C0355H, EFFECTIVE DATE: AUGUST 18, 2014. BASE FLOOD ELEVATION IS REFERENCED TO NAVD 1988. ZONE AH IS SHOWN AS HATCHED AREA HEREON
- THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATIONS ARE TO THE CENTER OF THE SYMBOL. THE EXPECTED HORIZONTAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ±0.2'.
- THE SYMBOLS SHOWN IN THE LEGEND AND ON THIS MAP MAY HAVE BEEN ENLARGED OR REDUCED FOR CLARITY, AND MAY NOT DEPICT THE ACTUAL SIZE OR SHAPE OF THE FEATURES.
- UNDERGROUND FOUNDATIONS, ENCROACHMENTS AND/OR UTILITIES WERE NOT LOCATED.
- THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST, HOWEVER, NO SUBSURFACE INVESTIGATION WAS PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS ARE PRESENT.
- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THERE ARE NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES THAT WERE MADE AVAILABLE TO THE SURVEYOR FROM THE CITY OF MARGATE OR BROWARD COUNTY.
- THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- INSTRUMENTS OF RECORD SHOWN HEREON PER AMERICAN LAND TITLE ASSOCIATION COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY-COMMERCIAL, FILE NUMBER: 21103559 JP3, COMMITMENT EFFECTIVE DATE: JUNE 17, 2021 AT 08:00 AM, REVISION DATE: JUNE 29, 2021 8:11 AM. ALL PLOTTABLE MATTERS ARE SHOWN HEREON. NOTE: THE LEGAL DESCRIPTION CONTAINED IN THE TITLE COMMITMENT REFERENCED HEREIN DESCRIBES THE WALMART PROPERTY (FOLIO NUMBER 4841-36-06-0019). THE ANNOTATED SURVEYOR'S COMMENTS CONTAINED IN THE B-II EXCEPTIONS REFER ONLY TO THE LEGAL DESCRIPTION AND BOUNDARY SHOWN ON THIS SURVEY.
- FOLIO NUMBERS SHOWN HEREON WERE OBTAINED FROM THE BROWARD COUNTY PROPERTY APPRAISER'S WEBSITE ON MAY 12, 2021.
- INSTRUMENTS OF RECORD SHOWN HEREON ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- SITE AREA: 39,725 SQUARE FEET (0.912 ACRE), MORE OR LESS.



CERTIFICATION:

TO:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 5, 8, 9, 16 AND 17 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON MAY 5, 2021

DATE OF PLAT OR MAP: SEPTEMBER 2, 2021

REVISED BOUNDARY AND LEGAL DESCRIPTION	9-02-2021	der
ADD WATER VALVE IN ATLANTIC	8-27-2021	fw
REVISED TITLE COMMITMENT (SURVEY NOTE #20)	7-14-2021	der
REVISIONS	DATE	BY
FILE NAME: 9435_SUR.dwg		

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561) 392-1991 / FAX (561) 750-1452

ATLANTIC MARGATE
ALTA/NSPS LAND TITLE SURVEY

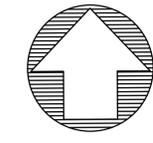
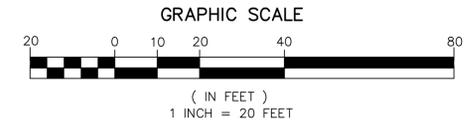
DATE	5/04/2021
DRAWN BY	der
F.B./ PG.	ELECT.
SCALE	1"=20'



JOB #	9435
SHT. NO.	1
OF	2 SHEETS

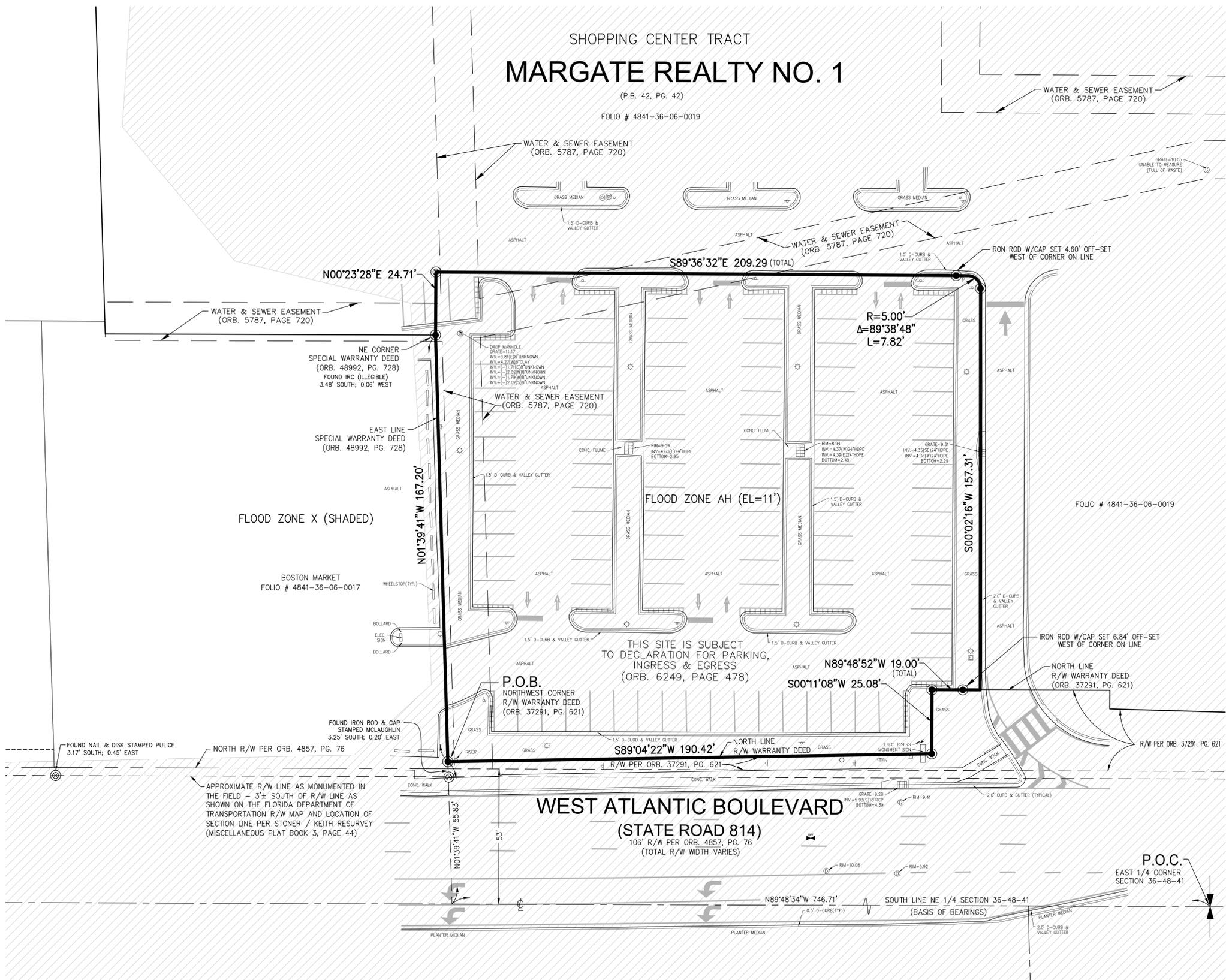
DAVID E. ROHAL
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA CERTIFICATION NO. 4315

ALTA/NSPS LAND TITLE SURVEY



SHOPPING CENTER TRACT MARGATE REALTY NO. 1

(P.B. 42, PG. 42)
FOLIO # 4841-36-06-0019



- LEGEND:**
- ☉ - LIGHT POLE
 - ⦿ - FIRE HYDRANT
 - ▣ - CATCH BASIN
 - ⊕ - WATER VALVE
 - ⊕ - SET 5/8" IR/CAP LB 3591
 - ⊕ - SANITARY MANHOLE
 - ⊕ - DRAINAGE MANHOLE
 - ⊕ - WOOD POWER POLE (UNLESS NOTED)
 - ⊕ - ANCHOR
 - ⊕ - TRAFFIC SIGN
 - ⊕ - WATER METER
 - ⊕ - RPZ
 - ⊕ - GROUND LIGHT
 - ⊕ - ELECTRIC HAND HOLE
 - ⊕ - IRRIGATION CONTROL VALVE
 - ⊕ - CONCRETE POWER POLE
 - ⊕ - FIRE DEPARTMENT CONNECTION
 - ⊕ - CENTER LINE
 - ⊕ - EXISTING ELEVATION
 - LB. - LICENSED BUSINESS
 - ORB. - OFFICIAL RECORDS BOOK
 - PG. - PAGE
 - R/W - RIGHT-OF-WAY
 - ⊕ - SET 5/8" IRON ROD W/CAP STAMPED: C&W LB 3591
 - ⊕ - SET MAG NAIL & DISK STAMPED: C&W LB 3591 UNLESS NOTED OTHERWISE
 - ▨ - DENOTES FLOOD ZONE AH (EL=11')

FILE NAME	9435_SUR.dwg
REVISIONS	DATE
7-01-2021	der
8-27-2021	fw
ADD WATER VALVE IN ATLANTIC	
REVISED TITLE COMMITMENT (SURVEY NOTE #2)	

CAULFIELD & WHEELER, INC.
 CIVIL ENGINEERING
 LANDSCAPE ARCHITECTURE - SURVEYING
 7900 GLADES ROAD - SUITE 100
 BOCA RATON, FLORIDA 33434
 PHONE (561) 392-1991 / FAX (561) 750-1452

ATLANTIC MARGATE ALTA/NSPS LAND TITLE SURVEY

DATE	5/04/2021
DRAWN BY	der
F.B./ PG.	ELECT.
SCALE	1"=20'



JOB #	9435
SHT. NO.	2
OF 2 SHEETS	