PRELIMINARY LAND DEVELOPMENT PLANS

FOR —

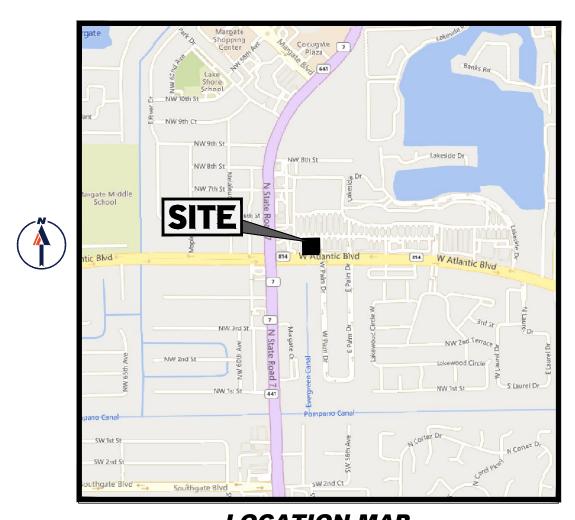
CHIPOTLE - MARGATE

REFERENCES AND CONTACTS

◆BOUNDARY & TOPOGRAPHIC SURVEY: CAULFIELD & WHEELER. IMC BOCA RATON, FL 33434 DATED: 5/4/2021 PROJECT #: 9435 **ELEVATIONS: NAVD 1998** ♦ARCHITECTURAL PLAN: FWH ARCHITECTS 3336 GRAND BOULEVARD PHONE: 727-815-3336 DATE: 6/11/2021 SCOTT BARBER DESIGNS P.A. 1551 WYNDCLIFF DRIVE WELLINGTON, FL 33414 **GOVERNING AGENCIES** ♦CITY OF MARGATE 901 NW 66TH AVENUE MARGATE, FL 33063 PHONE: 954-884-3684 3301 GUN CLUB ROAD WEST PALM BEACH, FL 33406 PHONE: (561) 686-8800 UTILITIES ♦WATER/SEWER DEPARTMENT OF ENVIRONMENTAL & ENGINEERING SERVICES 901 NW 66TH AVENUE MARGATE, FL 33063 PHONE: (904) 972-0828 ext. 210 ◆<u>CABLE</u> COMCAST RICARDO DAVIDSON PHONE: (786) 586-5805 DINO FARUGGIO PHONE: (561) 997-0240 TECO PEOPLES GAS SOUTH FLORIDA JOAN DOMNING PHONE: (813) 275-3783

* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCES

5555 W ATLANTIC BOULEVARD
MARGATE, FL 33063
PARCEL ID NUMBER: 484136060019



SCALE: N.T.S.

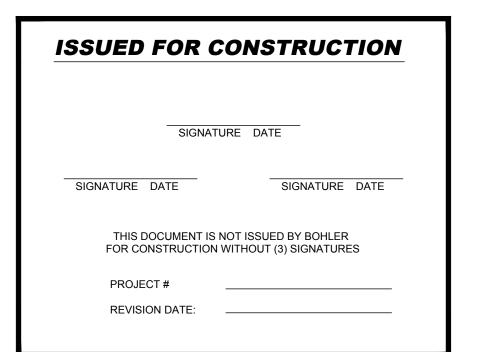
DEVELOPER/OWNER

FERBER CONSTRUCTION MANAGEMENT, LLC
2655 NORTH OCEAN DRIVE
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PREPARED BY



SPECIAL EXCEPTION SUBMITTAL	DRC JBMITTAL	SHEET INDEX	
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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES

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PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLB20009
DRAWN BY: RE
CHECKED BY: MEDIATE: 6/11/202
CAD I.D.: CND

PROJECT:

PROP.

SITE PLAN

DOCUMENTS
FOR



CHIPOTLE - MARGATE

5555 W ATLANTIC BOULEVARD MARGATE, FL 33063

BOHLER

1900 NW CORPORATE BOULEVARD SUITE 101E BOCA RATON, FLORIDA 33431 Phone: (561) 571-0280 Fax: (561) 571-0281

FLORIDA BUSINESS CERT. OF AUTH. No. 30780

This item has been digitally signed and sealed by Mohammed Merouane El Kaoussi, PE, on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

HEET TITLE:

COVER SHEET

HEET NUMBER:

C-101

ORG. DATE - 6/11/2021

GENERAL NOTE:

T IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT
DRK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO
THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN
WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE
CCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN

GENERAL NOTES THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING FLORIDA LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER . IN WRITING. IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOLIND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, FLECTRICAL PLUMBING AND FIRE SUPPRESSION PLANS. WHERE APPLICABLE) THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER ARCHITECT AND ENGINEER OF RECORD AND BOHLER. IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS. AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES. OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS. MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS. THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND. IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. $\,$ IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE

CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN FITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT

DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE. BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION. AND IN CONFORMANCE WITH APPLICABLE CODES. LAWS. RULES. REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES, THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME, THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB

SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS,

INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES. CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND

ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME.

TERMINATION. SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE. EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SURSIDIARIES, AND RELATED ENTITIES, AND ITS SURCONTRACTORS AND SURCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND. IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED. WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT.

PERMITTED LINDER THE LAW INDEMNIEY DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES. CLAIMS, ACTIONS. PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER. IN WRITING. AT LEAST THIRTY (30) DAYS PRIOR TO ANY

THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES. GENERALLY OR FOR THE CONSTRUCTION MEANS. METHODS. TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES. AND RELATED ENTITIES. AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE

CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION. THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK SERVICES AND/OR VIOLATIONS OF THIS NOTE. THESE NOTES OR ANY NOTES IN THE PLAN SET AND FURTHER. THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE

WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER. BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS. SUCH AS SHOP DRAWINGS. PRODUCT DATA. SAMPLES. AND OTHER DATA. WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OF TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT, ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE. MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL

SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED. 5. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.

THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND FLEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE, THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS N STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIEY AND HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES. HARMLESS FOR ALL INJURIES. DAMAGES AND COSTS THAT ENGINEER OF RECORD.

AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS

THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO

DO SO. THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES. AS APPROPRIATE AND FURTHER.

THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE. EITHER EXPRESSED OR IMPLIED. UNDER ANY CIRCUMSTANCES

DEMOLITION NOTES THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT. DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE

COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY. THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL

THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED. REMOVED. AND/OR TO REMAIN. A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. B. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE

FEDERAL LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. 5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT. SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST

PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE. S. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF

ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER. IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO BY THE ENGINEER OF RECORD AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS,

STATUTES, ORDINANCES AND CODES. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES

AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. 10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT. SITE WORK, AND DEMOLITION WORK B NOTIFY AT A MINIMUM. THE MUNICIPAL ENGINEER. DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT

LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK. C. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT. IN ADVANCE OF ANY EXCAVATION. E. LOCATE AND PROTECT ALL UTILITIES AND SERVICES. INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT

ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED

IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, OOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND

PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER

CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER. 2. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES

3. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT, BACKELLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE. POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER.

. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL. STATE, AND LOCAL GOVERNMENTS REQUIRE, THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE.

TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST.

: PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO. THE PUBLIC RIGHT-OF-WAY. 17 THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE

AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. 18. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. EROSION CONTROL MEASURES MUST CONFORM TO THE FLORIDA GUIDELINES FOR URBAN EROSION AND SEDIMENT ONTROL UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE FROSION CONTROL CONSTRUCTION NOTES

THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 0.91 ACRES. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE: A. STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.

B. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE. TEMPORARY FILL AND SOIL STOCKPILES. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE

FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS

DEPOSITS GREATER THAN 6" COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST

EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS

RESPONSIBLE FOR ALL SUCH COSTS.

THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT

MANAGEMENT PRACTICES. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE

. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION. 12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL

FACILITIES. MEASURES AND STRUCTURES. ADDITIONAL FACILITIES. MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY. INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE

AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES. BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT. 6. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE

OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES. 7. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED

SITE LAYOUT NOTES

WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT. DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY 3 ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.

GRADING NOTES

I. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT OCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS

SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF

RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT

ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES. STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL. COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING. BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES. STATUTES, LAWS. ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING

PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S). THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING. AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS

ACCESSIBILITY DESIGN GUIDELINES

1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE

SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY. COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA)

MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET

COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS

ECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL. OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE

OVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST OT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, <u>FLARE SIDES</u> SLOPES MUST NOT

EXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH F TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE I'HIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE) F. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO

FLEVATIONS SHOWN ON THE PLAN NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADAISTANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES . THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF

ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE. REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES 4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS

CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

DRAINAGE AND UTILITY NOTES (Rev.2/2021)

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY

POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD. PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES. ERRORS AND OMISSIONS IN WRITING. TO THE ENGINEER OF RECORD. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED O, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR

CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIEY AND CONFIRM ALL SANITARY CONNECTION.

ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR

VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS. 6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARI ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS. OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO

CONSTRUCTION. MUST RESOLVE SAME. 7 ALL FILL COMPACTION AND BACKELL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. ENGINEER OF RECORD AND

BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS

8. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE. IN ANY RESPECT FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S). WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY,

WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE

AGENCY WITH JURISDICTION OVER SAME. 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY.

THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION 12. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

LIGHTING NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

(Rev. 1/2020)

THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS THE LIGHTING PLAN DEPICTS PROPOSED. SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER ACTUAL SUSTAINED SITE II I IMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES

AND OTHER RELATED VARIABLE FIELD CONDITIONS. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY, THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.

THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY. AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.

THE CONTRACTOR MUST BRING IMMEDIATELY IN WRITING ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE UTILITIES OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

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6/11/2021

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Phone: (561) 571-0280 Fax: (561) 571-0281 FLORIDA BUSINESS CERT. OF AUTH. No. 30780

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GENERAL

	D DRAWING FOR ENTIRE PLAN SET	LEGEND	AL	STANDARD BBREVIATIONS
LIMIT OF WORK		-LOW-LOW-		FOR ENTIRE PLAN SET
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LIMIT OF DISTUR	DANCE -	—LOD———LOD——	ADA	AMERICANS WITH DISABILITY ACT
EVICTIMO MOTE	TVDICAL NOTE TEXT	DDODOGED MOTE	ARCH	ARCHITECTURAL
EXISTING NOTE	ONSITE PROPERTY	PROPOSED NOTE	ВС	BOTTOM OF CURB
	LINE / R.O.W. LINE		BF	BASEMENT FLOOR
	NEIGHBORING PROPERTY LINE /		BK BL	BLOCK BASELINE
	INTERIOR PARCEL LINE		BLDG	BUILDING
	EASEMENT LINE		BM	BUILDING BENCHMARK
	SETBACK		BRL	BUILDING RESTRICTION LINE
	LINE		CF	CUBIC FEET
			CL	CENTERLINE
		OURD AND OUTTER	CMP	CORRUGATED METAL PIPE
		CURB AND GUTTER	CONC	CONNECTION
	CONCRETE CURB &	SPILL TRANSITION	CPP	CORRUGATED PLASTIC PIPE
	GUTTER	DEPRESSED CURB AND GUTTER	CY	CUBIC YARDS
			DEC	DECORATIVE
	UTILITY POLE	0	DEP	DEPRESSED
	WITH LIGHT		DIP	DUCTILE IRON PIPE
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φ	ACORN	\$	FES	FLARED END SECTION
	LIGHT	r	FF	FINISHED FLOOR
<u> </u>	TYPICAL SIGN		FH	FIRE HYDRANT
\wedge	PARKING	\Diamond	FG	FINISHED GRADE
<u> </u>	COUNTS	<u> </u>	G GF	GRADE GARAGE FLOOR (AT DOOR)
			GF GH	GRADE HIGHER SIDE OF WALL
— <i>—170</i> — — —	CONTOUR	190	GL	GRADE LOWER SIDE OF WALL
— —//0— — — 169	CONTOUR LINE	187	GRT	GRATE
TC 516.4	SPOT	TC 516.00 TC 516.00 MATCH EX	GV	GATE VALVE
TC 516.4 OR 516.4	ELEVATIONS	BC 515.55 (518.02 ±)	HDPE	HIGH DENSITY POLYETHYLENE PIPE
			HP	HIGH POINT
SAN	SANITARY	SAN	HOR	HORIZONTAL
	LABEL	#	HW	HEADWALL
(X)	STORM LABEL	X #	INT	INTERSECTION
	SANITARY SEWER	\$L	INV	INVERT
— JL	LATERAL		IP	INLET PROTECTION
W	UNDERGROUND WATER LINE		LF LOC	LINEAR FOOT LIMITS OF CLEARING
	UNDERGROUND		LOC	LIMITS OF CLEARING LIMITS OF DISTURBANCE
	ELECTRIC LINE	t	LOS	LINE OF SIGHT
	UNDERGROUND GAS LINE	G	LP	LOW POINT
211	OVERHEAD	2	L/S	LANDSCAPE
OH	WIRE	——————————————————————————————————————	MAX	MAXIMUM
	UNDERGROUND TELEPHONE LINE		MIN	MINIMUM
	TELEPHONE LINE UNDERGROUND		MH	MANHOLE MECHANICAL JOINT
	CABLE LINE	c	MJ OC	MECHANICAL JOINT ON CENTER
	STORM		PA	POINT OF ANALYSIS
	SEWER		PC	POINT CURVATURE
	SANITARY SEWER MAIN	s ————	PCCR	POINT OF COMPOUND
~	HYDRANT	8		CURVATURE, CURB RETURN
			PI	POINT OF INTERSECTION POINT OF GRADE
S	SANITARY MANHOLE		PROP	PROPOSED
	STORM		PT	POINT OF TANGENCY
(D)	MANHOLE	(<u>©</u>)	PTCR	POINT OF TANGENCY,
⊗ ^{WM}	WATER METER	•		CURB RETURN
WV		_	PVC	POLYVINYL CHLORIDE PIPE POINT OF VERTICAL
\bowtie	WATER VALVE	•	PVI	INTERSECTION
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OR	HEADWALL OR ENDWALL	J OR	SAN	SANITARY SEWER
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0			S/W	SIDEWALK
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	INLET CLEAN OUT ELECTRIC		T TBR	SIDEWALK TRANSFORMER TO BE REMOVED
©	CLEAN OUT ELECTRIC MANHOLE	© ©	Т	SIDEWALK TRANSFORMER
0	INLET CLEAN OUT ELECTRIC	0	T TBR TBRL	SIDEWALK TRANSFORMER TO BE REMOVED TO BE RELOCATED
©	INLET CLEAN OUT ELECTRIC MANHOLE TELEPHONE MANHOLE ELECTRIC	© (E) (T)	T TBR TBRL TC	SIDEWALK TRANSFORMER TO BE REMOVED TO BE RELOCATED TOP OF CURB
©	INLET CLEAN OUT ELECTRIC MANHOLE TELEPHONE MANHOLE ELECTRIC BOX	© (E) (T) (EB)	T TBR TBRL TC TELE	SIDEWALK TRANSFORMER TO BE REMOVED TO BE RELOCATED TOP OF CURB TELEPHONE
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©	INLET CLEAN OUT ELECTRIC MANHOLE TELEPHONE MANHOLE ELECTRIC BOX ELECTRIC	© (E) (T) (EB)	T TBR TBRL TC TELE TPF TW	SIDEWALK TRANSFORMER TO BE REMOVED TO BE RELOCATED TOP OF CURB TELEPHONE TREE PROTECTION FENCE TOP OF WALL
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©	INLET CLEAN OUT ELECTRIC MANHOLE TELEPHONE MANHOLE ELECTRIC BOX ELECTRIC PEDESTAL	© (E) (T) (EB)	T TBR TBRL TC TELE TPF TW TYP UG UP W	SIDEWALK TRANSFORMER TO BE REMOVED TO BE RELOCATED TOP OF CURB TELEPHONE TREE PROTECTION FENCE TOP OF WALL TYPICAL UNDERGROUND UTILITY POLE WIDE
©	INLET CLEAN OUT ELECTRIC MANHOLE TELEPHONE MANHOLE ELECTRIC BOX ELECTRIC PEDESTAL MONITORING WELL	© (E) (T) (E) (F)	T TBR TBRL TC TELE TPF TW TYP UG UP W W/L	SIDEWALK TRANSFORMER TO BE REMOVED TO BE RELOCATED TOP OF CURB TELEPHONE TREE PROTECTION FENCE TOP OF WALL TYPICAL UNDERGROUND UTILITY POLE WIDE WATER LINE
©	INLET CLEAN OUT ELECTRIC MANHOLE TELEPHONE MANHOLE ELECTRIC BOX ELECTRIC PEDESTAL	© (E) (T) (E) (F)	T TBR TBRL TC TELE TPF TW TYP UG UP W W/L W/M	SIDEWALK TRANSFORMER TO BE REMOVED TO BE RELOCATED TOP OF CURB TELEPHONE TREE PROTECTION FENCE TOP OF WALL TYPICAL UNDERGROUND UTILITY POLE WIDE WATER LINE WATER METER
©	INLET CLEAN OUT ELECTRIC MANHOLE TELEPHONE MANHOLE ELECTRIC BOX ELECTRIC PEDESTAL MONITORING WELL TEST	© (E) (T) (E) (F)	T TBR TBRL TC TELE TPF TW TYP UG UP W W/L	SIDEWALK TRANSFORMER TO BE REMOVED TO BE RELOCATED TOP OF CURB TELEPHONE TREE PROTECTION FENCE TOP OF WALL TYPICAL UNDERGROUND UTILITY POLE WIDE WATER LINE

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EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
- — 120 — — — — — — — — — — — — — — — — — — —	CONTOUR LINE	120 125
TC 516.4 OR 516.4	SPOT ELEVATIONS	TC 516.00 BC 515.55
SAN #	SANITARY LABEL	SAN #
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OR	HEADWALL OR ENDWALL	or [
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EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
SAN	SANITARY	SAN
# STW	LABEL	# STM
#	LABEL SANITARY SEWER	# SL
SL	LATERAL	SL
W	UNDERGROUND WATER LINE	W
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EAS	PROPOSED EMENT LEGEND
607	
DIM	COMMON SHARED
IE DIM	INGRESS-EGRESS
PA	PUBLIC ACCESS
PU	PUBLIC UTILITY
SAN	SANITARY SEWER
SI	SIGHT DISTANCE
STM DIM	STORM DRAIN
VAR	VARIABLE WIDTHS
WDIM	WATER

DEMOLITION / REMOVAL

LEGEN	ID
DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEX
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=========	CONCRETE CURB 8
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E=== -0	POLE LIGHT
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\$	ACORN LIGHT
<u>M</u>	TYPICAL SIGN
\triangle	PARKING COUNTS
TC 516.4 OR 516.4	SPOT ELEVATIONS
SAN #	SANITARY LABEL
STM #	STORM LABEL
SL	SANITARY SEWER LATERAL
W	UNDERGROUND WATER LINE
E	UNDERGROUND ELECTRIC LINE
G	UNDERGROUND GAS LINE
ОН	OVERHEAD WIRE
T	UNDERGROUND TELEPHONE LINE
cc	UNDERGROUND CABLE LINE
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w ×	WATER VALVE
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$oxed{\boxtimes}$	GAS METER



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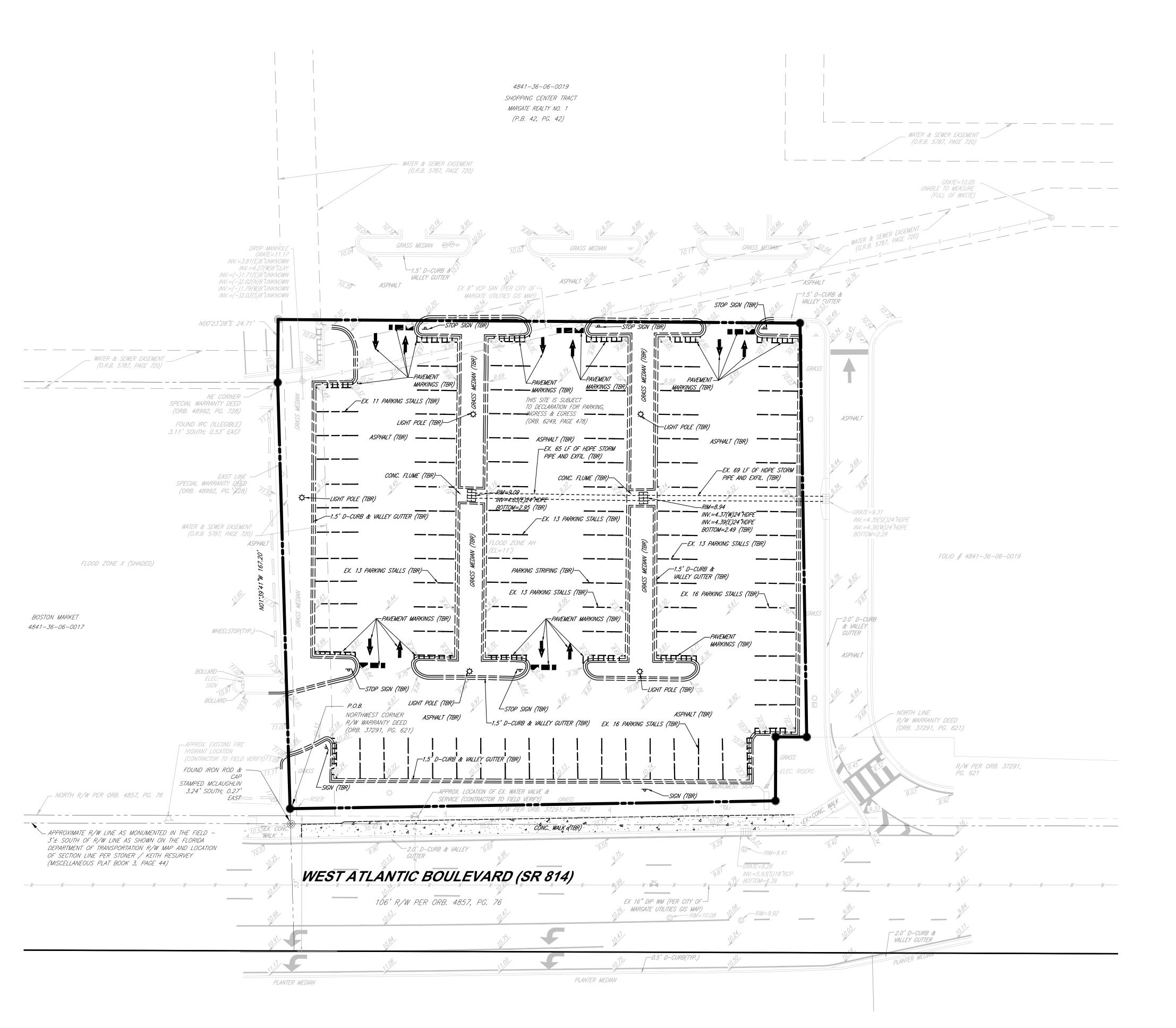
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- BOHLER ENGINEERING FL, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
 CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- 2. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO BOHLER ENGINEERING FL, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:

 A. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
 B. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON
- SITE AND AVAILABLE FOR REVIEW.
 C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 D. LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS,
- WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.

 E. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- F. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND BEING RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH
- G. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.

 H. A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- 4. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- 5. IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- 6. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- 7. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS
- 8. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- 9. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- 10. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- 11. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- 12. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- 13. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- 14. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- 15. ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

DATUM NOTES:

ELEVATIONS SHOWN HERON ARE NORTH AMERICAN VERTICAL DATUM OF 1988, AND ARE REFERENCED TO BROWARD COUNTY BENCHMARK #1439, ELEVATION = 14.985'

FEMA MAP INFORMATION:

THE SITE APPEARS TO BE IN FLOOD ZONE AH (EL = 11'), ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AS SHOWN IN THE FLOOD INSURANCE RATE MAP, 12011C0355H MAP REVISED 8/18/2014 NATIONAL FLOOD INSURANCE PROGRAM.



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V	DATE	COMMENT	DRAWN BY		



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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLB20009:
DRAWN BY: REM

6/11/2021 DEMO

DATE: CAD I.D.:

PROJECT:

CHECKED BY:

PROP.
SITE PLAN
DOCUMENTS



CHIPOTLE - MARGATE

5555 W ATLANTIC BOULEVARD MARGATE, FL 33063

BOHLER/

1900 NW CORPORATE BOULEVARD SUITE 101E BOCA RATON, FLORIDA 33431

Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CERT. OF AUTH. No. 30780

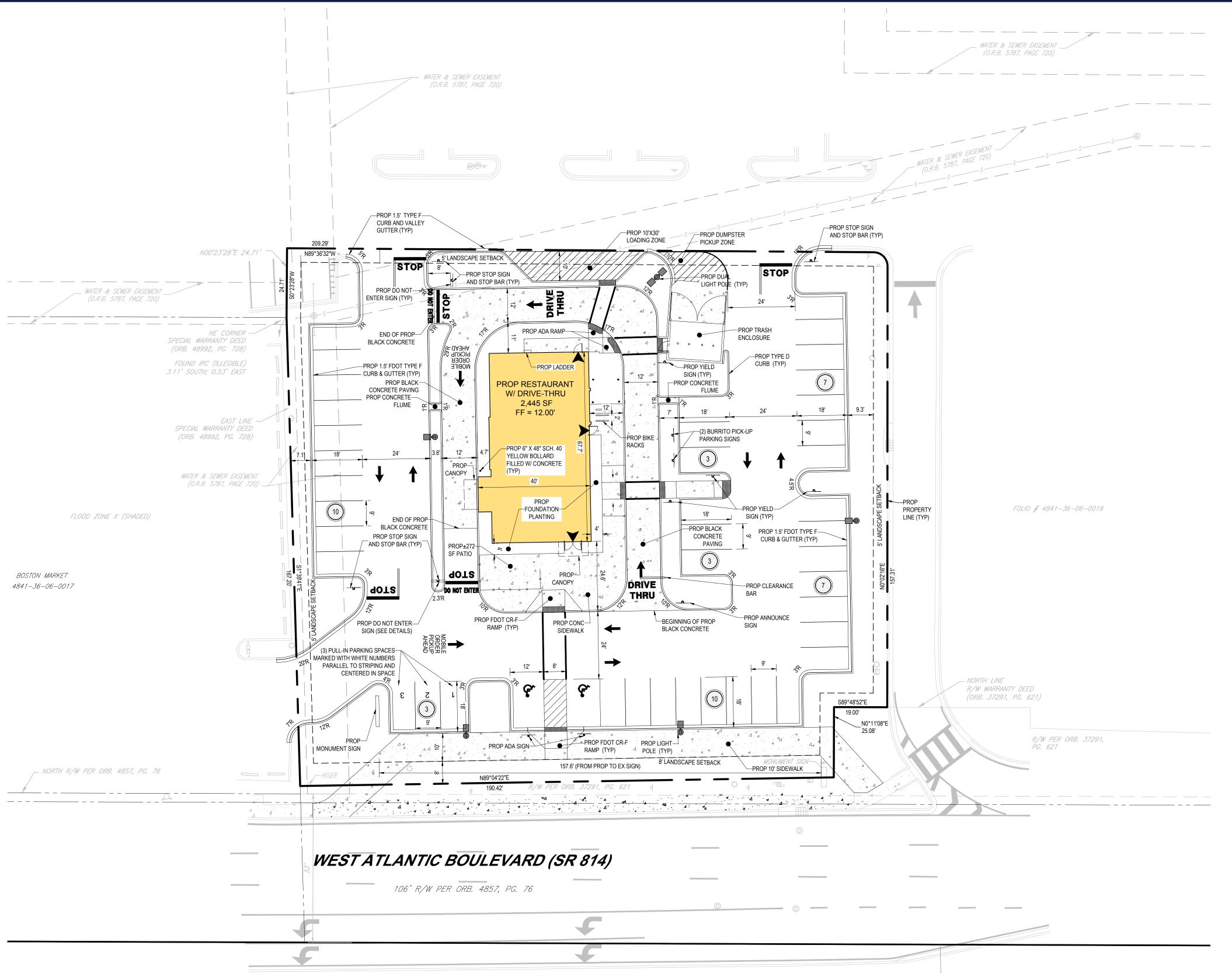
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SHEET TITLE:

DEMOLITION PLAN

HEET NUMBER:

C-20′





ADA ACCESSIBILITY NOTES:

- 1. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE)
- 2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- 3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- 4. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE ROW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- 5. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA
- 6. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.



JURISDICTION		CITY OF MARGATE	
TOTAL LOT AREA		39,726 SF OR 0.91 AC (100%)	
TOTAL IMPERVIOUS AREA		31,347 SF OR 0.72 AC (79.0%)	
BUILDING AREA	2,445 SF OR 0.06 AC (6.2%)		
TOTAL PERVIOUS AREA		8,362 SF OR 0.19 AC (21.0%)	
VEHICULAR USE AREA		21,316 SF OR 0.49 AC (55.5%)	
FLOOR AREA		6.20%	
LOT COVERAGE		6.20%	
CURRENT ZONING	TOC - C: TR	ANSIT-ORIENTED CORRIDOR	- CORRIDOR
PROPOSED ZONING	TOC - C: TR	ANSIT-ORIENTED CORRIDOR	- CORRIDOR
BUILDING SETBACK		REQUIRED	PROVIDED
	FRONT SETBACK (SOUTH)	18'	±85.4'
	REAR SETBACK (NORTH)	0'	±37.0'
	SIDE SETBACK (EAST)	0'	±106.6'
	SIDE SETBACK (WEST)	0'	±66.6'
LANDSCAPE BUFFER			
	REAR (NORTH)	5'	5'
	R/W (SOUTH)	18' (8' LANDSCAPE + 10' SIDEWALK)	18'
	SIDE (EAST/WEST)	5'	5'
PARKING	PARKING CREDIT	PARKING REQUIRED	PARKING PROVID
CHIPOTLE MEXICAN GRILL (1 SPACE PER 30 S.F. OF CUSTOMER SERVICE FLOOR AREA)	(2 PERCENT OR 3 SPACE MIN. CREDIT WITHIN 400 FT OF BROWARD COUNTY TRANSIT STOP) = 3 SPACES	(1,200 SF SERVICE AREA X 1 SPACE PER 30 SF) - (3 SPACE CREDIT) = 37 SPACES	43 SPACES
ADA PARKING	_	2	2

SITE NOTES:

- 1. ALL DIMENSIONS ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
- 2. ALL RADII DIMENSIONS ARE 3' TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION; AND PALM BEACH COUNTY LAND DEVELOPMENT CODE.
- 4. FREE STANDING SIGNAGE SHOWN ONLY FOR REPRESENTATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY.
- 5. PROPOSED DUMPSTER ENCLOSURE WILL HAVE A COMPATIBLE FINISH AND COLOR WITH THE RESPECTIVE STRUCTURE.
- 6. ALL IMPACTED RIGHT-OF-WAY AREAS SHALL BE SODDED .
- 7. ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED VIA PARAPET WALLS SO AS NOT TO BE VISIBLE FROM GROUND LEVEL.
- 8. THERE SHALL BE NO OUTSIDE STORAGE OF MATERIAL OR EQUIPMENT WITH THE EXCEPTION OF DINING APPARATUS-TABLES, CHAIRS, UMBRELLA AND BENCHES.
- 9. THE AMOUNT OF EXTERIOR LIGHTING SHALL BE REDUCED TO 0.00 FOOTCANDLE READINGS AT THE PROPERTY LINE.
- 10. PLEASE SEE C-501 UTILITY PLAN FOR PROPOSED UTILITIES WHICH ARE NOT SHOWN ON THIS
- SHEET FOR CLARITY.

 11. ALL PAVEMENT MARKINGS TO BE INSTALLED WITH SLIP RESISTANT PAINT.
- 12 SIDEWALK CURRING ALONG STORE FRONT FRONTAGE TO BE TRAFFIC YELLO
- 12. SIDEWALK CURBING ALONG STORE FRONT FRONTAGE TO BE TRAFFIC YELLOW.
- 13. TANK MUST NOT BE LOCATED WITHIN 500FT OF A MUNICPAL WELL SOURCE AND/OR WITHIN 100FT OF A RESIDENTIAL WELL SOURCE

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS					
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PROJECT No.: FLB20009

DRAWN BY: RE
CHECKED BY: ME

PROJECT:

CAD I.D.:

PROP. SITE PLAN

DOCUMENTS



CHIPOTLE - MARGATE

5555 W ATLANTIC BOULEVARD MARGATE, FL 33063

BOHLER

1900 NW CORPORATE BOULEVARD SUITE 101E BOCA RATON, FLORIDA 33431 Phone: (561) 571-0280

Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CERT. OF AUTH. No. 30780

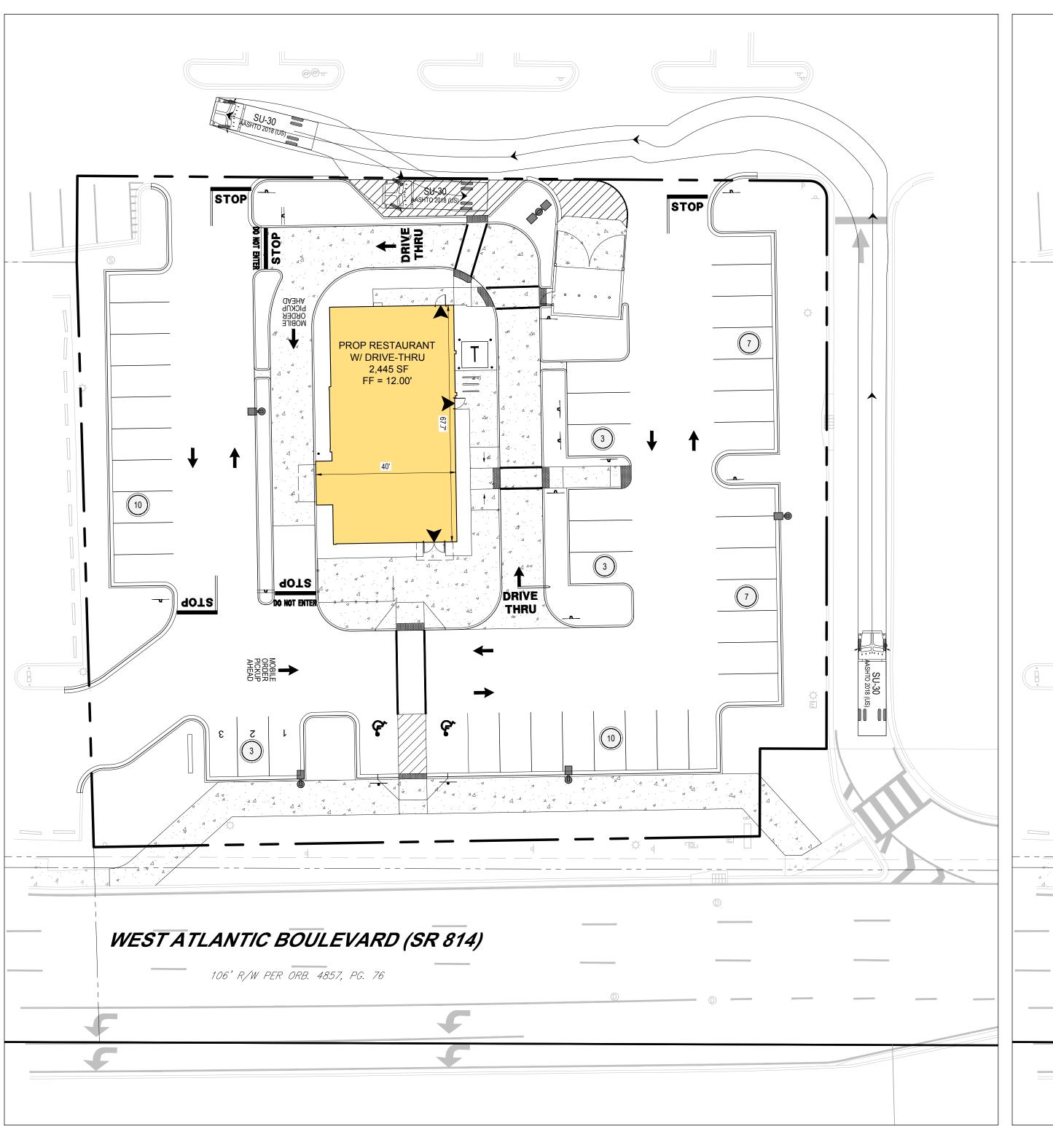
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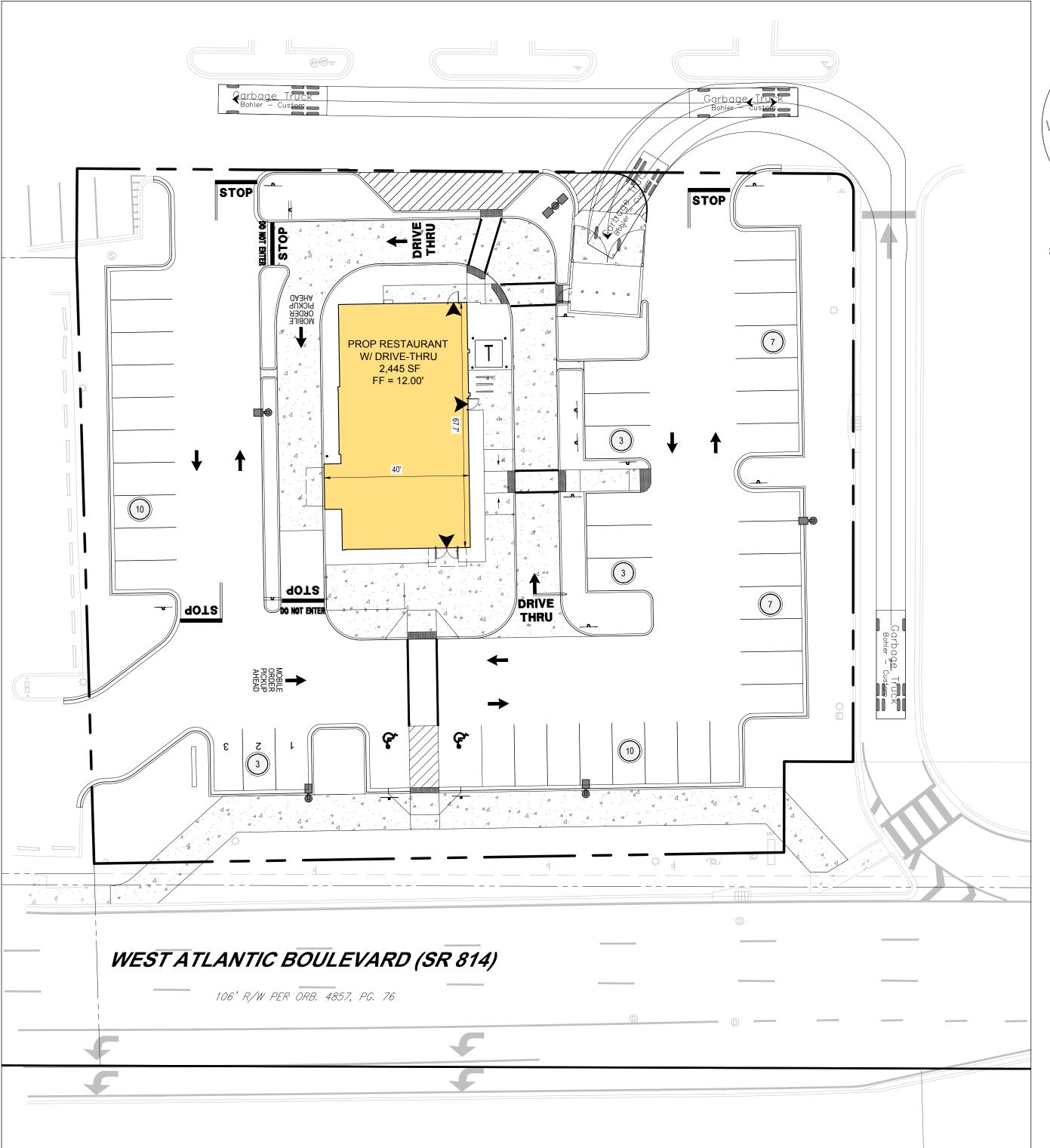
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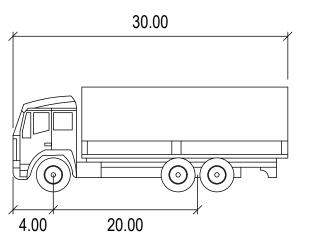
SITE PLAN

HEET NUMBER:

C-301







Garbage Truck

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6





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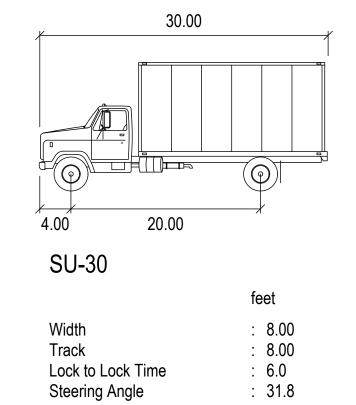
1900 NW CORPORATE BOULEVARD
SUITE 101E
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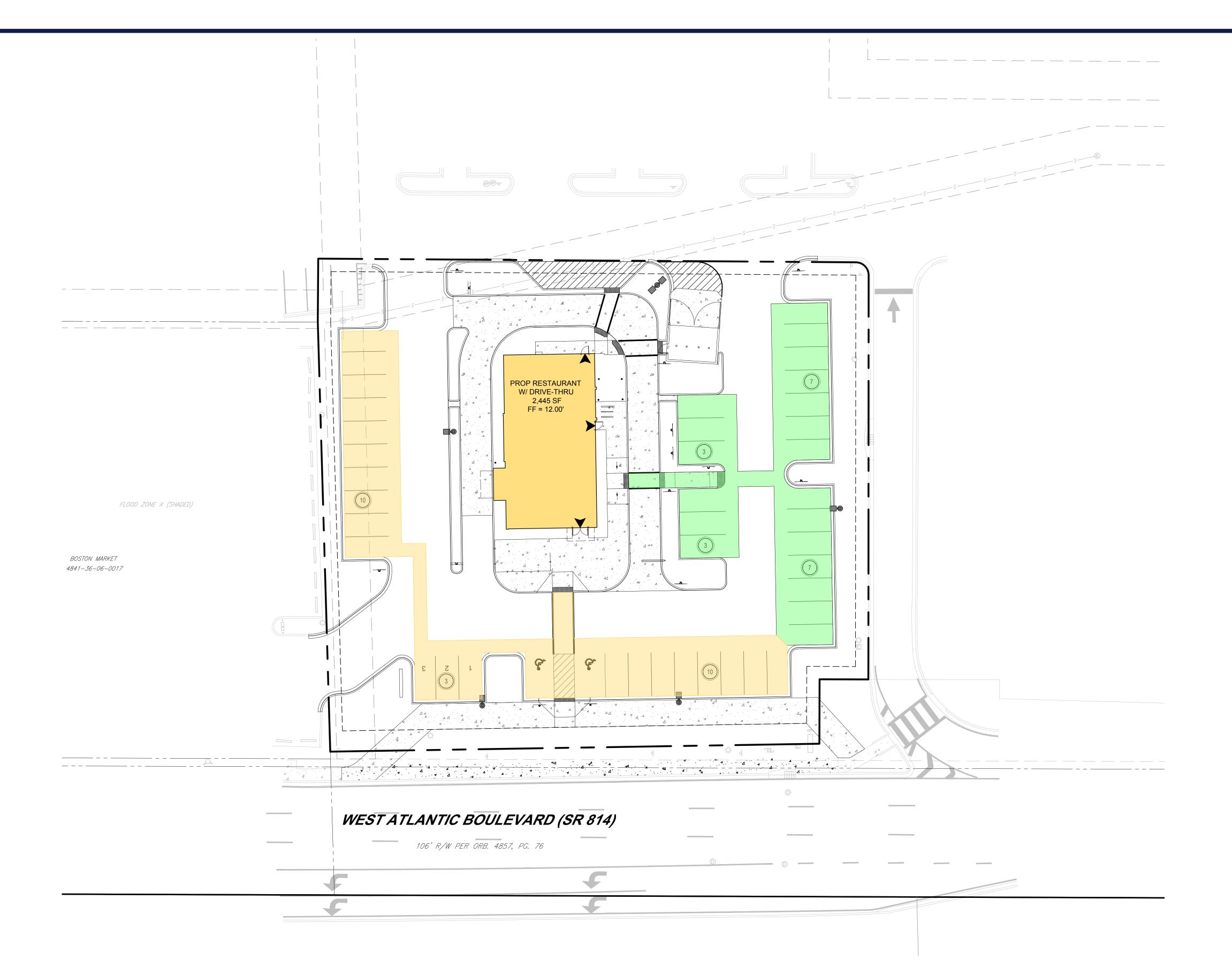
TRUCK TURN PLAN

C-302

ORG. DATE - 6/11/2021



Lock to Lock Time Steering Angle



ADA ACCESSIBILITY NOTES:

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- 2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- 3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- 4. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE ROW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- 5. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA
- 6. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.



SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES



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6/11/2021

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PROP. SITE PLAN DOCUMENTS



CHIPOTLE - MARGATE

5555 W ATLANTIC BOULEVARD MARGATE, FL 33063

BOHLER//

1900 NW CORPORATE BOULEVARD
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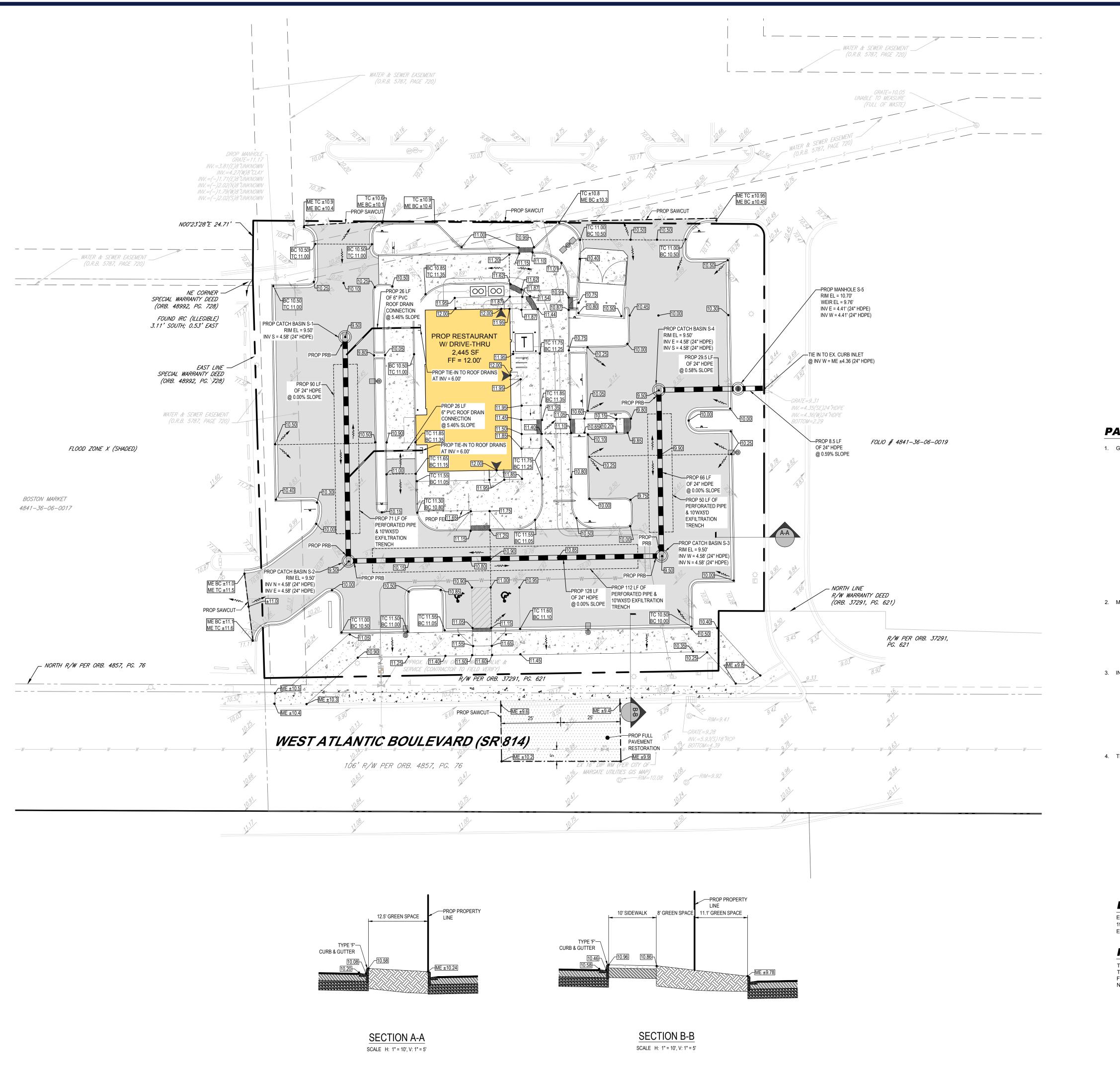
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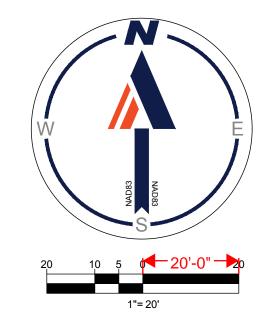
SHEET TITLE:

PEDESTRIAN ACCESS PLAN

HEET NUMBER:

C-303





PAVEMENT LEGEND:

PROP STANDARD ASPHALT
 PROP STANDARD CONCRET
 PROP MILL AND RESURFACE

PAVING AND GRADING NOTES:

GENERAL:

- A. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYOR'S BENCHMARKS AND MUST
- BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK. B. "TC" = TOP OF CURB ELEVATION; "BC" = BOTTOM OF CURB ELEVATION (EDGE OF PAVEMENT);
- "M.E." = PROPOSED GRADE TO MATCH EXISTING GRADE; T/W = TOP OF RETAINING WALL ELEVATION; B/W = BOTTOM OF RETAINING WALL ELEVATION; T.S. = TOP OF SIDEWALK C. THE ALTA/ACSM LAND TITLE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF
- THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
- E. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK
- F. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- G. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE
- EXISTING EDGE OF PAVEMENT SHALL BE SAW OUT TO ENSURE A PROPER JOINT H. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

MATERIALS:

- A. BASE COURSE SHALL BE COMPLIANT WITH LATEST F.D.O.T. FLEXIBLE PAVEMENT DESIGN MANUAL AND DESIGN STANDARDS.
- B. ASPHALT SURFACES SHALL BE TYPE SUPER PAVE (SP), UNLESS OTHERWISE SPECIFIED ON THE PLANS, AND SHALL BE A MINIMUM OF 1-1/2" THICK, AND CONSTRUCTED IN TWO MINIMUM
- 3/4" LIFTS, WITH TACKCOAT BETWEEN LIFTS. C. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 6 GAUGE WIRE MESH.

3. INSTALLATION:

- A. SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-180), TO A MIN. 12" AND SHALL HAVE A MINIMUM LBR 40.
- B. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 8" PLACED IN ONE LIFT. BASE COURSE MATERIAL SHALL HAVE A MINIMUM MARSHALL STABILITY OF 1000, UNLESS OTHERWISE INDICATED (OR LBR-100).
- C. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO
- D. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-III ASPHALTIC CONCRETE OR THE LATEST REVISION.

- A. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- B. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
- C. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
- D. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY BASE IS
- E. DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS

DATUM NOTES:

ELEVATIONS SHOWN HERON ARE NORTH AMERICAN VERTICAL DATUM OF 1988, AND ARE REFERENCED TO BROWARD COUNTY BENCHMARK #1439, ELEVATION = 14.985'

FEMA MAP INFORMATION:

THE SITE APPEARS TO BE IN FLOOD ZONE AH (EL = 11'), ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AS SHOWN IN THE FLOOD INSURANCE RATE MAP, 12011C0355H MAP REVISED 8/18/2014 NATIONAL FLOOD INSURANCE PROGRAM.

	R	REVISIONS	
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<u>DOCUMENT</u> UNLESS INDICATED OTHERWISE.

PROJECT No.: DRAWN BY: **CHECKED BY:** DATE: CAD I.D.:

PROJECT:

PROP. SITE PLAN **DOCUMENTS**



CHIPOTLE - MARGATE

5555 W ATLANTIC BOULEVARD MARGATE, FL 33063

BOHLER

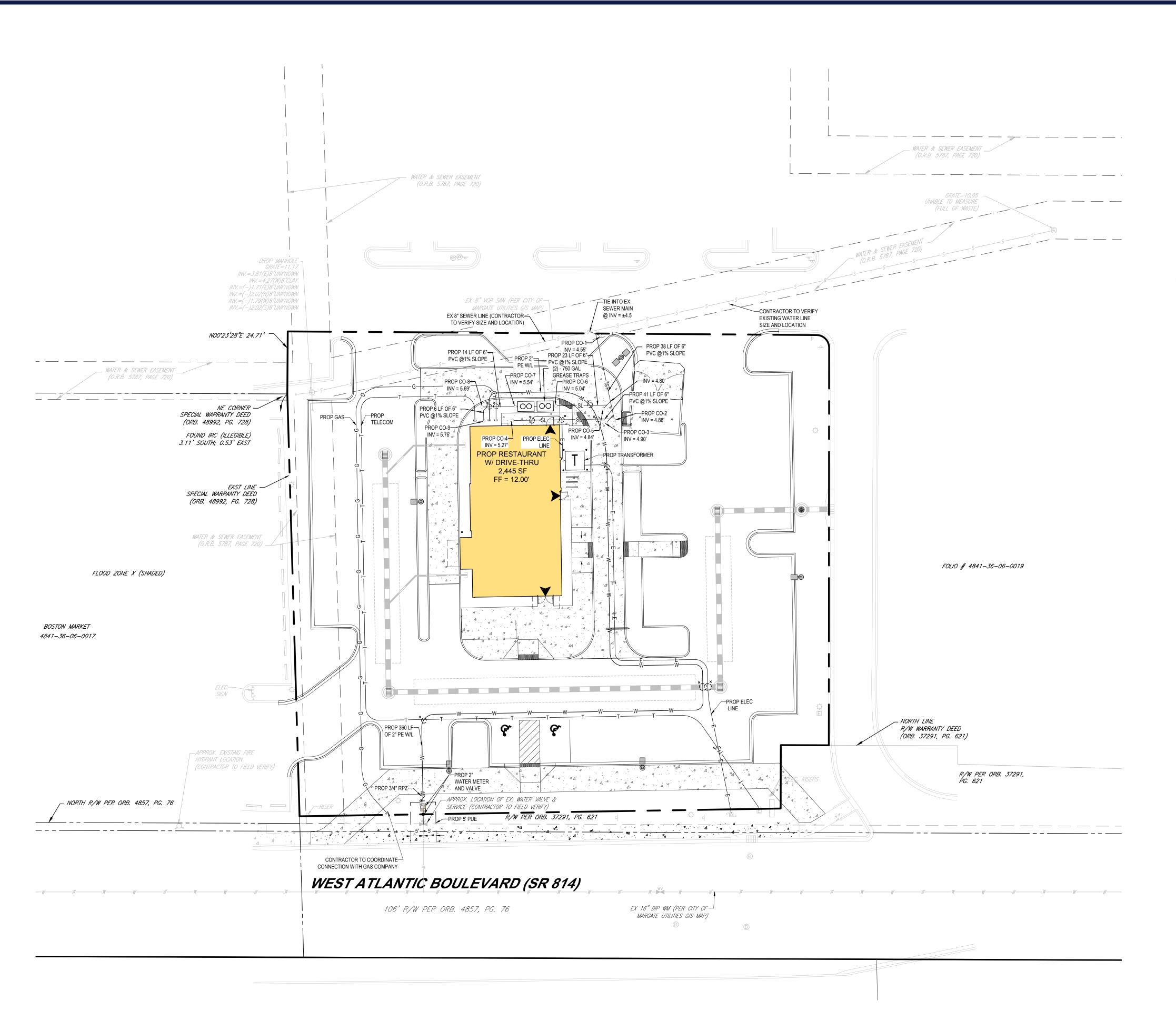
1900 NW CORPORATE BOULEVARD SUITE 101E BOCA RATON, FLORIDA 33431

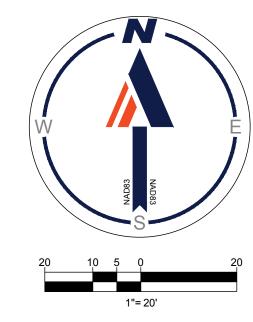
Phone: (561) 571-0280 Fax: (561) 571-0281 FLORIDA BUSINESS CERT. OF AUTH. No. 30780

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SHEET TITLE: **PAVING GRADING &** DRAINAGE PLAN







WATER DISTRIBUTION NOTES:

1. CONTRACTOR SHALL FOLLOW GUIDELINES AND PROCEDURES OUTLINED BY UTILITY PROVIDER, AND HAVE UTILITY PROVIDER'S MANUAL ON-SITE AT ALL TIMES. THIS POLICY MANUAL SHALL BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS AS IT PERTAINS TO APPROVED MATERIALS, INSTALLATION METHODS, INSPECTION NOTIFICATION AND AS-BUILT/PROJECT CLOSEOUT REQUIREMENTS.

UTILITY CROSSING NOTE:

1. UTILITY CROSSINGS MARKED WITH "X" SHALL MAINTAIN 12" VERTICAL CLEARANCE UNLESS OTHERWISE NOTED.

SANITARY SEWER NOTES:

- A. DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO
- THE CENTER OF STRUCTURES. B. PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR TO TELEVISE EXISTING SANITARY SEWER LINE FROM POINT OF CONNECTION THROUGH THE NEXT SEQUENTIAL DOWNSTREAM RUN OF PIPE. ADDITIONALLY, PRIOR TO COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL TELEVISE THE NEWLY INSTALLED SANITARY SEWER MAIN TO ENSURE NO DIPS OR DEBRIS
- 2. MATERIALS:
- A. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26 WITH PUSH-ON RUBBER GASKET JOINTS.
- B. ALL FITTINGS SHALL BE SDR 35 AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL. C. ALL SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE A LID THAT IS H20 LOADING.
- INSTALLATION: A. PIPE AND FITTINGS:

WITHIN LINE.

- 1) SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UNI-BELL PLASTICS PIPE ASSOCIATION'S "RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE"
- 2) BEDDING AND INITIAL BACKFILL (12 INCHES) OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.
- B. CLEANOUTS:
- 1) CLEANOUTS SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM CLEAN SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE. 2) ALL OPENINGS AND JOINTS SHALL BE SEALED WATER-TIGHT.
- C. SERVICE:
- 1) MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE 1.00%. 2) EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG. 3) CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
- 4. TESTING:
- A. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF. B. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF
- THE ENGINEER. C. SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH
- DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED. D. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO THE
- CERTIFICATION TO ANY AGENCY. E. GENERAL CONTRACTOR SHALL EMPLOY AN INDEPENDENT INSPECTOR FOR 100% CONTINUOUS
- INSPECTION OF THE BEDDING AND BACKFILL OPERATION. COMPACTION TESTS SHALL BE TAKEN AT THE BOTTOM OF TRENCH AND AT EACH LIFT OF BACKFILL. F. GENERAL CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR ASOBUILT TOP OF PIPE
- SHALL BE TAKEN AT POINTS OF CONNECTION, CHANGES IN DIRECTION AND AT MINIMUM 20' INTERVALS ALONG THE LENGTH OF THE PIPE. THESE ELEVATIONS SHALL BE RECORDED AS AS-BUILT DIMENSIONS ON SITE PLAN REVIEW BY PROJECT ENGINEER. G. ALL SANITARY LINES ARE TO BE FLUSHED PRIOR TO CONTRACTOR TURNOVER OF THE

ELEVATIONS TAKEN WHEN BEDDING OPERATION IS 75% COMPLETE. THESE ELEVATIONS



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PROP. SITE PLAN **DOCUMENTS**



CHIPOTLE - MARGATE

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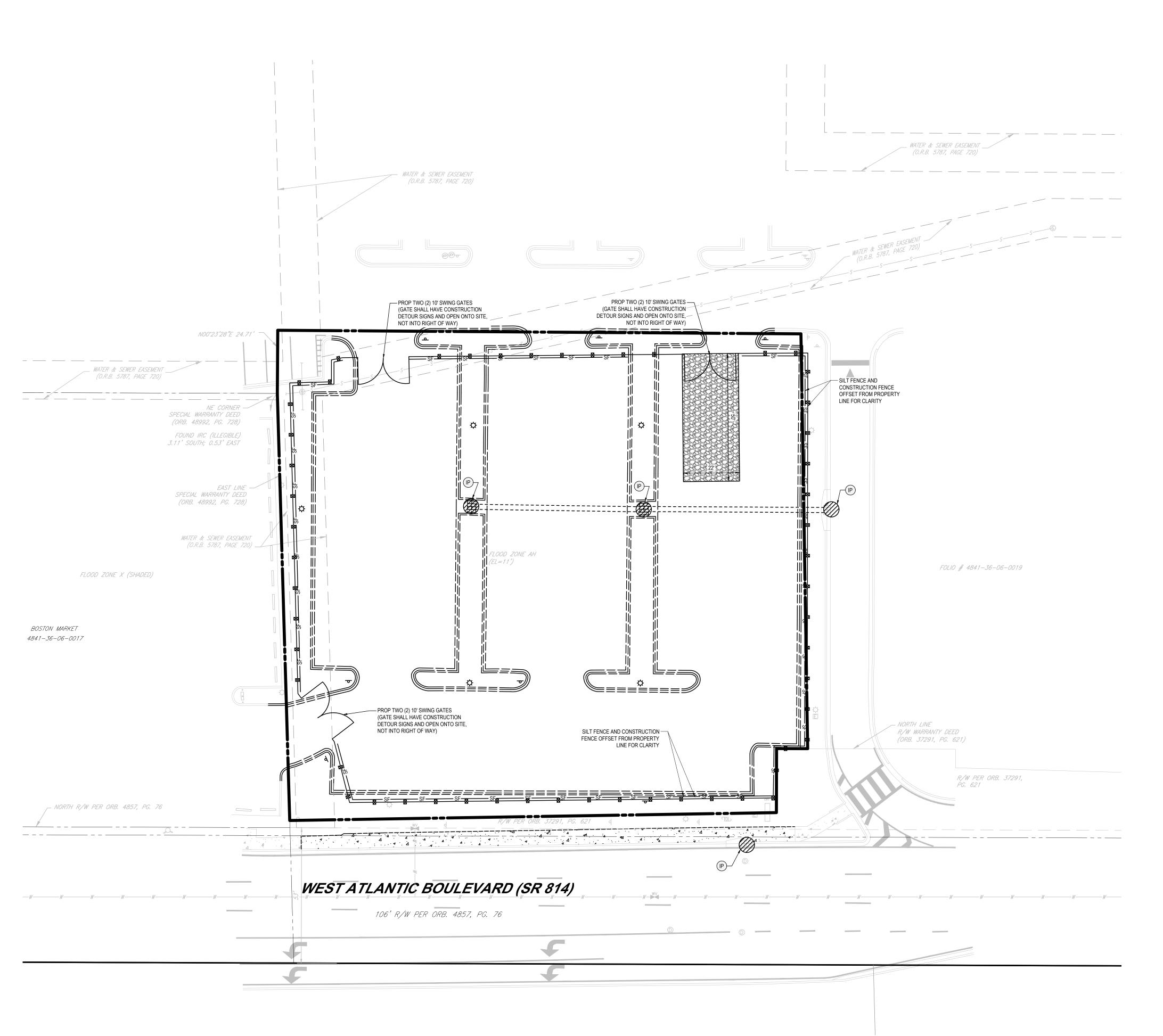
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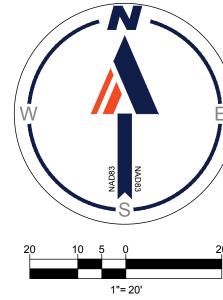
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SHEET TITLE:

UTILITY PLAN

C-501





POLLUTION PREVENTION NOTES:

- 1. EROSION AND SEDIMENT CONTROL BMP'S IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFF SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON SITE WETLANDS AND SURFACE WATERS, BMP'S SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. [THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE
- 2. OFF SITE SURFACE WATER DISCHARGES, OR DISCHARGES TO ONSITE WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 29 NEPHELOMETRIC TURBIDITY UNITS (NTU'S) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO WATER RESOURCES WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
- 3. THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296.320(4)(C)1, F.A.C., BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.
- 4. FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO WATER RESOURCES. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.
- 5. IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND WATER RESOURCES SHALL BE CONTACTED.
- 6. PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.
- 7. NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM:
- A. NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(a), F.A.C. B. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER
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- 8. THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING, TO SURFACE WATERS, OR ANY PORTION OF THE MS4 WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP). PERMIT(S) SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF

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CHIPOTLE - MARGATE

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1900 NW CORPORATE BOULEVARD SUITE 101E BOCA RATON, FLORIDA 33431 Phone: (561) 571-0280

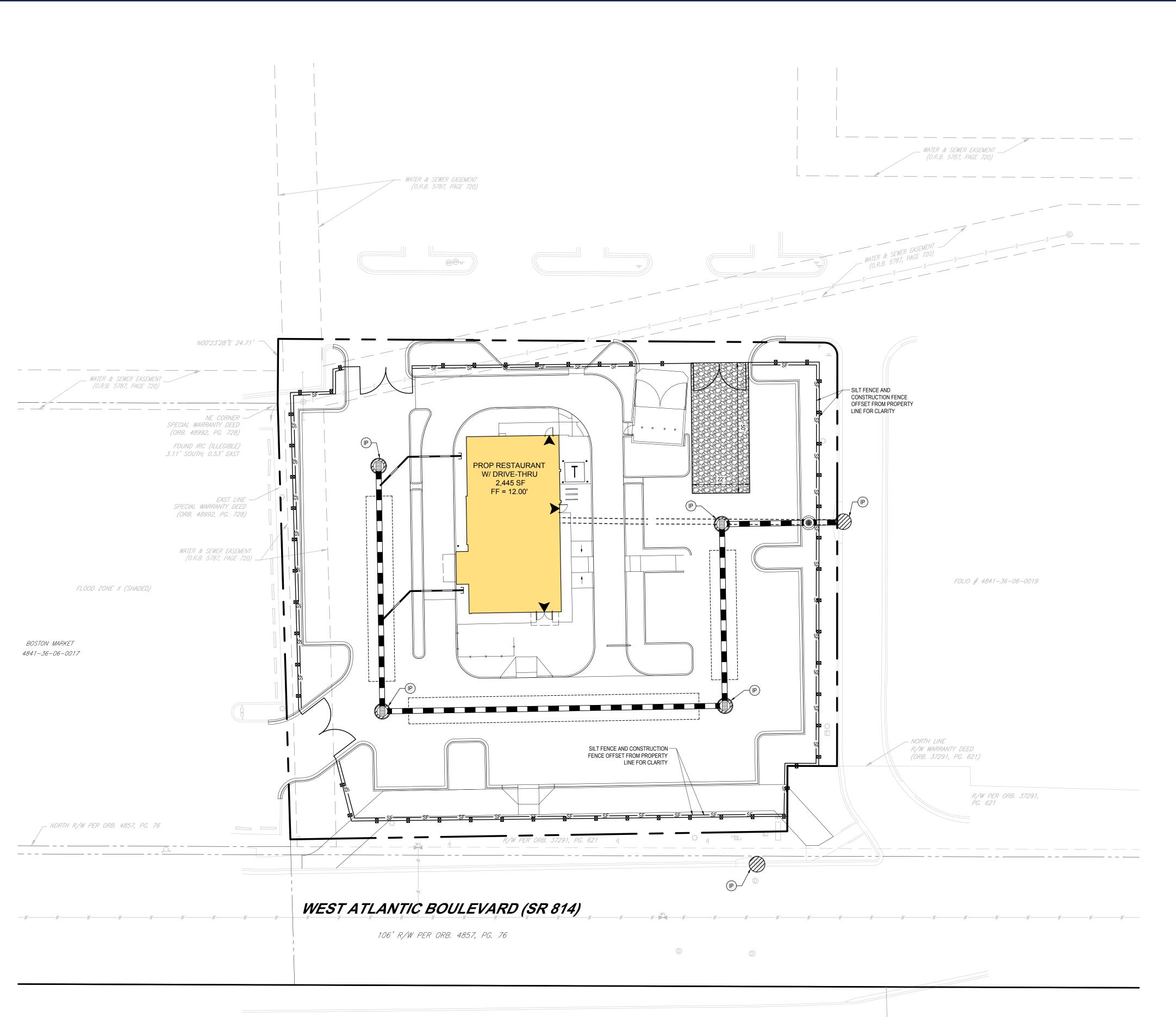
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SHEET TITLE:

PHASE 1 SOIL **EROSION CONTROL PLAN**

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SITE PLAN **DOCUMENTS**



CHIPOTLE - MARGATE

5555 W ATLANTIC BOULEVARD MARGATE, FL 33063

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Phone: (561) 571-0280 Fax: (561) 571-0281 FLORIDA BUSINESS CERT. OF AUTH. No. 30780

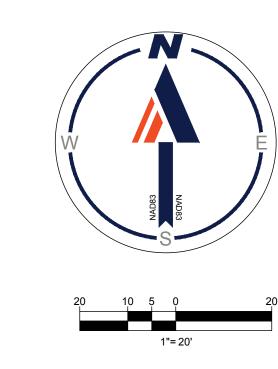
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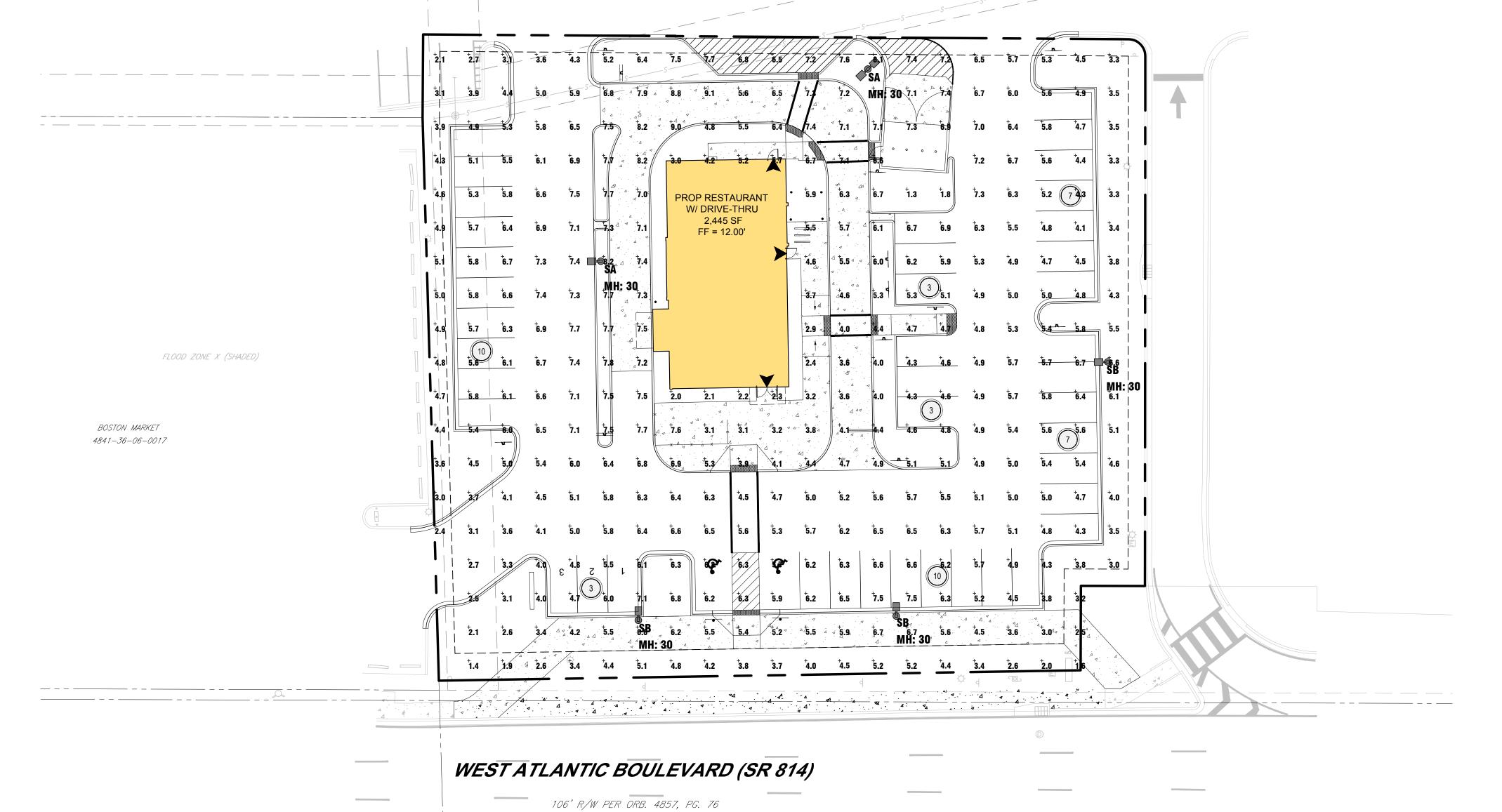
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SHEET TITLE:

PHASE 2 SOIL **EROSION CONTROL PLAN**

C-602





Luminaire Schedu	uminaire Schedule						
Project: CHIPOTL	E, MARGATE	- SITE - REV1	AUG-31-2021				
Symbol	Qty	Label	Description	LLF	Lum. Watts	Total Watts	
	2	SA	VISIONAIRE VMX-II_T5LS_55L_4K POLE MOUNT 30' AFG	0.900	400	1600	
	3	SB	VISIONAIRE VMX-II_T4L_55L_4K POLE MOUNT 30' AFG	0.900	400	1200	

Calculation Summary					
Project: CHIPOTLE, MARGATE - SITE - REV1 AUG-31-2021					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARK & DRIVE	5.69	9.1	2.0	2.85	4.55



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PROP. SITE PLAN DOCUMENTS



CHIPOTLE - MARGATE

5555 W ATLANTIC BOULEVARD MARGATE, FL 33063

BOHLER//

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BOCA RATON, FLORIDA 33431
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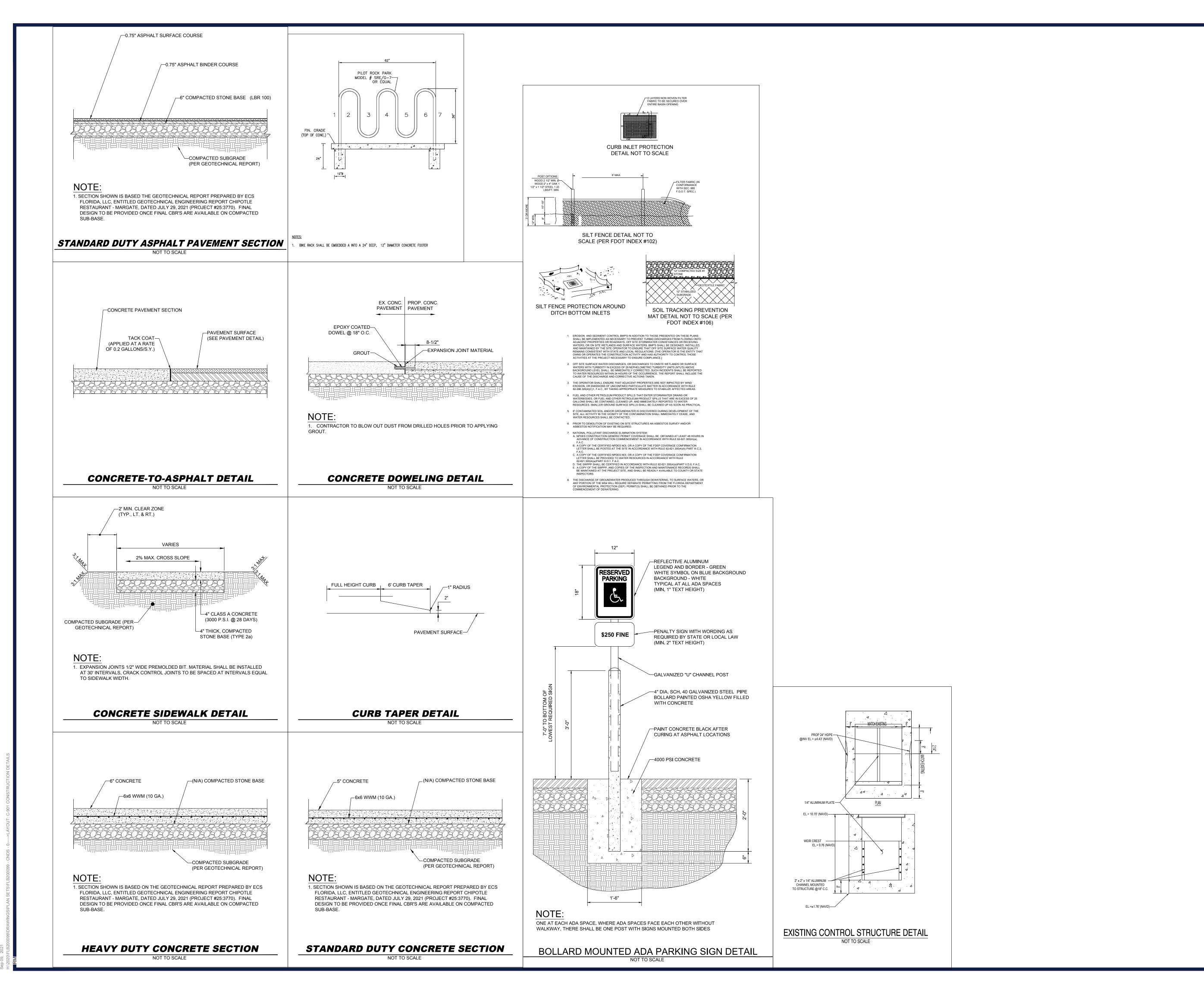
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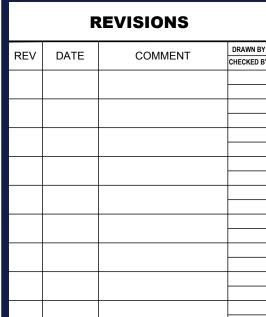
LIGHTING PLAN

HEET NUMBER:

C-701



SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES





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SITE PLAN

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FERBER

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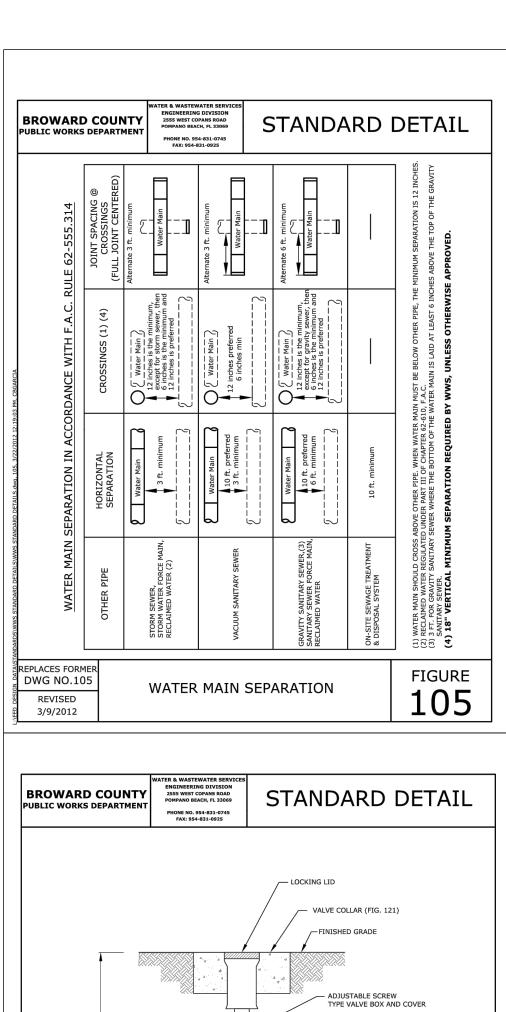
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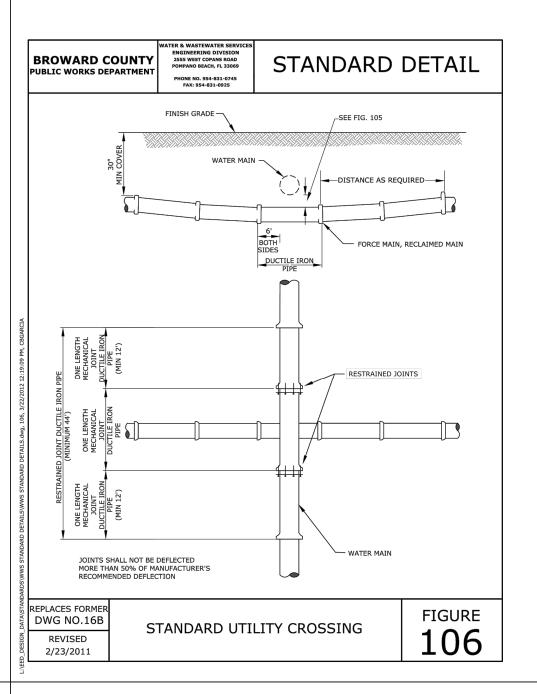
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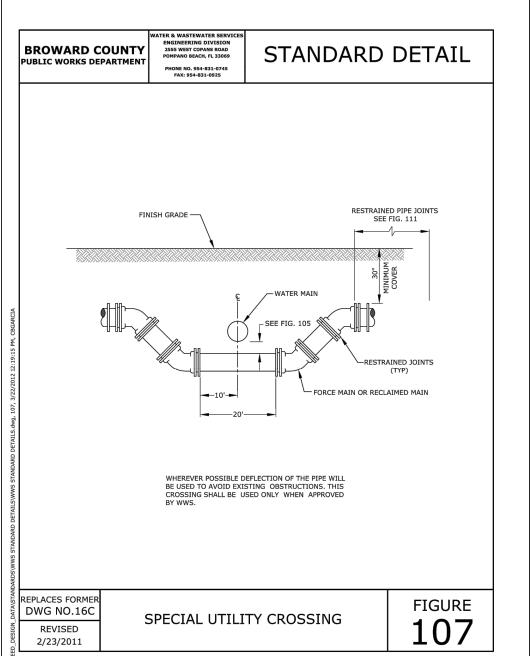
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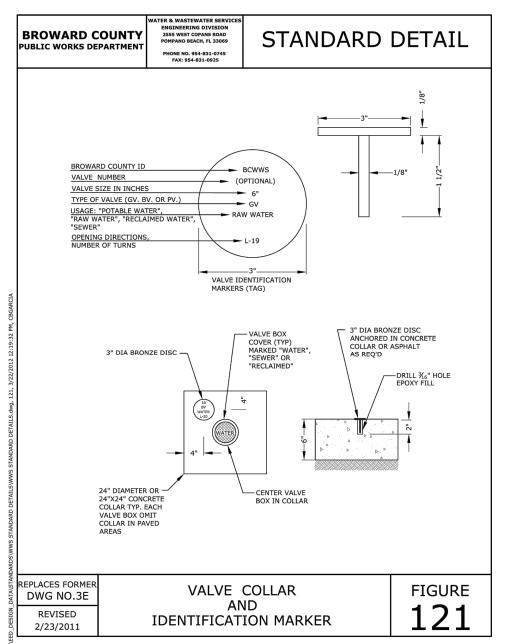
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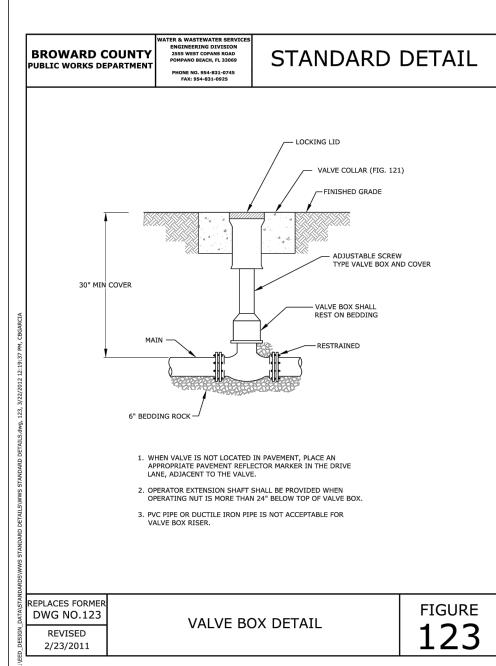
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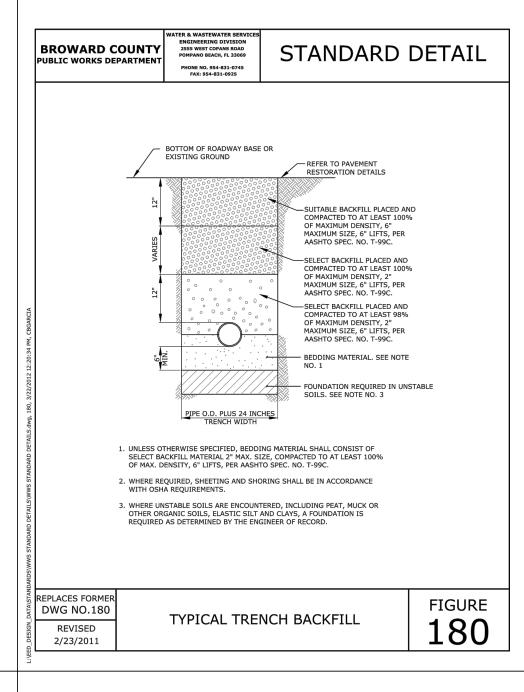


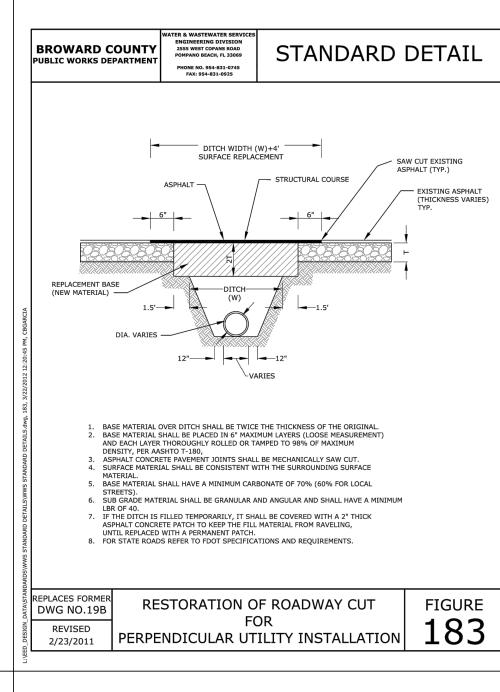


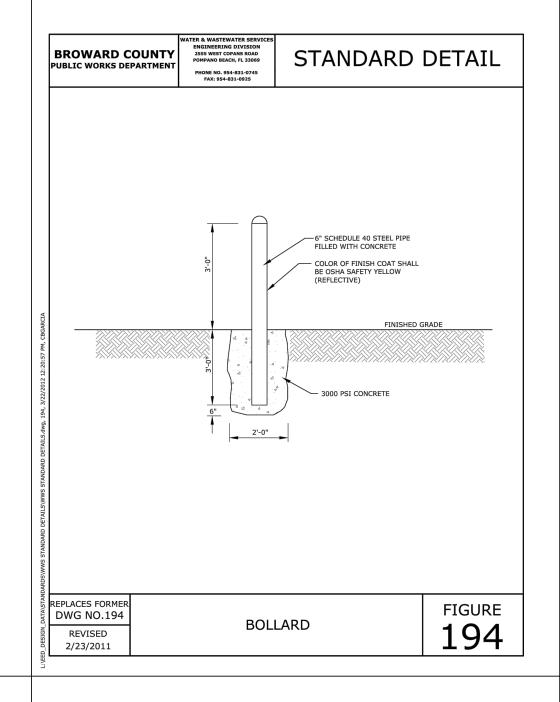


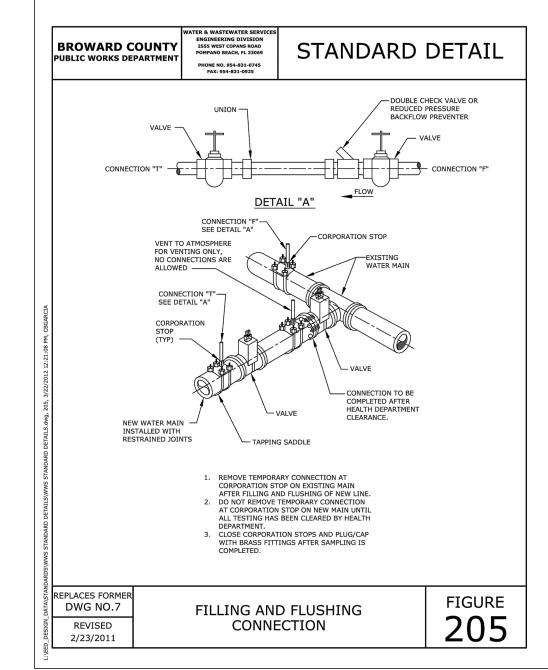


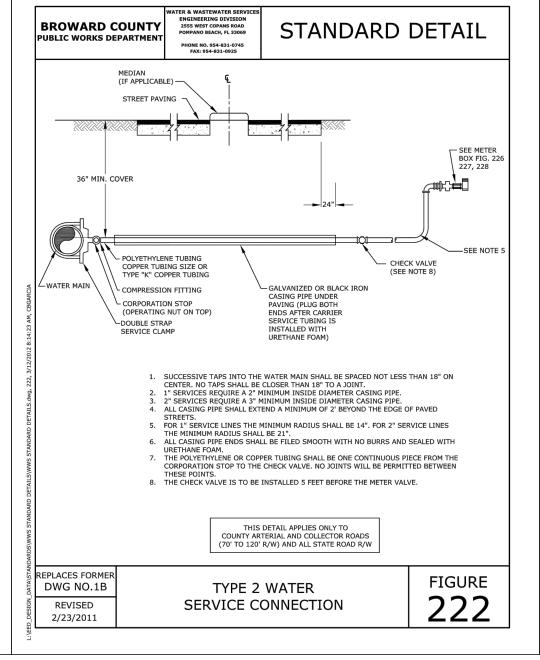


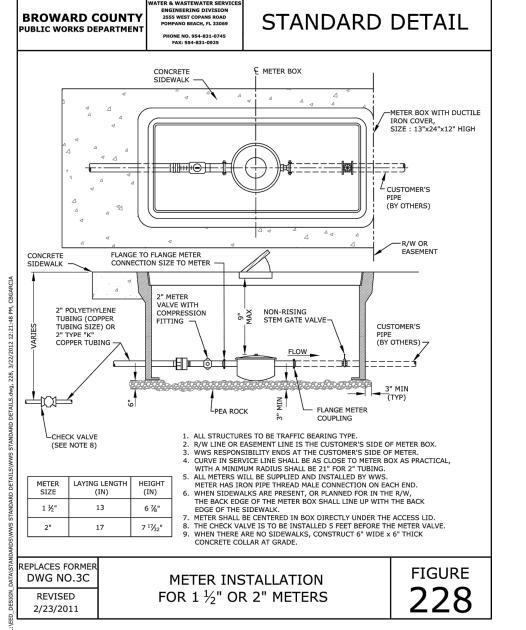


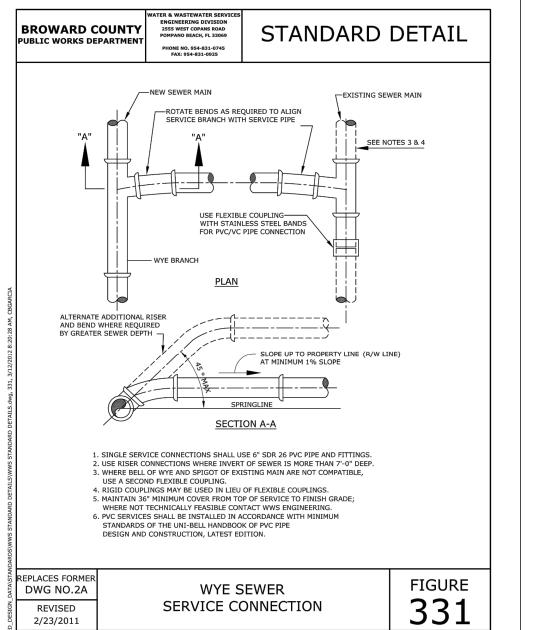




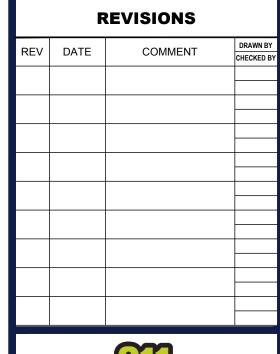














PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: FLB200099
DRAWN BY: REM
CHECKED BY: MEK
DATE: 6/11/2021
CAD I.D.: CNDS

PROJECT:

PROP. SITE PLAN DOCUMENTS



CHIPOTLE - MARGATE

5555 W ATLANTIC BOULEVARD MARGATE, FL 33063

BOHLER/

1900 NW CORPORATE BOULEVARD
SUITE 101E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CERT. OF AUTH. No. 30780

This item has been digitally signed and sealed by Mohammed Merouane El Kaoussi, PE, on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any

SHEET TITLE:

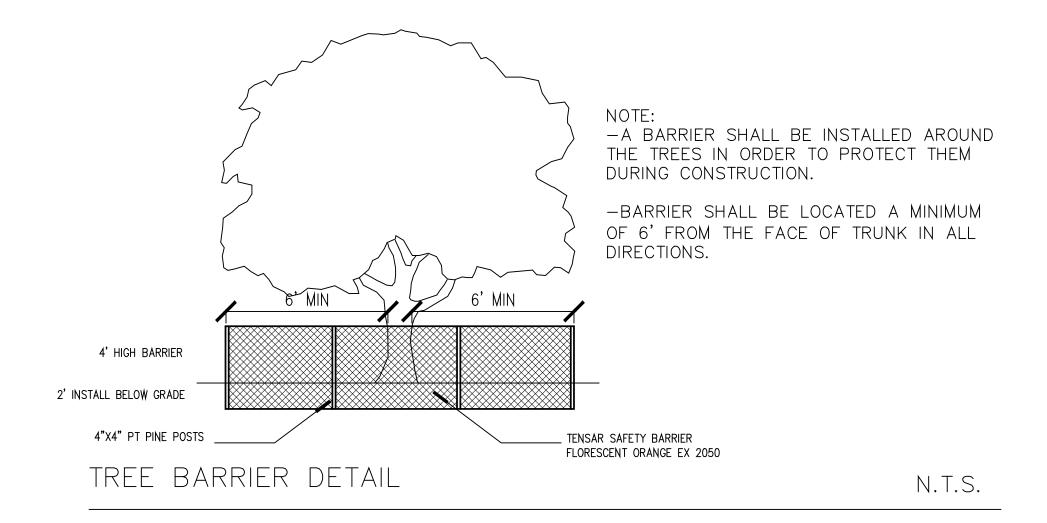
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CONSTRUCTION DETAILS

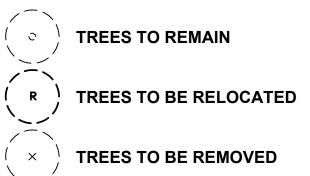
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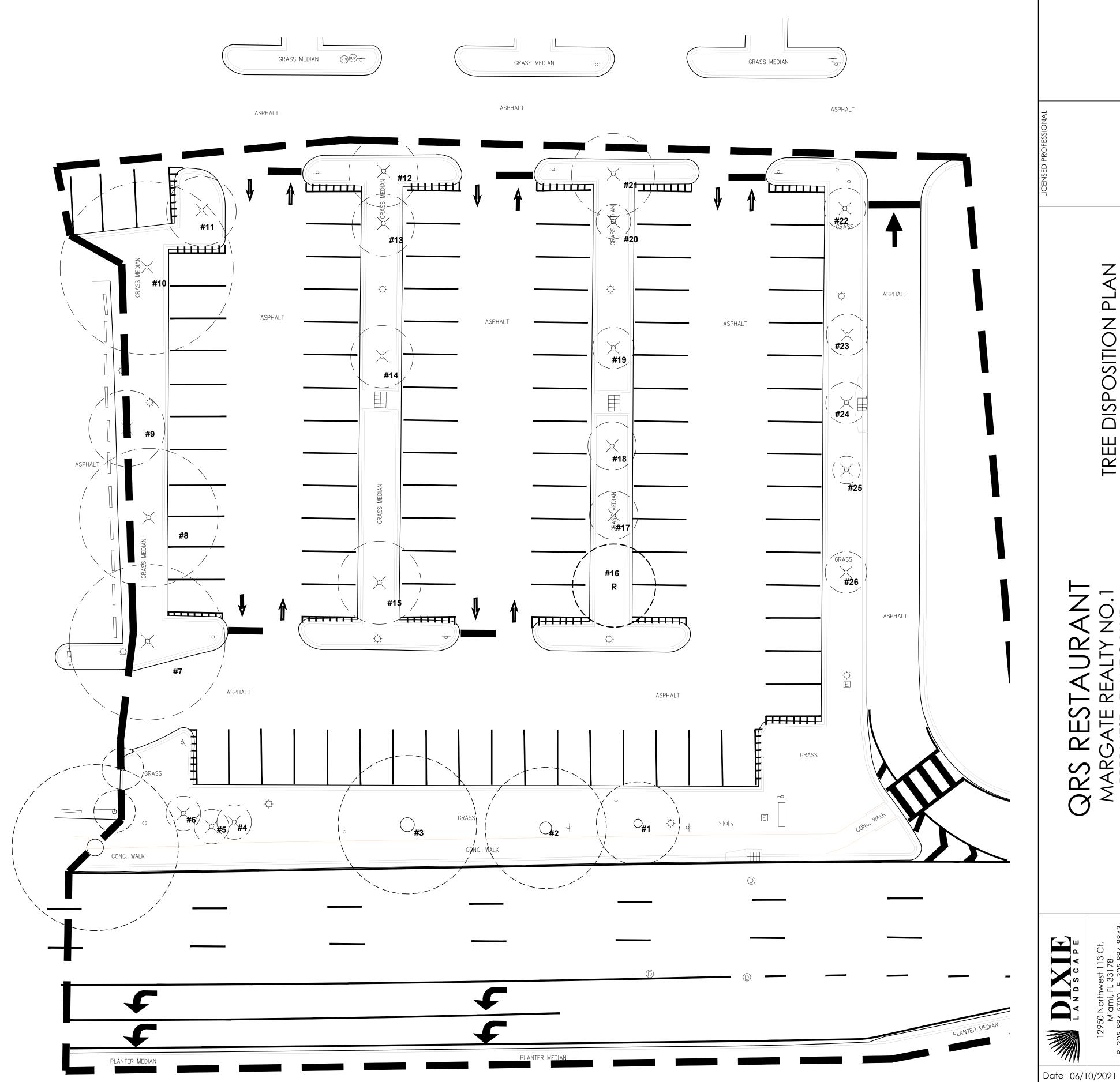
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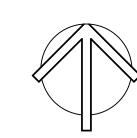
Tree Disposition							
No	Botanical Name	Common Name	DBH (in)	HT (ft.)	SPR (ft.)	Condition	Disposition
1	Swetenia mahogani	Mahogany	10.5"	33'	24'	Good	Remain
2	Swetenia mahogani	Mahogany	21"	38'	35'	Good	Remain
3	Swetenia mahogani	Mahoganyni	18.5"	38'	40'	Good	Remain
4	Sabal Palmetto	Sabal Palm	9.5"	36'	10'	Good	Remove
5	Sabal Palmetto	Sabal Palm	13.5"	27'	10'	Good	Remove
6	Sabal Palmetto	Sabal Palm	8.5"	33'	10'	Good	Remove
7	Swetenia mahogani	Mahogany	24"	40'	45'	Good	Remove
8	Swetenia mahogani	Mahogany	24"	38'	40'	Good	Remove
9	Swetenia mahogani	Mohogany	13.5"	38'	22'	Good	Remove
10	Swetenia mahogani	Mohogany	36"	50'	50'	Good	Remove
11	Bursera simaruba	Gumbol Limbo	10.5"	25'	21'	Good	Remove
12	Quercus virginiana	Live Oak	11"	28'	20'	Good	Remove
13	Conocarpus erectus 'sericeus'	Silver Buttonwood	11"	24'	18'	Fair	Remove
14	Conocarpus erectus 'sericeus'	Silver Buttonwood	13.5"	20'	18'	Good	Remove
15	Quercus virginiana	Live Oak	12.5"	30'	24'	Good	Remove
16	Quercus virginiana	Live Oak	13"	33'	24'	Good	Relocate
17	Conocarpus erectus 'sericeus'	Silver Buttonwood	1@ 3.5"/2 @ 4.5"/ 3@ 4.5"	14'	14;	Good	Remove
18	Conocarpus erectus 'sericeus'	Silver Buttonwood	9"	16'	14'	Good	Remove
19	Conocarpus erectus 'sericeus'	Silver Buttonwood	9"	18'	14'	Good	Remove
20	Conocarpus erectus 'sericeus'	Silver Buttonwood	7"	13'	10'	Poor	Remove
21	Quercus virginiana	Live Oak	15.5'	28'	24'	Good	Remove
22	Syagrus romanzoffiana	Queen Palm	7"	25'	12'	Poor	Remove
23	Syagrus romanzoffiana	Queen Palm	12"	25'	12'	Fair	Remove
24	Syagrus romanzoffiana	Queen Palm	9.5"	24'	12'	Fair	Remove
25	Syagrus romanzoffiana	Queen Palm	9"	20'	8'	Poor	Remove
26	Syagrus romanzoffiana	Queen Palm	10"	22'	12'	Fair	Remove











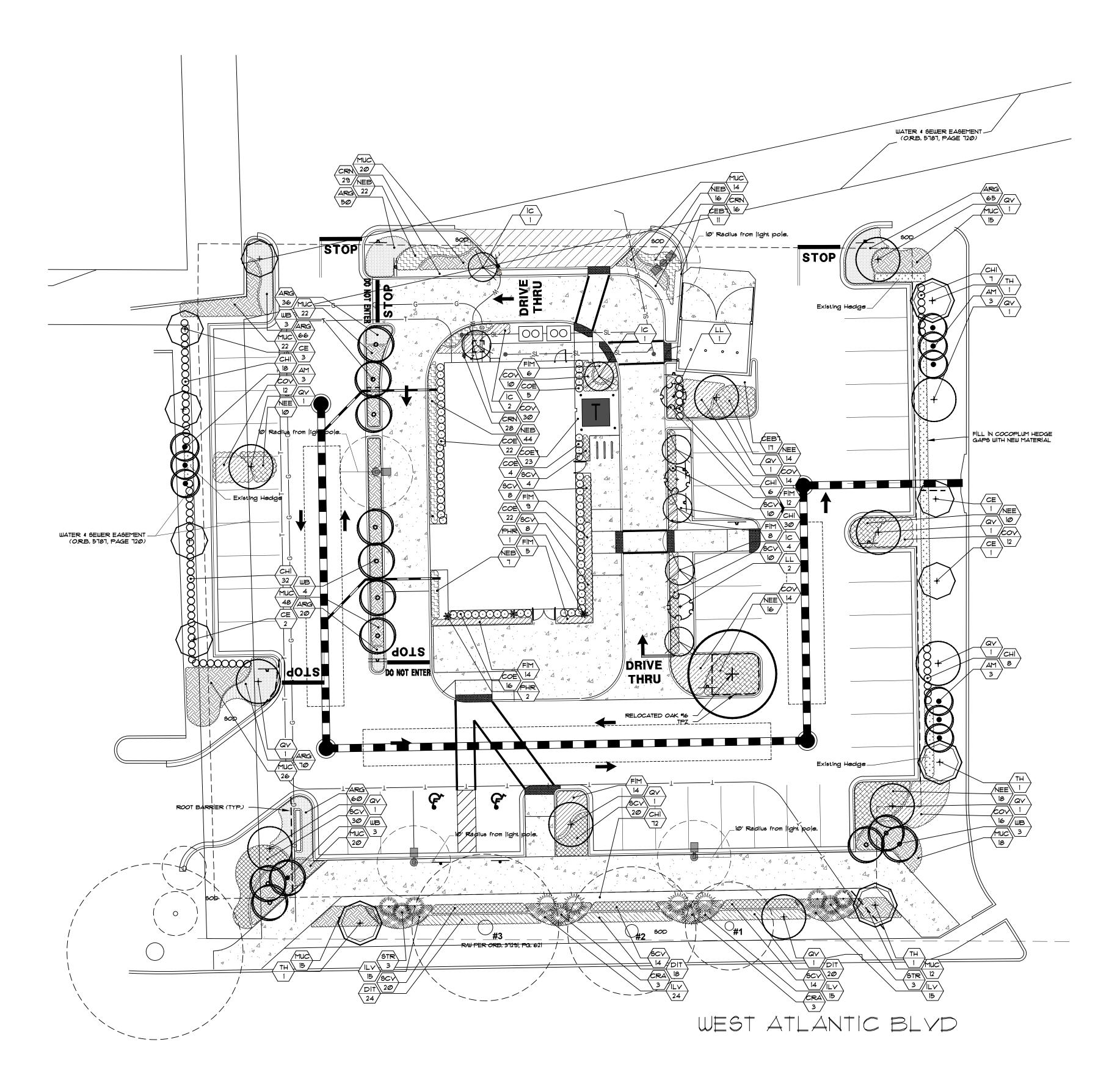
Scale 1/16"=1'-0" Drawn NL Check AM

Of ¹ Sheets

revisions

DISPOSITION

TREE



TREES	S & P	ALMS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	CATEGORY	Native
9	AM	Adonidia merrillii	Christmas Palm	12 oa ht, 6' ct	CAT. 4	
7	CE*	Conocarpus erectus 'sericeus'	Silver Buttonwood	12' ht, 2" cal	CAT. 2	Yes
11	QV*	Quercus virginiana	Live Oak	12' ht, 2" cal	CAT. 1	Yes
3	LL*	Ligustrum lucidium	Ligustrum	8' oa ht, 8' spr, 4' ct, multi	CAT. 2	
4	TH	Tabebuia heterophylla	Pink Tabebuia	12' ht, 2" cal	CAT. 2	
8	IC	llex cassine	Dahoon Holly	12' ht, 2" cal	CAT. 2	Yes
13	WB	Wodyetia bifurcata	Foxtail Palm	12 oa ht, 6' ct	CAT. 4	
SHRU	BS &	GROUNDCOVERS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	CATEGORY	Native
172	CHI*	Chrysobalanus icaco 'red tip'	Red Tip Cocoplum	3 gal, 24" ht, 24" spr	N/A	Yes
28	CEB7*	Conocarpus erectus 'sericeus'	Green Buttonwood	7 gal, 36" ht	N/A	
23	COE7*	Conocarpus erectus 'sericeus'	Silver Buttonwood	7 gal, 5'-6" ht	N/A	Yes
69	COE*	Conocarpus erectus 'sericeus'	Silver Buttonwood	3 gal, 24" ht, 24" spr	N/A	Yes
108	COV	Codiaeum variegatum	Croton	3 gal, 24" ht, 24" spr	N/A	
68	FIM	Ficus microcarpa	Green Island Ficus	3 gal, 24" ht, 24" spr	N/A	
68	NEE*	Nephrolepis exaltata	Sword Fern	3 gal, 18" ht, 18 spr	N/A	Yes
3	PHR	Phoenix roebelenii	Dwarf Date Palm	7 gal	N/A	
232	MUC*	Muhlenbergia capillaris	Muhly Grass	3 gal, 18" ht, 18 spr	N/A	Yes
69	ILV*	liex vomitoria	Schilling Dwarf	3 gal	N/A	Yes
62	DIT*	Dianella asiaticum 'variogata'	Flex Lily	3 gal	N/A	Yes
73	CRN	Clusia rosea 'Nana'	Dwarf Clusia	3 gal, 18" ht, 18 spr	N/A	
6	CRA	Crinum asiaticum 'redleaf'	Red Leaf Crinum	15 gal	N/A	
89	NEB*	Nephrolepis biserrata	Macho Fern	3 gal, 18" ht, 18 spr	N/A	Yes
367	ARG*	Arachis glabrata, Benth	Perennial peanut	1 gal	N/A	Yes
6	STR	Strelitzia reginae	Orange Bird of Paradise	7 gal	N/A	
	0111			. 9	10,000	

NOTE: SHORTFALL OF 1 REQUIRED TREES ON THE NORTH PERIMETER. A DONATION TO THE TREE TRUST FUND WILL BE GIVEN.

LANDSCAPE REQUIREMENTS PLANTING DATA TABLE

Category	Code Requirements	Required	Provided
Right-of-way Urben greenway	1 Shade tree / 30 If	6	6
160 L.F. Section 23-6(B)(2)	planting strip landscaped	Filled	Filled
West Perimeter (Commercial)	1 canopy tree / 75 lf	2	4
Section 23-7	70% sf to be landscaped	70%	77%
North Perimeter (Commercial)	1 canopy tree / 75 lf	2	1
88 L.F. Section 23-7	70% sf to be landscaped	70%	78%
Paking area and pedestrian	1 Shade tree / 200 sf	22	23
zone	5 Shrubs / 200 sf	109	973
Section 23-8	70% sf to be landscaped	70%	95%

LICENSED PROFESSIONAL

LICENSED PROFESSIONAL

DIEGO J. VANDERBIEST, RLA

FLORIDA NO. 6667355

DATE:

NDSCAPE PLAN

RS RESTAURANT

AARGATE REALTY NO.1

5555 WEST ATLANTIC BLVD

LANDSCAPE
LANDSCAPE
LANDSCAPE
12950 Northwest 113 Ct.
Miami, FL 33178
P. 305-884-5700 F. 305-884-8843

Date 06/10/2021

Scale 1/16"=1'-0"

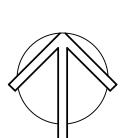
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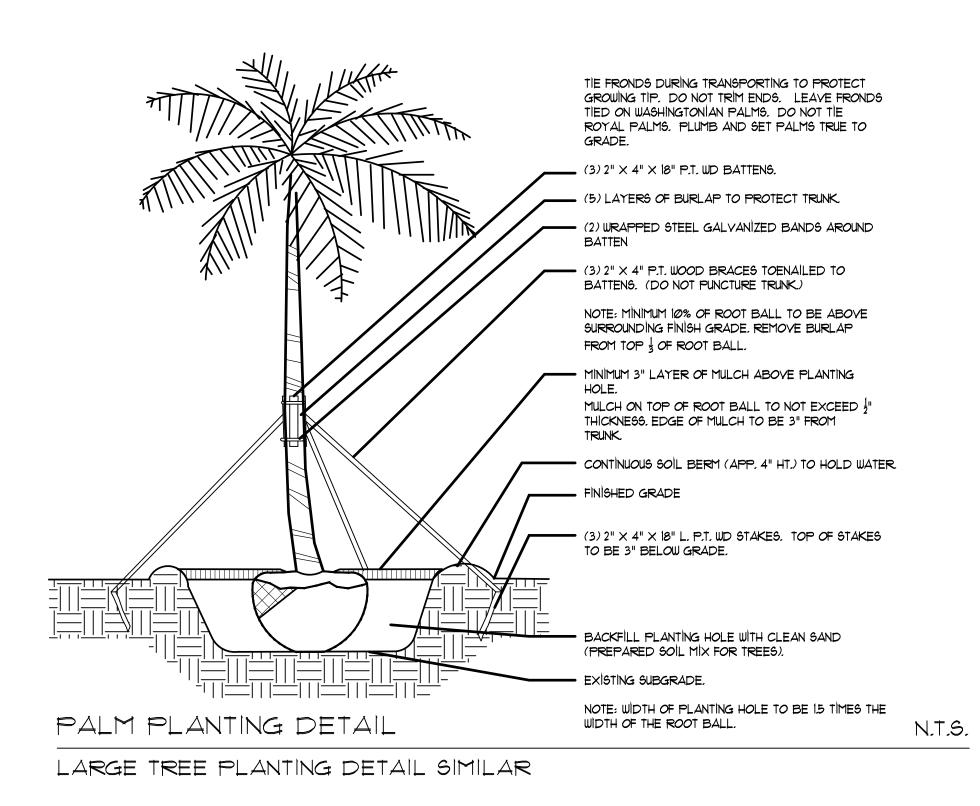
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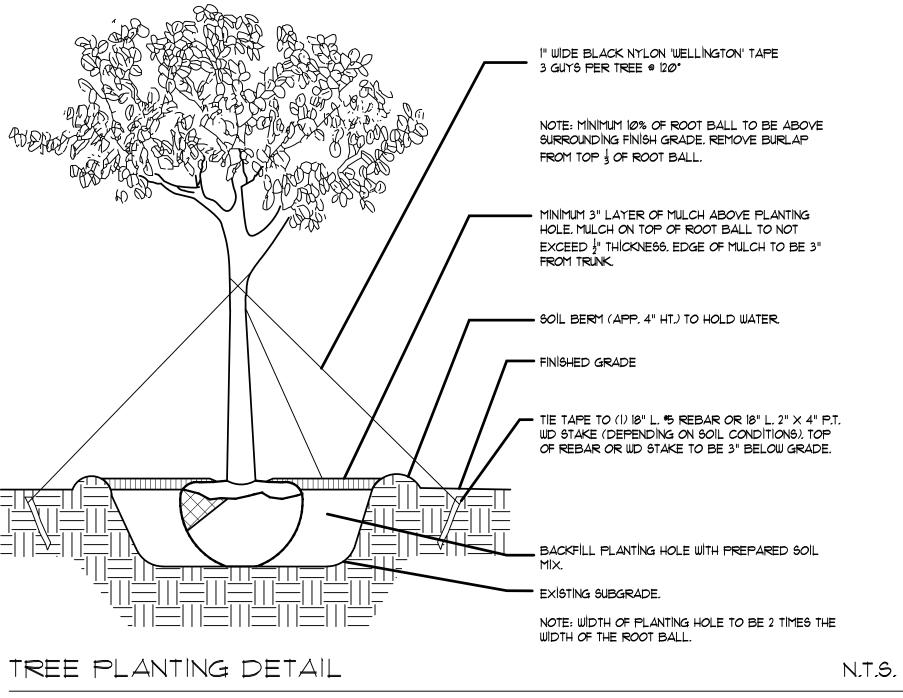
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LA-1

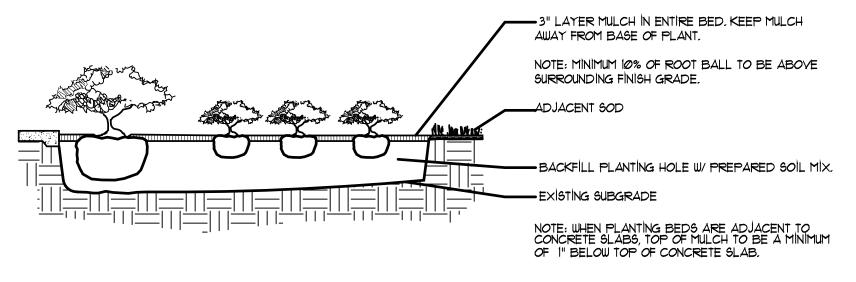
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TREES WITH 3" CALIPER OR LESS

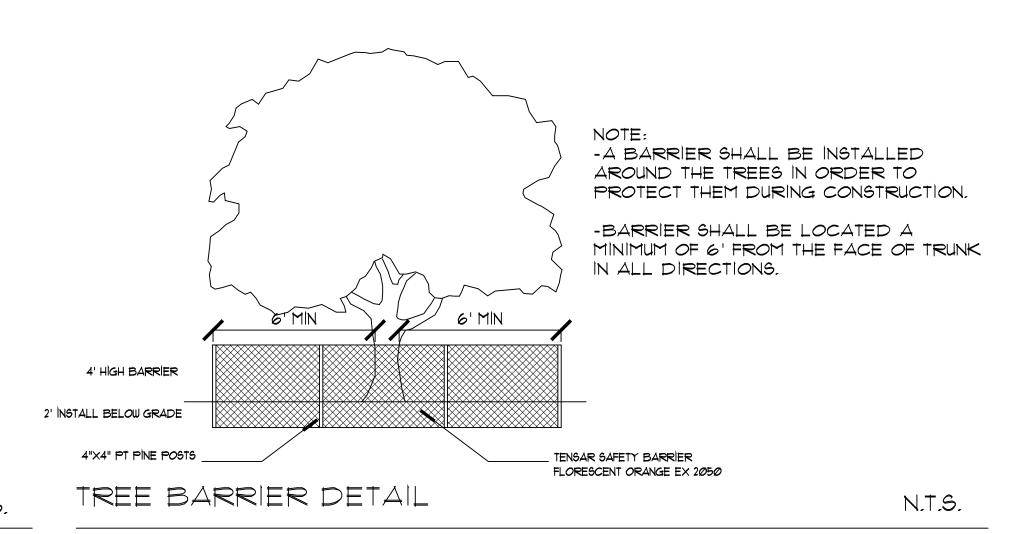


SHRUB/GROUND COVER DETAIL

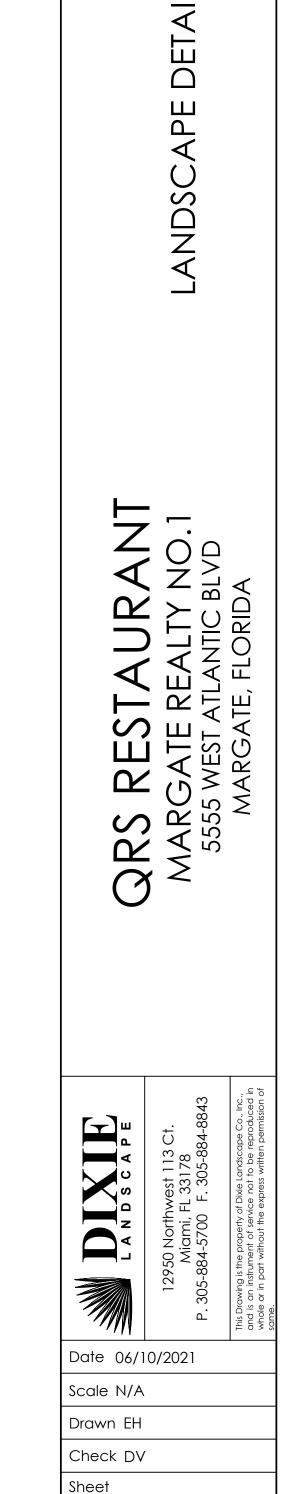
N.T.S.

PLANT NOTES

- 1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS PARTS I AND 11, 2ND EDITION: FEBRUARY 1998, RESPECTIVELY.
- 2. ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL).
- 3. ALLTREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
- 4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- 5. ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
- 6. ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
- 7. LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE ONES OWN QUANTITY COUNTS(PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST). LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
- 8. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDER-GROUND UTILITIES PRIOR TO DIGGING.
- 9, NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
- 10. ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.

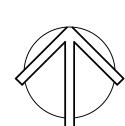


Plant	list -	Chipotle				
TREES	S & P	ALMS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	CATEGORY	Native
9	AM	Adonidia merrillii	Christmas Palm	12 oa ht, 6' ct	CAT. 4	
7	CE*	Conocarpus erectus 'sericeus'	Silver Buttonwood	12' ht, 2" cal	CAT. 2	Yes
11	QV*	Quercus virginiana	Live Oak	12' ht, 2" cal	CAT. 1	Yes
3	LL*	Ligustrum lucidium	Ligustrum	8' oa ht, 8' spr, 4' ct, multi	CAT. 2	
4	TH	Tabebuia heterophylla	Pink Tabebuia	12' ht, 2" cal	CAT. 2	
8	IC	llex cassine	Dahoon Holly	12' ht, 2" cal	CAT. 2	Yes
13	WB	Wodyetia bifurcata	Foxtail Palm	12 oa ht, 6' ct	CAT. 4	
SHRU	3S &	GROUNDCOVERS				•
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	CATEGORY	Native
172	CHI*	Chrysobalanus icaco 'red tip'	Red Tip Cocoplum	3 gal, 24" ht, 24" spr	N/A	Yes
28	CEB7*	Conocarpus erectus 'sericeus'	Green Buttonwood	7 gal, 36" ht	N/A	
23	COE7*	Conocarpus erectus 'sericeus'	Silver Buttonwood	7 gal, 5'-6" ht	N/A	Yes
69	COE*	Conocarpus erectus 'sericeus'	Silver Buttonwood	3 gal, 24" ht, 24" spr	N/A	Yes
108	COV	Codiaeum variegatum	Croton	3 gal, 24" ht, 24" spr	N/A	
68	FIM	Ficus microcarpa	Green Island Ficus	3 gal, 24" ht, 24" spr	N/A	
68	NEE*	Nephrolepis exaltata	Sword Fern	3 gal, 18" ht, 18 spr	N/A	Yes
3	PHR	Phoenix roebelenii	Dwarf Date Palm	7 gal	N/A	
232	MUC*	Muhlenbergia capillaris	Muhly Grass	3 gal, 18" ht, 18 spr	N/A	Yes
69	ILV*	liex vomitoria	Schilling Dwarf	3 gal	N/A	Yes
62	DIT*	Dianella asiaticum 'variogata'	Flex Lily	3 gal	N/A	Yes
73	CRN	Clusia rosea 'Nana'	Dwarf Clusia	3 gal, 18" ht, 18 spr	N/A	
6	CRA	Crinum asiaticum 'redleaf	Red Leaf Crinum	15 gal	N/A	
89	NEB*	Nephrolepis biserrata	Macho Fern	3 gal, 18" ht, 18 spr	N/A	Yes
367	ARG*	Arachis glabrata, Benth	Perennial peanut	1 gal	N/A	Yes
6	STR	Strelitzia reginae	Orange Bird of Paradise	7 gal	N/A	
138	SCV	Schefflera arboricola 'trinette'	Trinette	3 gal, 24" ht, 24" spr	N/A	
Denotes I	Native sp	ecies (Percentage Nativ	e Trees - 70% & Percentage	Native Shrubs - 95%)		



Of ² Sheets

CITY COMMENTS 8/27/21



Irrigation Notes

LAYOUT

LAYOUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES. MAKE ALL NECESSARY
ADJUSTMENTS AS REQUIRED TO TAKE INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATIONS
PRIOR TO EXCAVATING TRENCHES.

FLAG ALL SPRINKLER HEAD LOCATIONS. ADJUST LOCATION AND MAKE THE NECESSARY MODIFICATIONS TO NOZZLE TYPES ETC. AS REQUIRED TO INSURE 100% COVERAGE AND 50% OVERLAP.

LOW ANGLE TRAJECTORY NOZZLES SHALL BE USED WHEN ALL SPRINKLERS AND ROTORS ARE LOCATED WITHIN 100' OF POOLS OR PUBLIC GATHERING AREAS.

PIPI

PIPE LOCATIONS SHOWN ON PLAN ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED IN THE FIELD. WHEN LAYING-OUT MAINS AND LATERALS, LOCATE PIPE NEAR EDGES OF PAVEMENT OR AGAINST BUILDINGS WHEREVER POSSIBLE TO ALLOW SPACE FOR PLANT ROOT BALLS.

PIPING UNDER HARDSCAPES SUCH AS ROADS, WALKS, AND PATIOS ARE TO BE SLEEVED USING SCH. 40 PIPE.

PIPES 4" AND UNDER TO BE SOLVENT WELD. LARGER PIPES TO BE GASKETED 'O' RING PIPES AND USE THRUST BLOCKS OR MEGA LUGS AND DUCTILE IRON FITTINGS AT TURNING LOCATIONS.

*SIZE ALL PIPE SO NOT TO EXCEED 5' PER SECOND

*INSTALL RAIN SENSOR AS PER LOCAL CODE

PIPES CONVEYING RECLAIM WATER SHALL HAVE A 3' HORIZONTAL DISTANCE SEPARATION FROM OTHER PIPING OR UTILITY SERVICES. AN 18" VERTICAL SEPARATION SHALL BE MAINTAINED WHEN APPLICABLE.

AIR RELEASE VALVES TO BE USED AT THE END OF ALL MAINLINE RUNS.

WIRE

LOW VOLTAGE WIRE TO BE INSTALLED ALONG MAINLINE INSTALLATION. USE 2" SCH. 40 PVC WITH SWEEP ELBOWS AT TURNING LOCATIONS WHEN SLEEVING IS REQUIRED. ALL SPLICES SHALL BE ENCLOSED WITHIN A VALVE/SPLICE BOX.

WIRE SIZED AND COLORED AS FOLLOWS:

#12 WHITE FOR COMMON

#12 SPARE BLACK COMMON (1 SPARE NEEDED PER 10 HOT WIRES)
#14 RED HOT WIRES

#14 SPARE YELLOW HOT WIRE (1 SPARES NEEDED PER 10 HOT WIRES, 3 SPARE MINIMUM)

WHEN WIRE RUNS EXCEEDS 3,500 LINEAR FEET, USE #10 FOR COMMON WIRES AND #12 FOR HOT/SPARE WIRES.

ALL IRRIGATION CONTROLLERS TO BE PROPERLY GROUNDED IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.

FLUSHING

PRIOR TO PLACEMENT OF HEADS FLUSH ALL LINES UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS.

TRENCHING

TRENCH BOTTOM TO BE UNIFORM AND FREE OF DEBRIS. NATIVE EXCAVATED MATERIAL USED TO BACKFILL TRENCH SHALL BE FREE FROM ROCKS OR STONES LARGER THAN 1" IN DIAMETER.

MISC

PRESSURE TEST MAINLINE AS PER FLORIDA BUILDING CODE. INSTALL IRRIGATION SYSTEM AS PER LATEST EDITION OF THE FLORIDA BUILDING CODE, APPENDIX F., AND ALL PERTINENT LOCAL CODES.

SPRAY HEADS INSTALLED IN SHRUB AREAS TO BE 12 INCH POP-UPS OR INSTALLED ON RISERS.

DESIGN

THIS DESIGN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SUCH AS PIPES, VALVES, , ETC., SHOWN WITHIN PERVIOUS AREAS ARE FOR DESIGN CLARIFICATION ONLY. THE IRRIGATION CONTRACTOR SHALL INSTALL IRRIGATION EQUIPMENT IN PLANTING AREAS WHEREVER POSSIBLE.

THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO FAMILIARIZE741 THEMSELVES WITH THE SCOPE OF WORK, INCLUDING BUT NOT LIMITED TO GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, UTILITIES AND EXISTING IRRIGATION EQUIPMENT. THE IRRIGATION CONTRACTOR IS RESPONSIBLE SHALL REPAIR AND/OR REPLACE ANY DAMAGE CREATED BY THEIR WORK. THEY SHALL COORDINATE HIS WORK WITH OTHER CONTRACTOR OR MUNICIPAL AUTHORITIES FOR THE LOCATION AND INSTALLATION OF IRRIGATION EQUIPMENT UNDER ROADWAYS AND PAVING, SLEEVES THROUGH WALLS AND FLOORS, ETC.

INSTALL ALL IRRIGATION EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SUBSTITUTIONS FOR IRRIGATION EQUIPMENT TO BE APPROVED BY THE IRRIGATION DESIGNER. EQUIPMENT CHANGES TO INCLUDE BUT NOT LIMITED TO PUMP, CONTROLLER, SPRAY HEADS, ROTORS, AND VALVES.

DO NOT INSTALL IRRIGATION EQUIPMENT AS SHOWN ON THE DRAWINGS WHEN FIELD CONDITIONS DIFFER. OBSTRUCTIONS OR DIFFERENCES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR TO ASSUME FULL RESPONSIBILITY.

EQUIPMENT TABLE

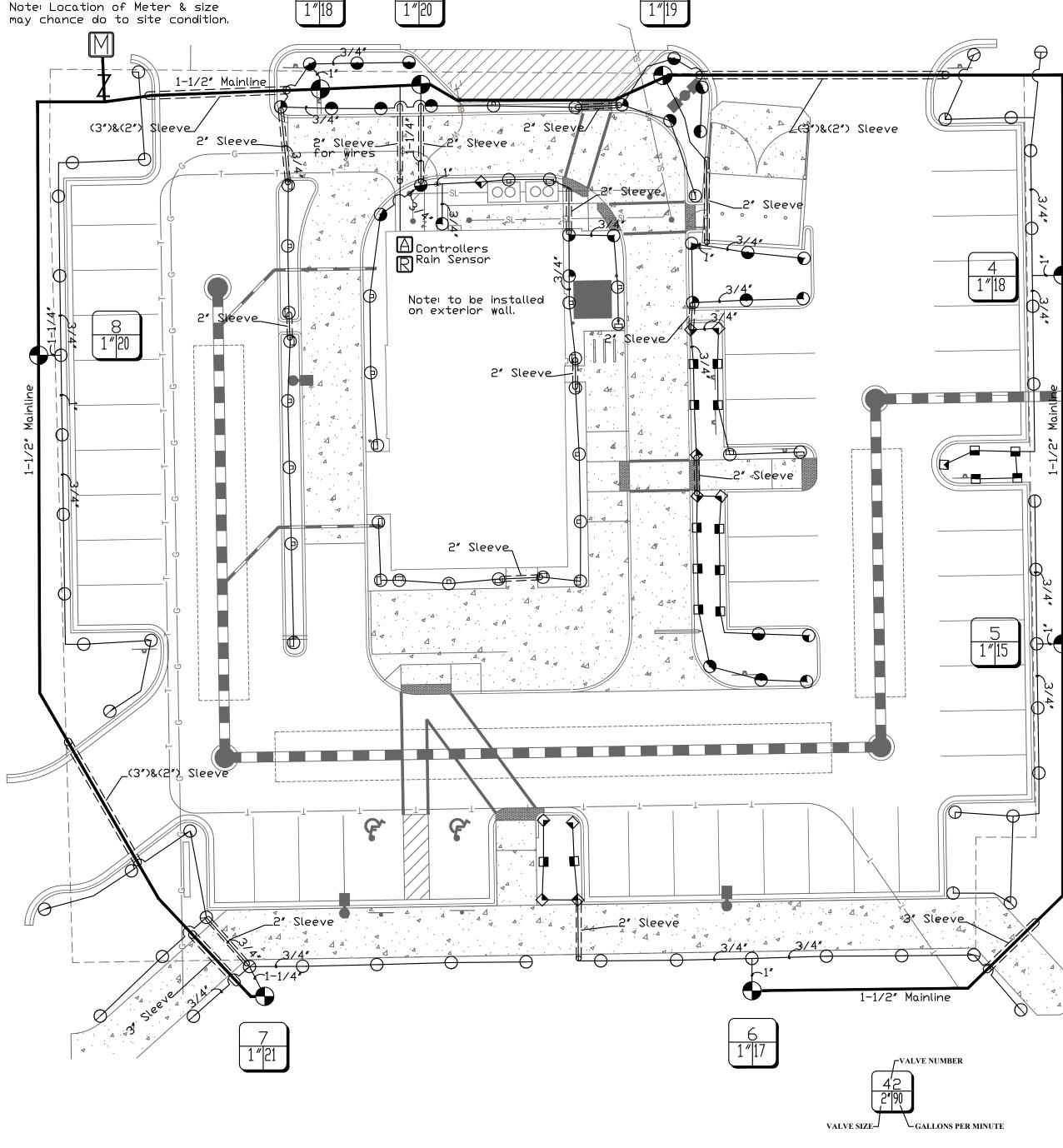
Irrigatio	n Heads
Symbol	Description
\	RAINBIRD 1800 SERIES 8 Series 6" above finish grade trajectory 5 deg 90°
	RAINBIRD 1800 SERIES 8 Series 6" above finish grade trajectory 5 deg 180°
	RAINBIRD 1800 SERIES 10 Series trajectory 15 deg 90°
lacksquare	RAINBIRD 1800 SERIES 10 Series trajectory 15 deg 180°
	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 90°
\bigcirc	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 180°
	RAINBIRD 1800 SERIES 15 Strip Series trajectory 30 deg EST*
	RAINBIRD 1800 SERIES 15 Strip Series trajectory 30 deg SST*
Di	

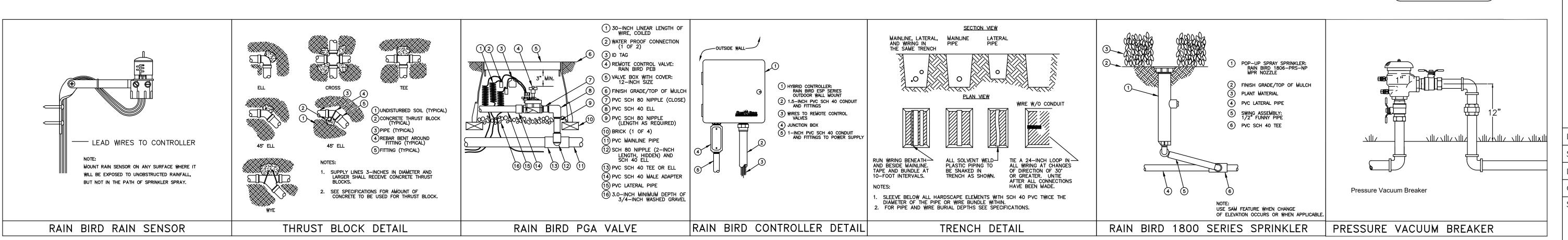
	· · · · · · · · · · · · · · · · · · ·
Pipe	
Symbol	Description
	Class 160 PVC (Lateral)
	SCH 40 PVC (Mainline)
\square	SCH 40 PVC (Sleeve)
Valves	
Symbol	Description

Valves	
Symbol	Description
•	RAINBIRD PGA Valve
Controll	ers
Symbol	Description
	Rainbird ESP-ME
R	Rain Sensor
Water Me	eters

\mathbb{R}	Rain Sensor
Water Me	eters
Symbol	Description
M	Proposed 1" Water Meter
Backflow	Preventers
Symbol	Description

│ Pressure Vacuum Breaker





RIGATION PLAN

DIEGO J. VANDERBIEST. RLA
FLORIDA NO. 666/355

DATE:

SSR RESTAURANT
MARGATE REALTY NO.1
5555 WEST MATLANTIC BLVD
MARGATE, FLORIDA

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

LANDSCAPE
LANDSCAPE
12950 Northwest 113 Ct.
Miami, FL 33178
P. 305-884-5700 F. 305-884-8843
his Drawing is the property of Dixie Landscape Co., Inc., and is an instrument of service not to be reproduced in

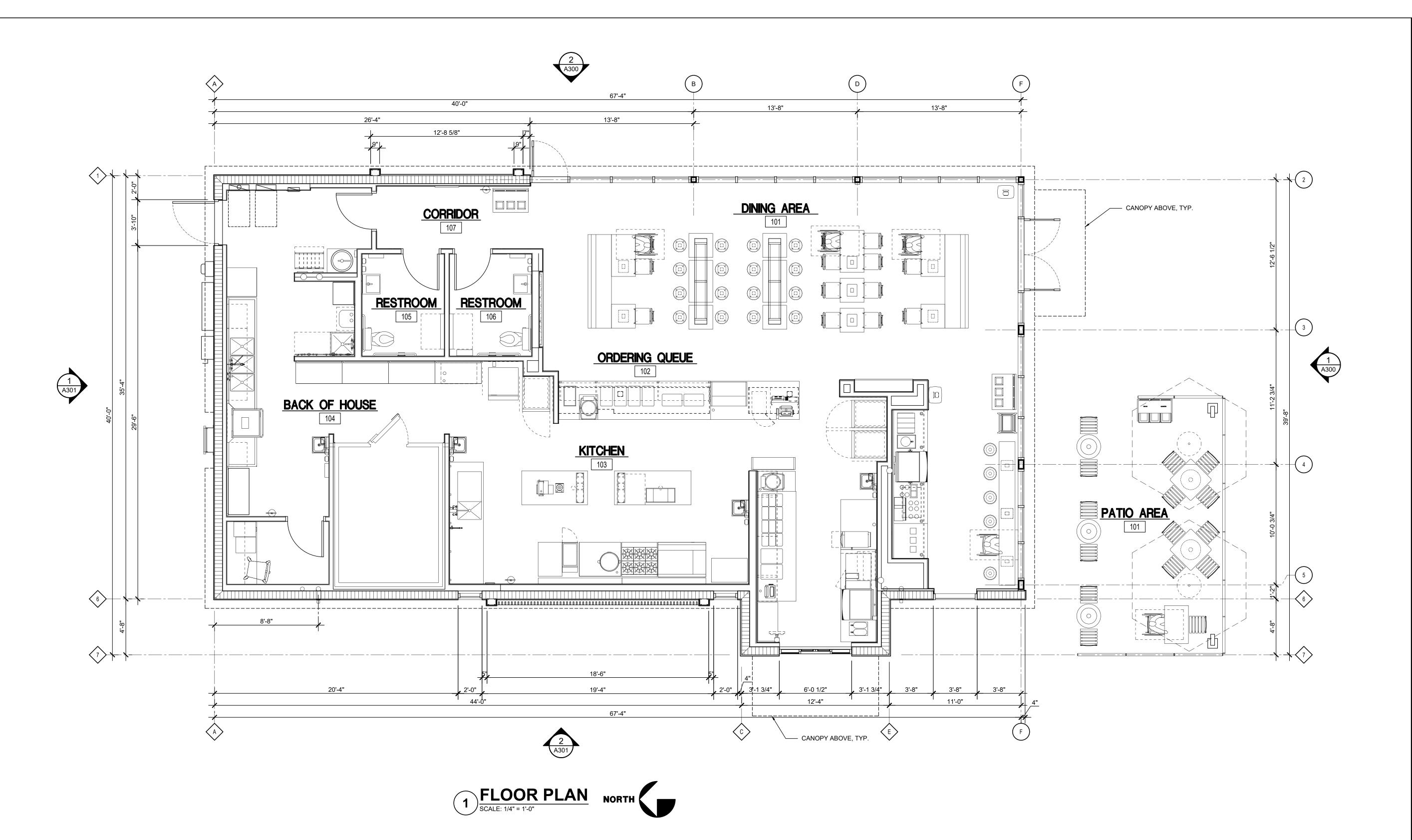
Date 06/11/2021

Scale 1=30'

Drawn AM

Check AM

Sheet IR-01
Of 1 Sheets



		CONNECTION SIZES			FIXTURE UNITS (EACH)			FIXTURE UNITS (TOTAL)				
TAG / FIXTURE	QTY	CW	HW	WASTE	CW	HW	TOTAL	SAN	CW	HW	TOTAL	SAN
BFP-1 RPZ BACKFLOW PREVENTER	1	1/2"			1				1	0	0	0
DM-1 DISH MACHINE	1		3/4"	1 1/2"	0	1	1	0	0	1	1	0
ET-1 EXPANSION TANK	1	3/4"			0	0	0	0	0	0	0	0
FD-1 FLOOR DRAIN	7			2"			0	2	0	0	0	14
FS-1 FLOOR SINK	7			3"			0	5	0	0	0	35
HB-1 HOSE BIBB	2	1/2"	1/2"		1.5	1.5	2	0	3	3	4	0
HB-2 HOSE BIBB	1	1/2"			1.5	0	1.5	0	1.5	0	1.5	0
HS-1A RESTROOM HAND SINK	2	0"	0"	2"	0	0	0	1	0	0	0	2
HS-1B RESTROOM HAND SINK FAUCET	2	1/2"	1/2"	0"	1.5	1.5	2	0	3	3	4	0
HS-2 KITCHEN HAND SINK	4	1/2"	1/2"	2"	1.5	1.5	2	1	6	6	8	4
MB-1A MOP BASIN	1	0"	0"	3"	0	0	0	3	0	0	0	3
MB-1B MOP BASIN FAUCET	1	1/2"	1/2"	0"	2.25	2.25	3	0	2.25	2.25	3	0
PF-1 POT FILLER	1	1/2"			1.5	0	1.5		1.5	0	1.5	0
RH-1 FREEZE PROOF ROOF HYDRANT	1	3/4"			1	0	1		1	0	1	0
SK-1 THREE COMPARTMENT SINK	1	1/2"	1/2"	2"	4	4	4	5	4	4	4	5
SK-2 PREP SINK	1	3/4"	3/4"	2"	3	3	4	0	3	3	4	0
TD-1 TRENCH DRAIN	1			2"	0	0	0	2	0	0	0	2
WC-1 WATER CLOSET	2	1/2"		3"	5	0	5	4	10	0	10	8
WS-1 WATER SOFTENER	1	1"			0	0	0	0	0	0	0	0
	38								36.25	22.25	42	73

FWH Architects

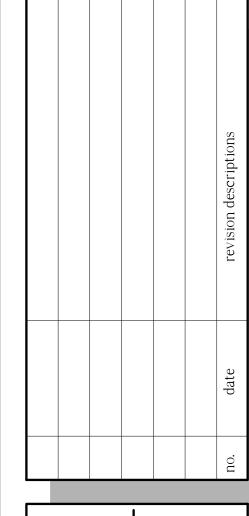
> 3336 Grand Blvd. Suite 201 Holiday, Florida 34690 Ph. 727. 815. 3336 FABER®FWHARCHITECTS.COM

THE FERBER COMPANY

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OF THE ARCHITECTS AND
ENGINEERS, SAID PLANS AND
SPECIFICATIONS COMPLY WITH THE
APPLICABLE MINIMUM BUILDING
CODES AND THE APPLICABLE
MINIMUM FIRE SAFETY STANDARDS

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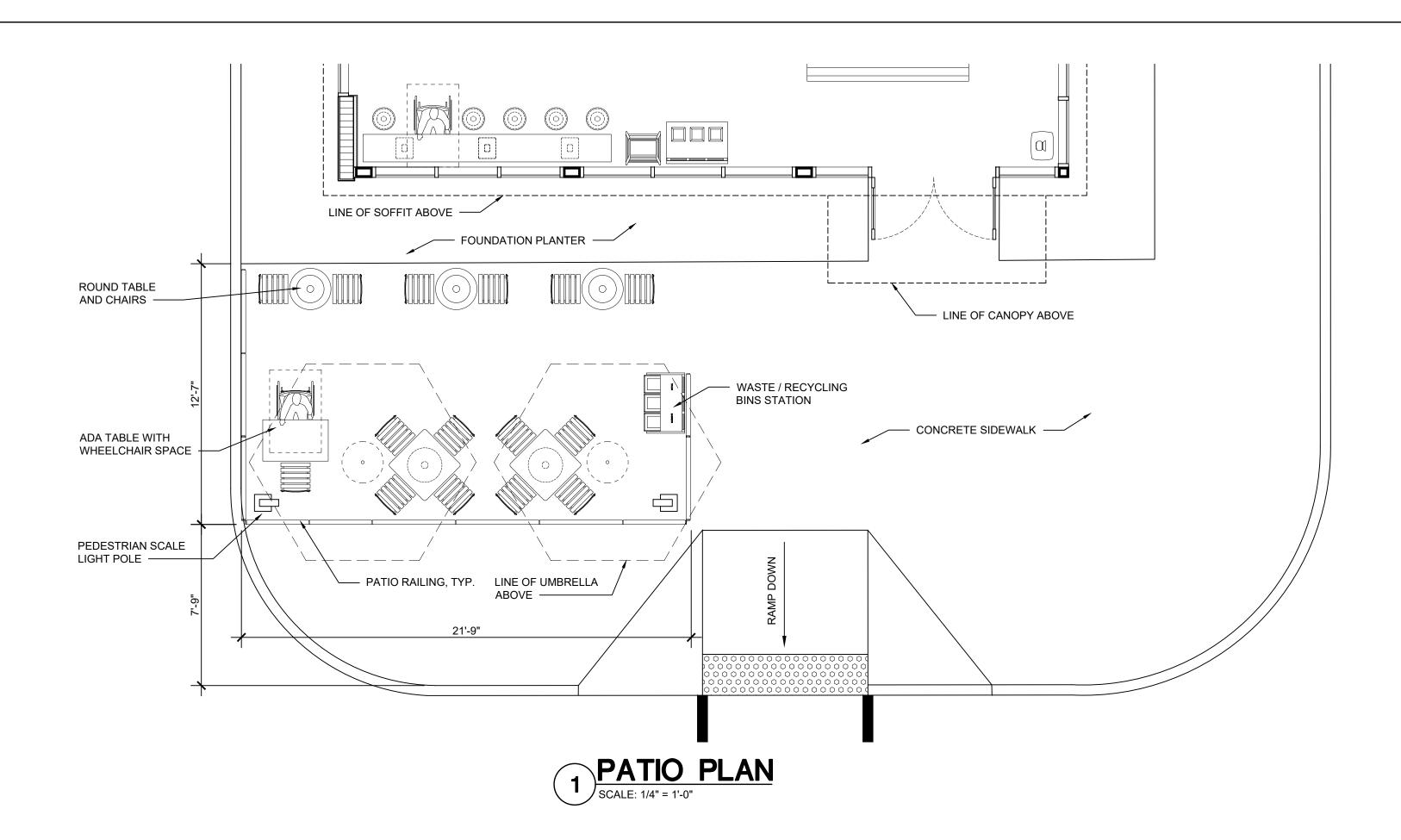
CHIPOTLE MEXICAN GRILL
BUILDING SHELL
US 441 AND ATLATNIC BLVD
MARGATE, FL 33063

09.07.21 date

21045 comm. no.

comm. no.
FLOOR PLAN

A100











PATIO ROUND TABLE

PATIO SQUARE TABLE
NOT TO A SCALE

ROUND TABLE AND CHAIRS —

NOTE: DISCONTINUED RAILING STYLE -







PATIO CHAIR

NOT TO A SCALE



WASTE / RECYCLING STATION

CURRENT RAILING STYLE

BLACK UMBRELLA

CURRENT RAILING STYLE

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Architects

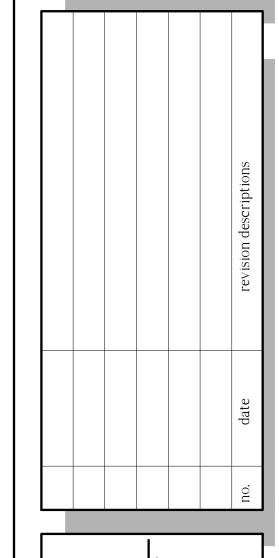
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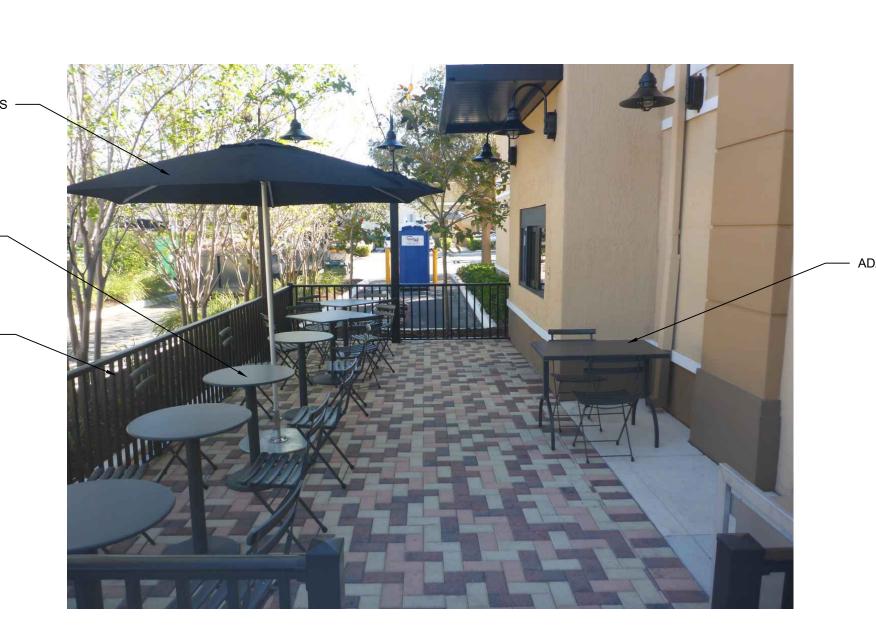


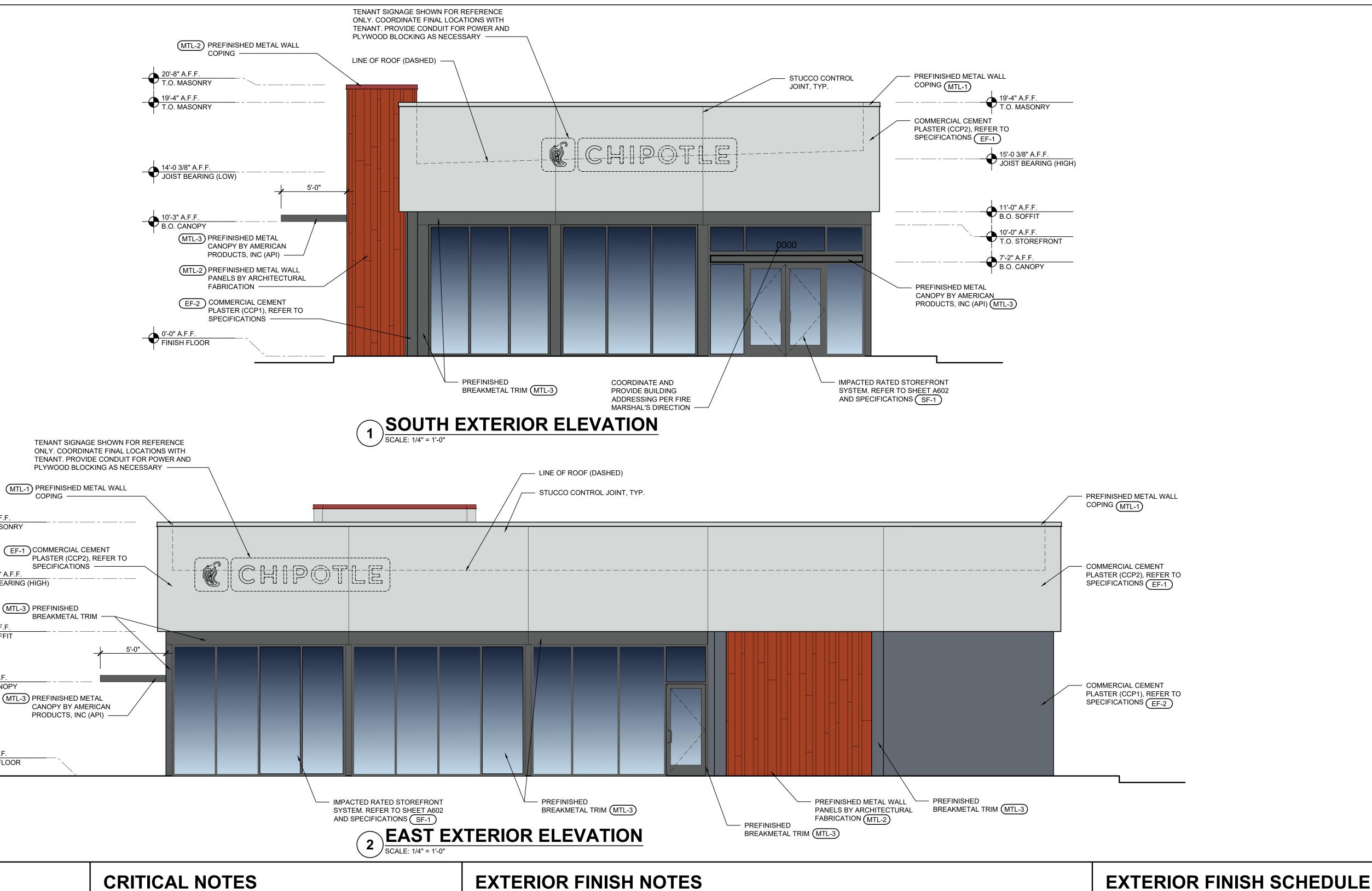
HIPOTLE MEXICAN GRILL
BUILDING SHELL
JS 441 AND ATLATNIC BLVD

09.07.21 date 21045 comm. no.

PATIO INFORMATION

A 101





GENERAL NOTES

SUBMITTED TO THE ARCHITECT PRIOR TO BID

TO THE FULLEST EXTENT POSSIBLE, BUILDING COMPONENTS WILL BE MARKED AS 'TYPICAL' (TYP.). WHERE SO, KEYED NOTES WILL NOT BE DUPLICATED FOR COMPONENTS OF LIKE KIND. SHOULD THE CONTRACTOR REQUIRE CLARIFICATION OF ANY SUCH COMPONENT, A REQUEST FOR INFORMATION (RFI) SHALL BE

COPING -

(MTL-3) PREFINISHED

19'-4" A.F.F. T.O. MASONRY

11'-0" A.F.F. B.O. SOFFIT

B.O. CANOPY

FINISH FLOOR

15'-0 3/8" A.F.F.
JOIST BEARING (HIGH)

SIGNAGE NOTES:

ANY BUILDING MOUNTED SIGNAGE DEPICTED IN THESE DOCUMENTS IS FOR COORDINATION PURPOSES ONLY AND IS NOT INTENDED FOR FABRICATION OR INSTALLATION BY THE GENERAL CONTRACTOR. IT SHALL BE UNDERSTOOD THAT ALL EXTERIOR BUILDING MOUNTED AND SITE SIGNAGE WILL BE PERMITTED SEPARATELY BY THE OWNER'S SIGN VENDOR. AT THAT TIME, COMPLETE DETAILS INCLUDING, BUT NOT LIMITED TO, SIGN FABRICATION, SIGN INSTALLATION, SIGN AREA AND QUANTITIES, ETC. SHALL BE SUBMITTED (BY THE SIGN VENDOR) FOR PERMIT AND APPROVAL PRIOR TO COMMENCEMENT OF WORK. SEE ELECTRICAL DRAWINGS FOR POWER REQUIREMENTS

NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. NUMERALS

SHALL BE AT LEAST 6 INCHES IN HEIGHT

WHERE ADDRESS IDENTIFICATION IS REQUIRED BY THE FIRE OFFICIAL ON OTHER ELEVATIONS OF BUILDINGS, SUCH NUMERALS SHALL NOT BE LESS THAN SIX INCHES

ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS

WALL FINISHES AT PARAPET RETURNS: THE DESIGN INTENT FOR PARAPET WALLS THAT RETURN ONTO THE ROOF SURFACE IS THAT THEY, WHERE EXPOSED TO VIEW, ARE TO BE PROVIDED WITH WALL FINISHES THAT ARE CONSISTENT WITH THE ADJACENT BUILDING ELEVATIONS. FOR EXAMPLE, IF CEMENT PLASTER IS PROVIDED ALONG THE MAIN BUILDING ELEVATION,

THE PARAPET RETURNS ARE TO BE PROVIDED WITH EQUAL FINISHES

THE SHELL GENERAL CONTRACTOR SHALL FULLY REVIEW AND COORDINATE WALL FINISHES WITH APPLICABLE TRADES PRIOR TO INSTALLATION. <u>UNDER NO CIRCUMSTANCES</u> WILL EXPOSED ROOF MEMBRANE BE ACCEPTED AS A WALL FINISH AT THE PARAPET RETURN CONDITIONS NOTED

WALL COUNTERFLASHING DETAILS:

REFER TO WALL SECTIONS AND ENLARGED DETAILS FOR THE SPECIFIED COUNTERFLASHING REQUIRED ABOVE CANOPIES, AWNINGS, PILASTER CAPS AND, WHERE APPLICABLE, TRIM MOULDING. IN SUCH CASES, THE DESIGN INTENT IS TO LIMIT THE VISIBILITY OF COUNTERFLASHINGS BY INCORPORATING LOW PROFILE OF CONCEALED FLASHINGS

THE SHELL GENERAL CONTRACTOR SHALL FULLY REVIEW AND COORDINATE ALL WALL COUNTERFLASHING REQUIREMENTS WITH THE ROOFER AND APPLICABLE TRADES PRIOR TO INSTALLATION. SHOULD CLARIFICATION OF ANY DETAIL BE NEEDED, THE SHELL GENERAL CONTRACTOR SHALL SUBMIT AN RFI TO THE ARCHITECT PRIOR TO INSTALLATION

<u>UNDER NO CIRCUMSTANCES</u> WILL EXPOSED SINGLE-PLY MEMBRANE BE AN ACCEPTABLE MEANS OF FLASHING AT THE CONDITIONS NOTED

EXTERIOR INSULATION FINISH SYSTEM (EIFS) REQUIREMENTS:

1. THE STANDARD FINISH COAT OVER CEMENT PLASTER SURFACES SHALL BE AN ACRYLIC EIFS FINISH COAT, "DRYVIT TAFTS" (OPTION 1) AS MANUFACTURED BY DRYVIT SYSTEMS, INC. COLORS, AS SPECIFIED ON THE EXTERIOR FINISH SCHEDULE, HAVE BEEN SELECTED FROM DRYVIT'S STANDARD COLORS. THIS SYSTEM CONSISTS OF A TINTED PRIMER AND TEXTURED ACRYLIC FINISH WITH INTEGRAL COLOR. THE SPECIFIED SYSTEM HAS A 10-YEAR MANUFACTURER WARRANTY

2. WHERE A CUSTOM COLOR IS REQUIRED FOR THE FINISH COAT OVER CEMENT PLASTER SURFACES, AN ACRYLIC EIFS FINISH COAT, "DRYVIT TAFTS" (OPTION 1) WITH STRATOTONE COLOR MATCHING SYSTEM AS MANUFACTURED BY DRYVIT SYSTEMS, INC. SHALL BE PROVIDED. CUSTOM COLORS ARE SPECIFIED ON THE EXTERIOR FINISH SCHEDULE. THIS SYSTEM CONSISTS OF A TINTED PRIMER AND TEXTURED ACRYLIC FINISH WITH INTEGRAL COLOR. THE SPECIFIED SYSTEM HAS A 5-YEAR MANUFACTURER

3. ALL FINISH COAT TEXTURES SHALL BE "SANDPEBBLE" UNLESS OTHERWISE NOTED

4. WHERE FOAM TRIM, CORNICE MOLDING OR OTHER SHAPES ARE SPECIFIED, COMPONENTS SHALL BE AS MANUFACTURED BY "DRYVIT SHAPES BY ACROCORE" AND SHALL BE COMPRISED OF A TYPE 1 CLASSIFICATION EXPANDED POLYSTYRENE WRAPPED IN A FLEXIBLE IMPACT RESISTANT FIBERGLASS MESH AND COATED WITH A FACTORY APPLIED POLYMER MODIFIED, FLEXIBLE CEMENT COATING

5. ALL GENERAL CONTRACTOR BIDS SHALL INCLUDE THE ABOVE STATED SYSTEMS / PRODUCTS IN THEIR BASE BIDS. SUBSTITUTIONS WILL BE CONSIDERED FOR APPROVAL BUT ONLY IF FULLY QUALIFIED IN BIDS INCLUDING COMPLETE SYSTEM / PRODUCT SPECIFICATIONS AND ASSOCIATED COSTS

ALUMINUM COPING AND DRIP EDGES:

1. ALL COMPONENTS SHALL BE PREFINISHED WITH A FACTORY APPLIED, KYNAR 500 FINISH OR MANUFACTURER EQUIVALENT.

ELECTRICAL GEAR, ROOF LADDER AND DOOR AND FRAME ON THE NORTH (REAR)

1. ALL COMPONENTS SHALL BE PAINTED PT-1

1. WHERE PLASTER REVEALS ARE NOT PREFINISHED, REVEALS SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR UNLESS OTHERWISE NOTED

2. ALL EXPOSED, BUILDING MOUNTED UTILITIES AND CONDUITS SHALL BE PAINTED TO MATCH THE ADJACENT WALL SURFACES UNLESS OTHERWISE NOTED

THE CONTRACTOR SHALL REQUEST A COLORIZED COPY OF THE ELEVATIONS FROM THE ARCHITECT PRIOR TO ORDERING OR APPLYING EIFS, PAINT AND OTHER EXTERIOR FINISHES. THE COLORIZED ELEVATIONS WILL HELP CONFIRM COLORS AND ASSIST THE PAINTER WHERE COLOR CHANGES OCCUR

DESCRIPTION

CEMENT PLASTER / EIFS FINISHES - ACRYLIC DPR EIFS FINISH WITH INTEGRAL COLOR AND TEXTURE. COLOR MATCH REFERENCED PAINTS

TAG MANUFACTURER COLOR

QUICKSERV

EF-1	DRYVIT	SW 6253 "OLYMPUS WHITE"	CUSTOM DRYVIT COLOR
EF-2	DRYVIT	SW 6257 "GIBRALTAR"	CUSTOM DRYVIT COLOR
EF-3	DRYVIT	PPG "AUTUMN RIDGE"	CUSTOM DRYVIT COLOR
PAINT FI	INISHES		
PT-1	SHERWIN WILLIAMS	"GIBRALTAR"	
METAL C	COPING, TRIM AND C	ANOPIES	
TAG	MANUFACTURER	COLOR	DESCRIPTION
MTL-1	TBD	MATCH EF-1 "OLYMPUS WHITE"	
MTL-2	ARCHITECTURAL FABRICATIONS	"RUSTIC TEXTURE"	PREFINISHED METAL WALL PANELS IN VARIOUS WIDTHS AND PANEL LENGTHS
MTL-3	TBD	MATCH SF-1 "CHARCOAL"	
ALUMINI	UM STOREFRONT / D	PRIVE-THRU PICK-UP WINDO	W
SF-1	KAWNEER	"CHARCOAL"	PERMAFLUOR COATING

"BRONZE

Architects

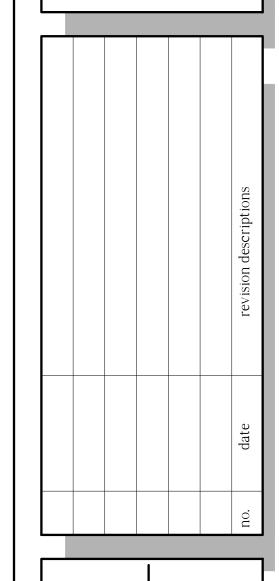
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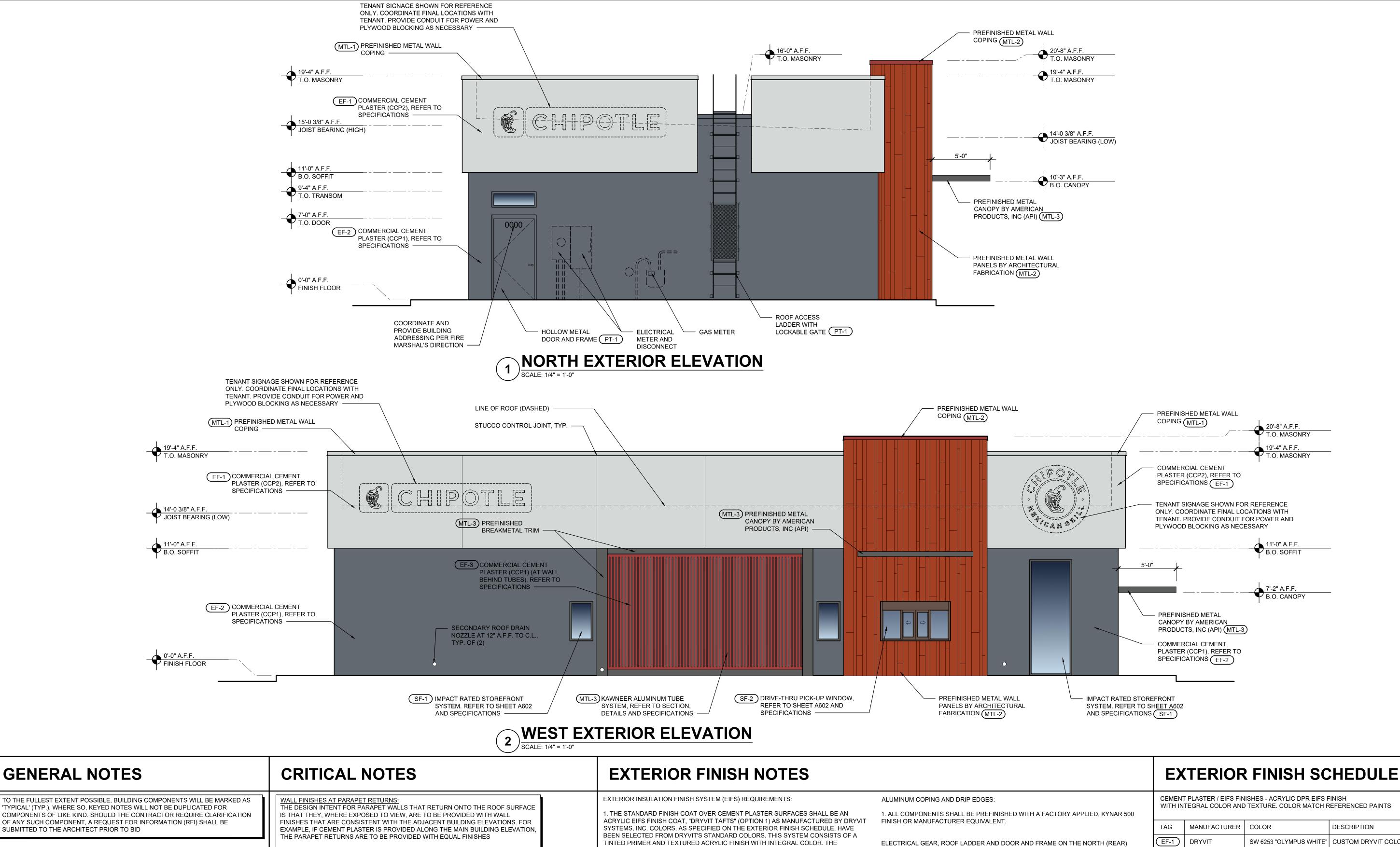
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> 09.07.21 date 21045 comm. no

EXTERIOR ELEVATIONS



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CONCEALED FLASHINGS

SPECIFIED SYSTEM HAS A 10-YEAR MANUFACTURER WARRANTY

2. WHERE A CUSTOM COLOR IS REQUIRED FOR THE FINISH COAT OVER CEMENT PLASTER SURFACES, AN ACRYLIC EIFS FINISH COAT, "DRYVIT TAFTS" (OPTION 1) WITH STRATOTONE COLOR MATCHING SYSTEM AS MANUFACTURED BY DRYVIT SYSTEMS, INC. SHALL BE PROVIDED. CUSTOM COLORS ARE SPECIFIED ON THE EXTERIOR FINISH SCHEDULE. THIS SYSTEM CONSISTS OF A TINTED PRIMER AND TEXTURED ACRYLIC FINISH WITH INTEGRAL COLOR. THE SPECIFIED SYSTEM HAS A 5-YEAR MANUFACTURER

3. ALL FINISH COAT TEXTURES SHALL BE "SANDPEBBLE" UNLESS OTHERWISE NOTED

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5. ALL GENERAL CONTRACTOR BIDS SHALL INCLUDE THE ABOVE STATED SYSTEMS / PRODUCTS IN THEIR BASE BIDS. SUBSTITUTIONS WILL BE CONSIDERED FOR APPROVAL BUT ONLY IF FULLY QUALIFIED IN BIDS INCLUDING COMPLETE SYSTEM / PRODUCT SPECIFICATIONS AND ASSOCIATED COSTS

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WITH INTEGRAL COLOR AND TEXTURE. COLOR MATCH REFERENCED PAINTS

IAG	WANDI ACTONEN	COLOIX	DESCRIPTION	
EF-1	DRYVIT	SW 6253 "OLYMPUS WHITE"	CUSTOM DRYVIT COLOR	
EF-2	DRYVIT	SW 6257 "GIBRALTAR"	CUSTOM DRYVIT COLOR	
EF-3	DRYVIT	PPG "AUTUMN RIDGE"	CUSTOM DRYVIT COLOR	
PAINT FI	NISHES			
PT-1	SHERWIN WILLIAMS	"GIBRALTAR"		
METAL C	COPING, TRIM AND C	ANOPIES		
TAG	MANUFACTURER	COLOR	DESCRIPTION	
MTL-1	TBD	MATCH EF-1 "OLYMPUS WHITE"		
MTL-2	ARCHITECTURAL FABRICATIONS	"RUSTIC TEXTURE"	PREFINISHED METAL WALL PANELS IN VARIOUS WIDTHS AND PANEL LENGTHS	
MTL-3	TBD	MATCH SF-1 "CHARCOAL"		
ALUMINI	UM STOREFRONT / D	RIVE-THRU PICK-UP WINDO	N	

PERMAFLUOR COATING

"CHARCOAL"

"BRONZE"

SF-1 | KAWNEER

SF-2 QUICKSERV

Architects

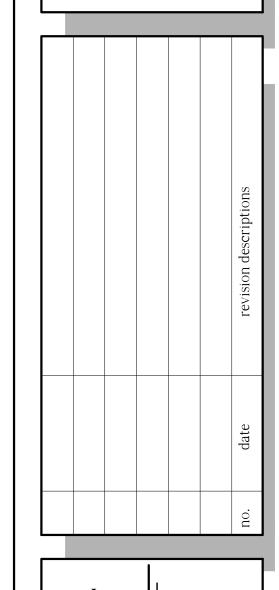
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09.07.21 date 21045 comm. no. **EXTERIOR**

ELEVATIONS

ALTA/NSPS LAND TITLE SURVEY

SCHEDULE B-II EXCEPTIONS

5. EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORDS. [INFORMATIONAL]

6. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2021 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE. [INFORMATIONAL]

7. RIGHTS OF TENANTS AND/OR PARTIES IN POSSESSION, AND ANY PARTIES CLAIMING, BY THROUGH OR UNDER SAID TENANTS OR PARTIES IN POSSESSION, AS TO ANY UNRECORDED LEASES OR RENTAL AGREEMENTS. [INFORMATIONAL]

8. MATTERS AS CONTAINED ON THE PLAT OF MARGATE REALTY NO. 1 RECORDED IN PLAT BOOK 42, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. [AFFECTS AS SHOWN]

9. EASEMENTS, LIMITED ACCESS LINES, RESTRICTIONS AND LIMITATIONS AS SHOWN ON THE PLAT OF LAKEWOOD COMMERCIAL, RECORDED IN PLAT BOOK 120, PAGE 27; AS AFFECTED BY THAT AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT FILED AUGUST 8, 1988 IN OFFICIAL RECORDS BOOK 15706, PAGE 330 AND AMENDMENT OF NOTATION ON PLAT FILED AUGUST 18, 1988 IN OFFICIAL RECORDS BOOK 15706, PAGE 334. [DOES NOT AFFECT]

10. EASEMENT GRANTED TO FLORIDA POWER & LIGHT COMPANY, DATED JUNE 21, 1962, FILED NOVEMBER 13, 1962, IN OFFICIAL RECORDS BOOK 2490, PAGE 754. **[DOES NOT AFFECT]**

11. TERMS AND PROVISIONS OF AGREEMENT BETWEEN SAMOS CORP., AND MARGATE UTILITIES CORPORATION, DATED SEPTEMBER 11, 1970, FILED OCTOBER 20, 1970 IN OFFICIAL RECORDS BOOK 4329, PAGE 124 [AFFECTS - NOT PLOTTABLE], AS AMENDED BY INSTRUMENT FILED NOVEMBER 11, 1971 IN OFFICIAL RECORDS BOOK 4673, PAGE 844 [AFFECTS - NOT PLOTTABLE]; SUBSEQUENTLY AMENDED BY DEVELOPER'S AGREEMENT BETWEEN ALEC P. COURTELIS ET. AL. AND MARGATE UTILITY AUTHORITY, INC., A FLORIDA CORPORATION, FILED JUNE 5, 1973 IN OFFICIAL RECORDS BOOK 5310, PAGE 295 [AFFECTS - NOT PLOTTABLE]; AND AS AFFECTED BY ADDENDUM TO DEVELOPER'S AGREEMENT FILED IN OFFICIAL RECORDS BOOK 11858, PAGE 26 [DOES NOT AFFECT]; AND ADDENDUM TO DEVELOPERS AGREEMENT FILED IN OFFICIAL RECORDS BOOK 12236, PAGE 26 [DOES NOT AFFECT]; ASSIGNMENT OF DEVELOPER RIGHTS (AS TO PHASE I) FILED IN OFFICIAL RECORDS BOOK 36097, PAGE 531; FIRST AMENDMENT TO ASSIGNMENT OF EQUIVALENT RESIDENTIAL CONNECTIONS, RECORDED IN OFFICIAL RECORDS BOOK 36097, PAGE 531; FIRST AMENDMENT TO ASSIGNMENT OF EQUIVALENT RESIDENTIAL CONNECTIONS RECORDED IN OFFICIAL RECORDS BOOK 41316, PAGE 1650 [AFFECTS - NOT PLOTTABLE]; AND RESOLUTION 2006-246 VACATING A PORTION OF WATER AND SEWER EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 41886, PAGE 177. [DOES NOT AFFECT]

12. EASEMENT BETWEEN ALEC P. COURTELIS AND DONALD L. SMITH, JR. AND MARGATE UTILITY AUTHORITY, INC., A FLORIDA CORPORATION DATED NOVEMBER 1, 1973 AND FILED JUNE 3, 1974 IN OFFICIAL RECORDS BOOK 5787, PAGE 720. [AFFECTS AS SHOWN]

13. TERMS, CONDITIONS AND PROVISIONS OF THAT CERTAIN DECLARATION ESTABLISHING RECIPROCAL EASEMENTS FOR INGRESS AND EGRESS AND PARKING BY ALEC P. COURTELIS AND DONALD L. SMITH, JR., D/B/A BROWARD ASSOCIATES DATED JUNE 9, 1975 AND RECORDED JUNE 25, 1975 IN OFFICIAL RECORDS BOOK 6249, PAGE 478.

[AFFECTS - NOT PLOTTABLE]

14. TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THAT CROSS PARKING AGREEMENT BETWEEN ALEC P. COURTELIS AND DONALD L. SMITH, JR. AND G.L.A. ENTERPRISES OF MARGATE DATED JULY 20, 1997, FILED SEPTEMBER 30, 1977 IN OFFICIAL RECORDS BOOK 7226, PAGE 316, AS AMENDED BY INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 31710, PAGE 1653. [BOTH AFFECT — NOT PLOTTABLE]

15. GRANT OF EASEMENT BETWEEN M.A.P. VIEWPOINTE, INC., A FLORIDA CORPORATION, AND V.L.R.C. ASSOCIATES, A FLORIDA GENERAL PARTNERSHIP AND ALEC P. COURTELIS AND DONALD L. SMITH, JR. D/B/A BROWARD ASSOCIATES, DATED AUGUST 8, 1983, FILED OCTOBER 31, 1983, IN OFFICIAL RECORDS BOOK 11235, PAGE 267. [DOES NOT AFFECT]

16. ASSIGNMENT OF DEVELOPER RIGHTS UNDER UTILITY SERVICE AGREEMENTS DATED JANUARY 31, 1984, FILED OCTOBER 1, 1984, IN OFFICIAL RECORDS BOOK 12030, PAGE 730 AND DATED APRIL 10, 1985, FILED JULY 2, 1985, IN OFFICIAL RECORDS BOOK 12652, PAGE 175. [BOTH DO NOT AFFECT]

17. DECLARATION AND GRANT OF EASEMENTS FOR LAKEWOOD MALL DATED DECEMBER 11, 1985 AND FILED JANUARY 6, 1986 IN OFFICIAL RECORDS BOOK 13092, PAGE 412; AS AMENDED BY AMENDED DECLARATION AND GRANT OF EASEMENTS FILED APRIL 8, 1986 IN OFFICIAL RECORDS BOOK 13307, PAGE 905. [BOTH AFFECT — NOT PLOTTABLE]

18. EASEMENTS GRANTED IN THAT CERTAIN WARRANTY DEED TO MCDONALD'S RESTAURANTS OF FLORIDA, INC., A FLORIDA CORPORATION DATED JUNE 16, 1988 AND FILED JULY 1, 1988 IN OFFICIAL RECORDS BOOK 15568, PAGE 624, AS ASSIGNED BY ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 41398, PAGE 139 AND ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 48845, PAGE 137. [ALL DO NOT AFFECT]

19. TERMS, CONDITIONS AND PROVISIONS OF THAT CERTAIN DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS BY AND BETWEEN PAN THOMAS COURTELIS, AS TRUSTEE, AND DONALD L. SMITH, JR., AND PENINSULA BANK RECORDED IN OFFICIAL RECORDS BOOK 29088, PAGE 1487, AS ASSIGNED BY ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 48911, PAGE 643. [ALL DO NOT AFFECT]

20. TERMS, CONDITIONS AND PROVISIONS OF THAT CERTAIN UNRECORDED LEASE BY AND BETWEEN LAKEWOOD ASSOCIATES, LTD., AND MARSHALLS OF MA, INC., AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 32017 PAGE 1976. [DOES NOT AFFECT]

21. TERMS, CONDITIONS AND PROVISIONS OF THAT CERTAIN UNRECORDED LEASE BY AND BETWEEN LAKEWOOD ASSOCIATES, LTD., AND WALGREEN CO., AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 32169, PAGE 1759, TOGETHER WITH CONSENT RECORDED IN OFFICIAL RECORDS BOOK 36097, PAGE 529. [DOES NOT AFFECT]

22. TERMS, CONDITIONS, AND PROVISIONS OF ASSIGNMENT OF EQUIVALENT RESIDENTIAL CONNECTIONS, RECORDED IN OFFICIAL RECORDS BOOK 32558, PAGE 1387. **[AFFECTS — NOT PLOTTABLE]**

23. RESTRICTIVE COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS SET FORTH IN THE DECLARATION OF EASEMENTS, RESTRICTIONS AND COVENANTS RECORDED IN OFFICIAL RECORDS BOOK 36097, PAGE 505, AS AMENDED BY FIRST AMENDMENT TO DECLARATION OF EASEMENTS, RESTRICTIONS AND COVENANTS RECORDED IN OFFICIAL RECORDS BOOK 41494, PAGE 1999. [AFFECTS — NOT PLOTTABLE]

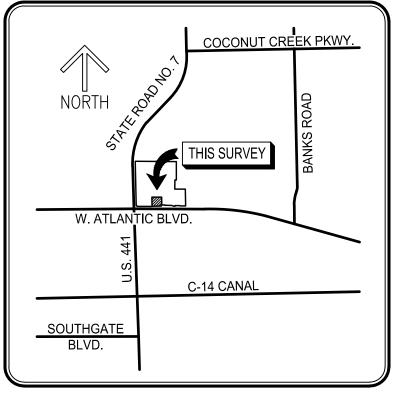
24. EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 36949, PAGE 953. [DOES NOT AFFECT]

25. EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 36949, PAGE 955. [DOES NOT AFFECT]

26. EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 36949, PAGE 957. [DOES NOT AFFECT]

27. EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 36949, PAGE 959. [DOES NOT AFFECT]

28. DECLARATION OF USE RESTRICTIONS MADE BY LAKEWOOD RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND LAKEWOOD RETAIL II, LLC, A DELAWARE LIMITED LIABILITY COMPANY, RECORDED MARCH 14, 2018 IN OFFICIAL RECORDS INSTRUMENT NO. 114947046. [DOES NOT AFFECT]



SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST LOCATION MAP

(NOT TO SCALE)

DESCRIPTION

A PORTION OF THE SHOPPING CENTER TRACT, MARGATE REALTY NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 42, PAGE 42 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST QUARTER (E 1/4) CORNER OF SECTION 36, TOWNSHIP 48, RANGE 41, BROWARD COUNTY, FLORIDA; THENCE ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SAID SECTION 36 ON A GRID BEARING OF NORTH 89°48'34" WEST A DISTANCE OF 746.71 FEET; THENCE NORTH 01°39'41" WEST A DISTANCE OF 55.83 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN RIGHT-OF-WAY WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 37291, PAGE 621 OF SAID BROWARD COUNTY PUBLIC RECORDS AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 01°39'41" WEST ALONG THE EAST LINE OF THE LANDS DESCRIBED IN THAT SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 48992, PAGE 728 OF SAID PUBLIC RECORDS, A DISTANCE OF 167.20 FEET TO THE NORTHEAST CORNER OF THE LAST DESCRIBED DEED; THENCE NORTH 00°23'28" EAST A DISTANCE OF 24.71 FEET; THENCE SOUTH 89°36'32" EAST A DISTANCE OF 209.29 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 5.00 FEET, A CENTRAL ANGLE OF 89'38'48" AND AN ARC LENGTH OF 7.82 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 00°02'16" WEST A DISTANCE OF 157.31 FEET TO THE NORTH LINE OF THE AFOREMENTIONED RIGHT-OF-WAY WARRANTY DEED; THENCE ALONG SAID NORTH LINE THE FOLLOWING THREE (3) COURSES AND DISTANCES: NORTH 89°48'52" WEST A DISTANCE OF 19.00 FEET; THENCE SOUTH 00°11'08" WEST A DISTANCE OF 25.08 FEET; THENCE SOUTH 89°04'22" WEST A DISTANCE OF 190.42 FEET TO THE POINT OF BEGINNING:

SAID LANDS LYING AND BEING IN THE CITY OF MARGATE, BROWARD COUNTY, FLORIDA AND CONTAINING 39,725 SQUARE FEET (0.912 ACRE), MORE OR LESS.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, AND RIGHTS-OF-WAY OF RECORD.

SURVEYOR'S NOTES AND REPORT:

- 1. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN ORIGINAL SURVEYOR'S SEAL.
- 2. SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE ORIGINAL SEAL, OR AN AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL, OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR AND MAPPER.
- 3. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 4. THE DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
- 5. THE BOUNDARY SHOWN HEREON IS BASED ON THE PLAT OF MARGATE REALTY NO. 1, RECORDED IN PLAT BOOK 42, PAGE 42, AND RIGHT—OF—WAY WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 37291, PAGE 621, ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA
- 6. BEARINGS SHOWN HEREON ARE GRID AS DETERMINED FROM THE FLORIDA STATE PLANE COORDINATES SHOWN ON THE BROWARD COUNTY HIGHWAY CONSTRUCTION & ENGINEERING DIVISION MAP OF SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST, AND REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, EAST ZONE, TRANSVERSE MERCATOR PROJECTION. THE SOUTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST HAS A GRID BEARING OF NORTH 89°48'34" WEST.
- 7. DISTANCES AND ELEVATIONS SHOWN HEREON ARE BASED ON THE U.S. SURVEY FOOT, UNLESS OTHERWISE NOTED
- 8. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)
- 9. BENCHMARK OF ORIGIN DESCRIPTION: BROWARD COUNTY BENCHMARK #1439.
 PUBLISHED ELEVATION = 16.543' NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
 ELEVATION = 14.985' (NAVD 1988)
 VERTICAL DATUM CONVERSION: (NGVD 1929) 1.558' = (NAVD 1988)
- 10. THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ± 0.03 ' FOR HARD SURFACE ELEVATIONS AND ± 0.1 ' FOR SOFT SURFACE ELEVATIONS.
- 11. FLOOD ZONE: "AH" (EL. 11'); CITY OF MARGATE COMMUNITY PANEL NUMBER 120047 0355 H; FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12011C0355H, EFFECTIVE DATE: AUGUST 18, 2014.

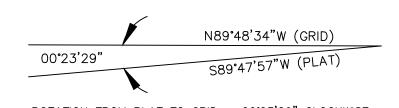
 BASE FLOOD ELEVATION IS REFERENCED TO NAVD 1988.

 ZONE AH IS SHOWN AS HATCHED AREA HEREON
- 12. THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATIONS ARE TO THE CENTER OF THE SYMBOL. THE EXPECTED HORIZONTAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ± 0.2 °.
- 13. THE SYMBOLS SHOWN IN THE LEGEND AND ON THIS MAP MAY HAVE BEEN ENLARGED OR REDUCED FOR CLARITY, AND MAY NOT DEPICT THE ACTUAL SIZE OR SHAPE OF THE FEATURES.
- 14. UNDERGROUND FOUNDATIONS, ENCROACHMENTS AND/OR UTILITIES WERE NOT LOCATED.
- 15. THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST, HOWEVER, NO SUBSURFACE INVESTIGATION WAS PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS ARE PRESENT.
- 16. THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- 17. THERE ARE NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES THAT WERE MADE AVAILABLE TO THE SURVEYOR FROM THE CITY OF MARGATE OR BROWARD COUNTY.
- 18. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- 19. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- 20. INSTRUMENTS OF RECORD SHOWN HEREON PER AMERICAN LAND TITLE ASSOCIATION COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY—COMMERCIAL, FILE NUMBER: 21103559 JP3, COMMITMENT EFFECTIVE DATE: JUNE 17, 2021 AT 08:00 AM, REVISION DATE: JUNE 29, 2021 8:11 AM. ALL PLOTTABLE MATTERS ARE SHOWN HEREON.

 NOTE: THE LEGAL DESCRIPTION CONTAINED IN THE TITLE COMMITMENT REFERENCED HEREIN DESCRIBES THE

NOTE: THE LEGAL DESCRIPTION CONTAINED IN THE TITLE COMMITMENT REFERENCED HEREIN DESCRIBES THE WALMART PROPERTY (FOLIO NUMBER 4841-36-06-0019). THE ANNOTATED SURVEYOR'S COMMENTS CONTAINED IN THE B-II EXCEPTIONS REFER ONLY TO THE LEGAL DESCRIPTION AND BOUNDARY SHOWN ON THIS SURVEY.

- 21. FOLIO NUMBERS SHOWN HEREON WERE OBTAINED FROM THE BROWARD COUNTY PROPERTY APPRAISER'S WEBSITE ON MAY 12, 2021.
- 22. INSTRUMENTS OF RECORD SHOWN HEREON ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- 23. SITE AREA: 39,725 SQUARE FEET (0.912 ACRE), MORE OR LESS.



ROTATION FROM PLAT TO GRID = 00°23'29" CLOCKWISE

CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 5, 8, 9 16 AND 17 OF TABLE A THEREOF.

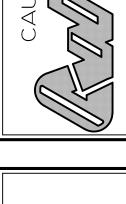
THE FIELDWORK WAS COMPLETED ON MAY 5, 2021

DATE OF PLAT OR MAP: SEPTEMBER 2, 2021

DAVID E. ROHAL
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA CERTIFICATION NO. 4315

	9-02-2021	8-27-2021	7-14-2021	DATE	
	REVISED BOUNDARY AND LEGAL DESCRIPTION	ADD WATER VALVE IN ATLANTIC	REVISED TITLE COMMITMENT (SURVEY NOTE #20)	REVISIONS	FILE NAME 9435 SUR.dwg

JLFIELD & WHEELER, INC CIVIL ENGINEERING TANDSCAPE ARCHITECTURE - SURVE 7900 GLADES ROAD - SUITE 100 BOCA RATON, FLORIDA 33434 PHONE (561)-392-1991 / FAX (561)-75(



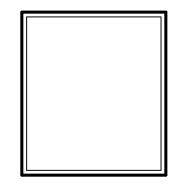
ATLANTIC MARGATE LTA/NSPS LAND TITLE SURVE

DATE 5/04/202

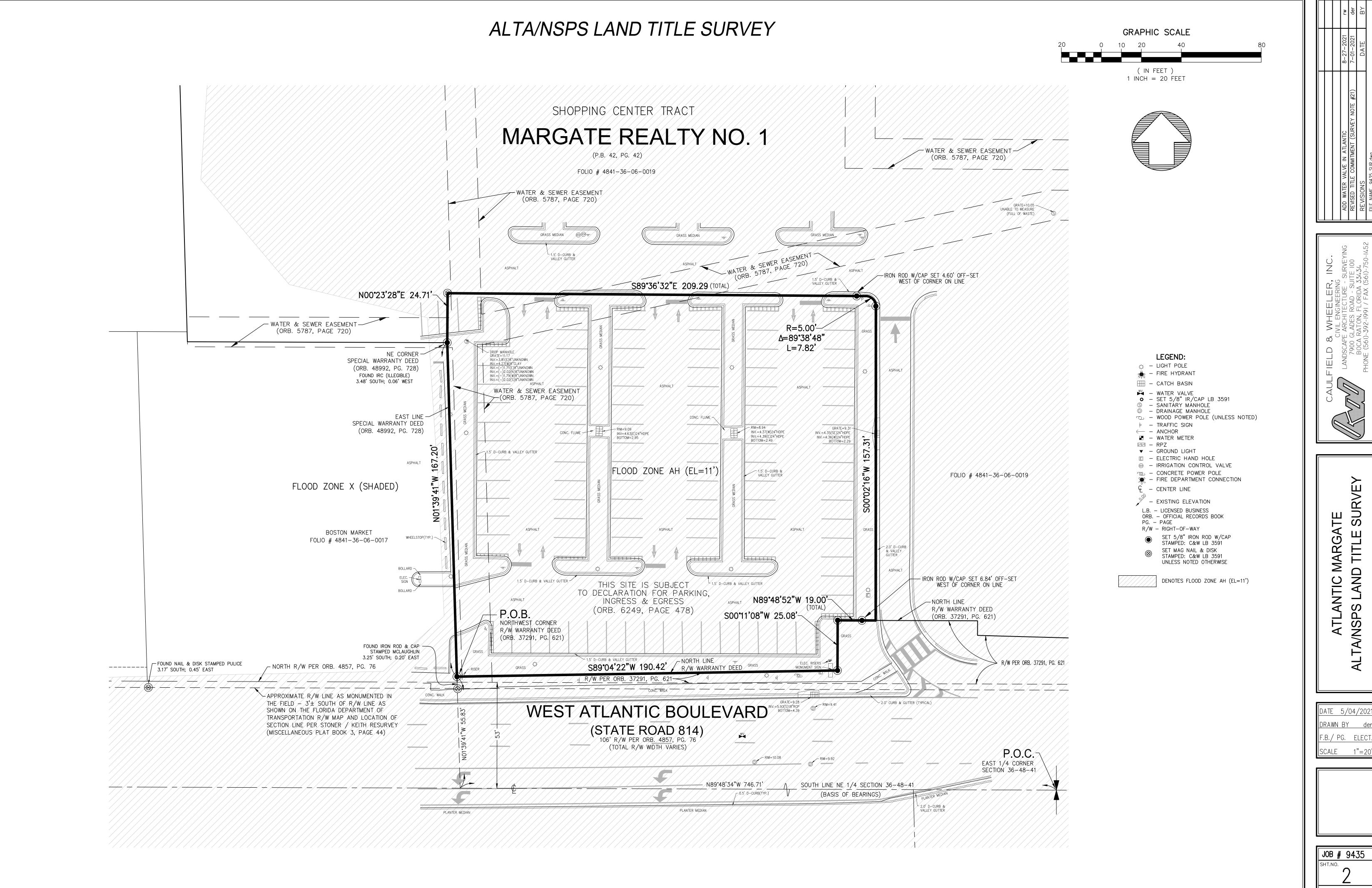
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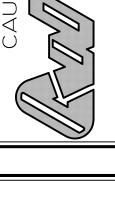
F.B./ PG. ELECT

SCALE 1"=20









SURVEY MARGATE **ATLANTIC** ALTA/NSPS

DATE 5/04/202 DRAWN BY de F.B./ PG. ELECT.

JOB # 9435 OF 2 SHEETS