



Form #0941
08/95

**SOUTH FLORIDA WATER MANAGEMENT DISTRICT
ENVIRONMENTAL RESOURCE**

STANDARD GENERAL PERMIT NO. 06-03360-P

DATE ISSUED: October 26, 2001

PERMITTEE: PAN THOMAS COURTELIS, TRUSTEE, & D.L.
SMITH, JR.
701 N. BRICKELL AVE.
SUITE 1400
MIAMI, FL 33131

PROJECT DESCRIPTION: Construction and operation of a surface water management system to serve a 17.21 acre commercial development located in Broward County known as Lakewood Development.

PROJECT LOCATION: BROWARD COUNTY, SEC 36 TWP 48S RGE 41E

PERMIT DURATION: See Special Condition No:1. See attached Rule 40E-4.321, Florida Administrative Code.

This is to notify you of the District's agency action concerning Notice of Intent for Permit Application No. 010525-18, dated May 25, 2001. This action is taken pursuant to Rule 40E-1.603 and Chapter 40E-40, Florida Administrative Code (F.A.C.).

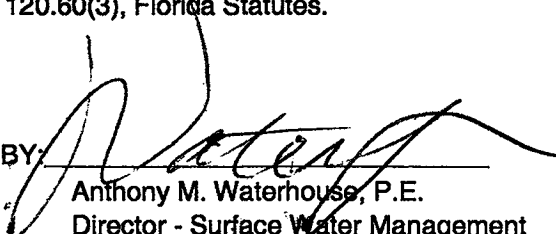
Based on the information provided, District rules have been adhered to and an Environmental Resource General Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 19 General Conditions (See Pages : 2 - 4 of 5),
3. the attached 11 Special Conditions (See Pages : 5 - 5 of 5) and
4. the attached 8 Exhibit(s).

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the Permittee (and the persons listed in the attached distribution list) no later than 5:00 p.m. on this 26th day of October, 2001, in accordance with Section 120.60(3), Florida Statutes.

BY: 
Anthony M. Waterhouse, P.E.
Director - Surface Water Management
Palm Beach Service Center

Certified mail number 7000 1530 0000 2749 4198

Enclosures

GENERAL CONDITIONS

1. All activities authorized by this permit shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit and Part IV, Chapter 373, F.S.
2. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
3. Activities approved by this permit shall be conducted in a manner which does not cause violations of State water quality standards. The permittee shall implement best management practices for erosion and pollution control to prevent violation of State water quality standards. Temporary erosion control shall be implemented prior to and during construction, and permanent control measures shall be completed within 7 days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into the receiving waterbody exists due to the permitted work. Turbidity barriers shall remain in place at all locations until construction is completed and soils are stabilized and vegetation has been established. All practices shall be in accordance with the guidelines and specifications described in Chapter 6 of the Florida Land Development Manual; A Guide to Sound Land and Water Management (Department of Environmental Regulation, 1988), incorporated by reference in Rule 40E-4.091, F.A.C. unless a project-specific erosion and sediment control plan is approved as part of the permit. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
4. The permittee shall notify the District of the anticipated construction start date within 30 days of the date that this permit is issued. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District an Environmental Resource Permit Construction Commencement Notice Form Number 0960 indicating the actual start date and the expected construction completion date.
5. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an annual status report form. Status report forms shall be submitted the following June of each year.
6. Within 30 days after completion of construction of the permitted activity, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, utilizing the supplied Environmental Resource Permit Construction Completion/Certification Form Number 0881. The statement of completion and certification shall be based on onsite observation of construction or review of as-built drawings for the purpose of determining if the work was completed in compliance with permitted plans and specifications. This submittal shall serve to notify the District that the system is ready for inspection. Additionally, if deviation from the approved drawings is discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. Both the original and revised specifications must be clearly shown. The plans must be clearly labeled as "As-built" or "Record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor.
7. The operation phase of this permit shall not become effective: until the permittee has complied with the requirements of condition (6) above, and submitted a request for conversion of Environmental Resource Permit from Construction Phase to Operation Phase, Form No. 0920; the District determines the system to be in compliance with the permitted plans and specifications; and the entity approved by the District in accordance with Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, accepts responsibility for operation and maintenance of the system. The permit shall not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall initiate transfer of the permit to the approved responsible operating entity if different from the permittee. Until the permit is transferred pursuant to Section 40E-1.6107, F.A.C., the permittee shall be liable for compliance with the terms of the

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permit.

8. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the phase or portion of the system to a local government or other responsible entity.
9. For those systems that will be operated or maintained by an entity that will require an easement or deed restriction in order to enable that entity to operate or maintain the system in conformance with this permit, such easement or deed restriction must be recorded in the public records and submitted to the District along with any other final operation and maintenance documents required by Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit applications within the South Florida Water Management District, prior to lot or units sales or prior to the completion of the system, whichever comes first. Other documents concerning the establishment and authority of the operating entity must be filed with the Secretary of State, county or municipal entities. Final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final documents will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system and any other permit conditions.
10. Should any other regulatory agency require changes to the permitted system, the permittee shall notify the District in writing of the changes prior to implementation so that a determination can be made whether a permit modification is required.
11. This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40E-4 or Chapter 40E-40, F.A.C..
12. The permittee is hereby advised that Section 253.77, F.S. states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the State, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereign lands or other state-owned lands.
13. The permittee must obtain a Water Use permit prior to construction dewatering, unless the work qualifies for a general permit pursuant to Subsection 40E-20.302(4), F.A.C., also known as the "No Notice" Rule.
14. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the permit.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding, unless a specific condition of this permit or a formal determination under Section 373.421(2), F.S., provides otherwise.
16. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of a permitted system or the real property on which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rules 40E-1.6105 and 40E-1.6107, F.A.C.. The permittee transferring the permit shall remain liable for corrective actions that may be required as a result of any violations prior to the sale, conveyance or other transfer of the system.
17. Upon reasonable notice to the permittee, District authorized staff with proper identification shall have permission to enter, inspect, sample and test the system to insure conformity with the plans and

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specifications approved by the permit.

18. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the appropriate District service center.
19. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on October 26, 2006.
2. Operation of the surface water management system shall be the responsibility of the permittee.
3. Discharge facilities:

1-8' WIDE SHARP CRESTED weir with crest at elev. 8' NGVD.

1-3" dia. CIRCULAR ORIFICE with invert at elev. 7' NGVD.

Receiving body : existing system

Control elev : 7 feet NGVD. /7 FEET NGVD DRY SEASON.

4. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
5. Measures shall be taken during construction to insure that sedimentation and/or turbidity problems are not created in the receiving water.
6. The District reserves the right that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
7. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
8. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
9. The permittee shall provide routine maintenance of all of the components of the surface water management system in order to remove all trapped sediments/debris. All materials shall be properly disposed of as required by law. Failure to properly maintain the system may result in adverse flooding conditons.
10. Minimum building floor elevation: BASIN: SITE - 13.50 feet NGVD.
11. Reference is made to Exhibits 2 through 8 consisting of paving, grading and drainage plans and detail sheets. The drawings have been signed and sealed by a Florida registered Professional Engineer and are hereby incorporated in this permit by reference (please see permit file).


SCANNED

40E-4.321 Duration of Permits

(1) Unless revoked or otherwise modified the duration of an environmental resource permit issued under this chapter or Chapter 40E-40, F.A.C. is as follows:

(a) For a conceptual approval, two years from the date of issuance or the date specified as a condition of the permit, unless within that period an application for an individual or standard general permit is filed for any portion of the project. If an application for an environmental resource permit is filed, then the conceptual approval remains valid until final action is taken on the environmental resource permit application. If the application is granted, then the conceptual approval is valid for an additional two years from the date of issuance of the permit. Conceptual approvals which have no individual or standard general environmental resource permit applications filed for a period of two years shall expire automatically at the end of the two year period.

(b) For a conceptual approval filed concurrently with a development of regional impact (DRI) application for development approval (ADA) and a local government comprehensive plan amendment, the duration of the conceptual approval shall be two years from whichever one of the following occurs at the latest date:

1. the effective date of the local government's comprehensive plan amendment.
2. the effective date of the local government development order.
3. the date on which the District issues the conceptual approval, or
4. the latest date of the resolution of any Chapter 120.57, F.A.C., administrative proceeding or other legal appeals.

(c) For an individual or standard general environmental resource permit, five years from the date of issuance or such amount of time as made a condition of the permit.

(d) For a noticed general permit issued pursuant to Chapter 40-E-400, F.A.C., five years from the date the notice of intent to use the permit is provided to the District.

(2)(a) Unless prescribed by special permit condition, permits expire automatically according to the timeframes indicated in this rule. If application for extension is made in writing pursuant to subsection (3), the permit shall remain in full force and effect until:

1. the Governing Board takes action on an application for extension of an individual permit, or

2. staff takes action on an application for extension of a standard general permit.

(b) Installation of the project outfall structure shall not constitute a vesting of the permit.

(3) The permit extension shall be issued provided that a permittee files a written request with the District showing good cause prior to the expiration of the permit. For the purpose of this rule, good cause shall mean a set of extenuating circumstances outside of the control of the permittee. Requests for extensions, which shall include documentation of the extenuating circumstances and how they have delayed this project, will not be accepted more than 180 days prior to the expiration date.

(4) Substantial modifications to Conceptual Approvals will extend the duration of the Conceptual Approval for two years from the date of issuance of the modification. For the purposes of this section, the term "substantial modification" shall mean a modification which is reasonably expected to lead to substantially different water resource or environmental impacts which require a detailed review.

(5) Substantial modifications to individual or standard general environmental resource permits issued pursuant to a permit application extend the duration of the permit for three years from the date of issuance of the modification. Individual or standard general environmental resource permit modifications do not extend the duration of a conceptual approval.

(6) Permit modifications issued pursuant to subsection 40E-4.331(2)(b), F.A.C. (letter modifications) do not extend the duration of a permit.

(7) Failure to complete construction or alteration of the surface water management system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization in order to continue construction unless a permit extension is granted.

NOTICE OF RIGHTS

Section 120.569(1), Fla. Stat. (1999), requires that "each notice shall inform the recipient of any administrative hearing or judicial review that is available under this section, s. 120.57, or s. 120.68; shall indicate the procedure which must be followed to obtain the hearing or judicial review, and shall state the time limits which apply." Please note that this Notice of Rights is not intended to provide legal advice. Not all the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

Petition for Administrative Proceedings

1. A person whose substantial interests are affected by the South Florida Water Management District's (SFWMD) action has the right to request an administrative hearing on that action. The affected person may request either a formal or an informal hearing, as set forth below. A point of entry into administrative proceedings is governed by Rules 28-106.111 and 40E-1.511, Fla. Admin. Code, (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109), as set forth below. Petitions are deemed filed upon receipt of the original documents by the SFWMD Clerk.

a. Formal Administrative Hearing: If a genuine issue(s) of material fact is in dispute, the affected person seeking a formal hearing on a SFWMD decision which does or may determine their substantial interests shall file a petition for hearing pursuant to Sections 120.569 and 120.57(1), Fla. Stat. or for mediation pursuant to Section 120.573, Fla. Stat. within 21 days, except as provided in subsections c. and d. below, of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-106.201(2), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

b. Informal Administrative Hearing: If there are no issues of material fact in dispute, the affected person seeking an informal hearing on a SFWMD decision which does or may determine their substantial interests shall file a petition for hearing pursuant to Sections 120.569 and 120.57(2), Fla. Stat. or for mediation pursuant to Section 120.573, Fla. Stat. within 21 days, except as provided in subsections c. and d. below, of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-106.301(2), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

c. Administrative Complaint and Order: If a Respondent objects to a SFWMD Administrative Complaint and Order, pursuant to Section 373.119, Fla. Stat. (1997), the person named in the Administrative Complaint and Order may file a petition for a hearing no later than 14 days after the date such order is served. Petitions must substantially comply with the requirements of either subsection a. or b. above.

d. State Lands Environmental Resource Permit: Pursuant to Section 373.427, Fla. Stat., and Rule 40E-1.511(3), Fla. Admin. Code (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109(2)(c)), a petition objecting to the SFWMD's agency action regarding consolidated applications for Environmental Resource Permits and Use of Sovereign Submerged Lands (SLERPs), must be filed within 14 days of the notice of consolidated intent to grant or deny the SLERP. Petitions must substantially comply with the requirements of either subsection a. or b. above.

e. Emergency Authorization and Order: A person whose substantial interests are affected by a SFWMD Emergency Authorization and Order, has a right to file a petition under Sections 120.569, 120.57(1), and 120.57(2), Fla. Stat., as provided in subsections a. and b. above. However, the person, or the agent of the person responsible for causing or contributing to the emergency conditions shall take whatever action necessary to cause immediate compliance with the terms of the Emergency Authorization and Order.

f. Order for Emergency Action: A person whose substantial interests are affected by a SFWMD Order for Emergency Action has a right to file a petition pursuant to Rules 28-107.005 and 40E-1.611, Fla. Admin. Code, copies of which are attached to this Notice of Rights, and Section 373.119(3), Fla. Stat., for a hearing on the Order. Any subsequent agency action or proposed agency action to initiate a formal revocation proceeding shall be separately noticed pursuant to section g. below.

g. Permit Suspension, Revocation, Annulment, and Withdrawal: If the SFWMD issues an administrative complaint to suspend, revoke, annul, or withdraw a permit, the permittee may request a hearing to be conducted in accordance with Sections 120.569 and 120.57, Fla. Stat., within 21 days of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-107.004(3), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

2. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means that the SFWMD's final action may be different from the position taken by it previously. Persons whose substantial interests may be affected by

any such final decision of the SFWMD shall have, pursuant to Rule 40E-1.511(2), Fla. Admin. Code (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109(2)(c)), an additional 21 days from the date of receipt of notice of said decision to request an administrative hearing. However, the scope of the administrative hearing shall be limited to the substantial deviation.

3. Pursuant to Rule 40E-1.511(4), Fla. Admin. Code, substantially affected persons entitled to a hearing pursuant to Section 120.57(1), Fla. Stat., may waive their right to such a hearing and request an informal hearing before the Governing Board pursuant to Section 120.57(2), Fla. Stat., which may be granted at the option of the Governing Board.

4. Pursuant to Rule 28-106.111(3), Fla. Admin. Code, persons may file with the SFWMD a request for extension of time for filing a petition. The SFWMD, for good cause shown, may grant the extension. The request for extension must contain a certificate that the petitioner has consulted with all other parties, if any, concerning the extension and that the SFWMD and all other parties agree to the extension.

CIRCUIT COURT

5. Pursuant to Section 373.617, Fla. Stat., any substantially affected person who claims that final agency action of the SFWMD relating to permit decisions constitutes an unconstitutional taking of property without just compensation may seek judicial review of the action in circuit court by filing a civil action in the circuit court in the judicial circuit in which the affected property is located within 90 days of the rendering of the SFWMD's final agency action.

6. Pursuant to Section 403.412, Fla. Stat., any citizen of Florida may bring an action for injunctive relief against the SFWMD to compel the SFWMD to enforce the laws of Chapter 373, Fla. Stat., and Title 40E, Fla. Admin. Code. The complaining party must file with the SFWMD Clerk a verified complaint setting forth the facts upon which the complaint is based and the manner in which the complaining party is affected. If the SFWMD does not take appropriate action on the complaint within 30 days of receipt, the complaining party may then file a civil suit for injunctive relief in the 15th Judicial Circuit in and for Palm Beach County or circuit court in the county where the cause of action allegedly occurred.

7. Pursuant to Section 373.433, Fla. Stat., a private citizen of Florida may file suit in circuit court to require the abatement of any stormwater management system, dam, impoundment, reservoir, appurtenant work or works that violate the provisions of Chapter 373, Fla. Stat.

DISTRICT COURT OF APPEAL

8. Pursuant to Section 120.68, Fla. Stat., a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal pursuant to Florida Rule of Appellate Procedure 9.110 in the Fourth District Court of Appeal or in the appellate district where a party resides and filing a second copy of the notice with the SFWMD Clerk within 30 days of rendering of the final SFWMD action.

LAND AND WATER ADJUDICATORY COMMISSION

9. A party to a "proceeding below" may seek review by the Land and Water Adjudicatory Commission (FLAWAC) of SFWMD's final agency action to determine if such action is consistent with the provisions and purposes of Chapter 373, Fla. Stat. Pursuant to Section 373.114, Fla. Stat., and Rules 42-2.013 and 42-2.0132, Fla. Admin. Code, a request for review of (a) an order or rule of the SFWMD must be filed with FLAWAC within 20 days after rendition of the order or adoption of the rule sought to be reviewed; (b) an order of the Department of Environmental Protection (DEP) requiring amendment or repeal of a SFWMD rule must be filed with FLAWAC within 30 days of rendition of the DEP's order, and (c) a SFWMD order entered pursuant to a formal administrative hearing under Section 120.57(1), Fla. Stat., must be filed no later than 20 days after rendition of the SFWMD's final order. Simultaneous with filing, a copy of the request for review must be served on the DEP Secretary, any person named in the SFWMD or DEP final order, and all parties to the proceeding below. A copy of Rule 42-2.013, Fla. Admin. Code is attached to this Notice of Rights.

PRIVATE PROPERTY RIGHTS PROTECTION ACT

10. A property owner who alleges a specific action of the SFWMD has inordinately burdened an existing use of the real property, or a vested right to a specific use of the real property, may file a claim in the circuit court where the real property is located within 1 year of the SFWMD action pursuant to the procedures set forth in Subsection 70.001(4)(a), Fla. Stat.

LAND USE AND ENVIRONMENTAL DISPUTE RESOLUTION

11. A property owner who alleges that a SFWMD development order (as that term is defined in Section 70.51(2)(a), Fla. Stat. to include permits) or SFWMD enforcement action is unreasonable, or unfairly burdens the use of the real property, may file a request for relief with the SFWMD within 30 days of receipt of the SFWMD's order or notice of agency action pursuant to the procedures set forth in Subsections 70.51(4) and (6), Fla. Stat.

MEDIATION

12. A person whose substantial interests are, or may be, affected by the SFWMD's action may choose mediation as an alternative remedy under Section 120.573, Fla. Stat. Pursuant to Rule 28-106.111(2), Fla. Admin. Code, the petition for mediation shall be filed within 21 days of either written notice through mail or posting or

publication of notice that the SFWMD has or intends to take final agency action. Choosing mediation will not affect the right to an administrative hearing if mediation does not result in settlement.

Pursuant to Rule 28-106.402, Fla. Admin. Code, the contents of the petition for mediation shall contain the following information:

(1) the name, address, and telephone number of the person requesting mediation and that person's representative, if any;

(2) a statement of the preliminary agency action;

(3) an explanation of how the person's substantial interests will be affected by the agency determination; and

(4) a statement of relief sought.

As provided in Section 120.573, Fla. Stat. (1997), the timely agreement of all the parties to mediate will toll the time limitations imposed by Sections 120.569 and 120.57, Fla. Stat., for requesting and holding an administrative hearing. Unless otherwise agreed by the parties, the mediation must be concluded within 60 days of the execution of the agreement. If mediation results in settlement of the dispute, the SFWMD must enter a final order incorporating the agreement of the parties. Persons whose substantial interest will be affected by such a modified agency decision have a right to petition for hearing within 21 days of receipt of the final order in accordance with the requirements of Sections 120.569 and 120.57, Fla. Stat., and SFWMD Rule 28-106.201(2), Fla. Admin. Code. If mediation terminates without settlement of the dispute, the SFWMD shall notify all parties in writing that the administrative hearing process under Sections 120.569 and 120.57, Fla. Stat., remain available for disposition of the dispute, and the notice will specify the deadlines that then will apply for challenging the agency action.

VARIANCES AND WAIVERS

13. A person who is subject to regulation pursuant to a SFWMD rule and believes the application of that rule will create a substantial hardship or will violate principles of fairness (as those terms are defined in Subsection 120.542(2), Fla. Stat.) and can demonstrate that the purpose of the underlying statute will be or has been achieved by other means, may file a petition with the SFWMD Clerk requesting a variance from or waiver of the SFWMD rule. Applying for a variance or waiver does not substitute or extend the time for filing a petition for an administrative hearing or exercising any other right that a person may have concerning the SFWMD's action. Pursuant to Rule 28-104.002(2), Fla. Admin. Code, the petition must include the following information:

(a) the caption shall read:

Petition for (Variance from) or (Waiver of) Rule (Citation)

(b) The name, address, telephone number and any facsimile number of the petitioner;

(c) The name, address telephone number and any facsimile number of the attorney or qualified representative of the petitioner, (if any);

(d) the applicable rule or portion of the rule;

(e) the citation to the statute the rule is implementing;

(f) the type of action requested;

(g) the specific facts that demonstrate a substantial hardship or violation of principals of fairness that would justify a waiver or variance for the petitioner;

(h) the reason why the variance or the waiver requested would serve the purposes of the underlying statute; and

(i) a statement of whether the variance or waiver is permanent or temporary. If the variance or waiver is temporary, the petition shall include the dates indicating the duration of the requested variance or waiver.

A person requesting an emergency variance from or waiver of a SFWMD rule must clearly so state in the caption of the petition. In addition to the requirements of Section 120.542(5), Fla. Stat. pursuant to Rule 28-104.004(2), Fla. Admin. Code, the petition must also include:

a) the specific facts that make the situation an emergency; and

b) the specific facts to show that the petitioner will suffer immediate adverse effect unless the variance or waiver is issued by the SFWMD more expeditiously than the applicable timeframes set forth in Section 120.542, Fla. Stat.

WAIVER OF RIGHTS

14. Failure to observe the relevant time frames prescribed above will constitute a waiver of such right.

28-106.201

INITIATION OF PROCEEDINGS

(INVOLVING DISPUTED ISSUES OF MATERIAL FACT)

(2) All petitions filed under these rules shall contain:

(a) The name and address of each agency affected and each agency's file or identification number, if known;

(b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests will be affected by the agency determination;

(c) A statement of when and how the petitioner received notice of the agency decision;

(d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;

(e) A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle the petitioner to relief; and

(f) A demand for relief.

SCANNED

Revised August, 2000

28-106.301 INITIATION OF PROCEEDINGS
(NOT INVOLVING DISPUTED ISSUES OF MATERIAL FACT)

- (2) All petitions filed under these rules shall contain:
- (a) The name and address of each agency affected and each agency's file or identification number, if known;
 - (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
 - (c) A statement of when and how the petitioner received notice of the agency decision;
 - (d) A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle the petitioner to relief; and
 - (e) A demand for relief.

28-107.004 SUSPENSION, REVOCATION, ANNULMENT, OR WITHDRAWAL

- (3) Requests for hearing filed in accordance with this rule shall include:
- (a) The name and address of the party making the request, for purposes of service;
 - (b) A statement that the party is requesting a hearing involving disputed issues of material fact, or a hearing not involving disputed issues of material fact; and
 - (c) A reference to the notice, order to show cause, administrative complaint, or other communication that the party has received from the agency.

42-2.013 REQUEST FOR REVIEW PURSUANT TO SECTION 373.114 OR 373.217

(1) In any proceeding arising under Chapter 373, F.S., review by the Florida Land and Water Adjudicatory Commission may be initiated by the Department or a party by filing a request for such review with the Secretary of the Commission and serving a copy on any person named in the rule or order, and on all parties to the proceeding which resulted in the order sought to be reviewed. A certificate of service showing completion of service as required by this subsection shall be a requirement for a determination of sufficiency under Rule 42-2.0132. Failure to file the request with the Commission within the time period provided in Rule 42-2.0132 shall result in dismissal of the request for review.

(2) The request for review shall identify the rule or order requested to be reviewed, the proceeding in which the rule or order was entered and the nature of the rule or order. A copy of the rule or order sought to be reviewed shall be attached. The request for review shall state with particularity:

- (a) How the order or rule conflicts with the requirements, provisions and purposes of Chapter 373, F.S., or rules duly adopted thereunder;

(b) How the rule or order sought to be reviewed affects the interests of the party seeking review;

(c) The oral or written statement, sworn or unsworn, which was submitted to the agency concerning the matter to be reviewed and the date and location of the statement, if the individual or entity requesting the review has not participated in a proceeding previously instituted pursuant to Chapter 120, F.S., on the order for which review is sought;

(d) If review of an order is being sought, whether and how the activity authorized by the order would substantially affect natural resources of statewide or regional significance, or whether the order raises issues of policy, statutory interpretation, or rule interpretation that have regional or statewide significance from a standpoint of agency precedent, and all the factual bases in the record which the petitioner claims support such determination(s); and

(e) The action requested to be taken by the Commission as a result of the review, whether to rescind or modify the order, or remand the proceeding to the water management district for further action, or to require the water management district to initiate rulemaking to adopt, amend or repeal a rule.

28-107.005 EMERGENCY ACTION

(1) If the agency finds that immediate serious danger to the public health, safety, or welfare requires emergency action, the agency shall summarily suspend, limit, or restrict a license.

(2) The 14-day notice requirement of Section 120.569(2)(b), F. S., does not apply and shall not be construed to prevent a hearing at the earliest time practicable upon request of an aggrieved party.

(3) Unless otherwise provided by law, within 20 days after emergency action taken pursuant to paragraph (1) of this rule, the agency shall initiate a formal suspension or revocation proceeding in compliance with Sections 120.569, 120.57, and 120.60, F.S.

40E-1.611 EMERGENCY ACTION

(1) An emergency exists when immediate action is necessary to protect public health, safety or welfare; the health of animals, fish or aquatic life; the works of the District; a public water supply, or recreational, commercial, industrial, agricultural or other reasonable uses of land and water resources.

(2) The Executive Director may employ the resources of the District to take whatever remedial action necessary to alleviate the emergency condition without the issuance of an emergency order, or in the event an emergency order has been issued, after the expiration of the requisite time for compliance with that order.

Last Date For Agency Action: November 16, 2001

GENERAL ENVIRONMENTAL RESOURCE PERMIT STAFF REPORT

Project Name: Lakewood

Permit No.: 06-03360-P

Application No.: 010525-18

Application Type: Environmental Resource (New General Permit)

Location: Broward County, S36/T48S/R41E

Permittee : Pan Thomas Courtelis, Trustee, & D.L. Smith, Jr

Operating Entity : Permittee

Project Area: 17.21 acres

Drainage Area: 17.21 acres

Project Land Use: Commercial

Drainage Basin: C-14

Receiving Body: EXISTING SYSTEM

Class: CLASS III

Special Drainage District: NA

Conservation Easement To District : No

Sovereign Submerged Lands: No

PROJECT PURPOSE:

This application is a request for an Environmental Resource Permit to authorize construction and operation of a surface water management system to serve a 17.21 acre commercial development. Staff recommends approval with conditions.

PROJECT EVALUATION:

PROJECT SITE DESCRIPTION:

The project is located at the northeast corner of the intersection of State Road 7 and West Atlantic Blvd., in the City of Margate, Broward County.

Currently, the site is developed as a commercial development. No Surface Water or Environmental Resource Permits have been issued for this portion of the existing development. The existing surface water management system consists of inlets and culverts conveying runoff to the City of Margate canal and lake system.

PROPOSED PROJECT:

Proposed is the redevelopment of 17.21 acres of an existing commercial development known as Lakewood Development. The proposed redevelopment will include the demolition of existing buildings and the construction of new buildings and modified parking areas. The proposed surface water management system will utilize the existing outfall and will include new inlets, culverts, swales and exfiltration trench which will provide water quality treatment prior to overflow into the existing City of Margate canal/lake system.

The applicant's engineer has submitted calculations to demonstrate that the stages for the 100-year 3-day, 25-year 3-day, and 10-year 1-day storm events in the proposed conditions will not increase from the existing conditions. In addition, this site is located within a City of Margate lake and canal system which is controlled at the discharge point to the C-14 Canal. As this site has always been considered commercial development and the construction of swales and exfiltration trench will reduce post-development discharge for the 25-year 3-day design event, the existing system has the capacity to accept this project's discharge.

LAND USE:

Conceptual:

Construction:

Project:

	This Phase	Total Project	
Building Coverage	4.59	4.59	acres
Pavement	10.51	10.51	acres
Pervious	2.11	2.11	acres
Total:	17.21	17.21	

WATER QUANTITY :

Finished Floors :

As shown in the following table and the attached exhibits, minimum finished floor elevations have been set at or above the calculated design storm flood elevation.

Building Storm Frequency : 100 YEAR-3 DAY

Design Rainfall : 17 inches

Basin	Peak Stage (ft, NGVD)	Proposed Min. Finished Floors (ft, NGVD)	FEMA Elevation (ft, NGVD)
Site	13.48	13.5	N/A

Control Elevation :

Basin	Area (Acres)	Ctrl Elev (ft, NGVD)	WSWT Ctrl Elev (ft, NGVD)	Method Of Determination
Site	17.21	7.7	7.00	Surrounding Projects

Receiving Body :

Basin	Str.#	Receiving Body
Site	1	existing system

Water Quality Structures:

Water Quality Bleeders:

Basin	Str.#	Bleeder Type	Dimensions	Invert Elev.
Site	1	Circular Orifice	X 3 inches' Dia.	7

WATER QUALITY :

Water quality treatment will be provided within exfiltration trenches and swales prior to overflow into the City of Margate canal and lake system through existing culvert.

RELATED CONCERNS:

Water Use Permit Status:

A Water Use permit is not required for this project at this time.

Historical/Archaeological Resources:

The District has received correspondence from the Florida Department of State, Division of Historical Resources indicating that the agency has no objections to the issuance of this permit.

DCA/CZM Consistency Review:

The District has not received a finding of inconsistency from the Florida Department of Community Affairs regarding the provisions of the federal Coastal Zone Management Plan.

Enforcement:

There has been no enforcement activity associated with this application.

STAFF RECOMMENDATION:

The Staff recommends that the following be issued :

Construction and operation of a surface water management system to serve a 17.21 acre commercial development located in Broward County known as Lakewood Development.

Based on the information provided, District rules have been adhered to.

Staff recommendation is for approval subject to the attached
General and Special Conditions.

STAFF REVIEW:

DIVISION APPROVAL:

NATURAL RESOURCE MANAGEMENT:

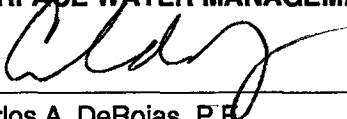


Anita R. Bain

DATE:

10/24/01

SURFACE WATER MANAGEMENT:



Carlos A. DeRojas, P.E.

DATE:

10/24/01

SCANNED

PROJECT LOCATION

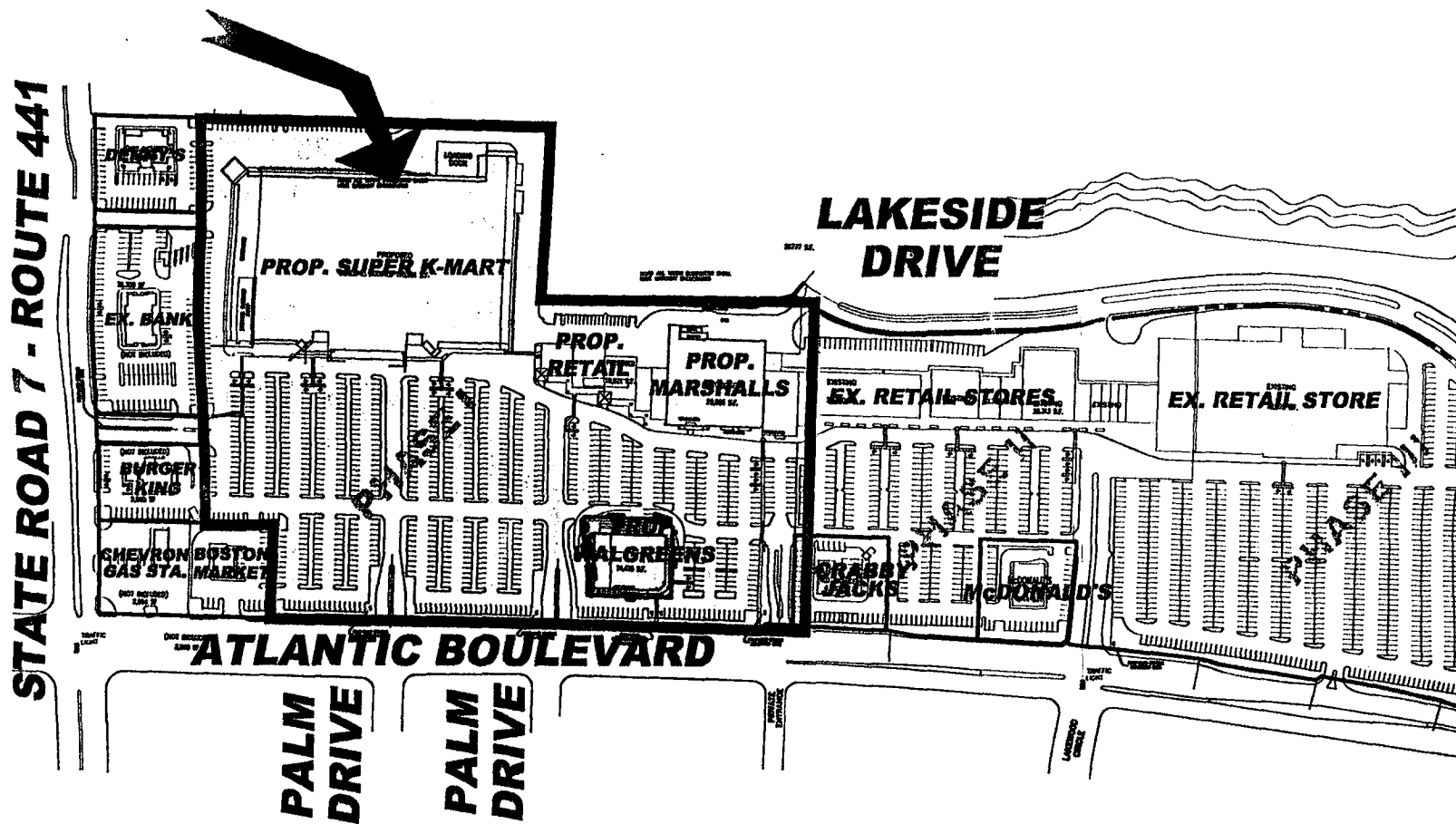


EXHIBIT 1

STAFF REPORT DISTRIBUTION LIST

ADDRESSES

Courtelis Company
701 Brickell Avenue Suite 1400
Miami FL 33131

Schwebke Shiskin & Associates Inc
3240 Corporate Way
Miramar FL 33025

Pan Thomas Courtelis, Trustee, & D.L. Smith, Jr
701 N. Brickell Ave.
Suite 1400
Miami FL 33131

Broward County Engineer
115 S. Andrews Avenue
Room 321
Fort Lauderdale FL 33301

Div of Recreation and Park - District 7 - FDEP
13798 Se Federal Highway
Hobe Sound FL 33455

Old Plantation Water Control District - Pat O'Quinn
Po Box 15405
Plantation FL 33318

Broward County - Director, Water Mgmt Div
2555 W Copans Rd
Pompano FL 33069

Audubon of Florida - Charles Lee
1331 Palmetto Ave
Suite 110
Winter Park FL 32789

Pan Thomas Courtelis, Trustee
Investment Trust And Don Smith
701 Brickell Avenue Suite 1400
Miami FL 33131

Permitee

City of Sunrise - John Foglesong
10770 W. Oakland Park Blvd
Sunrise FL 33351

Florida Fish & Wildlife Conservation Commission - Bureau
of Protected Species Mgmt
620 South Meridian Street
Tallahassee FL 32399-6000

Broward County - BCDPEP
218 Sw 1st Ave
Ft Lauderdale FL 33301

Water Management Institute - Michael N. Vanatta
Po Box 6446
Vero Beach FL 32961

STAFF REPORT DISTRIBUTION LIST

LAKEWOOD

Application Number: 010525-18

Permit Modification No: 06-03360-P

INTERNAL DISTRIBUTION

Anita R. Bain - 4250
Marwan Fakhoury, P.E. - 4220
Anita R. Bain - 4250
Carlos A. DeRojas, P.E. - 4220
Permit File
ERC Engineering - 4230
ERC Environmental - 4230
Broward Service Center - 1660

EXTERNAL DISTRIBUTION

Courtellis Company
Pan Thomas Courtellis, Trustee
Schwebke Shiskin & Associates Inc
Permitee
Pan Thomas Courtellis, Trustee, & D.L. Smith, Jr

GOVERNMENT AGENCIES

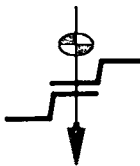
Broward County Engineer
City of Sunrise - John Foglesong
Div of Recreation and Park - District 7 - FDEP
Florida Fish & Wildlife Conservation Commission - Bureau
of Protected Species Mgmt
Old Plantation Water Control District - Pat O'Quinn
Broward County - BCDPEP
Broward County - Director, Water Mgmt Div

OTHER INTERESTED PARTIES

Audubon of Florida - Charles Lee
Water Management Institute - Michael N. Vanatta



Schwebke - Shiskin



& Associates, Inc.



Robert F. Jackson, P.S.M.
Alfonso C. Tello, P.E., P.S.M.
Ronald A. Fritz, P.S.M.
Pierre E. Calvet, P.S.M.
Raul E. Barreto, P.S.M.
Txomin M. Ibarluzea, P.S.M.

LAND SURVEYORS - ENGINEERS - LAND PLANNERS
3240 CORPORATE WAY - MIRAMAR, FLORIDA 33025
BROWARD PHONE: (954) 435-7010
DADE PHONE: (305) 652-7010
BROWARD FAX: (954) 438-3288 • DADE FAX: (305) 652-8284
WWW.SHISKIN.COM

Brett V. De Falco, P.S.M.
Ken W. Groce, P.E.
Hernando J. Navas, P.E.
Brian S. Bower, P.S.M.
Michael J. Alley, P.S.M.

Thursday, September 13, 2001

Marwan Fakhoury
3301 Gun Club Road
West Palm Beach, FL 33416

REVISED SUBMITTAL

SEP 17 2001

Re: Lakewood - Margate. Application No. 010525-18

Dear Marwan,

Pursuant to your comments dated August 29, 2001 please accept the following responses:

- 1) Enclosed please find a copy of the warranty deeds for the referenced project.
- 2) Please note that the stormwater management system has been revised to interconnect the previously separated basins. The area of structure no. 7 will not be modified.
- 3) Pretreatment will be handled for project through a combination of French drains and dry detention areas/swales. Enclosed please find Amendment no. 2 which are the revised stormwater management calculations showing that the project pre-treats the required volume as mentioned.
- 4) As discussed on the phone, the plans have been revised to show the roof drainage system directly connected to the existing water body.

If you have any additional comments or questions please call me to setup a meeting to discuss the project in further details.

Sincerely,

Schwebke-Shiskin & Associates, Inc.

Luis F. Leon, E.I.
Project Engineer



SOUTH FLORIDA WATER MANAGEMENT DISTRICT

3301 Gun Club Road, West Palm Beach, Florida 33406 • (561) 686-8800 • FL WATS 1-800-432-2045 • TDD (561) 697-2574
Mailing Address: P.O. Box 24680, West Palm Beach, FL 33416-4680 • www.sfwmd.gov

CON 24-06

Application No. 010525-18
Environmental Resource Regulation

August 29, 2001

Luis F. Leon
Shwebke-Shiskin & Associates, Inc.
3240 Corporate Way
Miramar, FL 33025

Subject: Lakewood - Broward County; S36/T48S/R41E

Dear Mr. Leon:

Staff has completed a review of the information submitted on July 30, 2001 for the above referenced application. The information received did not adequately address the following items. Pursuant to Rule 40E-40, Florida Administrative Code (FAC), the District is requesting the following information needed to complete the application:

1. Please provide a copy of the ownership information for this project (Warranty Deed).
2. The delineation of Basins A, B, and C indicate that the area of this project is different than the area outlined on the aerial map. Please clearly indicate the boundaries of this project on the plans.
3. It appears that the area discharging to Structure No. 7 is not getting any pretreatment within the exfiltration trench system since the weir baffles are located in Structure No. 8. Please indicate the area discharging to Structure No. 7 and indicate how pretreatment will be accomplished. Is this area part of this project? If not, will it have a separate pretreatment system before discharging into Structure No. 7? Please explain and revise the surface water management system as necessary.
4. The buildings roof area should not be excluded from the water quality treatment since roofs runoff discharges to the exfiltration trenches and occupies a certain volume of the trench and therefore it decreases the trench

GOVERNING BOARD

Trudi K. Williams, *Chair*
Lennart E. Lindahl, *Vice-Chair*
Pamela Brooks-Thomas

Michael Collins
Hugh M. English
Gerardo B. Fernández

Patrick J. Gleason, Ph.D., P.E.
Nicolás J. Gutiérrez, Jr., Esq.
Harkley R. Thornton

EXECUTIVE OFFICE

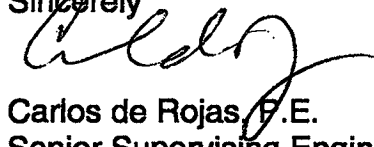
Henry Dean, *Executive Director*

SCANNED

designed treatment capacity. Please revise your calculations to include the buildings roof areas.

In accordance with 40E-1.603(8) FAC, if the information is not received within 30 days of this date, to render the application complete, the application may be processed for denial if not withdrawn by the applicant. Please attach a copy of the enclosed "Transmittal Form For Requested Additional Information" to each of the required FOUR copies of the requested information. Should you have any questions, please call Marwan Fakhoury at (561) 682-6868.

Sincerely



Carlos de Rojas, P.E.
Senior Supervising Engineer
Surface Water Management Division

CDR/mf
Attachment

cc: Broward County DPEP – Engineering

SCANNED

010525 - 18

SEP 17 2001

Amendment No.2

STORM WATER MANAGEMENT CALCULATIONS

A)

Landuse:

Areas outside of Wetland Boundaries

Building Area = 4.59 Acres

Pavement Area = 10.51 Acres

Landscape Area = 2.11 Acres

Dry Detention Area = 0.00 Acres

Site Area = 17.21 Acres = 0.027 sq. mi.

B)

Specific Site Data:

Control Water Elevation = 7.00 Ft.

C14 Basin Allowable discharge = 69.20 csm

Allowable discharge = 1.86 cfs

C)

Water Quality - Dry Pretreatment

Detain 1/2" of runoff prior to discharging into surface waters

Required

Area requiring dry pretreatment = Site Area - Building Area =
= 17.21 ac. - 4.59 ac. = 12.62 acres

$V_{\text{required}} = \frac{1}{2} \text{ " } * (12.62 \text{ ac}) / 12 =$	0.53 AcFt
--	-----------

Provided**French Drains:**

"K" Value=	6.33E-06 cfs / sq.ft.-ft.head
Length of French Drain Provided=	2610.00 Ft.
Minimum Pavement Elevation=	10.50 Ft.
Weir Crest Elevation=	8.00 Ft.
Average High Water Level Elevation=	7.00 Ft.
Top of Exfiltration Trench=	8.75 Ft.
Bottom of French Drain=	5.00 Ft.
Pipe Invert=	7.00 Ft.
$D_1 =$	1.75 Ft.
$H_2 = ((10.50 + 8.00)/2) - 7.00 =$	2.25 Ft.
$D_3 =$	2.00 Ft.
$W =$	5.00 Ft.
$V = [(K * L / 12) * (H_2 * W + 2 * H_2 * D_U - D_U^2 + 2 * H_2 * D_S)] + [1.39 * 10^{-4} * W * D_U * L / 12]$	

Volume Exfiltrated= 0.30 AcFt

$V_{provided} =$ 0.30 AcFt

Swales:

Calculate depth of proposed swales	
Length of proposed swales=	2005.00 Ft.
Width of proposed swales=	9.00 Ft.
Volume required = 0.29 acft - 0.07 acft=	0.23 AcFt
= 0.23 acft x 43560=	9879 C.F.
Depth of proposed swales "y"	
0.5 x 9 ft. x y x 2005 ft. = 9879 c.f.	
$y =$	1.09 Ft.
Minimum edge of pavement elevation=	10.50 Ft.
Weir elevation=	10.30 Ft.
Bottom of proposed swales =	9.20 Ft.
	9.30 Ft.
$V_{provided} = 0.5 \times 9 \text{ ft.} \times (10.30 \text{ ft.} - 9.10 \text{ ft.}) \times 2005 \text{ ft.} =$	0.23 AcFt
$V_{provided} =$	0.23 AcFt

Total:

$V_{provided} = 0.07 \text{ acft} + 0.23 \text{ acft} =$	0.53 AcFt
--	------------------

Discharge:

Total Allowable Discharge:

½" of detention volume within 24 hours

$$Q = \left[\frac{1}{2} \text{ in} \cdot (17.21 \text{ ac} - 4.59 \text{ ac}) \right] / \left[12 \text{ in./ft.} \cdot (1 \text{ day}) \right] =$$

0.53 AcFt./day

$Q_{\text{allowable}} =$	0.27 cfs
--------------------------	----------

Orifice Discharge:

$$Q = 4.8 \cdot \pi \cdot r^2 \cdot h^{1/2}$$

$$D = 3.0 \text{ in} =$$

0.25 ft.

$$r = 1.5 \text{ in.} =$$

0.13 ft.

$$\text{Orifice Invert} =$$

7.00 ft.

$$h = [(8.00' - 7.00')] - 0.13' =$$

0.875 ft.

$$Q = 4.8 \cdot 3.14 \cdot (0.13)^2 \cdot (0.875)^{1/2} =$$

0.22 cfs

$$\text{Number of Similar Orifices} =$$

2

$Q_{\text{design}} =$	0.44 cfs
-----------------------	----------

Please note that the total designed discharge of 0.44 cfs is greater than the allowable discharge of 0.27 cfs for dry pretreatment using one 6 square inch orifice per basin
--

QUIT-CLAIM DEED

RAMCO FORM 4

Return to: (enclose self-addressed stamped envelope)

Name:

Morton P. Brown, P.A.

SHEA & GOULD

Address:

801 Brickell Avenue, 14th Floor
Miami, Florida 33131

This instrument Prepared by:

Address:

Morton P. Brown, P.A.

SHEA & GOULD

801 Brickell Avenue, 14th Floor
Miami, Florida 33131

WILL CALL
Network Title Insurance Agency
of Florida, Inc.
1880 North Pine Island Road
Plantation, Florida 33322

88260368

SEP 17 2001

0.55 has been Paid
to Broward County for Documentary
Stamp Tax as required by law.

Deane R. Fox Deputy

010525-13

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR PROCESSING DATA

This Quit-Claim Deed, Executed this 17 day of June, A. D. 1988, by

ROBERT A. STEELE, individually and as Trustee,
first party, to ALEC P. COURTELIS and DONALD L. SMITH, JR.

whose postoffice address is 1101 Brickell Avenue, Miami, Florida 33131,

second party:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

That the said first party, for and in consideration of the sum of \$10.00 in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, place or parcel of land, situate, lying and being in the County of Broward State of Florida, to-wit:

See Exhibit "A" attached hereto and made a part hereof.

- NOTE: 1. The above described property is commercial property and not residential property and that the first party does not reside upon the property described in Exhibit "A" attached hereto and made a part hereof.
2. This Quit-Claim Deed is given for purposes of correcting a prior warranty deed (the "Prior Deed") given by the first party to the second party, required due to the fact that the Prior Deed did not have a proper legal description attached thereto and made a part thereof.

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

James O. Dubow
Maureen Vreute

Robert A. Steele
ROBERT A. STEELE, individually
and as Trustee

STATE OF FLORIDA,
COUNTY OF *Broward*

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared ROBERT A. STEELE, individually and as Trustee,

to me known to be the person described in and who executed the foregoing instrument, and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 17 day of

Notary Public, State of Florida
My Commission Expires March 31, 2002

Exhibit "A"
LEGAL DESCRIPTION

A portion of Tract A, "LAKEWOOD COMMERCIAL", according to the plat thereof as recorded in Plat Book 120 at Page 27 of the Public Records of Broward County, Florida, which lies within Section 31, Township 48 South, Range 42 East, City of Margate, Broward County, Florida, being more particularly described as follows:

Commence at the East 1/4 corner of Section 36, Township 48 South, Range 41 East; thence South 88 degrees 44 minutes 58 seconds East, for 354.82 feet to a Point of Curvature; thence Southeasterly along a circular curve to the right, having a radius of 5729.58 feet and a central angle of 11 degrees 32 minutes 11 seconds for an arc distance of 1153.64 feet (last mentioned two courses being coincident with the centerline of West Atlantic Boulevard as recorded in Official Records Book 4857 at Page 76 of the Public Records of Broward County, Florida); thence North 12 degrees 47 minutes 13 seconds East radial to the last described curve, for 60.00 feet to the Point of Beginning of the following described parcel of land; thence Southeasterly along a circular curve to the right having a radius of 5789.58 feet and a central angle of 1 degree 11 minutes 15 seconds for an arc distance of 120.00 feet; thence North 59 degrees 16 minutes 12 seconds East, for 42.21 feet (said last mentioned two courses being coincident with the Northerly Right-of-Way line of West Atlantic Boulevard as shown on the aforementioned plat of "LAKEWOOD COMMERCIAL"); thence North 14 degrees 13 minutes 55 seconds East, for 66.42 feet to a Point of Curvature; thence Northeasterly, Northerly, and Northwesterly, along a circular curve to the left, having a radius of 570.00 feet and a central angle of 20 degrees 30 minutes 04 seconds for an arc distance of 203.95 feet (last mentioned two courses being coincident with the Westerly boundary of a 60 foot access easement as recorded in Official Records Book 5594 at Page 275 of the Public Records of Broward County, Florida); thence North 88 degrees 32 minutes 53 seconds West, for 178.34 feet; thence South 1 degree 27 minutes 05 seconds West, at right angles to the last described course, for 265.00 feet to the Point of Beginning. Lying and being in the City of Margate, Broward County, Florida, and containing 1.108 Acres more or less.

RECORDED IN THE OFFICIAL RECORDS BOOK
OF BROWARD COUNTY, FLORIDA
L. A. HESTER
COUNTY ADMINISTRATOR

BK15568PC-612



84-390965

RETURN TO

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

MORTON P. BROWN, ESQ.
16400 N.W. 2nd Avenue
Miami, FL 33169

This Indenture, Made this 5th day of November 1984, Between
ROBERT A. STEELE, Individually and as Trustee,

010525-18

of the County of Broward, State of Florida, grantor*, and

DONALD L. SMITH, JR.

whose post office address is c/o Courtelis Company, 1101 Brickell Avenue, Miami,

of the County of Dade, State of Florida (33131), grantee*.

Witnesseth. That said grantor, for and in consideration of the sum of TEN AND NO/100-----
----- (\$10.00) ----- Dollars,

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in BROWARD County, Florida, to-wit:

AN UNDIVIDED ONE-HALF INTEREST IN THAT REAL PROPERTY DESCRIBED on Exhibit "A" attached hereto and made a part hereof.

SUBJECT TO: 1. Taxes for the year 1984 and subsequent years.
2. Conditions, limitations, restrictions and easements of record.

THE PROPERTY BEING CONVEYED BY THIS DEED IS VACANT COMMERCIAL PROPERTY AND IS NEITHER THE RESIDENCE NOR THE DOMICILE OF THE GRANTOR. THE GRANTOR MAINTAINS HIS RESIDENCE AND DOMICILE AT 2000 South Ocean Drive, PH #2, Fort Lauderdale, Florida 33316.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

[Signature]
[Signature]

ROBERT A. STEELE, Individually and as Trustee

(Seal)

(Seal)

(Seal)

(Seal)

STATE OF FLORIDA
COUNTY OF BROWARD

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared ROBERT A. STEELE, Individually and as Trustee,

to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 5th day of November 1984.

My commission expires:

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES APRIL 14 1985

84 NOV 15 PM 3 06

OFF REC 12133PG 352

SCANNED

EXHIBIT "A"

A portion of Block 96, "PALM BEACH FARMS CO, PLAT NO. 3", according to the plat thereof as recorded in Plat Book 2 at Page 34 of the Public Records of Palm Beach County, Florida which lies within Section 31 Township 48 South, Range 42 East, City of Margate, Broward County, Florida, being more particularly described as follows:

Commence at the East 1/4 corner of Section 36, Township 48 South, Range 41 East; thence South 88 degrees 44 minutes 58 seconds East for 354.82 feet to a Point of Curvature; thence Southeasterly, along a circular curve to the right, having a radius of 5729.58 feet and a central angle of 10 degrees 41 minutes 44 seconds for an arc distance of 1069.56 feet (last mentioned two courses being coincident with the centerline of West Atlantic Boulevard, as recorded in Official Records Book 4857 at Page 76 of the Public Records of Broward County, Florida); thence North 11 degrees 56 minutes 46 seconds East radial to the last and next described curves, for 65 feet to the Point of Beginning of the following described parcel of land; thence Southeasterly, along a circular curve to the right, having a radius of 5794.58 feet and a central angle of 0 degrees 11 minutes 44 seconds for an arc distance of 19.78 feet; thence South 70 degrees 28 minutes 31 seconds East, for 39.97 feet to a Point on a Curve, said point bears North 12 degrees 32 minutes 02 seconds East, from the radius point of the next described curve; thence Southeasterly, along a circular curve to the right, having a radius of 5789.58 feet and a central angle of 1 degree 26 minutes 26 seconds for an arc distance of 145.56 feet; thence North 59 degrees 16 minutes 12 seconds East, for 42.21 feet; thence North 14 degrees 33 minutes 55 seconds East, for 66.42 feet to a Point of Curvature; thence Northeasterly, Northerly, and Northwesterly, along a circular curve to the left, having a radius of 570.00 feet and a central angle of 71 degrees 53 minutes 37 seconds for an arc distance of 715.22 feet (last mentioned two courses being coincident with the Westerly boundary of a 60 foot access easement as recorded in Official Records Book 5394 at Page 275 of the Public Records of Broward County, Florida); thence South 0 degrees 40 minutes 20 seconds West, for 638.22 feet to the Point of Beginning. Lying and being in the City of Margate, Broward County, Florida and containing 3.287 Acres more or less.

OFF 12133Pg 353

RECORDED IN THE OFFICIAL RECORDS BOOK
OF BROWARD COUNTY, FLORIDA
F. T. JOHNSON
COUNTY ADMINISTRATOR

SCANNED

Prepared By ~~Victor L. Stosik~~:
VICTOR L. STOSIK, ESQ.
701 Brickell Avenue
Suite 1400
Miami, FL 33131

97-247532 T#001
05-15-97 01:44PM

\$ 0.70
DOCU. STAMPS-DEED

RECD. BROWARD CNTY
B. JACK OSTERHOLT
COUNTY ADMIN.

RECORD AND RETURN TO:

Conrad J. Boyle, Esq.
Mombach, Boyle & Hardin, P.A.
500 E. Broward Blvd., Suite 1950
Fort Lauderdale, FL 33394

SEP 17 2001

SPECIAL WARRANTY DEED

010525 18

THIS SPECIAL WARRANTY DEED, made and executed this 13th day of MAY, 1997, by ~~PAN THOMAS COURTELIS~~ and ~~NORTHERN TRUST BANK OF FLORIDA N.A.~~, as Co-Personal Representatives of the ESTATE OF ALEC P. COURTELIS, DECEASED, pursuant to the provisions and powers set forth in the Last Will and Testament of the decedent, dated April 8, 1994, and as Co-Trustees under the Alec P. Courtelis Declaration of Trust, dated April 8, 1994, pursuant to the provisions and powers set forth in said Declaration of Trust (collectively hereinafter referred to as the "Grantor"), to PAN THOMAS COURTELIS, as Trustee of the Investment Trust created under the Alec P. Courtelis Declaration of Trust, dated April 8, 1994, with full power and authority to sell, convey, exchange, encumber, mortgage, lease, protect, conserve, manage, assign or otherwise deal in and with, and dispose of all lands of the trust estate and interest thereon, as contemplated under Section 689.071, Florida Statutes, whose mailing address is 701 Brickell Avenue, Suite 1400, Miami, Florida 33131-2822 (hereinafter referred to as the "Grantee").

WITNESSETH:

THAT, the said Grantor, for and in consideration of the sum of TEN and 00/100 (\$10.00) DOLLARS, and for other good and valuable considerations, in hand paid to the said Grantor by the said Grantee, the receipt, adequacy and sufficiency of which are hereby acknowledged, by these presents, has granted, bargained and sold to the said Grantee, and its successors and assigns forever, the following-described real property, situate, lying and being in the City of Margate, County of Broward, State of Florida, to wit:

A portion of Section 31, Township 48 South, Range 42 East, and a portion of Section 36, Township 48 South, Range 41 East, Broward County, and a portion of Tract A, of LAKEWOOD COMMERCIAL, according to the Plat thereof, as recorded in Plat Book 120, at Page 27, of the Public Records of Broward County, Florida, as more particularly described on Exhibit "A", attached hereto and by this reference made a part hereof.

Tax parcel (folio) property identification number(s):

18136-06-00100 •
18231-17-00130 •
18231-17-00110 •
18231-17-00100 •
18136-04-06200
18136-04-06300
18136-04-06400
18136-04-08900
18136-05-00100
18136-05-00200

BK26426PG0362

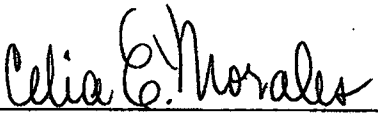
SCANNED

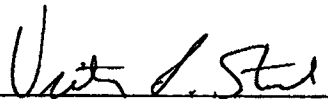
✓

AND the said Grantor hereby covenants with the said Grantee that the said Grantor has good, right and lawful authority to convey property held in the estate and trust to the said Grantee; and that the said Grantor hereby specially warrants the title to the property for any acts of the said Grantor and will defend the title of the property against the lawful claims of all persons claiming by, through or under the said Grantor.

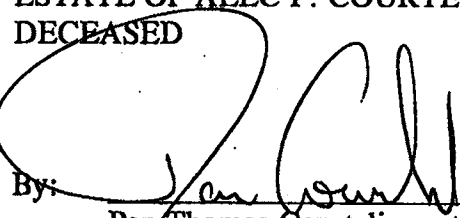
IN WITNESS WHEREOF, the said Grantor has hereunto set the said Grantor's hand and seal the day and year first above written.

Signed, Sealed and Delivered
in the Presence of:


Name: Celia E. Morales

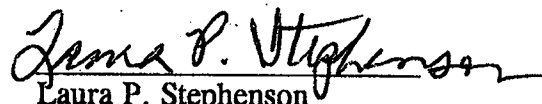

Name: VICTOR L. STOSIK

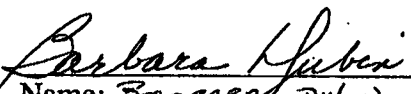
ESTATE OF ALEC P. COURTELIS,
DECEASED

By: 
Pan Thomas Courtelis, not
individually, but only as Co-
Personal Representative

By: Northern Trust Bank of Florida
N.A., not individually, but only as
Co-Personal Representative

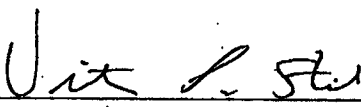

Name: Bruce S. Kerestes, Vice President


By: 
Laura P. Stephenson
Vice President


Name: BARBARA Dubin

700 Brickell Avenue
Miami, FL 33131-2881

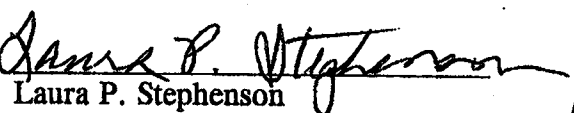

Name: Celia E. Morales

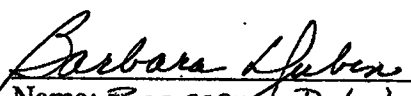

Name: VICTOR L. STOSIK


Pan Thomas Courtelis, not individually, but
only as Co-Trustee under the Alec P.
Courtelis Declaration of Trust, dated
April 8, 1994

Northern Trust Bank of Florida N.A., not
individually, but only as Co-Trustee under
the Alec P. Courtelis Declaration of Trust,
dated April 8, 1994


Name: Bruce S. Kerestes, Vice President

By: 
Laura P. Stephenson
Vice President


Name: BARBARA Dubin

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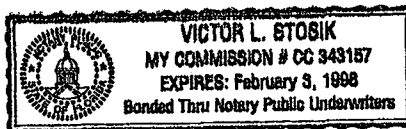
STATE OF FLORIDA)
) SS:
COUNTY OF DADE)

The foregoing instrument was acknowledged before me this 13th day of May, 1997, by Pan Thomas Courtelis, as Co-Personal Representative of the Estate of Alec P. Courtelis, Deceased, on behalf of the Estate. He is personally known to me.

WITNESS my hand and official seal at Miami, Dade County, Florida, this 13th day of May, 1997.

Victor L. Stosik
Name: _____
Notary Public, State of Florida

My commission expires:



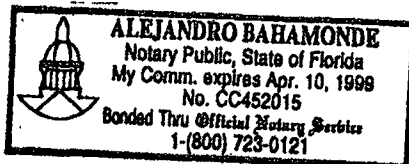
STATE OF FLORIDA)
) SS:
COUNTY OF DADE)

The foregoing instrument was acknowledged before me this 13th day of May, 1997, by Laura P. Stephenson, Vice President of Northern Trust Bank of Florida/N.A., on behalf of the corporation, as Co-Personal Representative of the Estate of Alec P. Courtelis, Deceased. She is personally known to me.

WITNESS my hand and official seal at Miami, Dade County, Florida, this 13th day of May, 1997.

A. Bahamonde
Name: A. Bahamonde
Notary Public, State of Florida

My commission expires:



BK26426PG0364

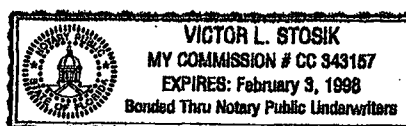
STATE OF FLORIDA)
) SS:
COUNTY OF DADE)

The foregoing instrument was acknowledged before me this 13th day of May, 1997, by Pan Thomas Courtelis, as Co-Trustee under the Alec P. Courtelis Declaration of Trust, dated April 8, 1994, on behalf of the Trust. He is personally known to me.

WITNESS my hand and official seal at Miami, Dade County, Florida, this 13th day of May, 1997.

Victor L. Stosik
Name: _____
Notary Public, State of Florida

My commission expires:



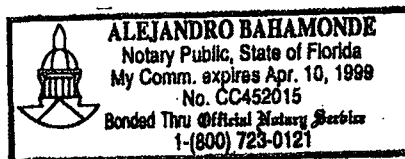
STATE OF FLORIDA)
) SS:
COUNTY OF DADE)

The foregoing instrument was acknowledged before me this 13th day of May, 1997, by Laura P. Stephenson, Vice President of Northern Trust Bank of Florida N.A., on behalf of the corporation, as Co-Trustee under the Alec P. Courtelis Declaration of Trust, dated April 8, 1994. She is personally known to me.

WITNESS my hand and official seal at Miami, Dade County, Florida, this 13th day of May, 1997.

A. Bahamonde
Name: A. Bahamonde
Notary Public, State of Florida

My commission expires:



BK26426PG0365

SCANNED

EXHIBIT "A"

A portion of Section 36, Township 48 South, Range 41 East and a portion of Section 31, Township 48 South, Range 42 East being more particularly described as follows:

From the East 1/4 corner of said Section 36 run North along the east line of said Section 36 for 53.01 feet; thence run North 88 degrees 44 minutes 58 seconds West along the Northerly Right-of-way line of West Atlantic Boulevard for 2.23 feet to the Point of Beginning of the following described parcel of land; thence continue North 88 degrees 44 minutes 58 seconds West along the last described course for 745.00 feet (said last described two courses being 53.00 feet North of and parallel with the South line of the South 1/2 of the Northeast 1/4 of said Section 36); thence run North 0 degrees 36 minutes 05 seconds West, along a line parallel to the Easterly Right-of-Way line of State Road No. 7, for 170.00 feet; thence run North 88 degrees 44 minutes 58 seconds West along a line parallel to the Northerly Right-of-Way line of West Atlantic Boulevard for 130.00 feet; thence run North 0 degrees 36 minutes 05 seconds West for 150.50 feet; thence run North 88 degrees 44 minutes 58 seconds West for 200.00 feet to a point on the Easterly Right-of-Way line of State Road No. 7; thence run North 0 degrees 36 minutes 05 seconds West along the Easterly Right-of-Way line of State Road No. 7, for 55.00 feet; thence run South 88 degrees 44 minutes 58 seconds East for 200.00 feet; thence run North 0 degrees 36 minutes 05 seconds West for 355.50 feet; thence run North 88 degrees 44 minutes 58 seconds West for 200.00 feet, to a point on the Easterly Right-of-Way line of State Road No. 7; thence run North 0 degrees 36 minutes 05 seconds West along the Easterly Right-of-Way line of State Road No. 7 for 30.00 feet; thence run South 88 degrees 44 minutes 58 seconds East for 200.00 feet; thence run North 0 degrees 36 minutes 05 seconds West for 178.08 feet to a point on the South line of Block 2, MARGATE REALTY NO. 1, according to the plat thereof as recorded in Plat Book 42, at Page 42, of the Public Records of Broward County, Florida; thence run South 88 degrees 32 minutes 55 seconds East along the South line of said Block 2 for 663.63 feet; thence run South 1 degrees 27 minutes 05 seconds West at right angles to the last described course for 384.00 feet; thence run North 88 degrees 32 minutes 55 seconds West for 30.00 feet; thence run South 1 degrees 27 minutes 05 seconds West for 190.00 feet; thence run South 88 degrees 32 minutes 55 seconds East for 240.00 feet; thence run South 1 degrees 27 minutes 05 seconds West for 90.00 feet; thence run South 88 degrees 32 minutes 55 seconds East for 35.00 feet; thence run South 1 degrees 27 minutes 05 seconds West for 271.41 feet to the Point of Beginning, all lying and being in the City of Margate, Broward County, Florida.

and

A portion of Section 36, Township 48 South, Range 41 East, being a portion of the Shopping Center Tract on the Plat of MARGATE REALTY NO. 1, as recorded in Plat Book 42, at Page 42, in the Public Records of Broward County, Florida, being more particularly described as follows:

Commence at the East 1/4 corner of said Section 36 and run North 88 degrees 44 minutes 58 seconds West along the South line of the South 1/2 of the Northeast 1/4 of said Section 36 for 1076.68 feet; thence North 0 degrees 36 minutes 05 seconds West along the Easterly Right-of-Way line of State Road No. 7 for 228.03 feet to the Point of Beginning of the following described parcel of land; thence continue North 0 degrees 36 minutes 05 seconds West along the last described course for 145.50 feet; thence South 88 degrees 44 minutes 58 seconds East for 200.00 feet; thence South 0 degrees 36 minutes 05 seconds East for 145.50 feet; thence North 88 degrees 44 minutes 58 seconds West for 200.00 feet to the Point of Beginning.

and

A portion of Section 36, Township 48 South, Range 41 East, being a portion of the Shopping Center Tract as shown on the plat of MARGATE REALTY NO. 1, as recorded in Plat Book 42, at Page 42, in the Public Records of Broward County, Florida, being more particularly described as follows:

Commence at the East 1/4 corner of said Section 36 and run North 88 degrees 44 minutes 58 seconds West along the South line of the South 1/2 of the Northeast 1/4 of said Section 36 for 1076.68 feet; thence North 0 degrees 36 minutes 05 seconds West along the Easterly Right-of-Way line of State Road No. 7 for 428.53 feet to the Point of Beginning of the following described parcel of land; thence continue North 0 degrees 36 minutes 05 seconds West along the last described course for 355.50 feet; thence South 88 degrees 44 minutes 58 seconds East for 200.00 feet; thence South 0 degrees 36 minutes 05 seconds East for 355.50 feet; thence North 88 degrees 44 minutes 58 seconds West for 200.00 feet to the Point of Beginning.

and

All of Lots 1, 2, 3 and 28 in Block 4, of HAMMON HEIGHTS-SECTION 3, according to the Plat thereof, as recorded in Plat Book 39, at page 50, of the Public Records of Broward County, Florida, less the North 18.00 feet thereof, and all of Tracts A and B, of RESUBDIVISION OF LOT 32, BLOCK 3 HAMMON HEIGHTS-SECTION 3, according to the Plat thereof, as recorded in Plat Book 42, at Page 38, of the Public Records of Broward County, Florida, less the North 18.00 feet thereof.

and

ALL of Tract "A", LAKEWOOD COMMERCIAL, according to the Plat thereof, as recorded in Plat Book 120, at Page 27, of the Public Records of Broward County, Florida, lying in Section 36, Township 48 South, Range 41 East, and in Section 31, Township 48 South, Range 42 East, Broward County, Florida, LESS AND EXCEPT

A portion of Tract "A", "LAKEWOOD COMMERCIAL", according the Plat thereof, as recorded in Plat Book 120, at Page 27, of the Public Records of Broward County, Florida, with lies within Section 31, Township 48 South, Range 41 East, City of Margate, Broward County, Florida, being more particularly described as follows:

Commence at the East 1/4 corner of Section 36, Township 48 South, Range 41 East, thence South 88 degrees 44 minutes 58 seconds East for 354.82 feet to a Point of Curvature; thence Southeasterly along a circular curve to the right, having a radius of 5729.58 feet and a central angle of 2 degrees 18 minutes 19 seconds for an arc distance of 230.53 feet (last mentioned two courses being coincident with the centerline of West Atlantic Boulevard as recorded in Official Records Book 4857, at Page 76, of the Public Records of Broward County, Florida); thence North 3 degrees 33 minutes 21 seconds East radial to the last described curve, for 60.00 feet to the Point of Beginning of the following described parcel of land; thence North 1 degrees 27 minutes 05 seconds East, for 177.61 feet; thence South 88 degrees 32 minutes 55 seconds East, at right angles to the last next described courses, for 179.81 feet; thence South 1 degrees 27 minutes 05 seconds West, for 11.96 feet to a Point of Curvature; thence Southerly along a circular curve to the right having a radius of 1041.00 feet and a central angle of 4 degrees 07 minutes 30 seconds for an arc distance of 74.95 feet to a Point of Tangency; thence South 5 degrees 34 minutes 35 seconds West, for 94.77 feet to a Point on a curve (said point bears North 5 degrees 14 minutes 25 seconds East from the radius point of the next described curve); thence Northwesterly along a circular curve to the left, being 65.00 feet Northerly of and concentric with the aforementioned centerline of West Atlantic Boulevard, having a radius of 5794.58 feet and a central angle of 0 degrees 03 minutes 34 seconds for an arc distance of 6.01 feet; thence South 50 degrees 10 minutes 51 seconds West, for 7.07 feet to a Point on a Curve (said point bears North 5 degrees 07 minutes 53 seconds East, from the radius point of the next described curve); thence Northwesterly, along a circular curve to the left being 60.00 feet Northerly of and concentric with the aforementioned centerline of West Atlantic Boulevard, having a radius of 5789.58 feet and a central angle of 1 degrees 34 minutes 32 seconds for an arc distance of 159.21 feet to the Point of Beginning (said last mentioned three courses being coincident with the Northerly Right-of-Way line of West Atlantic Boulevard as shown on the aforementioned Plat of "LAKEWOOD COMMERCIAL").

AND FURTHER LESS AND EXCEPT:

A portion of Tract "A", "LAKEWOOD COMMERCIAL", according to the Plat thereof as recorded in Plat Book 120, at Page 27, of the Public Records of Broward County, Florida, which lies within Section 31, Township 48 South, Range 42 East, City of Margate, Broward County, Florida, being more particularly described as follows:

Commence at the East 1/4 corner of Section 36, Township 48 South, Range 41 East, thence South 88 degrees 44 minutes 58 seconds East, along the centerline of West Atlantic Boulevard as recorded in Official Records Book 4857, at Page 76, of the Public Records of Broward County, Florida, for 240.99 feet; thence North 1 degrees 27 minutes 05 seconds East, for 65.00 feet to the Point of Beginning of the following described parcel of land, thence continue North 1 degrees 27 minutes 05 seconds East, along the last mentioned course, for 169.14 feet; thence South 88 degrees 32 minutes 55 seconds East, at right angles to the last and next described courses, for 178.0 feet; thence South 1 degrees 27 minutes 05 seconds West, for 168.87 feet to a Point on a curve (said point bears North 1 degrees 53 minutes 15 seconds East from the radius point of the next described curve); thence Northwesterly along a circular curve to the left having a radius of 5794.58 feet and a central angle of 0 degrees 38 minutes 13 seconds for an arc distance of 64.42 feet to a Point of Tangency; thence North 88 degrees 44 minutes 58 seconds West, for 113.60 feet to the Point of Beginning (said last mentioned two courses being coincident with the Northerly Right-of-Way line of West Atlantic Boulevard as shown on the aforementioned Plat of "LAKEWOOD COMMERCIAL"). Lying and being in the City of Margate, Broward County, Florida.

RECORDED IN THE OFFICIAL RECORDS BOOK
OF BROWARD COUNTY, FLORIDA
COUNTY ADMINISTRATOR

BK26426PG0369

69- 63360

OFF. 3931 REC. 999

This Instrument Was Prepared By:

E. B. QUICK

1301 Alfred I. DuPont Building
Miami, Florida 33131

RANCO FORM 8

This Indenture,

Made this _____ day of May, A. D. 1969.

Between VICTOR H. SEMET and FLORENCE R. SEMET, his wife,

of the County of Broward, in the State of Florida
parties of the first part, and

ALEC P. COURTELIS and DONALD L. SMITH, JR.,

of the County of Dade, in the State of Florida

parties of the second part, whose mailing address is Suite 316-319, 1101 Brickell Avenue, Miami, Florida, 33131.

Witnesseth: That the said parties of the first part, for and in consideration of the sum of Ten (\$10.00) Dollars to them in hand paid by the said parties of the second part, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said parties of the second part, their heirs and assigns forever, the following described land, situate, lying and being in the County of Broward, State of Florida

That certain tract of land designated and described as "Shopping Center" at the NE corner of the intersection of State Road 7 & Lyons Boulevard as shown on the Plat of MARGATE REALTY NO. 1, Plat Book 42, Page 42, of the Public Records of Broward County, Florida,

Lots A, Block 1; the East 100 feet of Lot 1, Block 3; Lots 1, 2, 3, 28, of Block 4, all in Hammon Heights Section 3, according to the Plat thereof recorded in Plat Book 39, Page 50 of the Public Records of Broward County, and

Lots A and B, Hammon Heights Section 3, a Resubdivision of Lot 32, Block 3, Hammon Heights Section 3, according to the Plat thereof recorded in Plat Book 42, Page 38 of the Public Records of Broward County, Florida.

Subject to:

- (1) Taxes for 1969.
- (2) All unreleased reservations for reclamation and drainage as contained in Deed Book 10, Page 74 of the Public Records of Broward County.
- (3) The rights of the State of Florida to those portions of the above described property described in right-of-way deeds recorded in Official Records Book 2377, Page 522, and Official Records Book 2400, Page 42, of the Public Records of Broward County.
- (4) A purchase money mortgage from the Grantees herein to the Grantors in the amount of \$540,000.00.

And the said parties of the first part do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, The said parties of the first part have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in presence of us

E. B. Quick
Margaret Palmer
H. S. Quick
Mary Alice Palmer

Victor H. Semet

Florence R. Semet

69 MAY 16 PM 11:33

325

State of FLORIDA
County of DADE

I Herby Certify, That on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared VICTOR H. SEMET and FLORENCE R. SEMET, his wife, to me known to be the persons described in and who executed the foregoing instrument and they acknowledged before me that they executed the same.

Witness my hand and official seal in the County and State last aforesaid this 14th day of May, A. D. 19 69

Mary Alice Feliner
Notary Public.
My commission expires

NOTARY PUBLIC, STATE of FLORIDA at LARGE
MY COMMISSION EXPIRES MAY 1, 1972

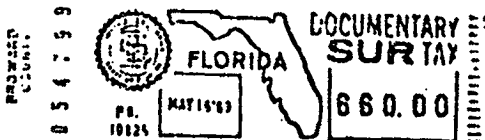
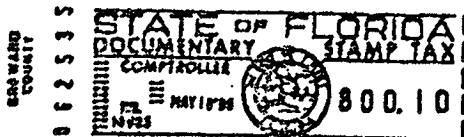
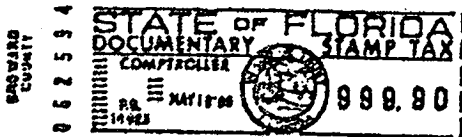
QUALIFIED BY OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA
JACK WHEELER
CLERK OF CIRCUIT COURT

Warranty Deed

To

Date

Abstract of Description



First party is **H. FRANK WOODWARD III and LYDIA D. WOODWARD**
whose present address is **1101 Brickell Avenue, Miami, Florida**

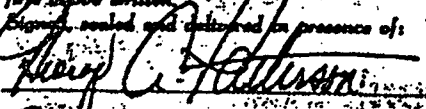
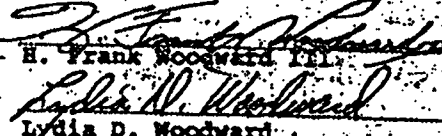
Witness that the said first party, for and in consideration of the sum of \$10.00
to have paid by the said second party, the receipt whereof is hereby acknowledged by the said
first party, have and do hereby sell, convey and transfer unto the said second party, all the right, title, interest, claim and demand which
the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being
in the County of **Broward** State of **Florida** to-wit:

PARCEL #
That portion of **PALM BEACH FARMS COMPANY'S PLAT NO. 3** as
recorded in Plat Book 2, pages 45 to 54, inclusive, of the
Public Records of Palm Beach County, Florida, described as
follows: All that portion bounded on the West by the West
line of Section 31, Township 48 South, Range 42 East, on the
East by the West line of Tracts 5, 6, 13, 14, 23, 24, 34
and 35 of Block 94 of said **PALM BEACH FARMS COMPANY'S PLAT**
NO. 3, on the North by the South right of way line of
Hammockville Road, as the same is now located and situated
in Broward County, Florida, and on the South by the North
right of way line of the **Pompano Canal**, as the same is
now located and situated in Broward County, Florida, all
of said land being, situate and lying in Broward County,
Florida, LESS the North 534 feet thereof;

AND ALSO
A portion of Section 31, Township 48 South, Range 42 East,
more fully described as follows:

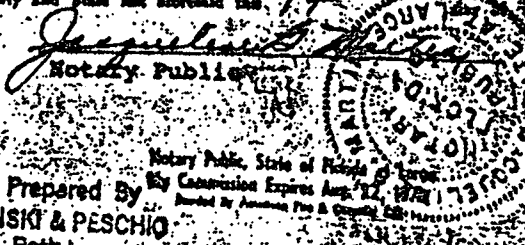
(CONTINUED ON REVERSE SIDE HEREOF)

To Have and to Hold the same together with all and singular the appurtenances thereto
belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim what-
soever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said
second party forever.

In Witness Whereof The said first party has signed and sealed these presents the day and year
first above written.
Signed, sealed and delivered in presence of:


H. Frank Woodward III
Lydia D. Woodward

STATE OF FLORIDA
COUNTY OF BROWARD
I HEREBY CERTIFY that on this day, before me, an
officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared
H. FRANK WOODWARD III and LYDIA D. WOODWARD, his wife

to me known to be the persons described in and who executed the foregoing instrument and they acknowledged
before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this
August A. D. 19 **70**,

Notary Public

This Instrument prepared by: **TUCKER, ROTH, PROMINSKI & PESCHIO**
Address: **1201 E. Atlantic Boulevard**
Pompano Beach, Florida 33060
RETURN TO BY: **Richard H. Roth**

Notary Public, State of Florida
My Commission Expires Aug. 12, 1971
Bonded By American Fire & Casualty Co., Miami, Florida

70 AUG 21 AM 11:55

EE 4284 1801

70- 69129

RAMCO FORM 8

This Quit-claim Deed, Executed this 4th day of May, A.D. 1970, by

ALFRED R. COOPER, joined by his wife, NAOMI S. COOPER
first party, to ALEC P. COURTELIS and DONALD L. SMITH, JR.

whose postoffice address is 1101 Brickell Avenue, Miami, Florida

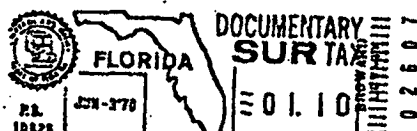
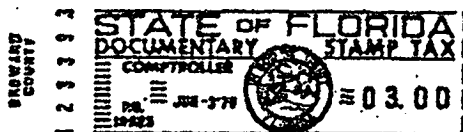
second party:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the said first party, for and in consideration of the sum of \$ 10.00 in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Broward State of Florida, to-wit:

that portion of PALM BEACH FARMS COMPANY PLAT NO. 3, as recorded in Plat Book 2, Pages 45 to 54, inclusive, of the Public Records of Palm Beach County, Florida, described as follows:

All that portion bounded on the West by the West line of Section 31, Township 48 South, Range 42 East, on the East by the West line of Tracts 5, 6, 13, 14, 23, 24, 34 and 35 of Block 94 of said Palm Beach Farms Company Plat No. 3, on the North by the South right of way line of Hammondville Road, as the same is now located and situated in Broward County, Florida, and on the South by the North right of way line of the Pompano Canal, as the same is now located and situated in Broward County, Florida, all of said land being, situate and lying in Broward County, Florida.



To Have and to Hold the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

Jane Hammond

Alfred R. Cooper
Alfred R. Cooper

Donald L. Smith, Jr.

Naomi S. Cooper
Naomi S. Cooper

STATE OF FLORIDA
COUNTY OF Hillsborough

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared ALFRED R. COOPER, joined by his wife, NAOMI S. COOPER

to me known to be the persons described in and who executed the foregoing instrument and they acknowledged before me that they executed the same.

Witnessed my hand and official seal in the County and State last aforesaid this 4th day of May, A.D. 1970.

My Commission Expires:

RECORDED IN OFFICIAL RECORDS BOOK
OF BROWARD COUNTY, FLORIDA
JACK WHEELER
CLERK OF CIRCUIT COURT

NOTARY PUBLIC
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES APRIL 9, 1973
BONDED THRU FRED M. DISTELHORST

This instrument prepared by:
Address

This instrument Was Prepared By
MILLER, TUCKER, ROTH & FROMINSKI
BY: Richard H. Roth
1201 E. Atlantic Boulevard
Pompano Beach, Florida 33060

RETURN TO

70 JUN 3 PM 12:35

OFF 4224 REC 110

Commencing at the Northwest corner of said Section 31,
thence Southerly along the West line of said Section 31 a
distance of 584 feet to the point of beginning; thence
continuing Southerly along the last described course a distance
of 4562.72 feet to a point on the North right-of-way line
of the Pompano Canal; thence Easterly along the said North
right-of-way line, making an included angle of $89^{\circ} 54' 20''$,
a distance of 89.36 feet to a point on the west line of Block
94, PALM BEACH FARMS COMPANY SUBDIVISION as recorded in Plat
Book 2, page 54, of the Public Records of Palm Beach County,
Florida; thence northerly along the said West line at Block 94
making an included angle of $90^{\circ} 26' 54''$, a distance of
4363.16 feet; thence Westerly making an included angle
of $89^{\circ} 23' 46''$, a distance of 116.31 feet to the Point of

To

RECORDED IN OFFICIAL RECORDS BOOK
OF BROWARD COUNTY, FLORIDA
JACK WHEELER
CLERK OF CIRCUIT COURT

Quit Claim Deed

RAMCO FORM 4

RE 4284 ME 332

AUG 14 1970

70-103375

QUIT-CLAIM DEED
FROM CORPORATION

This Quit-Claim Deed, Executed this 14 day of August A.D. 1970 by

FROSTOLITE, INC.

a corporation existing under the laws of Florida, and having its principal place of business at first party, to ALEC P. COURTELIS and DONALD L. SMITH, JR.

whose postoffice address is 1101 Brickell Avenue, Miami, Florida

second party:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the said first party, for and in consideration of the sum of \$10.00 in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Broward State of Florida to wit:

PARCEL E

That portion of PALM BEACH FARMS COMPANY'S PLAT NO. 3 as recorded in Plat Book 2, pages 45 to 54, inclusive, of the Public Records of Palm Beach County, Florida, described as follows: All that portion bounded on the West by the West line of Section 31, Township 48 South, Range 42 East, on the East by the West line of Tracts 5, 6, 13, 14, 23, 24, 34 and 35 of Block 94 of said PALM BEACH FARMS COMPANY'S PLAT NO. 3, on the North by the South right of way line of Hammondville Road, as the same is now located and situated in Broward County, Florida, and on the South by the North right of way line of the Pompano Canal, as the same is now located and situated in Broward County, Florida, all of said land being, situate and lying in Broward County, Florida, LESS the North 534 feet thereof;

AND ALSO

A portion of Section 31, Township 48 South, Range 42 East, more fully described as follows:

(CONTINUED ON REVERSE SIDE HEREOF)

To Have and to Hold the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof the said first party has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto duly authorized, the day and year first above written.

FROSTOLITE, INC.

By

John C. Frusciante
President

Witnessed and delivered in the presence of:

John C. Frusciante
Gloria J. Black

STATE OF FLORIDA
COUNTY OF BROWARD

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments personally appeared JOHN C. FRUSCIANTE and LYDIA FRUSCIANTE

well known to me to be the President and Assistant Secretary respectively of the corporation aforesaid, in the foregoing deed, and that they severally acknowledged executing the same in the presence of two subscribing witnesses duly and lawfully under authority duly vested in them by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the County and State last aforesaid this 14 day of August, 1970.

This Instrument Was Prepared By
TUCKER, ROTH, PROMINSKI & PESCHIO
BY: Richard H. Roth
1201 E. Atlantic Boulevard
Pompano Beach, Florida 33060

Notary Public, State of Florida
My Commission Expires Aug. 22, 1972
Notary Public & Secretary Co.

70 AUG 21 AM 9:55

REC 4284 MAR 893

AUG 14 1970

Commencing at the Northwest corner of said Section 31; thence Southerly along the West line of said Section 31 a distance of 584 feet to the point of beginning; thence continuing Southerly along the last described course a distance of 4562.72 feet to a point on the North right-of-way line of the Pompano Canal; thence Easterly along the said North right-of-way line making an included angle of 89° 54' 20", a distance of 89.36 feet to a point on the west line of Block 94, PALM BEACH FARMS COMPANY SUBDIVISION as recorded in Plat Book 2, page 54, of the Public Records of Palm Beach County, Florida; thence northerly along the said West line at Block 94 making an included angle of 90° 26' 54", a distance of 4363.16 feet; thence Westerly making an included angle of 89° 23' 46", a distance of 116.31 feet to the Point of Beginning.

RECORDED IN OFFICIAL RECORDS BOOK
OF BROWARD COUNTY, FLORIDA
JACK WHEELER
CLERK OF CIRCUIT COURT

10

Quit-Claim Deed
FROM CORPORATION

FLA. FORM 42

REF 4284 11894

91-46500
Just-16500
71-63643

THIS INDENTURE, Made this 30th day of December, 1970 between ZINKE-SMITH, INC., a Florida corporation, of the County of Broward, State of Florida, Grantor, and ALEC P. COURTELIS and DONALD L. SMITH, JR., whose post office address is 1101 Brickell Avenue, Miami, Dade County, Florida, Grantees

WITNESSETH, That said Grantor, for and in consideration of the sum of Ten Dollars and other good and valuable considerations to said Grantor in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantees, their heirs and assigns forever, the following described parcels of land situate, lying and being in Broward County, Florida, to wit:

PARCEL 1:

That portion of Tracts 12, 13, 14, 15, 22 and 23 of Block 94 of PALM BEACH FARMS COMPANY'S PLAT NO. 3, according to the plat thereof recorded in Plat Book 2 and pages 45 to 54, inclusive, of the Public Records of Palm Beach County, Florida, described as follows:

Commencing at a point on the East boundary of Tract 12 which is 138 feet south of the Northeast corner of Tract 12; thence West parallel to the North boundary of Tracts 12 and 13 a distance of 125.00 feet to the point of beginning; thence continuing West along the last mentioned course a distance of 1985.22 feet to a point in the West boundary of Tract 13; thence South along the West boundary of Tracts 13 and 14 and 23 a distance of 1498.10 feet; thence East parallel to the South boundary of Tracts 23 and 22 a distance of 2100.48 feet to a point in the East boundary of Tract 22; thence North along the extended East boundary of Tract 22 a distance of 300.00 feet to a point which is 1336 feet South of the Northeast corner of Tract 12; thence West parallel to the North boundary of Tract 22 a distance of 125.00 feet; thence North on a line parallel to and 125 feet West of the East boundary lines of Tracts 12 and 15, a distance of 1198.00 feet to the point of beginning; said lands situate, lying and being in Broward County, Florida; AND ALSO

PARCEL 2:

All that portion of the vacated 30-foot road lying between Tracts 14 and 15 on the North and Tracts 22 and 23 on the South in said Block 94; AND ALSO

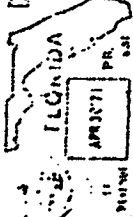
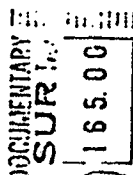
PARCEL 3:

All that portion of the vacated 25-foot road and the vacated reservation for ditch purposes, bounded on the East by the Westerly boundary of Tracts 13, 14 and 23 and on the West by the Western section line of Section 31, Township 48 South, Range 42 East, bounded on the North by the Westerly extension



150220

ALHROD
OVRD 098



05:11:11

1970 DEC 30

This Instrument Was Prepared By
TUCKER, ROTH, PROMINSKI & PESCHIO
BY: Richard H. Roth
1201 E. Atlantic Boulevard
Pompano Beach, Florida 33060

RETURN TO

71 APR 30 PM 2:33
JACK HENLEY

DE 4487 REC 526

\$600

of the Northern boundary line of the above property as the same runs through Tracts 12 and 13 to the Western section line of said Section 31, and bounded on the South by the Westerly extension of the Southern boundary line of the above property as the same runs through Tracts 22 and 23 of said Section 31, all in Block 94, of PALM BEACH FARMS CO. PLAT NO. 3.

SUBJECT to mortgage given to Bankers National Life Insurance Company dated February 1, 1964, and recorded in Official Records Book 2756, Page 409, Broward County Public Records, which the grantor herein agrees to remain responsible for and make the payments due thereunder.

and said grantor does hereby fully warrant the title as to Parcel 1, and will defend the same against the lawful claims of all persons whomsoever, and said grantor does hereby remise, release and quit-claim unto the said grantees forever, all the right, title, interest, claim and demand which the said grantor has in and to Parcels 2 and 3.

IN WITNESS WHEREOF, Grantor has caused these presents to be executed by its proper officers and its seal affixed hereto, the day and year first above written.

Signed, sealed and delivered
in our presence:

William D. Debe
E. M. Oursky

ZINKE-SMITH, INC.

By [Signature]

ATTEST: [Signature]

STATE OF FLORIDA)
COUNTY OF BROWARD)

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared

D. L. Smith and E. W. Fletcher as
President and Secretary of ZINKE-SMITH, INC.,
a Florida corporation, to me known to be the persons described in and who executed the foregoing instrument and acknowledged before me that they executed the same on behalf of said corporation.

WITNESS my hand and official seal, this 2nd day of January, 1971.

My Commission Expires:

NOTARY PUBLIC, STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES JAN. 30, 1974
BONDED THRU FRED W. DISTELHORST

[Signature]
Notary Public

RECORDED IN OFFICIAL RECORDS BOOK
OF BROWARD COUNTY, FLORIDA
-2- JACK WHEELER
CLERK OF CIRCUIT COURT

DE 4487 ME 527

SEP 17 2001

69- 34573

WARRANTY DEED

DEC 3882 PAGE 872

1920-2000
704.00

KNOW ALL MEN BY THESE PRESENTS: That WEST POMPANO ENTERPRISES, INC., a Michigan corporation, the address of which is 1250 Penobscot Building, Detroit, Michigan (48226), conveys and warrants to ALEC P. COURTELIS and DONALD L. SMITH, JR., whose street number and post office address is 1101 Brickell Avenue, Miami, Florida (33131), the following described premises situated in the County of Broward and State of Florida, to wit:-

The following lands in Block 94, according to the PALM BEACH FARMS COMPANY'S PLAT NO. 3, recorded in Plat Book 2, at pages 45 to 54, inclusive, of the public records of Palm Beach County:

PARCEL A.

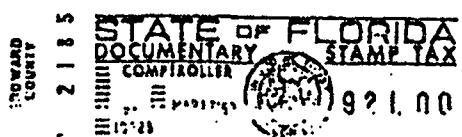
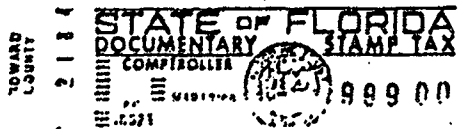
All of Tracts 4 and 5, of Block 94, lying South of Hammondville Road, as now constructed, through said Tracts 4 and 5, and Tract 6, less that certain portion of said Tracts 5 and 6, described as follows:

Beginning at the Northwest corner of Section 31, Township 48 South, Range 42 East; thence South along the West boundary of said Section 31, a distance of 584'; thence East and parallel to the North boundary of said Section 31 a distance of 775.58'; thence North to a point on the North boundary of said Section 31; said point being 753' East of said N.W. corner of Section 31; thence West along the North boundary of said Section 31 a distance of 753 feet to the point of beginning; and

All of Tract 7, and all that portion of Tracts 12 and 13 lying North of the line parallel to the North boundaries of Tracts 12 and 13, and passing through a point on the East boundary of Tract 12, which is 138' South of the Northeast corner of Tract 12; and

PARCEL B.

That portion of Tracts 12 and 15 and the right-of-way adjoining Tract 15 on the South bounded as follows:



Page 1 of
3 Pages.

Return - page 2

SCANNED

Commence at a point on the East boundary of Tract 12, which is 138' south of the Northeast corner of Tract 12; and South along the East boundary of Tracts 12, 15 and said right-of-way a distance of 1198'; thence West on a line parallel to the North boundary of Tract 22 a distance of 125'; thence North on a line parallel to the East boundary of Tracts 12 and 15 a distance of 1198'; thence east on a line parallel to the North boundary of Tract 12 to the point of beginning; and

PARCEL C. That part of Tracts 22 and 23 lying South of a line parallel to the North boundaries of Tracts 22 and 23, and passing through a point on the East boundary of Tract 22, which is 286.6' South of the Northeast corner of Tract 22; all of Tracts 24, and 25 and 34; and that portion of Tracts 33 and 35, lying North of the Pompano Canal,

containing 160 acres of land, more or less, subject to:

- (a) The right-of-way of Hammondville Road as dedicated; and if this road is not constructed within the dedicated right-of-way, then also subject to such road as constructed;
- (b) Reservations for drainage and road purposes and the dedications thereof as set forth on the plat of the Palm Beach Farms Company's Plat No. 3 dated April 20, 1912 and recorded August 20, 1912, in Plat Book 2, pages 45 to 54, inclusive, of Palm Beach County Records, and to rights-of-way for small lateral ditches in favor of adjoining lands as such are reserved in all conveyances by the Palm Beach Farms Company;
- (c) Reservations of rights-of-way and rights of entry to the Trustees of the Internal Improvement Fund for the construction, maintenance and possession of canals and other drainable works upon the following portions of said lands:
 - (i) Said portion of Tract 5 and all of Tracts 14 and 24 of Block 94;
- (d) Facts that would be disclosed by an accurate survey;
- (e) Zoning and/or other restrictions imposed by Governmental authority;

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, for the sum of Ten Dollars (\$10.00) and other good and valuable considerations.

West Pompano Enterprises, Inc. does hereby fully warrant the title to said land and will defend the same against the claims of all persons whomsoever.

Dated this 13th day of March, 1969.

Signed in the presence of:

WEST POMPANO ENTERPRISES, INC.

By Peter A. Martin, M.D.
Peter A. Martin, M.D.

Peter A. Martin, M.D.

Its President

By: Iyan M. Forbes
Iyan M. Forbes

Its Secretary

STATE OF MICHIGAN)
) SS
COUNTY OF WAYNE)

On this 15th day of March, 1969, before me, a Notary Public in and for said County, personally appeared PETER A. MARTIN, M.D. and IVAN M. FORBES to me personally known, who, being by me duly sworn, did each for himself say that they are respectively the President and Secretary of WEST COMPANO ENTERPRISES, INC., the corporation named in and which executed the within instrument, and that the seal affixed to said instrument is the corporate seal of said corporation, and that said instrument was signed and sealed in behalf of said corporation by authority of its Board of Directors; and said PETER A. MARTIN, M.D. and IVAN M. FORBES acknowledged said instrument to be the free act and deed of said corporation.

Notary Public, Wayne County, Michigan
Julayne A. Allen
My Commission expires: Dec 7/14/17

When recorded return to:
E. S. Quick
Alfred I. DuPont Building
Miami, Florida 33131

Drafted by:
David A. Goldman, Atty.
1250 Penobscot Building
Detroit, Michigan 48226



SOUTH FLORIDA WATER MANAGEMENT DISTRICT

3301 Gun Club Road, West Palm Beach, Florida 33406 • (561) 686-8800 • FL WATS 1-800-432-2045 • TDD (561) 697-2574
Mailing Address: P.O. Box 24680, West Palm Beach, FL 33416-4680 • www.sfwmd.gov

CON 24-06

Application No. 010525-18
Environmental Resource Regulation

August 29, 2001

Luis F. Leon
Shwebke-Shiskin & Associates, Inc.
3240 Corporate Way
Miramar, FL 33025

Subject: Lakewood - Broward County; S36/T48S/R41E

Dear Mr. Leon:

Staff has completed a review of the information submitted on July 30, 2001 for the above referenced application. The information received did not adequately address the following items. Pursuant to Rule 40E-40, Florida Administrative Code (FAC), the District is requesting the following information needed to complete the application:

1. Please provide a copy of the ownership information for this project (Warranty Deed).
2. The delineation of Basins A, B, and C indicate that the area of this project is different than the area outlined on the aerial map. Please clearly indicate the boundaries of this project on the plans.
3. It appears that the area discharging to Structure No. 7 is not getting any pretreatment within the exfiltration trench system since the weir baffles are located in Structure No. 8. Please indicate the area discharging to Structure No. 7 and indicate how pretreatment will be accomplished. Is this area part of this project? If not, will it have a separate pretreatment system before discharging into Structure No. 7? Please explain and revise the surface water management system as necessary.
4. The buildings roof area should not be excluded from the water quality treatment since roofs runoff discharges to the exfiltration trenches and occupies a certain volume of the trench and therefore it decreases the trench

GOVERNING BOARD

Trudi K. Williams, Chair
Lennart E. Lindahl, Vice-Chair
Pamela Brooks-Thomas

Michael Collins
Hugh M. English
Gerardo B. Fernández

Patrick J. Gleason, Ph.D., P.G.
Nicolás J. Gutiérrez, Jr., Esq.
Harkley R. Thornton

EXECUTIVE OFFICE

Henry Dean, Executive Director

SCANNED

designed treatment capacity. Please revise your calculations to include the buildings roof areas.

In accordance with 40E-1.603(8) FAC, if the information is not received within 30 days of this date, to render the application complete, the application may be processed for denial if not withdrawn by the applicant. Please attach a copy of the enclosed "Transmittal Form For Requested Additional Information" to each of the required FOUR copies of the requested information. Should you have any questions, please call Marwan Fakhoury at (561) 682-6868.

Sincerely



Carlos de Rojas, P.E.
Senior Supervising Engineer
Surface Water Management Division

CDR/mf
Attachment

cc: Broward County DPEP – Engineering

bc: Anita Bain
Marwan Fakhoury
Area Engineer
Enforcement
File

ADDITIONAL INFORMATION ROUTING

Regulation Department

Application Number: 010525-18

County: Broward

Permit Number:

Project Name: LAKEWOOD

Response Date: 7/30/2001 30 Day Deadline: 8/29/2001

Processed By: RD Date: 7/31/2001

Fee Code: PS6A

TRACKING SYSTEM UPDATED ☒ YES ☐ NO *

*SEE COMMENTS

APPLICATION TYPE

☒ ERP

☐ SWM

☐ WU

☐ D/F

☐ EAA

☐ FWD

☐ PERMIT TRANSFER

SWM Reviewer: Marwan Fakhoury

WU Reviewer: -

NRM Reviewer: Anita Bain

Environmental Resource Compliance Division

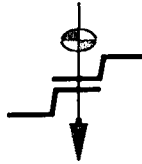
Vault

*COMMENTS:

SCANNED



Schwebke-Shiskin



& Associates, Inc.



Robert F. Jackson, P.S.M.
Alfonso C. Tello, P.E., P.S.M.
Ronald A. Fritz, P.S.M.
Pierre E. Calvet, P.S.M.
Raul E. Barreto, P.S.M.
Txomin M. Ibarluzea, P.S.M.

LAND SURVEYORS - ENGINEERS - LAND PLANNERS
3240 CORPORATE WAY - MIRAMAR, FLORIDA 33025
BROWARD PHONE: (954) 435-7010
DADE PHONE: (305) 652-7010
BROWARD FAX: (954) 438-3288 • DADE FAX: (305) 652-8284
WWW.SHISKIN.COM

Brett V. De Falco, P.S.M.
Ken W. Groce, P.E.
Hernando J. Navas, P.E.
Brian S. Bower, P.S.M.
Michael J. Alley, P.S.M.

Thursday, July 26, 2001

Marwan Fakhoury
3301 Gun Club Road
West Palm Beach, FL 33416

Re: Lakewood – Margate. Application No. 010525-18

Dear Marwan,

In response to your letter date June 21, 2001 please accept the following responses for the referenced project:

- 1) The entity to receive the permit is Don Smith at 701 Brickell Avenue, Suite 1400, Miami, FL 33131. The owner will supply you with a warranty deed under separate cover for the referenced project.
- 2) Enclosed please find a sketch delineating the several basins within the project, see Addendum No.1. The weir baffle elevation for each basin is shown on detail sheet no's. PD2, 3, 4, and 7 of 7.
- 3) The bleed down mechanism has been removed in basins where French Drains are being used as the surface water management system. See File No. MC-438 and Amendment No. 1.
- 4) Enclosed please find the analysis of the pre vs. post analysis of the 10-year 1-day, 25-year 3 day, and 100-year 3 day storm events. See Addendum No. 1.
- 5) Enclosed please find the exfiltration tests for the referenced project. Please note that the calculations have been revised to account for the difference in the percolation rate. See Amendment No. 1.

Sincerely,

Schwebke-Shiskin & Associates, Inc.

Luis F. Leon, E.I.
Project Engineer

Amendment No.1

Amendment Summary

Two percolation tests were taken within the subject site. The average of the two tests has been used for the following calculations. The following amendment uses the revised exfiltration test results to calculate the amount of linear feet of French Drain required to meet water quality pretreatment criteria.

The calculations show that Basin A will require 1,030 linear feet of French Drains, previously 948 linear feet. Basin B will require 660 linear feet of French Drain, previously 593 linear feet. Basin C will require 550 linear feet of French Drain, previously 424 linear feet.

Discharge calculations have been excluded since bleed down mechanisms have been removed from the stormwater management system. The French drains will be used to bleed down the stormwater management system.

STORM WATER MANAGEMENT CALCULATIONS **Lakewood - Margate**

A)

Landuse:

Areas outside of Wetland Boundaries
 Building Area = 4.59 Acres
 Pavement Area = 10.51 Acres
 Landscape Area = 2.11 Acres
 Dry Detention Area = 0.00 Acres
 Site Area = 17.21 Acres = 0.027 sq. mi.

B)

Specific Site Data:

Control Water Elevation = 7.00 Ft.
 C14 Basin Allowable discharge = 69.20 csm
 Allowable discharge = 1.86 cfs

C)

Water Quality - Dry Pretreatment

Detain 1/2" of runoff prior to discharging into surface waters

Required

Basin

A) Set weir crest elevation = 8.50 Ft.
 $V_{\text{required}} = \frac{1}{2}'' * (3.63 \text{ ac}) / 12 = 0.15 \text{ AcFt}$

B) Set weir crest elevation = 9.80 Ft.
 $V_{\text{required}} = \frac{1}{2}'' * (2.15 \text{ ac}) / 12 = 0.09 \text{ AcFt}$

C) Set weir crest elevation for French Drains = 9.40 Ft.
 Set weir crest elevation for swales = 10.30 Ft.
 $V_{\text{required}} = \frac{1}{2}'' * (6.84 \text{ ac}) / 12 = 0.29 \text{ AcFt}$

Total:

Area providing dry pretreatment = $3.63 + 2.15 + 6.84 = 12.62 \text{ acres}$

Area requiring dry pretreatment = Site Area - Building Area =
 = $17.21 \text{ ac.} - 4.59 \text{ ac.} = 12.62 \text{ acres}$

$V_{\text{required}} = \frac{1}{2}'' * (12.62 \text{ ac}) / 12 = 0.53 \text{ AcFt}$

Storm Water Management Calculations (Continued)

Provided

A) "K" Value= 6.33E-06 cfs / sq.ft.-ft.head
 Length of French Drain Provided= 1030.00 Ft.
 Minimum Pavement Elevation= 11.00 Ft.
 Average High Water Level Elevation= 7.00 Ft.
 Top of Exfiltration Trench= 9.25 Ft.
 Bottom of French Drain= 3.00 Ft.
 Pipe Invert= 7.50 Ft.
 $D_u = 2.25$ Ft.
 $H_2 = 8.50 - 7.00' = 1.50$ Ft.
 $D_s = 4.00$ Ft.
 $W = 5.00$ Ft.
 $V = [(K * L / 12) * (H_2 * W + 2 * H_2 * D_u - D_u^2 + 2 * H_2 * D_s)] + [1.39 * 10^{-4} * W * D_u * L / 12]$

Volume Exfiltrated= 0.15 AcFt

$V_{provided} =$	0.15 AcFt
------------------	-----------

B) "K" Value= 6.33E-06 cfs / sq.ft.-ft.head
 Length of French Drain Provided= 660.00 Ft.
 Minimum Pavement Elevation= 11.80 Ft.
 Average High Water Level Elevation= 7.00 Ft.
 Top of Exfiltration Trench= 10.05 Ft.
 Bottom of French Drain= 1.80 Ft.
 Pipe Invert= 8.30 Ft.
 $D_u = 3.05$ Ft.
 $H_2 = 9.80 - 7.00' = 2.80$ Ft.
 $D_s = 5.20$ Ft.
 $W = 3.00$ Ft.
 $V = [(K * L / 12) * (H_2 * W + 2 * H_2 * D_u - D_u^2 + 2 * H_2 * D_s)] + [1.39 * 10^{-4} * W * D_u * L / 12]$

Volume Exfiltrated= 0.09 AcFt

$V_{provided} =$	0.09 AcFt
------------------	-----------

Storm Water Management Calculations (Continued)

C)

"K" Value=	6.33E-06 cfs / sq.ft.-ft.head
Length of French Drain Provided=	550.00 Ft.
Minimum Pavement Elevation=	10.50 Ft.
Average High Water Level Elevation=	7.00 Ft.
Top of Exfiltration Trench=	8.75 Ft.
Bottom of French Drain=	0.50 Ft.
Pipe Invert=	7.00 Ft.
$D_u =$	1.75 Ft.
$H_2 = 9.40 - 7.00' =$	2.40 Ft.
$D_s =$	6.50 Ft.
$W =$	5.00 Ft.

$$V = [(K * L / 12) * (H_2 * W + 2 * H_2 * D_u - D_u^2 + 2 * H_2 * D_s)] + [1.39 * 10^{-4} * W * D_u * L / 12]$$

Volume Exfiltrated= 0.07 AcFt

Calculate depth of proposed swales

Length of proposed swales=	2005.00 Ft.
Width of proposed swales=	9.00 Ft.
Volume required = 0.29 acft - 0.07 acft=	0.22 AcFt
= 0.22 acft x 43560=	9375 C.F.

Depth of proposed swales "y"

$$0.5 \times 9 \text{ ft.} \times y \times 2005 \text{ ft.} = 9375 \text{ c.f.}$$

$$y = 1.04 \text{ Ft.}$$

Minimum edge of pavement elevation= 10.50 Ft.

Weir elevation= 10.30 Ft.

Bottom of proposed swales = 9.20 Ft.

$$V_{\text{provided}} = 0.5 \times 9 \text{ ft.} \times (10.30 \text{ ft.} - 9.20 \text{ ft.}) \times 2005 \text{ ft.} = 0.23 \text{ AcFt}$$

$V_{\text{provided}} = 0.07 \text{ acft} + 0.23 \text{ acft} =$	0.30 AcFt
---	-----------

Total:

$V_{\text{provided}} = 0.15 \text{ acft} + 0.09 \text{ acft} + 0.29 \text{ acft} =$	0.53 AcFt
---	-----------

Addendum No.1

Addendum Summary

The following addendum provides the calculations for the pre vs. post development analysis for the subject site. The calculations show stage vs. storage quantities prior to development and after development.

Lakewood is part of a larger basin that includes lakes, canals, and other stormwater management features. Because this project is part of a larger basin the following analysis accounts for the project area to be modified only, 17.21 acres. The stages shown for the 10-year 1-day, 25-year 3-day, and 100-year 3-day were only calculated for a comparative analysis.

A sketch is also included to delineate the three (3) basins that separate the project for water quality purposes.

Lakewood
Pre-Development Stormwater Management Analysis

D)

CN Calculation

Pervious Area = 2.59 acres
 Site Area = 17.21 acres
 Average Pervious Elevation:

Area (acres)	Percentage %	Elevation (ft. NGVD)		Average Elevation (ft. NGVD)	Percentage*Average Elevation (ft. NGVD)
		From	To		
0.63	24%	10.50	11.00	10.75	2.61
1.96	76%	11.00	12.80	11.90	9.01
Total	2.59	100%			11.62

Storage Depth = 11.62 - 7.00 = 4.62 Ft.
 Soil Storage (S_p , 25% Compaction) = 6.75 in
 Composite Soil Storage (S) = $6.75 \times (2.59/17.21) = 1.02$ in
 Curve Number (CN) = $1000/(10+S) = 91$

E)

Stage-Storage Table

Elevation	Total, ac-ft
7.00	0.00
9.20	0.00
9.50	0.00
10.00	0.00
10.30	0.00
10.50	0.00
11.00	0.16
11.50	1.31
12.00	4.14
12.50	8.65
13.00	14.71
13.50	21.12

*Note: Storage volumes computed by stage-area diagram k:\364841\Lakewood\Paving and Drainage\dwg\Stage-Area Diagram.dwg

**Note: Lake Storage is excluded from these calculations

Storm Water Management Calculations (Continued)

F)

Storm Stage Calculations

10-Year, 1-Day Storm

Compute inches of runoff

$$Q = (P - 0.2 * S)^2 / (P + 0.8 * S)$$

where: P = 8.00 inches

S = 1.02 inches

$$Q = 6.90 \text{ inches of volume}$$

Compute volume generated V_{10}

$$V_{10} = 6.90 \text{ in.} * 17.21 \text{ Ac.}$$

$$V_{10} = 118.72 \text{ Ac.in.}$$

$$\text{or } V_{10} = 9.89 \text{ Ac.Ft.}$$

Compute Stage from Stage-Storage Diagram

Elevation (Ft.)	VOL. (Ac.-Ft.)
12.50	8.65
y	9.89
13.00	14.71

Volume at 12.50' NGVD = 8.65 AcFt

Calculate "y" by interpolation:

$$(9.89 - 8.65) / (14.71 - 8.65) = (y - 12.50) / (13.00 - 12.50)$$

$$y = 12.60 \text{ Ft.}$$

Stage = 12.60 Ft. N.G.V.D.

25-Year, 3-Day Storm

Compute inches of runoff

$$Q = (P - 0.2 * S)^2 / (P + 0.8 * S)$$

where: P = 14.50 inches

S = 1.02 inches

$$Q = 13.35 \text{ inches of volume}$$

Compute volume generated V_{25}

$$V_{25} = 13.35 \text{ in.} * 17.21 \text{ Ac.}$$

$$V_{25} = 229.73 \text{ Ac.in.}$$

$$\text{or } V_{25} = 19.14 \text{ Ac.Ft.}$$

Compute Stage from Stage-Storage Diagram

Elevation (Ft.)	VOL. (Ac.-Ft.)
13.00	14.71
y	19.14
13.50	21.12

Volume at 13.00' NGVD = 14.71 AcFt

Calculate "y" by interpolation:

$$(19.14 - 14.71) / (21.12 - 14.71) = (y - 13.00) / (13.50 - 13.00)$$

$$y = 13.35 \text{ Ft.}$$

Stage = 13.35 Ft. N.G.V.D.

Storm Water Management Calculations (Continued)
F)

100-Year, 3-Day Stage
Compute inches of runoff

$$Q = (P - 0.2*S)^2 / (P + 0.8*S)$$

where: P = 17.00 inches
S = 1.02 inches

$$Q = 15.84 \text{ inches of volume}$$

Compute volume generated V₁₀₀

$$V_{100} = 15.84 \text{ in.} * 17.21 \text{ Ac.}$$

$$V_{100} = 272.59 \text{ Ac.in.}$$

$$\text{or } V_{100} = 22.72 \text{ Ac.Ft.}$$

Compute Stage from Stage-Storage Diagram

Elevation (Ft.)	VOL. (Ac.-Ft.)
13.00	14.71
y	22.72
13.50	21.12

Calculate "y" by interpolation:

$$(22.72-14.71)/(21.12-14.71) = (y-13.00)/(13.50-13.00)$$

$$y = 13.62 \text{ Ft.}$$

$$\text{Stage} = 13.62 \text{ Ft. N.G.V.D.}$$

Lakewood
Post-Development Stormwater Management Analysis

D)

CN Calculation

Pervious Area = 2.11 acres
Site Area = 17.21 acres
Average Pervious Elevation:

Area (acres)	Percentage %	Elevation (ft. NGVD)		Average Elevation (ft. NGVD)	Percentage*Average Elevation (ft. NGVD)
		From	To		
0.41	19%	9.20	10.30	9.75	1.89
0.05	2%	10.30	10.50	10.40	0.25
1.65	78%	10.50	13.00	11.75	9.19
Total	2.11	100%			11.33

Storage Depth = $11.33 - 7.00 = 4.33$ Ft.
Soil Storage (S_p , 25% Compaction) = 6.75 in
Composite Soil Storage (S) = $6.75 * (2.11/17.21) = 0.83$ in
Curve Number (CN) = $1000 / (10 + S) = 91$

E)

Stage-Storage Table

Elevation	Total, ac-ft
7.00	0.00
9.20	0.30
9.50	0.32
10.00	0.42
10.30	0.53
10.50	0.61
11.00	1.45
11.50	3.50
12.00	6.77
12.50	11.26
13.00	16.96
13.50	23.27

*Note: Storage volumes computed by stage-area diagram k:\364841\Lakewood\Paving and Drainage\dwg\Stage-Area Diagram.dwg

**Note: Lake Storage is excluded from these calculations

Storm Water Management Calculations (Continued)
F)

Storm Stage Calculations

10-Year, 1-Day Storm

Compute inches of runoff

$$Q = (P - 0.2 \cdot S)^2 / (P + 0.8 \cdot S)$$

where: P = 8.00 inches

S = 0.83 inches

$$Q = 7.09 \text{ inches of volume}$$

Compute volume generated V_{10}

$$V_{10} = 7.09 \text{ in.} \cdot 17.21 \text{ Ac.}$$

$$V_{10} = 121.95 \text{ Ac.in.}$$

$$\text{or } V_{10} = 10.16 \text{ Ac.Ft.}$$

Compute Stage from Stage-Storage Diagram

Elevation (Ft.)	VOL. (Ac.-Ft.)
12.00	6.77
y	10.16
12.50	11.26

Volume at 12.00' NGVD = 6.77 AcFt

Calculate "y" by interpolation:

$$(11.26 - 10.16) / (11.26 - 6.77) = (y - 12.00) / (12.50 - 12.00)$$

$$y = 12.38 \text{ Ft.}$$

Stage = 12.38 Ft. N.G.V.D.

25-Year, 3-Day Storm

Compute inches of runoff

$$Q = (P - 0.2 \cdot S)^2 / (P + 0.8 \cdot S)$$

where: P = 14.50 inches

S = 0.83 inches

$$Q = 13.55 \text{ inches of volume}$$

Compute volume generated V_{25}

$$V_{25} = 13.55 \text{ in.} \cdot 17.21 \text{ Ac.}$$

$$V_{25} = 233.23 \text{ Ac.in.}$$

$$\text{or } V_{25} = 19.44 \text{ Ac.Ft.}$$

Compute Stage from Stage-Storage Diagram

Elevation (Ft.)	VOL. (Ac.-Ft.)
13.00	16.96
y	19.44
13.50	23.27

Volume at 13.00' NGVD = 16.96 AcFt

Calculate "y" by interpolation:

$$(19.44 - 16.96) / (23.27 - 16.96) = (y - 13.00) / (13.50 - 13.00)$$

$$y = 13.20 \text{ Ft.}$$

Stage = 13.20 Ft. N.G.V.D.

Storm Water Management Calculations (Continued)

F)

100-Year, 3-Day Stage

Compute inches of runoff

$$Q = (P - 0.2*S)^2 / (P + 0.8*S)$$

where:

P = 17.00 inches

S = 0.83 inches

$$Q = 16.05 \text{ inches of volume}$$

Compute volume generated V_{100}

$$V_{100} = 16.05 \text{ in.} * 17.21 \text{ Ac.}$$

$$V_{100} = 276.15 \text{ Ac.in.}$$

$$\text{or } V_{100} = 23.01 \text{ Ac.Ft.}$$

Compute Stage from Stage-Storage Diagram

Elevation (Ft.)	VOL. (Ac.-Ft.)
13.00	16.96
y	23.01
13.50	23.27

Calculate "y" by interpolation:

$$(23.01 - 16.96) / (23.27 - 16.96) = (y - 13.00) / (13.50 - 13.00)$$

$$y = 13.48 \text{ Ft.}$$

$$\text{Stage} = 13.48 \text{ Ft. N.G.V.D.}$$

Schaefer - Shiskin & Associates, Inc.

LAND PLANNERS * ENGINEERS * LAND SURVEYORS

3240 CORPORATE WAY * MIRAMAR, FLORIDA 33025 * BROWARD: 453-7010 * DADE: 652-7010 * FAX: 652-8284

SOIL PERMEABILITY TEST D.O.T. PERCOLATION EXFILTRATION TEST METHOD

CLIENT: COURTELIS COMPANY
PROJECT: LAKEWOOD PLAZA
LOCATION: NE COR. ATLANTIC & 441
TEST No.: 1

DATE: 02/01/01
JOB No.: 70519

FILE: 70519-01.XLS

TIME (MIN.)	METER READING	FLOW (Q) GALLONS
0	2469.10	0.00
1	2469.60	0.50
2	2470.10	0.50
3	2470.60	0.50
4	2471.10	0.40
5	2174.40	-296.60
6	2471.60	297.40
7	2472.20	0.40
8	2472.60	0.30
9	2472.90	0.30
10	2473.20	0.30
11	2473.50	0.30
12	2473.80	0.30
13	2474.10	0.30
14	2474.40	0.30
15	2474.70	0.30

AVE. EXFILTRATION RATE: 0.37 G.P.M.
DIAMETER OF TEST HOLE : 12.00 INCHES
DEPTH TO WATER TABLE : 6.00 FEET
DEPTH OF TEST HOLE : 15.00 FEET

K = 3.60E-06 C.F.S./S.F.T.-FT. OF HEAD

SUBSURFACE DATA

DEPTH	SOIL DESCRIPTION
0.0 TO 5.0'	DARK BROWN SILTY SAND
5.0' TO 10.0'	BROWN SILTY SAND WITH SOME LIMESTONE
10.0' TO 15.0'	GRAY SAND WITH LIMESTONE

J. TELLO
INSPECTOR

ALFONSO C. TELLO
SECRETARY/TREASURER (P.E. #32068)

SCANNED

Schaeble - Shishin & Associates, Inc.

LAND PLANNERS * ENGINEERS * LAND SURVEYORS

3240 CORPORATE WAY * MIRAMAR, FLORIDA 33025 * BROWARD: 453-7010 * DADE: 652-7010 * FAX: 652-8284

SOIL PERMEABILITY TEST D.O.T. PERCOLATION EXFILTRATION TEST METHOD

CLIENT: COURTELIS COMPANY
PROJECT: LAKEWOOD PLAZA
LOCATION: NE COR. ATLANTIC & 441
TEST No.: 2

DATE: 02/01/01
JOB No.: 70519

FILE: 70519-02.XLS

TIME (MIN.)	METER READING	FLOW (Q) GALLONS
0	2330.70	0.00
1	2331.80	1.10
2	2332.90	1.10
3	2334.00	1.10
4	2335.00	1.00
5	2336.00	1.00
6	2337.00	1.00
7	2338.00	1.00
8	2338.90	0.90
9	2339.80	0.90
10	2340.70	0.80
11	2341.60	0.90
12	2342.40	0.80
13	2343.20	0.80
14	2344.00	0.80
15	2344.80	0.80

AVE. EXFILTRATION RATE: 0.94 G.P.M.
DIAMETER OF TEST HOLE : 12.00 INCHES
DEPTH TO WATER TABLE : 6.00 FEET
DEPTH OF TEST HOLE : 15.00 FEET

K = 9.06E-06 C.F.S./S.FT.-FT. OF HEAD

SUBSURFACE DATA

DEPTH			SOIL DESCRIPTION
0.0	TO	5.0'	BROWN SILTY SAND
5.0'	TO	10.0'	BROWN SILTY SAND WITH SOME LIMESTONE
10.0'	TO	15.0'	GRAY SAND WITH LIMESTONE

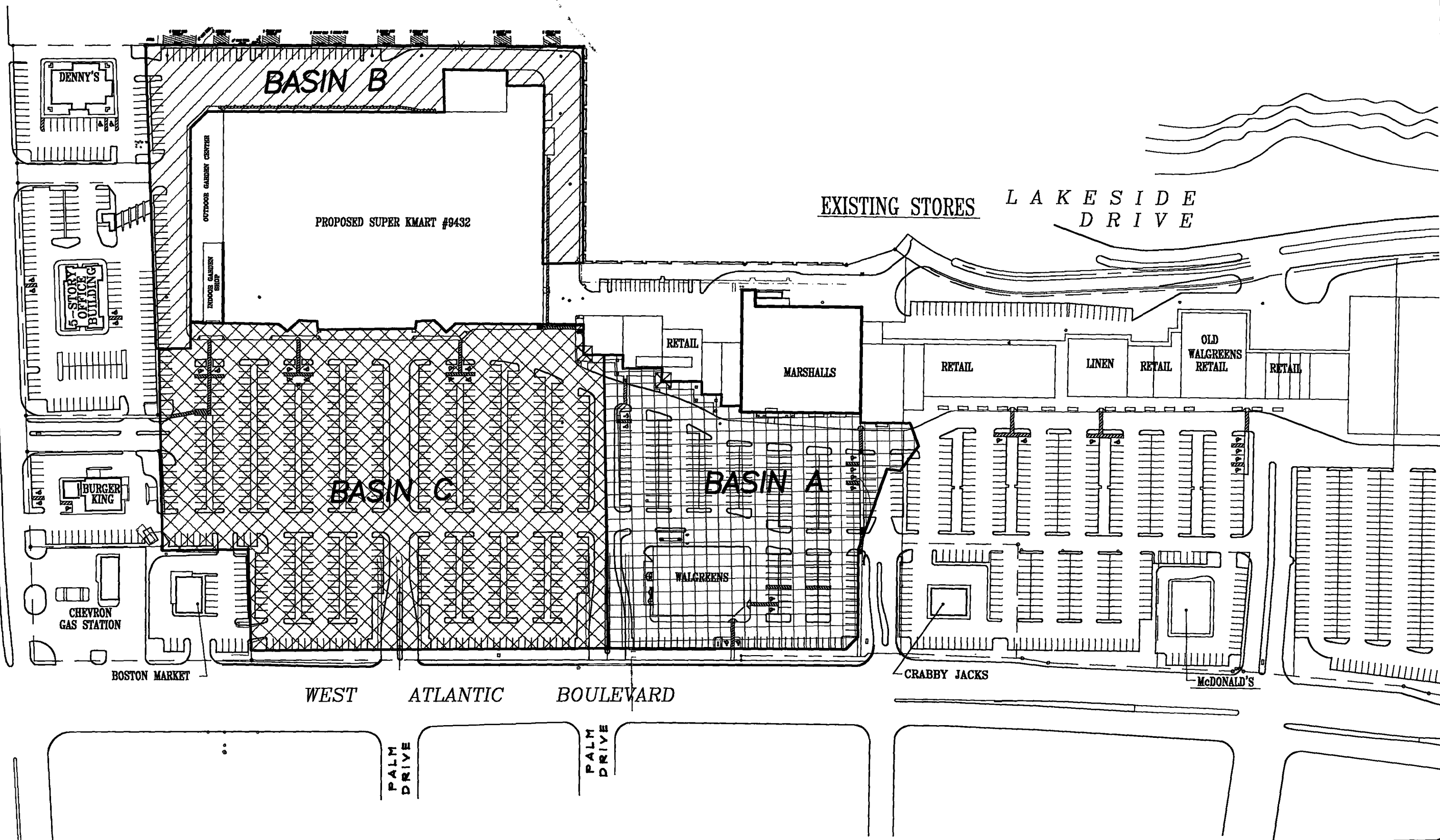
J. TELLO
INSPECTOR

ALFONSO C. TELLO
SECRETARY/TREASURER (P.E. #32068)

SCANNED



STATE ROAD No. 7 (U. S. 441)



REVISIONS		
Date	Remarks	By

LAKEWOOD
WATER QUALITY
BASIN MAP
CITY OF MARGATE, FLORIDA, SECTION 36 TOWNSHIP 48 RANGE 41

Schwabke-Shiskin & Associates, Inc.
LAND PLANNING SURVEYING
2840 CONFIDENT WAY SUWANEE, FLORIDA 30066 TEL: (404) 452-7070 FAX: (404) 452-6200

By: **ALFONSO G. TELLO** SEC./TREASURER
Registered Land Surveyor No. 8778, State of Florida
Registered Engineer No. 35065, State of Florida

Drawn By: L.P.L. Date: 07-04-2001
Order No. 194225 FS. 00000 P.L.00
File No. _____


Checked By: A.G.E. Date: 07-04-2001
Sketches & Notes: **SCANNED**
Sheet No. 1 of 1 Sheets

NOTE: Authentic copies of this drawing will bear the raised seal of the signing Professional Land Surveyor or Professional Engineer.

-010525-18

LAKEWOOD
STORMWATER MANAGEMENT CALCULATIONS

Prepared By:
Schwabke-Shiskin & Associates, Inc.
Tuesday, May 22, 2001


Luis F. Leon, E.I.
Project Engineer

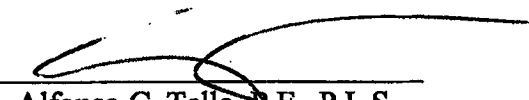

Alfonso C. Tello, P.E., P.L.S.
Professional Engineer #32068

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SECTION 1

EXECUTIVE SUMMARY

The project consists of a redevelopment of a portion of the Lakewood Plaza. Lakewood Plaza is located in Broward County bounded by Atlantic Boulevard on the South, State Road 7 (441) on the West and Lakeside Drive on the East. This is a shopping center that was originally constructed in phases. The phase that is presently under redevelopment did not have a previous South Florida Water Management Permit. Only a portion of the area to be redeveloped overlaps a previous permit Lakewood Plaza Shopping Center (Permit No. 05075-B). The existing drainage system for this portion of the shopping center drains directly into a conveyance canal, located south of Atlantic Boulevard, leading to the Cypress Creek Canal and an existing lake located immediately north of Lakeside Drive, which also drains to the Cypress Creek Canal. The drainage system for this portion of the shopping center essentially divides the site into two drainage areas. These two drainage systems discharge directly into open bodies of water without any water quality treatment.

The proposed drainage system will incorporate a combination of above ground dry retention areas and French drains in order to meet the 1/2 inch pretreatment requirement. The new drainage system will convey all of the storm waters to the existing lake immediately north of Lakeside Drive. This particular lake is controlled by a weir located on an outfall canal connected to the Cypress Creek Canal. The additional drainage area which is now conveyed to this lake system is negligible in comparison to the overall area of the basin. This particular weir, which controls the drainage basin is sized to provide the wet water quality volume prior to discharge into the Cypress Creek Canal.

It is our opinion that the new stormwater management system for this site significantly improves the water quality for this portion of the shopping center. The study that follows outlines the water quality calculations. Please note that the predevelopment discharge was much higher than the post development discharge due to the introduction of French drains and dry retention area controlled by weir structures. Due to these weir structures this site no longer has a direct outfall to the receiving water.

SECTION 2

SECTION 3

STORM WATER MANAGEMENT CALCULATIONS Lakewood - Margate

A)

Landuse:

Areas outside of Wetland Boundaries
 Building Area = 4.59 Acres
 Pavement Area = 10.51 Acres
 Landscape Area = 2.11 Acres
 Dry Detention Area = 0.00 Acres
 Site Area = 17.21 Acres

B)

Specific Site Data:

Control Water Elevation = 7.00 Ft.

C)

Water Quality - Dry Pretreatment

Detain 1/2" of runoff prior to discharging into surface waters

Required

Basin

A)	Set weir crest elevation =	8.50 Ft.
	$V_{\text{required}} = \frac{1}{2}'' * (3.63 \text{ ac}) / 12 =$	0.15 AcFt
B)	Set weir crest elevation =	9.80 Ft.
	$V_{\text{required}} = \frac{1}{2}'' * (2.15 \text{ ac}) / 12 =$	0.09 AcFt
C)	Set weir crest elevation for French Drains =	9.40 Ft.
	Set weir crest elevation for swales =	10.30 Ft.
	$V_{\text{required}} = \frac{1}{2}'' * (6.84 \text{ ac}) / 12 =$	0.29 AcFt
Total:		
	Area providing dry pretreatment = $3.63 + 2.15 + 6.84 =$	12.62 acres
	Area requiring dry pretreatment = Site Area - Building Area =	
	$= 17.21 \text{ ac.} - 4.59 \text{ ac.} =$	12.62 acres
	$V_{\text{required}} = \frac{1}{2}'' * (12.62 \text{ ac}) / 12 =$	0.53 AcFt

Storm Water Management Calculations (Continued)

Provided

A) "K" Value= 1.30E-05 cfs / sq.ft.-ft.head
 Length of French Drain Provided= 948.00 Ft.
 Minimum Pavement Elevation= 11.00 Ft.
 Average High Water Level Elevation= 7.00 Ft.
 Top of Exfiltration Trench= 9.25 Ft.
 Bottom of French Drain= 3.00 Ft.
 Pipe Invert= 7.50 Ft.
 $D_u = 2.25$ Ft.
 $H_2 = 8.50 - 7.00' = 1.50$ Ft.
 $D_s = 4.00$ Ft.
 $W = 5.00$ Ft.
 $V = [(K * L / 12) * (H_2 * W + 2 * H_2 * D_u - D_u^2 + 2 * H_2 * D_s)] + [1.39 * 10^{-4} * W * D_u * L / 12]$

Volume Exfiltrated= 0.15 AcFt

$V_{provided} = 0.15$ AcFt

B) "K" Value= 1.30E-05 cfs / sq.ft.-ft.head
 Length of French Drain Provided= 593.00 Ft.
 Minimum Pavement Elevation= 11.80 Ft.
 Average High Water Level Elevation= 7.00 Ft.
 Top of Exfiltration Trench= 10.05 Ft.
 Bottom of French Drain= 1.80 Ft.
 Pipe Invert= 8.30 Ft.
 $D_u = 3.05$ Ft.
 $H_2 = 9.80 - 7.00' = 2.80$ Ft.
 $D_s = 5.20$ Ft.
 $W = 3.00$ Ft.
 $V = [(K * L / 12) * (H_2 * W + 2 * H_2 * D_u - D_u^2 + 2 * H_2 * D_s)] + [1.39 * 10^{-4} * W * D_u * L / 12]$

Volume Exfiltrated= 0.09 AcFt

$V_{provided} = 0.09$ AcFt

C)

Volume Exfiltrated= 0.07 AcFt

$$V_{\text{provided}} = 0.5 \times 9 \text{ ft.} \times (10.30 \text{ ft.} - 9.20 \text{ ft.}) \times 2005 \text{ ft.} = 0.23 \text{ AcFt}$$

$$V_{\text{provided}} = 0.07 \text{ acft} + 0.23 \text{ acft} = 0.29 \text{ AcFt}$$

$$V_{\text{provided}} = 0.15 \text{ acft} + 0.09 \text{ acft} + 0.29 \text{ acft} = 0.53 \text{ AcFt}$$

Storm Water Management Calculations (Continued)

Total Allowable Discharge:

1/2" of detention volume within 24 hours

$$Q = [1/2" * (17.21 \text{ ac.} - 4.59 \text{ ac.})] / [12 \text{ in./ft.} * (1 \text{ day})] =$$

0.53 AcFt./day

$$Q_{\text{allowable}} = 0.27 \text{ cfs}$$

Orifice Discharge:

Basin

A) $Q = 4.8 * \pi * r^2 * h^{1/2}$
 $D = 3.0 \text{ in.} = 0.25 \text{ ft.}$
 $r = 1.5 \text{ in.} = 0.13 \text{ ft.}$
Orifice Invert = 7.00 ft.
 $h = [(8.50' - 7.00') - 0.13'] = 1.375 \text{ ft.}$
 $Q = 4.8 * 3.14 * (0.13)^2 * (1.375)^{1/2} = 0.28 \text{ cfs}$
Number of Similar Orifices = 1

$$Q_{\text{design}} = 0.28 \text{ cfs}$$

B) $Q = 4.8 * \pi * r^2 * h^{1/2}$
 $D = 3.0 \text{ in.} = 0.25 \text{ ft.}$
 $r = 1.5 \text{ in.} = 0.13 \text{ ft.}$
Orifice Invert = 7.00 ft.
 $h = [(9.80' - 7.00') - 0.13'] = 2.675 \text{ ft.}$
 $Q = 4.8 * 3.14 * (0.13)^2 * (2.675)^{1/2} = 0.39 \text{ cfs}$
Number of Similar Orifices = 1

$$Q_{\text{design}} = 0.39 \text{ cfs}$$

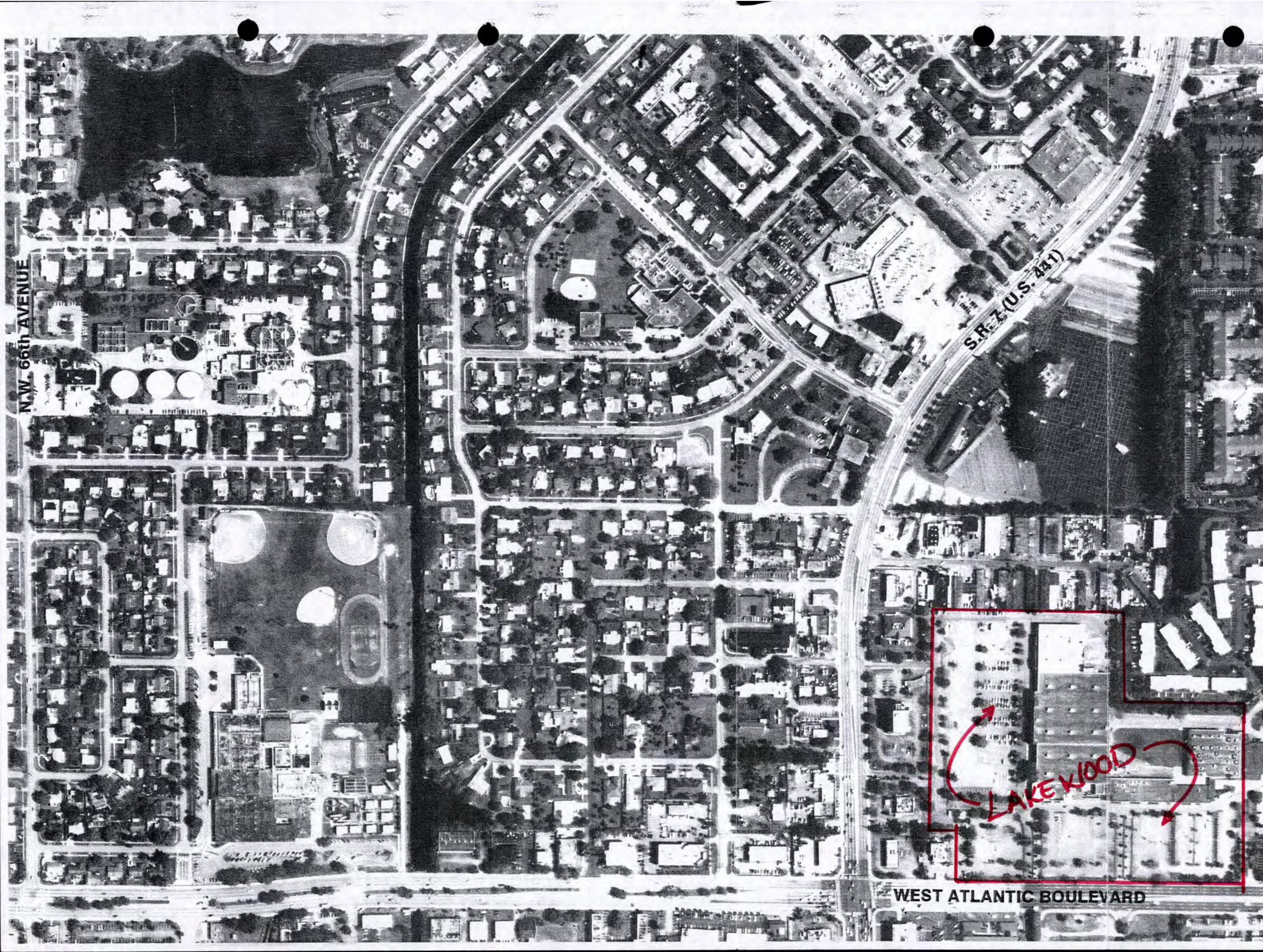
C) $Q = 4.8 * \pi * r^2 * h^{1/2}$
 $D = 3.0 \text{ in.} = 0.25 \text{ ft.}$
 $r = 1.5 \text{ in.} = 0.13 \text{ ft.}$
Orifice Invert = 7.00 ft.
 $h = [(9.40' - 7.00') - 0.13'] = 2.275 \text{ ft.}$
 $Q = 4.8 * 3.14 * (0.13)^2 * (2.275)^{1/2} = 0.36 \text{ cfs}$
Number of Similar Orifices = 1

$$Q_{\text{design}} = 0.30 \text{ cfs}$$

Total:

$$Q_{\text{design}} = 0.97 \text{ cfs}$$

Please note that the total designed discharge of 0.97 cfs is greater than the allowable discharge of 0.27 cfs for dry pretreatment using one 6 square inch orifice per basin



42

BROWARD COUNTY
FLORIDA



-010525-18

TWP 48
RNG 41
SEC 36

WEST ATLANTIC BOULEVARD

SCANNED

LETTER OF AUTHORIZATION

The undersigned do hereby swear and affirm that they are the fee simple title owners and holders of record of property commonly known as Lakewood Mall and legally described in Exhibit "A" attached hereto.

The property described herein is the subject of an application for development, zoning variances/waivers, special exceptions and/or demolition and/or building permits. We hereby designate Courtelis Company as the legal representative of the property and as such, this company is authorized to legally bind all owners of the property in the course of seeking any and all necessary approvals and permits to develop, zone or build on the property. This authority includes, but is not limited to, the execution of any and all applications relative to said development, zoning and/or construction and making any agreements or presentations relative thereto.

This authorization on behalf of the owners shall be for any such application or permits filed with any state, county or city governmental agency including, but not limited to, the City of Margate, Broward County and the South Florida Water Management District.



PAN THOMAS COURTELIS, not
individually, but only as Trustee of the
Investment Trust created under the Alec P.
Courtelis Declaration of Trust, dated April
8, 1994


DONALD L. SMITH, JR.

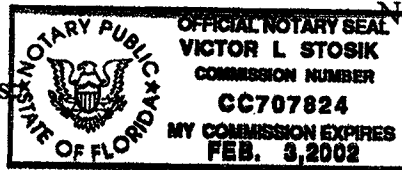
STATE OF FLORIDA)
) SS:
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 22nd day of May, 2001, by Pan Thomas Courtelis, as Trustee of the Investment Trust created under the Alec P. Courtelis Declaration of Trust, dated April 8, 1994. He is personally known to me.

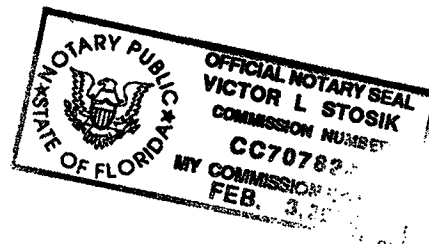
WITNESS my hand and official seal at Miami, Miami-Dade County, Florida, this 22nd day of May, 2001.

Victor L. Stosik
Name: _____
Notary Public, State of Florida

My commission expires:



STATE OF FLORIDA)
) SS:
COUNTY OF BROWARD)

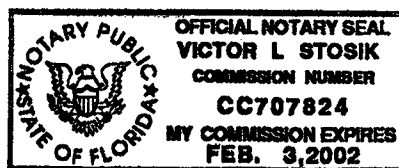


The foregoing instrument was acknowledged before me this 21st day of May, 2001, by Donald L. Smith, Jr. He is personally known to me.

WITNESS my hand and official seal at Deerfield Beach, Broward County, Florida, this 21st day of May, 2001.

Victor L. Stosik
Name: _____
Notary Public, State of Florida

My commission expires:



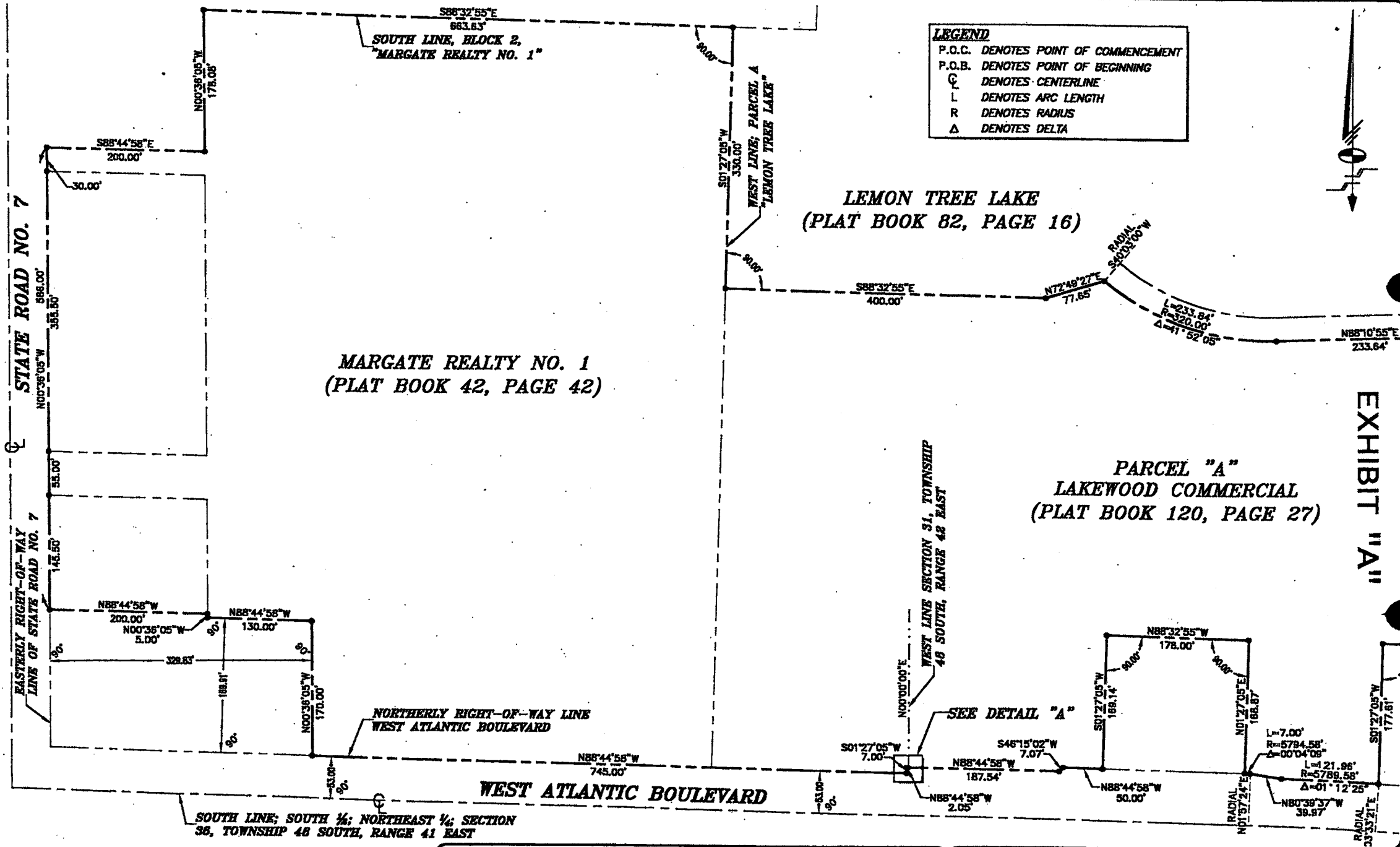


EXHIBIT "A"

LAKEWOOD

SKETCH TO ACCOMPANY LEGAL DESCRIPTION

CITY OF MARGATE, BROWARD COUNTY, FLORIDA, SECTION 31, TOWNSHIP 48 SOUTH, RANGE 42 EAST AND SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST

NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Engineer or Professional Land Surveyor

Schwebke-Shiskin & Associates, Inc.
LAND PLANNERS ENGINEERS LAND SURVEYORS
3240 CORPORATE BLVD. MIAMI, FLORIDA 33122 TEL: (305) 435-7010 FAX: (305) 435-3788
Drawn By: L.F.L. Date: 05-02-03 Checked By: A.C.T. Date: 05-02-03
Order No. 183684 PL. BOOK PAGE
Scale: 1" = 150'
Registered Engineer No. 32088, State of Florida
Firm No. COURTELS
Sheet No. 1 of 3 Sheets

LEMON TREE LAKE
(PLAT BOOK 82, PAGE 16)

LEGEND

P.O.C.	DENOTES POINT OF COMMENCEMENT
P.O.B.	DENOTES POINT OF BEGINNING
C	DENOTES CENTERLINE
L	DENOTES ARC LENGTH
R	DENOTES RADIUS
Δ	DENOTES DELTA

PARCEL "A"
LAKEWOOD COMMERCIAL
(PLAT BOOK 120, PAGE 27)

-SEE DETAIL "A"

**NORTHERLY RIGHT-OF-WAY LINE
WEST ATLANTIC BOULEVARD**

WEST ATLANTIC BOULEVARD

LAKEWOOD

SKETCH TO ACCOMPANY LEGAL DESCRIPTION

**CITY OF MARGATE, BROWARD COUNTY, FLORIDA, SECTION 31, TOWNSHIP 48 SOUTH,
RANGE 42 EAST AND SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST**

Schwebke-Shiskin & Associates, Inc.

By: <u>ALFONSO C. TELLO</u> SECRETARY/TREASURER	Drawn By: <u>L.F.L.</u> Dates: <u>05-02-01</u>	Checked By: <u>A.C.T.</u> Dates: <u>05-02-01</u>
Registered Land Surveyor No. <u>2076</u> State of Florida	Order No. <u>183684</u> FB. <u>BOOK</u> <u>PAGE</u>	Scales: <u>1" = 400'</u>
Registered Engineer No. <u>33068</u> State of Florida	File No. <u>COURTELIS</u>	Sheet No. <u>2</u> of <u>3</u> Sheets

NOTE: Authentic copies of this drawings will bear the raised seal of the attesting Professional Engineer or Professional Land Surveyor

E:\384841\Labwood\cursey\diag\Boundary.dwg

LEGAL DESCRIPTION:

A portion of "MARGATE REALTY NO. 1", according to the plat thereof, as recorded in Plat Book 42, at Page 42, TOGETHER WITH: a portion of Tract "A", "LAKEWOOD COMMERCIAL", according to the plat thereof, as recorded in Plat Book 120, at Page 27, both of the Public Records of Broward County, Florida, all being more particularly described as follows:

Commence at the centerline intersection of LAKEWOOD CIRCLE and WEST ATLANTIC BOULEVARD, both as shown on said plat of "LAKEWOOD COMMERCIAL", (said Point of Commencement being on a circular curve and bearing North 05 degrees 34 minutes 35 seconds East from the radius point of the next described curve); thence Northwesterly, along said circular curve to the left, having a radius of 5729.58 feet and a central angle of 00 degrees 20 minutes 10 seconds for an arc distance of 33.61 feet (last mentioned course being coincident with portion of the centerline of said WEST ATLANTIC BOULEVARD); thence North 05 degrees 14 minutes 25 seconds East, radial to the last described curve, for 65.00 feet to the Point of Beginning of the following described parcel of land: thence North 05 degrees 34 minutes 35 seconds East for 94.77 feet to a Point of Curvature; thence Northeasterly, along a circular curve to the left, having a radius of 1041.00 feet and a central angle of 04 degrees 07 minutes 30 seconds for an arc distance of 74.95 feet to a Point of Tangency; thence North 01 degrees 27 minutes 05 seconds East, for 11.96 feet; thence North 88 degrees 32 minutes 55 seconds West, at right angles to the last and next mentioned courses, for 179.81 feet; thence South 01 degrees 27 minutes 05 seconds West, for 177.61 feet to a point on a curve; said point bears North 03 degrees 33 minutes 21 seconds East from the radius point of the next described curve; thence Northwesterly, along said circular curve to the left, having a radius of 5789.58 feet and a central angle of 01 degrees 12 minutes 25 seconds for an arc distance of 121.96 feet to a point on said curve; thence North 80 degrees 39 minutes 37 seconds West for 39.97 feet to a point on a curve, said point bears North 01 degrees 57 minutes 24 seconds East from the radius point of the next described curve; thence Northwesterly, along said circular curve to the left, having a radius of 5794.58 feet and a central angle of 00 degrees 04 minutes 09 seconds, for an arc distance of 7.00 feet to a point on said curve (last mentioned three courses being coincident with the Northerly Right-of-Way line of said WEST ATLANTIC BOULEVARD); thence North 01 degrees 27 minutes 05 seconds East for 168.87 feet; thence North 88 degrees 32 minutes 55 seconds West, at right angles to the last and next mentioned courses, for 178.00 feet; thence South 01 degrees 27 minutes 05 seconds West for 169.14 feet; thence North 88 degrees 44 minutes 58 seconds West for 50.00 feet; thence South 46 degrees 15 minutes 02 seconds West for 7.07 feet; thence North 88 degrees 44 minutes 58 seconds West for 187.54 feet to a Point of Intersection with the West line of Section 31, Township 48 South, Range 42 East; thence continue North 88 degrees 44 minutes 58 seconds West, along the last mentioned course, for 2.05 feet; (last mentioned four courses being coincident with the Northerly Right-of-Way line of said WEST ATLANTIC BOULEVARD); thence South 01 degrees 27 minutes 05 seconds West for 7.00 feet; thence North 88 degrees 44 minutes 58 seconds West, along a line parallel with and 53.00 feet North of, as measured at right angles to, the South line of the South 1/2 of the Northeast 1/4 of Section 36, Township 48 South, Range 41 East, also being coincident in part with the Northerly Right-of-Way line of said WEST ATLANTIC BOULEVARD, for 745.00 feet; thence North 00 degrees 36 minutes 05 seconds West, along a line parallel with and 329.83 feet East of, as measured at right angles to, the Easterly Right-of-Way line of STATE ROAD NO. 7, for 170.00 feet; thence North 88 degrees 44 minutes 58 seconds West, along a line parallel with and 169.91 feet North of, as measured at right angles to, the Northerly Right-of-Way line of said WEST ATLANTIC BOULEVARD, for 130.00 feet; thence North 00 degrees 36 minutes 05 seconds West for 5.00 feet; thence North 88 degrees 44 minutes 58 seconds West for 200.00 feet; thence North 00 degrees 36 minutes 05 seconds West, along the Easterly Right-of-Way line of said STATE ROAD NO. 7, for 586.00 feet; thence South 88 degrees 44 minutes 58 seconds East, for 200.00 feet; thence North 00 degrees 36 minutes 05 seconds West, for 178.08 feet; thence South 88 degrees 32 minutes 55 seconds East, along the South line of Block 2 of the aforementioned plat of "MARGATE REALTY NO. 1", for 663.63 feet; thence South 01 degrees 27 minutes 05 seconds West, at right angles to the last and next described courses, for 330.00 feet, (last mentioned course being coincident with the Westerly Boundary line of Parcel "A", "LEMON TREE LAKE", according to the plat thereof, as

recorded in Plat Book 82 at Page 16, of the Public Records of Broward County, Florida); thence South 88 degrees 32 minutes 55 seconds East for 400.00 feet; thence North 72 degrees 49 minutes 27 seconds East for 77.65 feet to a point on a curve, said point bears South 40 degrees 03 minutes 00 seconds West, from the radius point of the next described curve, (last mentioned two courses being coincident with the common Boundary lines of said plats of "LEMON TREE LAKE" and "LAKEWOOD COMMERCIAL"); thence Southeasterly, Easterly and Northeasterly, along a circular curve to the left, having a radius of 320.00 feet and a central angle of 41 degrees 52 minutes 05 seconds for an arc distance of 233.84 feet to a Point of Tangency; thence North 88 degrees 10 minutes 55 seconds East for 233.64 feet to a Point of Curvature; thence Northeasterly, along a circular curve to the left, having a radius of 530.00 feet and a central angle of 10 degrees 10 minutes 49 seconds for an arc distance of 94.17 feet to a Point of Tangency; thence North 78 degrees 00 minutes 06 seconds East for 230.51 feet to a Point of Curvature; thence Northeasterly, Easterly and Southeasterly, along a circular curve to the right, having a radius of 570.00 feet and a central angle of 96 degrees 03 minutes 45 seconds for an arc distance of 955.67 feet; (last mentioned five courses being coincident with a portion of the Southerly and Southwesterly Right-of-Way line of LAKESIDE DRIVE, as shown on the said plat of "LAKEWOOD COMMERCIAL"); thence North 88 degrees 32 minutes 55 seconds West for 178.34 feet; thence South 01 degrees 27 minutes 05 seconds West for 265.00 feet to a point on a curve, said point bears North 12 degrees 47 minutes 13 seconds East from the radius point of said curve; thence Northwesterly, along said circular curve to the left, being 60.00 feet Northerly of and concentric with said centerline of WEST ATLANTIC BOULEVARD, having a radius of 5789.58 feet and a central angle of 00 degrees 15 minutes 11 seconds for an arc distance of 25.57 feet to a point on said curve; thence North 70 degrees 28 minutes 31 seconds West for 39.97 feet to a point on a curve; said point bears North 12 degrees 08 minutes 30 seconds East from the radius point of said curve; thence Northwesterly, along a circular curve to the left, being 65.00 feet Northerly of and concentric with said centerline of WEST ATLANTIC BOULEVARD, having a radius of 5794.58 feet and a central angle of 02 degrees 19 minutes 25 seconds for an arc distance of 235.00 feet to a point on said curve; thence South 54 degrees 49 minutes 05 seconds West for 7.07 feet to a point on a curve; said point bears North 09 degrees 46 minutes 07 seconds East from the radius point of the next described curve; thence Northwesterly, along a circular curve to the left, being 60.00 feet Northerly of and concentric with the said centerline of WEST ATLANTIC BOULEVARD, having a radius of 5789.58 feet and a central angle of 01 degrees 43 minutes 25 seconds for an arc distance of 174.17 feet; thence North 74 degrees 57 minutes 50 seconds West for 39.97 feet to a point on a curve; said point bears North 07 degrees 39 minutes 10 seconds East from the radius point of the next described curve; thence Northwesterly, along said circular curve to the left, having a radius of 5794.58 feet and a central angle of 02 degrees 24 minutes 45 seconds for an arc distance of 243.99 feet to the Point of Beginning (last mentioned seven courses being coincident with a portion of the Northerly Right-of-Way line of said WEST ATLANTIC BOULEVARD). All lying and being in Section 36, Township 48 South, Range 41 East and Section 31, Township 48 South, Range 42 East, City of Margate, Broward County, Florida.

NOTES:

- 1) The bearings as shown hereon are based on an assumed bearing of North 88 degrees 44 minutes 58 seconds West along the South line of the South 1/2 of the Northwest 1/4 of Section 36, Township 48 South, Range 41 East as shown on the said plat of "LAKEWOOD COMMERCIAL".
- 2) Ordered BY: The Courtelis Company

LAKEWOOD LEGAL DESCRIPTION

CITY OF MARGATE, BROWARD COUNTY, FLORIDA, SECTION 31, TOWNSHIP 48 SOUTH,
RANGE 42 EAST AND SECTION 36, TOWNSHIP 48 SOUTH, RANGE 41 EAST

NOTE: Authentic copies of this drawings will bear the raised seal of the attesting Professional Engineer or Professional Land Surveyor

X:\884841\LakeWood\survey\dwg\Boundary.dwg

Schwebke-Shiskin & Associates, Inc.	
3240 CORPORATE BLVD MIRAMAR, FLORIDA 33029 TEL (305) 438-7010 FAX (305) 438-5288	LAND PLANNING ENGINEER LAND SURVEYOR
By: ALFONSO C. TELLO Registered Land Surveyor No. 20728 - State of Florida Registered Engineer No. 22088 - State of Florida	Secretary/Treasurer Order No. 183684 PB. BOOK PAGE File No. COURTELIS
Drawn By: L.F.L. Date: 05-02-01 Checked By: A.C.T. Date: 05-02-01 Scale: N.T.S.	Sheet No. 3 of 3 Sheets

OWNER(S) OF LAND	ENTITY TO RECEIVE PERMIT (IF OTHER THAN OWNER)
NAME Pan Thomas Courtelis, Trustee of Alex P. Courtelis Investment Trust and Don Smith	NAME
ADDRESS 701 Brickell Avenue, Suite 1400	ADDRESS
CITY, STATE, ZIP Miami, FL 33131	CITY, STATE, ZIP
COMPANY AND TITLE N/A	COMPANY AND TITLE
TELEPHONE (305) 379-8467 FAX (305) 381-7875	TELEPHONE () FAX ()
AGENT AUTHORIZED TO SECURE PERMIT (IF AN AGENT IS USED)	CONSULTANT (IF DIFFERENT FROM AGENT)
NAME Elias Vassilaros	NAME Luis F. Leon
COMPANY AND TITLE Courtelis Company, Executive Vice President	COMPANY AND TITLE Schwebke-Shiskin & Associates, Inc.
ADDRESS 701 Brickell Avenue, Suite 1400	ADDRESS 3240 Corporate Way
CITY, STATE, ZIP Miami, FL 33131	CITY, STATE, ZIP Miramar, FL 33025
TELEPHONE (305) 379-8467 FAX (305) 381-7875	TELEPHONE (954) 435-7010 FAX (954) 438-3288

Name of project, including phase if applicable Lakewood
 Is this application for part of a multi-phase project? ☒ yes ☐ no
 Total applicant-owned area contiguous to the project 45.51 ac
 Total project area for which a permit is sought 17.21 ac
 Impervious area for which a permit is sought 15.10 ac
 What is the total area (metric equivalent for federally funded projects) of work in, on, or over wetlands or other surface waters?
0.00 acres _____ square feet _____ hectares _____ square meters
 Number of new boat slips proposed. 0

Project location (use additional sheets, if needed)
 County(ies) Broward
 Section(s) 36 Township 48 Range 41 (C-14) (25-year) (no local district) (69.2 CSM)
 Section(s) _____ Township _____ Range _____
 Land Grant name, if applicable _____
 Tax Parcel Identification Number _____
 Street address, road, or other location Northeast intersection of West Atlantic Boulevard and State Road No. 7
 City, Zip Code if applicable Margate, FL

By signing this application form, I am applying, or I am applying on behalf of the applicant, for the permit and any proprietary authorizations identified above, according to the supporting data and other incidental information filed with this application. I am familiar with the information contained in this application and represent that such information is true, complete and accurate. I understand this is an application and not a permit, and that work prior to approval is a violation. I understand that this application and any permit issued or proprietary authorization issued pursuant thereto, does not relieve me of any obligation for obtaining any other required federal, state, water management district or local permit prior to commencement of construction. I agree, or I agree on behalf of my corporation, to operate and maintain the permitted system unless the permitting agency authorizes transfer of the permit to a responsible operation entity. I understand that knowingly making any false statement or representation in this application is a violation of Section 373.430, F.S. and 18 U.S.C. Section 1001.

Elias Vassilaros

Typed/Printed Name of Applicant (If no Agent is used) or Agent (If one is so authorized below)

Signature of Applicant/Agent

5/21/01
Date

Executive Vice President of Courtelis Company

(Corporate Title if applicable)

AN AGENT MAY SIGN ABOVE ONLY IF THE APPLICANT COMPLETES THE FOLLOWING:

I hereby designate and authorize the agent listed above to act on my behalf, or on behalf of my corporation, as the agent in the processing of this application for the permit and/or proprietary authorization indicated above; and to furnish, on request, supplemental information in support of the application. In addition, I authorize the above-listed agent to bind me, or my corporation, to perform any requirement which may be necessary to procure the permit or authorization indicated above. I understand that knowingly making any false statement or representation in this application is a violation of Section 373.430, F.S. and 18 U.S.C. Section 1001.

Pan Thomas Courtelis

Typed/Printed Name of Applicant

Signature of Applicant/Agent

See attached authorization

Date

Trustee of Alex P. Courtelis Investment Trust and Don Smith

(Corporate Title if applicable)

Please note: The applicant's original signature (not a copy) is required above.

PERSON AUTHORIZING ACCESS TO THE PROPERTY MUST COMPLETE THE FOLLOWING:

I either own the property described in this application or I have legal authority to allow access to the property, and I consent, after receiving prior notification, to any site visit on the property by agents or personnel from the Department of Environmental Protection, the Water Management District and the U.S. Army Corps of Engineers necessary for the review and inspection of the proposed project specified in this application. I authorize these agents or personnel to enter the property as many times as may be necessary to make such review and inspection. Further, I agree to provide entry to the project site for such agents or personnel to monitor permitted work if a permit is granted.

Elias Vassilaros

Typed/Printed Name of Applicant

Signature of Applicant/Agent

5/21/01
Date

Executive Vice President of Courtelis Company

(Corporate Title if applicable)

SECTION B
INFORMATION FOR NOTICED
GENERAL ENVIRONMENTAL RESOURCE PERMITS

INSTRUCTIONS: To qualify for a Noticed General Permit (NGP) for specific activities, the project must strictly comply with all of the terms, conditions, requirements, limitations and restrictions applicable to the desired NGP. A summary of the types of NGP's available is contained in Attachment 1. Carefully review the rule section of the NGP for which you are applying to ensure that your project meets the requirements of that NGP. **PLEASE PROVIDE THE INFORMATION REQUIRED BELOW ON PAPER NO LARGER THAN 2' x 3'.**

1. Indicate the project boundaries on a USGS quad map, reduced or enlarged as necessary to legibly show the entire project. If not apparent from the quad map, provide a location map (in sufficient detail to allow a person unfamiliar with the site to find it), containing a north arrow and a graphic scale and showing the boundary of the proposed activity and Section(s), Township(s), and Range(s).
2. A legible site plan showing the following features:
 - a) property boundaries and dimensions
 - b) name and location of any adjoining public streets or roads
 - c) location and dimensions of all existing structures
 - d) label all impervious and pervious area and indicate their size (area)
 - e) please provide arrows indicating the direction of drainage from the proposed improvements
 - f) locations of all proposed works
 - g) permanent and temporary erosion, sedimentation and turbidity controls
 - h) boundaries of wetlands and other surface waters, identifying open water areas
 - i) boundary area and volume of all temporary and permanent earthwork, including pre and post construction grades
3. Description of wetland or aquatic habitat .
4. Construction methods and schedule.
5. Additional information that would show that you qualify for the general permit, addressing all the parameters, thresholds and conditions required in the general permit. Errors and omissions will be identified within 30 days by the processing agency.
6. Provide the rule section number of the NGP for which you are applying.

SECTION C

Environmental Resource Permit Notice of Receipt of Application

This information is required in addition to that required in other sections of the application. Please submit five copies of this notice of receipt of application and all attachments with the other required information. **PLEASE SUBMIT ALL INFORMATION ON PAPER NO LARGER THAN 2' x 3'.**

Project Name: Lakewood

County: Broward

Owner: Pan Thomas Courtelis, Trustee of Alex P. Courtelis and Don Smith

Applicant: Elias Vassilaros, Executive Vice President of Courtelis Company

Applicant's Address: 701 Brickell Avenue, Suite 1400 Miami, FL 33131

1. Indicate the project boundaries on a USGS quadrangle map. Attach a location map showing the boundary of the proposed activity. The map should also contain a north arrow and a graphic scale; show Section(s), Township(s), and Range(s); and must be of sufficient detail to allow a person unfamiliar with the site to find it.
2. Provide the names of all wetlands, or other surface waters that would be dredged, filled, impounded, diverted, drained, or would receive discharge (either directly or indirectly), or would otherwise be impacted by the proposed activity, and specify if they are in an Outstanding Florida Water or Aquatic Preserve:
3. Attach a depiction (plan and section views), which clearly shows the works or other facilities proposed to be constructed. Use multiple sheets, if necessary. Use a scale sufficient to show the location and type of works.
4. Briefly describe the proposed project (such as "construct a deck with boatshelter", "replace two existing culverts", "construct surface water management system to serve 150 acre residential development"):
5. Specify the acreage of wetlands or other surface waters, if any, that are proposed to be disturbed, filled, excavated, or otherwise impacted by the proposed activity:
6. Provide a brief statement describing any proposed mitigation for impacts to wetlands and other surface waters (attach additional sheets if necessary):

FOR AGENCY USE ONLY

Application Name:

Application Number:

Office where the application can be inspected:

FOR AGENCY USE ONLY	
ACOE Application # _____	DEP/WMD Application # _____
Date Application Received _____	Date Application Received _____
Proposed Project Lat. _____ " _____ N _____ O	Fee Received _____
Proposed Project Long. _____ " _____ N _____ O	\$ _____
	Fee Receipt # _____

SECTION A

Are any of the activities described in this application proposed to occur in, on, or over wetlands or other surface waters?

☐ yes ☒ no

Is this application being filed by or on behalf of a government entity or drainage district?

☐ yes ☒ no

A. Type of Environmental Resource Permit Requested (check at least one)

- ☐ Noticed General - include information requested in Section B.
- ☐ Standard General (Single Family Dwelling)-include information requested in Sections C and D.
- ☒ Standard General (all other projects) - include information requested in Sections C and E.
- ☐ Individual (Single Family Dwelling) - include information requested in Sections C and D.
- ☐ Individual (all other projects) - include information requested in Sections C and E.
- ☐ Conceptual - include information requested in Sections C and E.
- ☐ Mitigation Bank Permit (construction) - include information requested in Section C and F.
(If the proposed mitigation bank involves the construction of a surface water management system requiring another permit defined above, check the appropriate box and submit the information requested by the applicable section.)
- ☐ Mitigation Bank (conceptual) - include information requested in Section C and F.

B. Type of activity for which you are applying (check at least one)

- ☒ Construction or operation of a new system including dredging or filling in, on or over wetlands and other surface waters.
- ☐ Alteration or operation of an existing system which was not previously permitted by a WMD or DEP.
- ☐ Modification of a system previously permitted by a WMD or DEP. Provide previous permit numbers. _____
- ☐ Alteration of a system ☐ Extension of permit duration ☐ Abandonment of a system
- ☐ Construction of additional phases of a system ☐ Removal of a system

C. Are you requesting authorization to use State Owned Lands. ☐ yes ☐ no (If yes include the information requested in Section G.)

D. For activities in, on or over wetlands or other surface waters, check type of federal dredge and fill permit requested:

- ☐ Individual ☐ Programmatic General
- ☐ General ☐ Nationwide ☒ Not Applicable

E. Are you claiming to qualify for an exemption? ☐ yes ☒ no If yes provide rule number if known. _____



Form 0971
08/95

**FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION/
WATER MANAGEMENT DISTRICTS/
U.S. ARMY CORPS OF ENGINEERS**

**JOINT APPLICATION FOR
ENVIRONMENTAL RESOURCE PERMIT/
AUTHORIZATION TO USE
STATE OWNED SUBMERGED LANDS/
FEDERAL DREDGE AND FILL PERMIT**



Form 0971

INSTRUCTIONS FOR JOINT APPLICATION FOR ENVIRONMENTAL RESOURCE PERMIT/AUTHORIZATION TO USE STATE OWNED SUBMERGED LANDS/FEDERAL DREDGE AND FILL PERMIT

INTRODUCTION

Attached is a joint application for:

- 1) activities regulated under Part IV of Chapter 373, F.S.;
- 2) activities which require authorization to use state owned submerged lands; and
- 3) activities which require a federal dredge and fill permit.

Certain activities may qualify for an exemption. If an activity qualifies for an exemption, an application is not required, although the use of this application form is the most expeditious way for the agencies to make the determination that the activity qualifies for an exemption. Attachment 2 lists activities and type of permit required for each activity.

If you have any questions please contact the staff of the nearest office of either the Florida Department of Environmental Protection (DEP) or a Water Management District (WMD).

PROCESSING AGENCY/DISTRICT SERVICE CENTERS

The Department of Environmental Protection ("Department" or "DEP") permits some types of activities, and the Water Management Districts ("WMDs") permits others. See Attachment 1, DEP/WMD Permitting Responsibilities, if you do not know which agency should receive your application. Environmental Resource Permit Applications shall be made to the appropriate District/Department Service Center serving the area in which the activity is proposed. Attachment 4 designates the appropriate Services Centers for each geographic area.

COPIES/APPLICATION FEES

Submit an original signed application form plus **four** copies of the form, and **five** complete sets of all the requested drawings and other information to the appropriate DEP or WMD office. Submit the appropriate fee with your application. Application fees are listed in Attachment 3.

DISTRIBUTION TO THE U.S. ARMY CORPS OF ENGINEERS

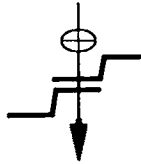
When activities are proposed in, on or over wetlands or other surface waters, a copy of the application will be forwarded to the Army Corps of Engineers (ACOE) by the reviewing agency. The ACOE will advise you of any additional information required to obtain a federal dredge and fill permit. It is not necessary for the applicant to submit a separate application to the ACOE. The information requested in this application form may be more than required to make a complete application to the Corps. However, it is useful and essential for subsequent evaluation. Reducing unnecessary paperwork and delays is a continuing Corps goal.

DISTRIBUTION TO THE DEP FOR STATE LAND APPROVAL

If the applicant checks the box to request authorization to use state owned lands, the WMD will forward a copy of the application to the DEP, which will process the state land approval. Additionally, if at any time during the processing of the application, it appears that the proposed activities may take place on state owned lands, the WMD will send a copy of the application to DEP. For an explanation of state land approval see Attachment 5.



Schwebke-Shiskin



& Associates, Inc.



Robert F. Jackson, P.S.M.
Alfonso C. Tello, P.E., P.S.M.
Ronald A. Fritz, P.S.M.
Pierre E. Calvet, P.S.M.
Raul E. Barreto, P.S.M.
Txomin M. Ibarluzea, P.S.M.

LAND SURVEYORS - ENGINEERS - LAND PLANNERS
3240 CORPORATE WAY - MIRAMAR, FLORIDA 33025
BROWARD PHONE: (954) 435-7010
DADE PHONE: (305) 652-7010
BROWARD FAX: (954) 438-3288 • DADE FAX: (305) 652-8284
WWW.SHISKIN.COM

Brett V. De Falco, P.S.M.
Ken W. Groce, P.E.
Hernando J. Navas, P.E.
Brian S. Bower, P.S.M.
Michael J. Alley, P.S.M.

May 24, 2001

-010525-18

RECEIVED

MAY 25 2001

ENV RES REGULATION

Mr. Carlos de Rojas, P.E. Supervising Professional
Surface Water Management Div
South Florida Water Management District
3301 Gun Club Road
West Palm Beach, Florida 33406

Re: Lakewood Plaza, Broward County, Florida

Dear Carlos:

Enclosed please find the following items dealing with the Environmental Resource Permit Application for the above referenced project.

1. A Check in the amount of \$2,000.00.
2. (5) copies of the Aerial Photograph marking the site boundaries.
3. (5) copies of the Application.
4. (5) copies of the Letter of Authorization.
5. (5) copies of the Stormwater Management Study.
6. (5) copies of the Ownership Statement.
7. (5) copies of the Paving and Drainage Plan.

Please process these documents through your Department for a Surface Water Management Permit. If you have any questions regarding this information, please do not hesitate to call.

Sincerely,

Schwebke-Shiskin & Associates, Inc.

Alfonso C. Tello, P.E., P.L.S.
Secretary/Treasurer

ACT/ld

T:/Lynda/al/letters/sfwmd/ACT carlos derojas.3

VICTOR L. STOSIK

ATTORNEY AT LAW

701 BRICKELL AVENUE

SUITE 1400

MIAMI, FLORIDA 33131-2822

TELEPHONE

(305) 379-8467

BROWARD (305) 525-8291

FAX (305) 381-7875

-010525-18

May 21, 2001

South Florida Water
Management District

**Re: Lakewood Mall
N/E/C State Road 7 and West Atlantic Boulevard
Margate, Broward County, Florida**

To Whom it May Concern:

The undersigned is a member of the Florida Bar and is in good standing.

Based upon title information provided to me by Chicago Title Insurance Company and First American Title Insurance Company, the owners of Lakewood Mall, which is described on Exhibit "A" attached to this letter, as of the date of this letter are Donald L. Smith, Jr., and Pan Thomas Courtelis, as Trustee of the Investment Trust created under the Alec P. Courtelis Declaration of Trust, dated April 8, 1994.

Respectfully yours,



Victor L. Stosik

VLS/cem

Enclosure



SOUTH FLORIDA WATER MANAGEMENT DISTRICT

3301 Gun Club Road, West Palm Beach, Florida 33406 • (561) 686-8800 • FL WATS 1-800-432-2045 • TDD (561) 697-2574
Mailing Address: P.O. Box 24680, West Palm Beach, FL 33416-4680 • www.sfwmd.gov

(receipt)

Receipt No. 0000047857 - 0001

Refer to Application: 010525-18
Project Name : LAKEWOOD

COURTELIS COMPANY
701 BRICKELL AVENUE SUITE 1400
MIAMI, FL 33131

REVENUE ACCOUNT CODE	RECEIPT OF PERMIT APPLICATION TYPE OF APPLICATION	FEE AMOUNT		
4615	ERP GENERAL PERMIT STANDARD GEN. PERMIT - NEW	\$2,000.00		
ITEM	TRANS TYPE	DATE RECEIVED	CHECK NO	AMOUNT RECEIVED
1	PAYMENT MADE BY APPLICANT	05/25/2001	42194	\$2,000.00
			BALANCE DUE	\$0.00

PROCESSED BY : LSCRAGG
DATE : May 29, 2001
BRANCH OFFICE : WPB

c: Applicant
Accounting
Control
File

GOVERNING BOARD

Nicolás J. Gutiérrez, Jr., Esq., *Chairman*
Trudi K. Williams, *Vice-Chair*
Pamela Brooks-Thomas

Michael Collins
Hugh M. English
Gerardo B. Fernández

Patrick J. Gleason
Lennart E. Lindahl
Harkley R. Thornton

EXECUTIVE OFFICE

Frank R. Finch, P.E., *Executive Director*

SCANNED



SOUTH FLORIDA WATER MANAGEMENT DISTRICT

3301 Gun Club Road, West Palm Beach, Florida 33406 • (561) 686-8800 • FL WATS 1-800-432-2045 • TDD (561) 697-2574
Mailing Address: P.O. Box 24680, West Palm Beach, FL 33416-4680 • www.sfwmd.gov

NOTICE

May 30, 2001

Subject: Environmental Resource Permit Application
Application No. 010525-18
Applicant Lakewood
Broward County, S 36/T 48 S/R 41 E

The South Florida Water Management District is currently processing the attached application. If you have any comments or objections concerning this project, please submit them in writing to this office within 30 days of receipt of this notice.

This is also an opportunity for applicable State agencies to concur with or object to the proposed project under the federal consistency provision of the Coastal Zone Management Act. Review must be in accordance with the procedures adopted by the Interagency Management Committee on October 25, 1989. Findings of inconsistency must describe how the project conflicts with your agency's statutory authorities in the Florida Coastal Management Program and provide alternative measures, if any, which would make the project consistent. Commenting agencies must provide a copy of all consistency comments letters to the Florida Coastal Management Program Director, Department of Community Affairs, 2555 Shumard Oak Boulevard, Tallahassee, Florida 32399-2100.

Please refer to the applicants name and application number as referenced above in any correspondence to help facilitate processing. Questions concerning this project should be addressed to Rob Robbins at (561) 682-6951 or Tony Waterhouse at (561) 682-6867.

BAC:ls

Attachments

c: US Army Corps of Engineers
Bureau of Protected Species Management
Department of State, Division of Historical Resources
Regional Planning Council
Department of Community Affairs

GOVERNING BOARD

Nicolás J. Gutiérrez, Jr., Esq., *Chairman*
Trudi K. Williams, *Vice-Chair*
Pamela Brooks-Thomas

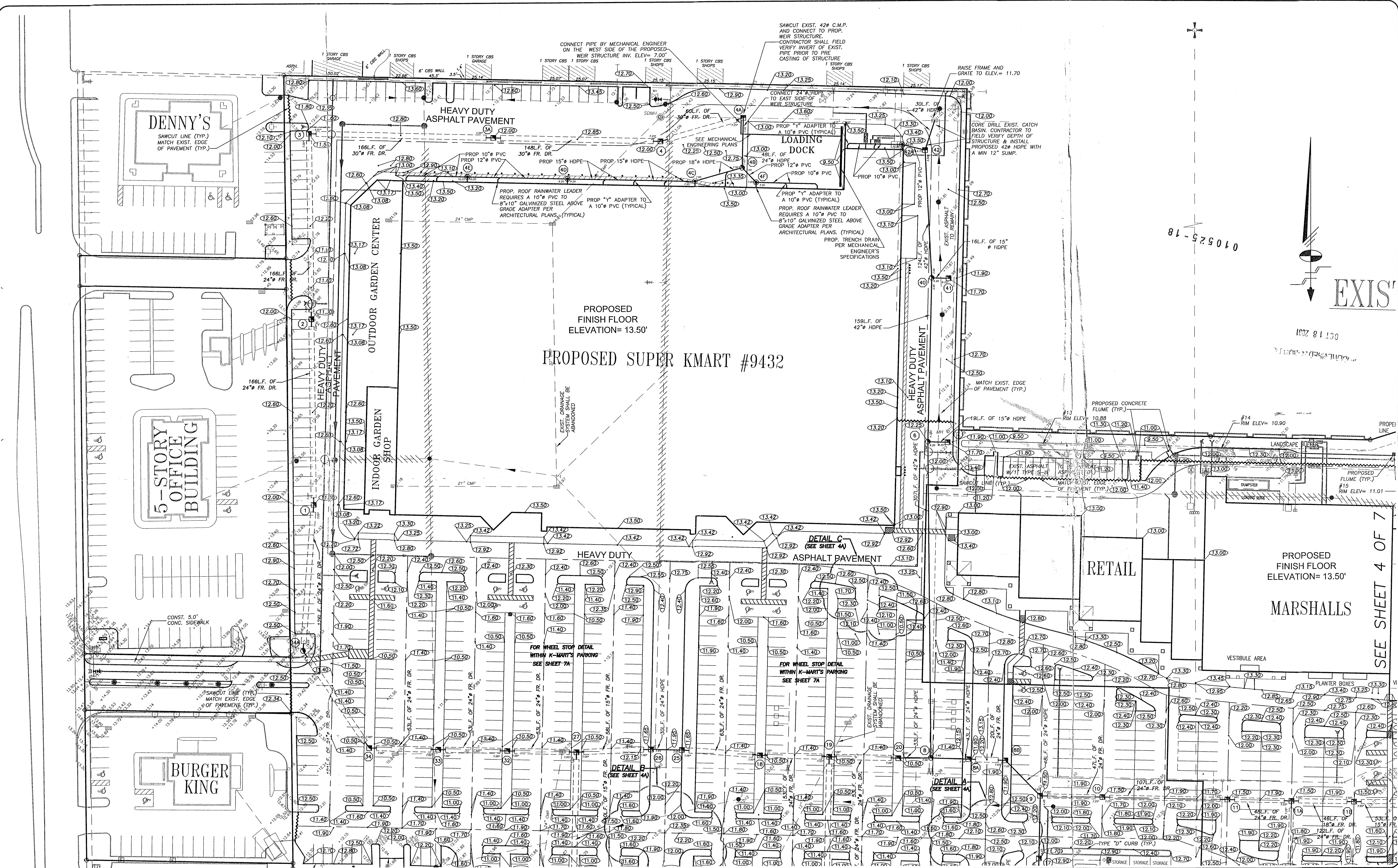
Michael Collins
Hugh M. English
Gerardo B. Fernández

Patrick J. Gleason
Lennart E. Lindahl
Harkley R. Thornton

EXECUTIVE OFFICE

Frank R. Finch, P.E., *Executive Director*

SCANNED



K:\364841\Lakewood 2\Paving and Drainage\dwg\Paving and Drainage Plan.dwg

LAKEWOOD
PAVING, GRADING, AND DRAINAGE PLAN
PHASE I

CITY OF MARGATE, FLORIDA, SECTION 36 TOWNSHIP 48 RANGE 41

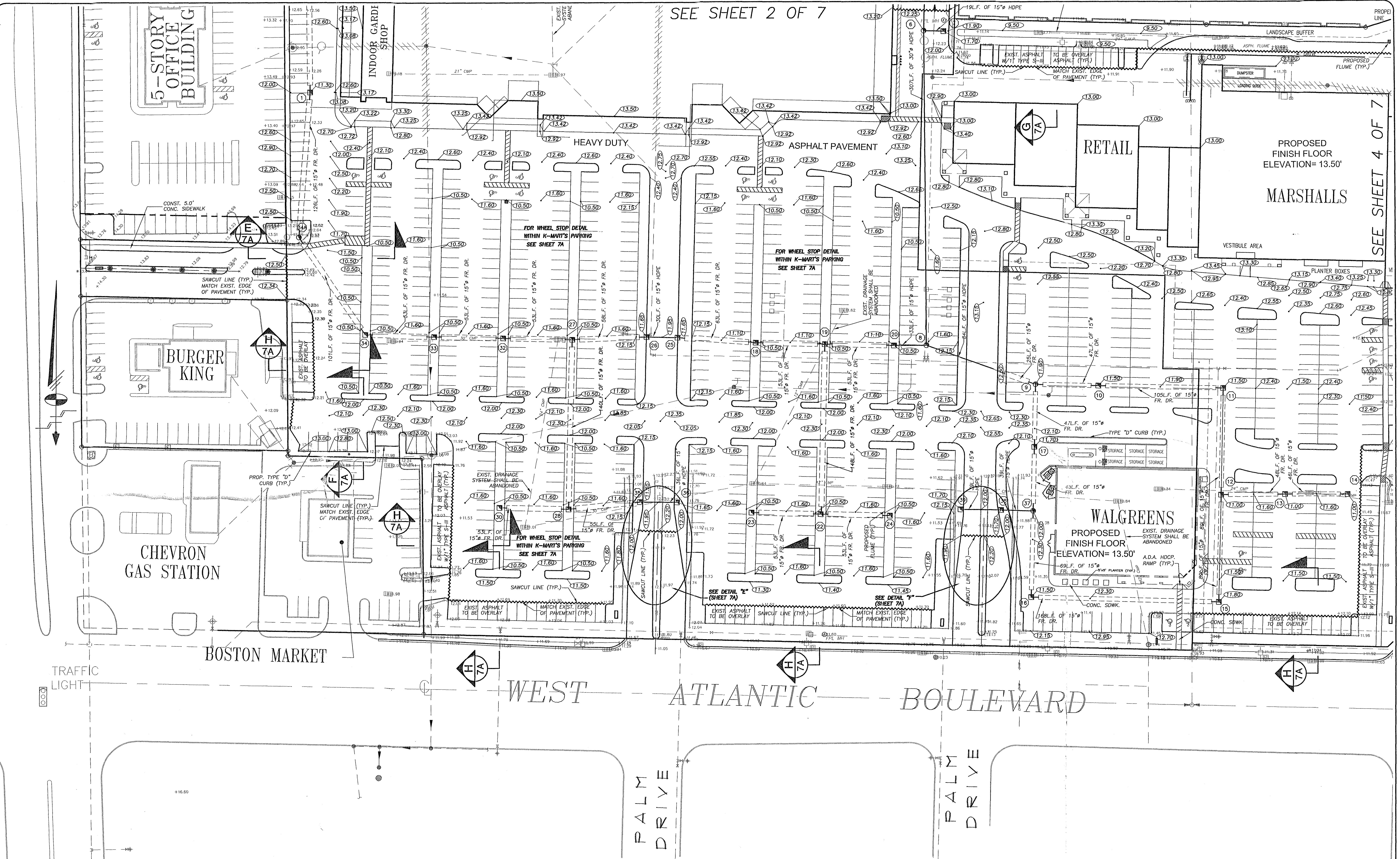
Schwelke-Shiskin & Associates, Inc.
LAND PLANNERS ENGINEERS LAND SURVEYORS
3240 CORPORATE WAY, MIRAMAR, FLORIDA 33025 TEL: (954)430-7010 FAX: (954)430-3288

By: ALFONSO C. TELLO SEC./TREASURER
Registered Land Surveyor No. 2978 State of Florida
Registered Engineer No. 32068 State of Florida

Drawn By: L.F.L. Date: 04-26-2001 Checked By: A.C.T. Date: 04-26-2001

Order No. 183684 FB. Sketches & 00000 Pg. 00 Scale: 1" = 40'

File No. MC-438 Sheet No. PD-2 OF 7



K:\364841\Lakewood 2\Paving and Drainage\dwg\Paving and Drainage Plan.dwg

NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Land Surveyor or Professional Engineer.

REVISIONS		
Date	Remarks	By
05/21/01	REVISIONS TO PROVIDE WATER QUALITY	L.F.L.
05/22/01	REVISIONS PURSUANT TO D.R.C. MEETING	J.G.H.
07/10/01	GENERAL REVISIONS	L.F.L.
08/14/01	REVISIONS PER SRMD COMMENTS	L.F.L.
01/14/01	" " " " " "	L.F.L.

LAKEWOOD
PAVING, GRADING, AND DRAINAGE PLAN
PHASE I
CITY OF MARGATE, FLORIDA, SECTION 36 TOWNSHIP 48 RANGE 41

Schwebke-Shiskin & Associates, Inc. LAND PLANNERS ENGINEERS LAND SURVEYORS 3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)496-7010 FAX: (954)498-3288		
By: ALFONSO C. TELLO SEC/TREASURER Registered Land Surveyor No. 2978 State of Florida Registered Engineer No. 32068 State of Florida	Drawn By: L.F.L. Date: 04-28-2001 Order No. 183684 FR. 00000 Pg. 00 File No. MC-438	Checked By: A.C.T. Date: 04-28-2001 Scale: 1" = 40' Sheet No. PD-3 OF 7

PROPOSED SUPER KMART #9432

SEE SHEET 2 OF 7

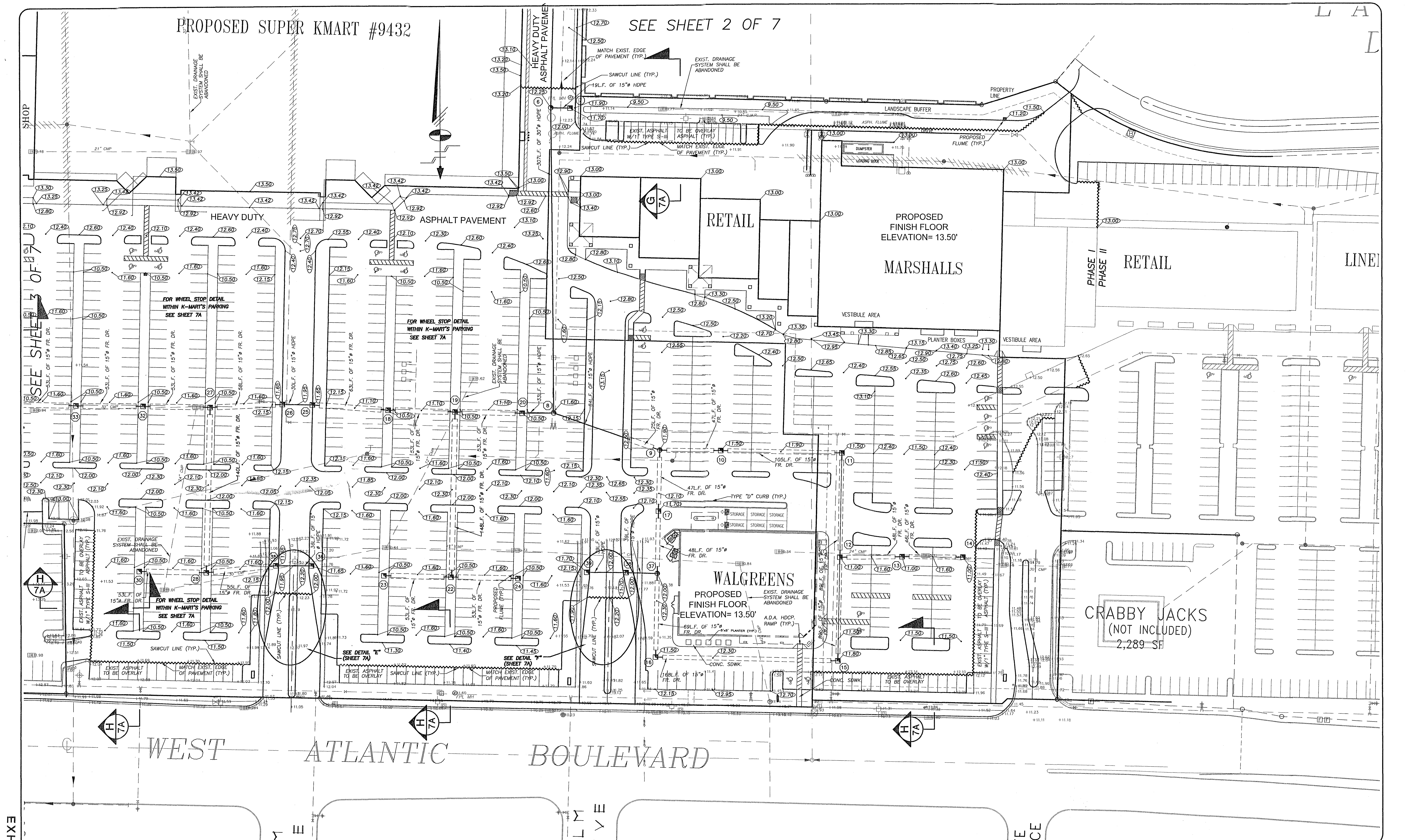


EXHIBIT 4

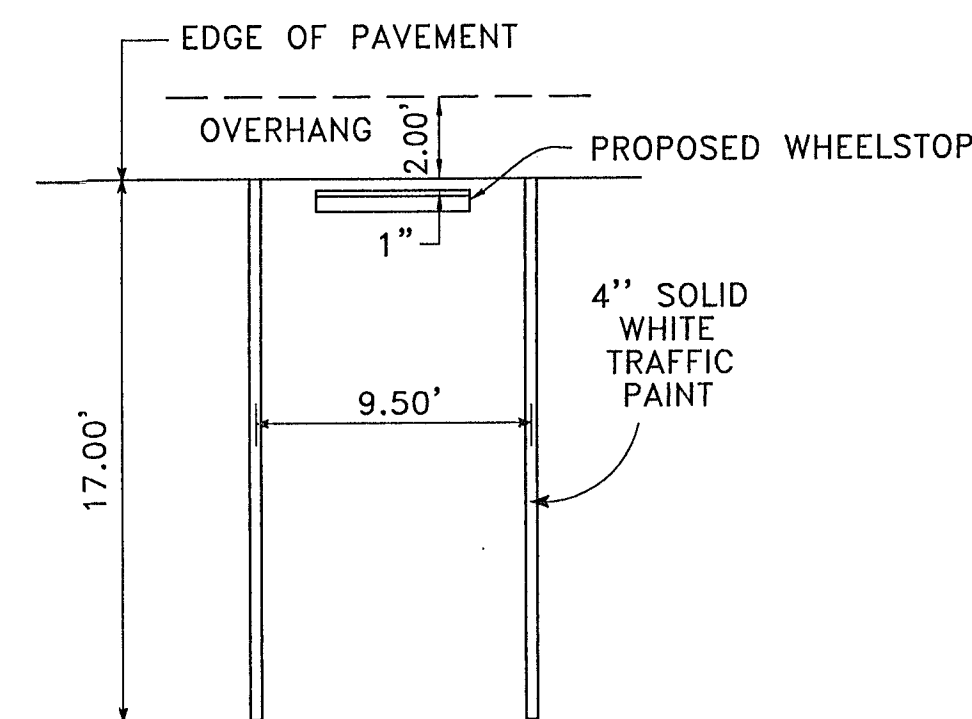
REVISIONS		
Date	Remarks	By
08/21/01	REVISIONS TO PROVIDE WATER QUALITY	L.F.L.
08/22/01	REVISIONS PURSUANT TO D.R.C. MEETING	J.G.R.
07/10/01	GENERAL REVISIONS	L.F.L.
06/14/01	REVISIONS PER STWD COMMENTS	L.F.L.
01/14/01	" " " " " "	G.P.A.

NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Land Surveyor or Professional Engineer.

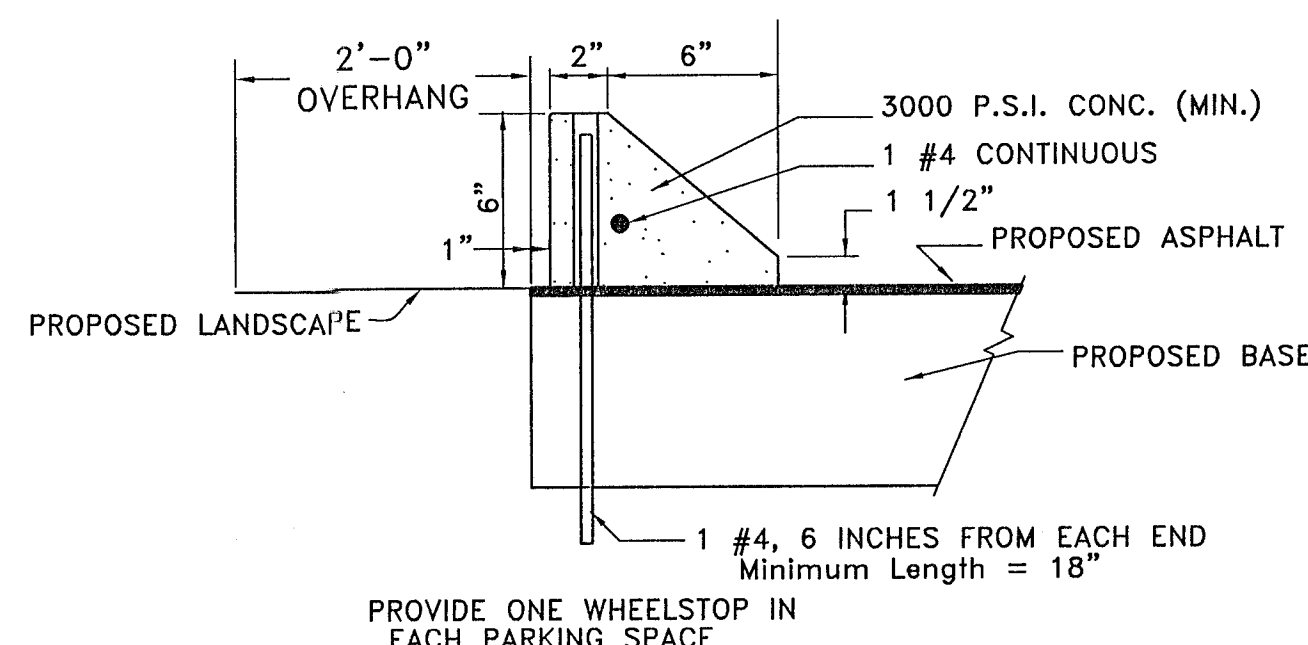
LAKEWOOD
PAVING, GRADING, AND DRAINAGE PLAN
PHASE I
CITY OF MARGATE, FLORIDA, SECTION 36 TOWNSHIP 48 RANGE 41

Schwabke-Shiskin & Associates, Inc.
LAND PLANNERS ENGINEERS LAND SURVEYORS
3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)436-7010 FAX: (954)436-3288

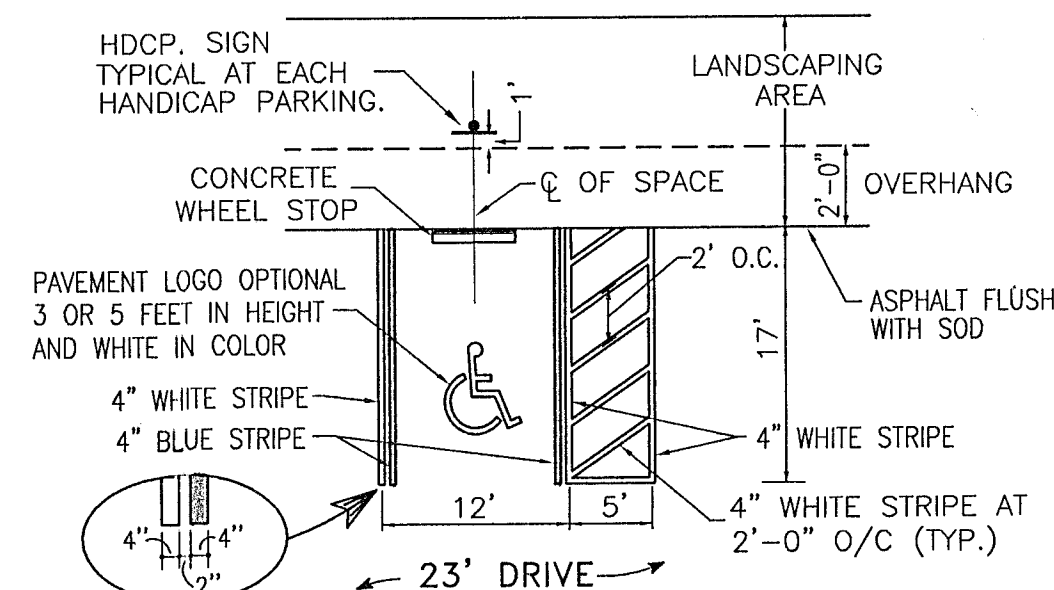
By: ALFONSO C. TELLO	SEC/TREASURER	Drawn By: L.F.L.	Date: 04-28-2001	Checked By: A.C.T.	Date: 04-28-2001
Registered Land Surveyor No. 2978	State of Florida	Order No. 193684	FD. 00000	Sketches & Pg. 00	Scale: 1" = 40'
Registered Engineer No. 32068	State of Florida	File No. MC-438			Sheet No. PD-4 OF 7



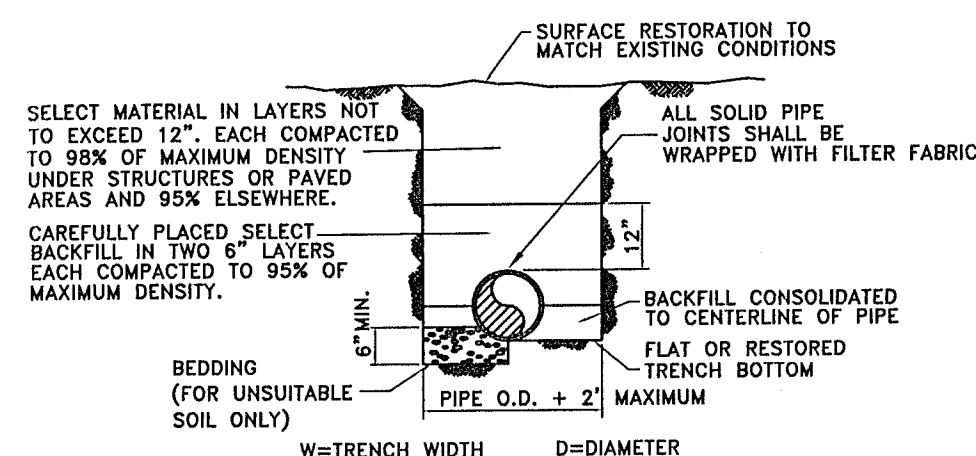
STANDARD PARKING SPACE DETAIL
N.T.S.



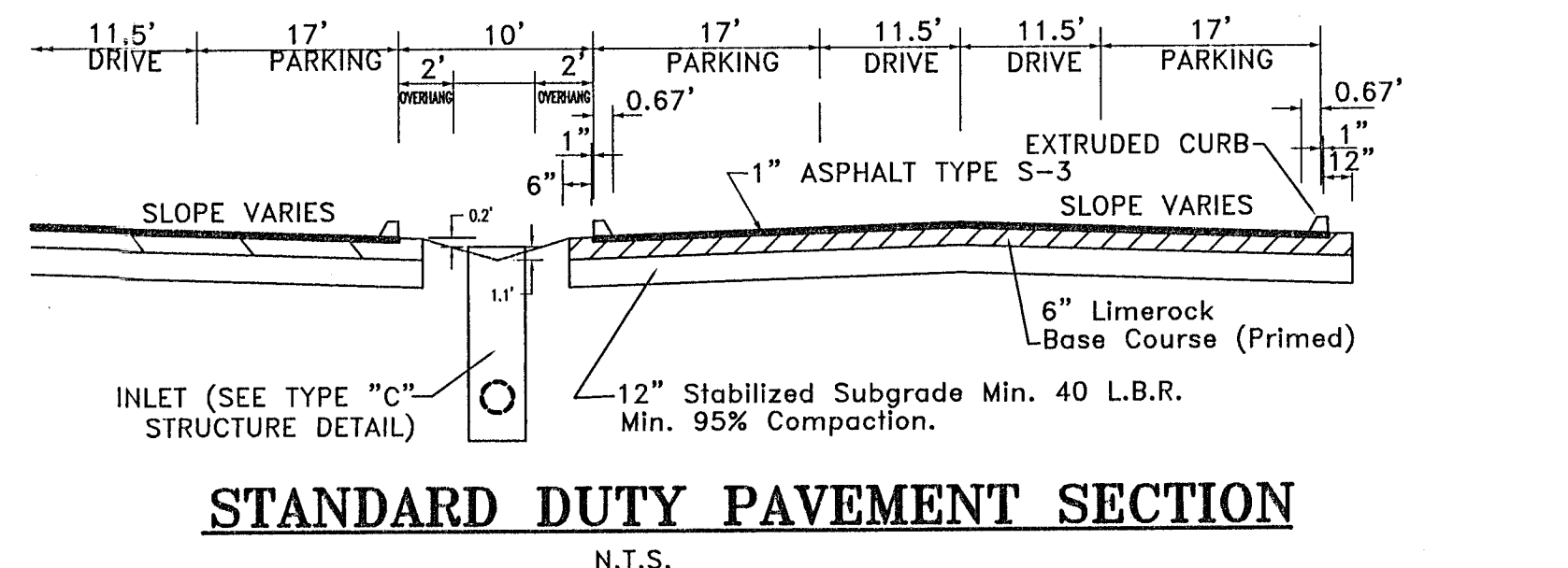
WHEEL STOP DETAIL
N.T.S.



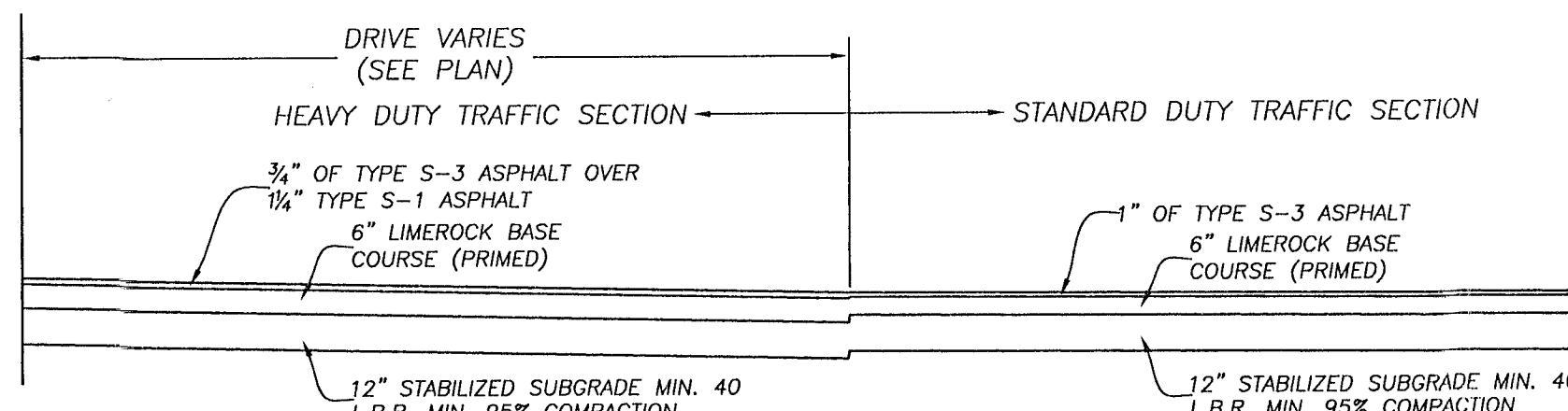
HANDICAP PARKING SPACE DETAIL
PER FDOT INDEX No. 17346
N.T.S.



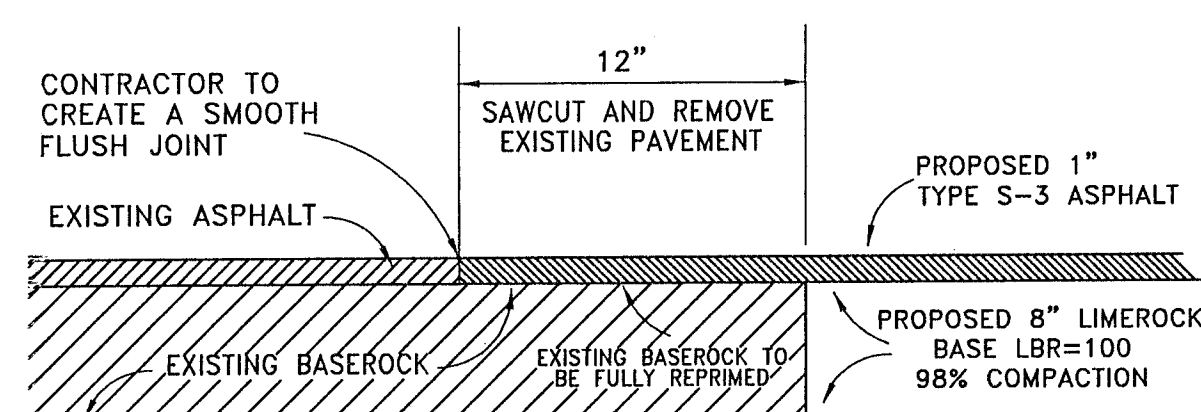
TRENCH DETAIL
N.T.S.



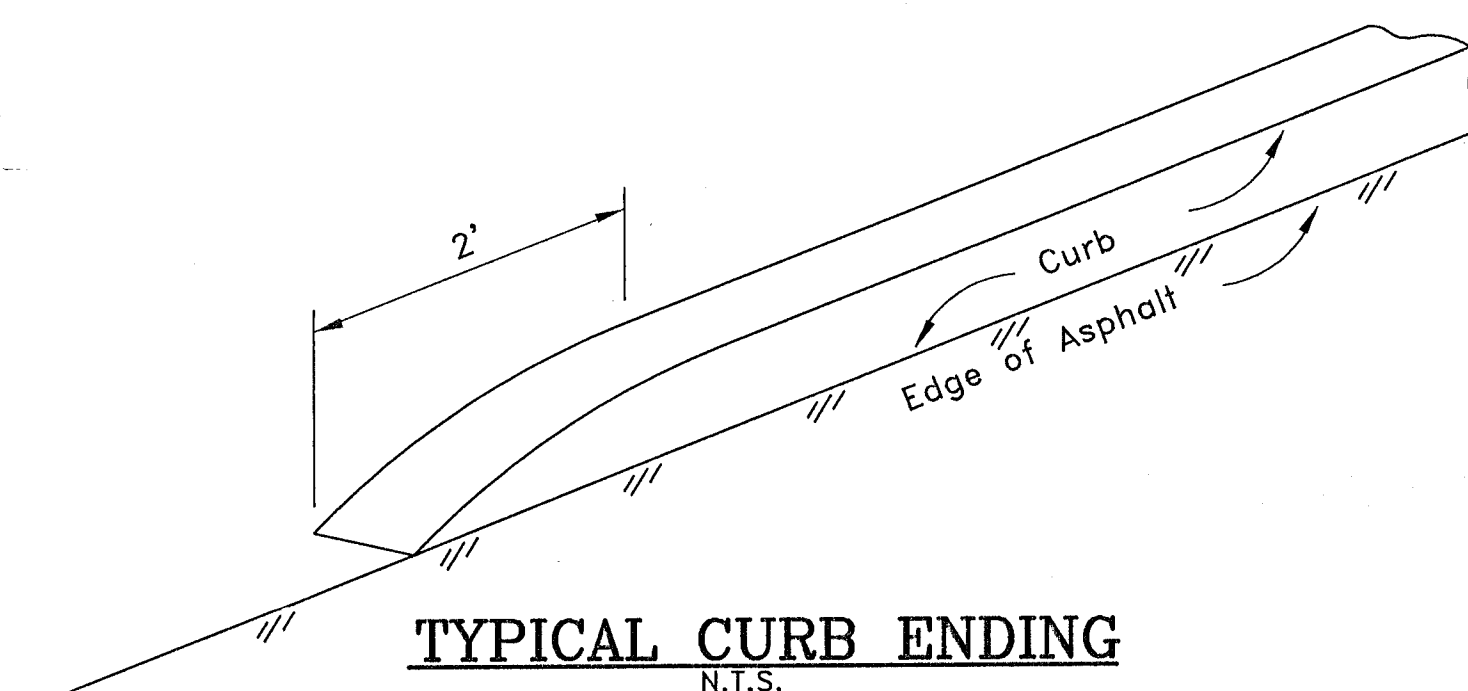
STANDARD DUTY PAVEMENT SECTION
N.T.S.



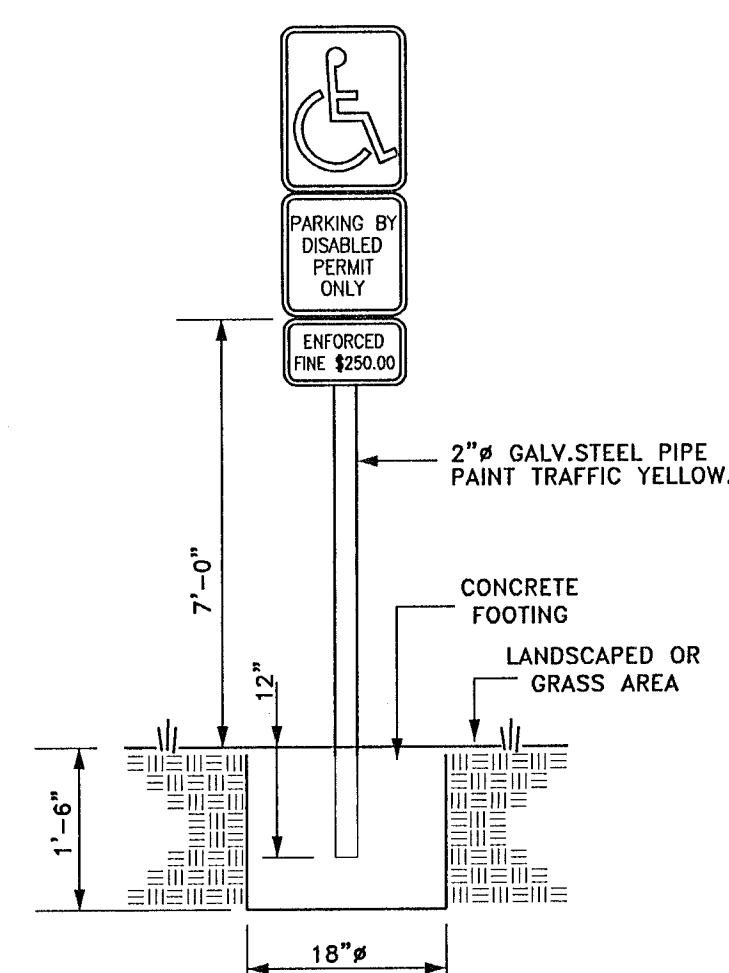
HEAVY DUTY PAVEMENT SECTION



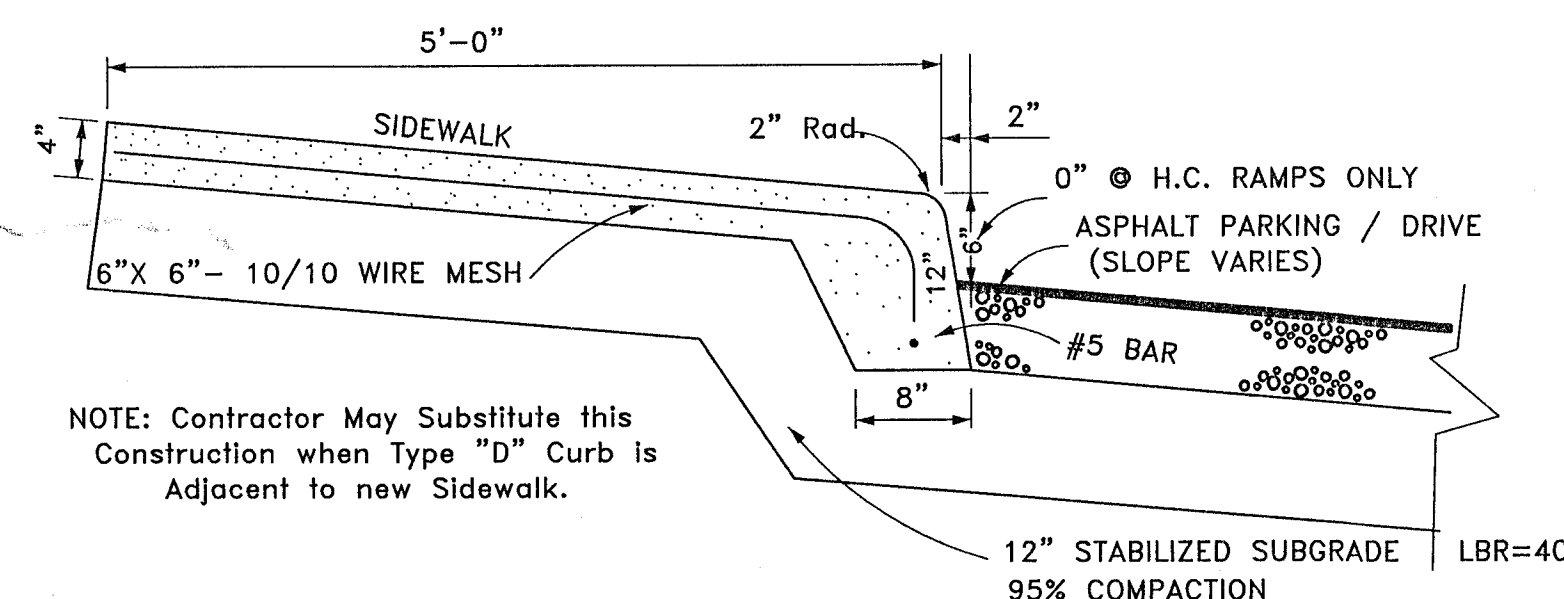
DETAIL FOR MATCHING EXISTING PAVEMENT
(BUTT JOINT)
N.T.S.



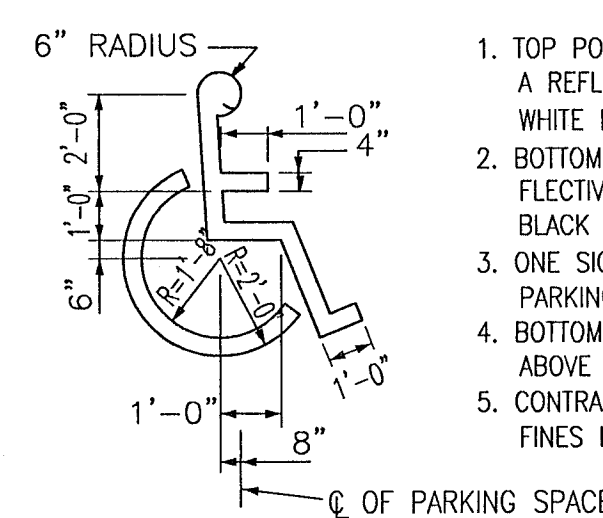
TYPICAL CURB ENDING
N.T.S.



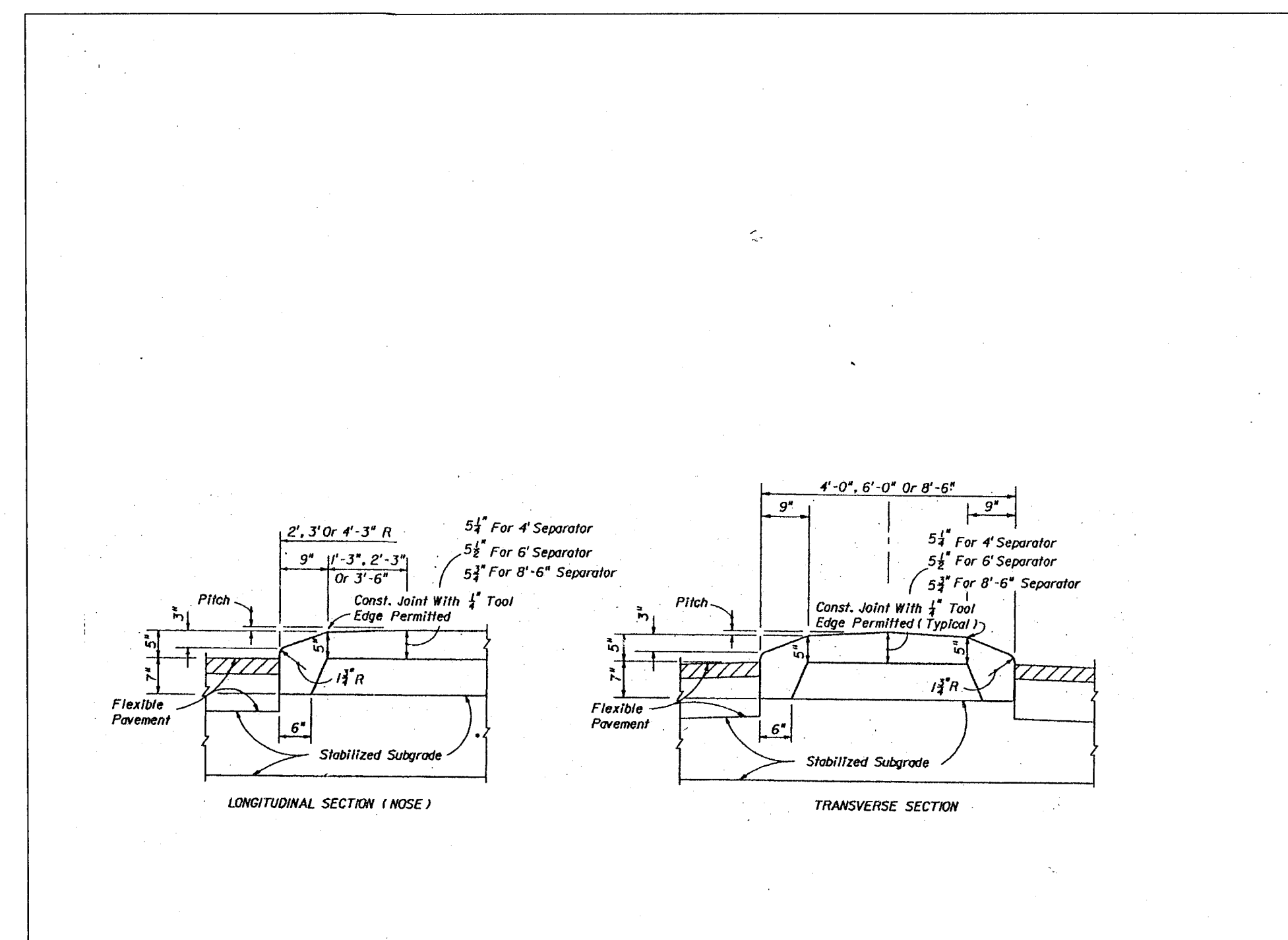
HANDICAPPED SIGN INSTALLATION



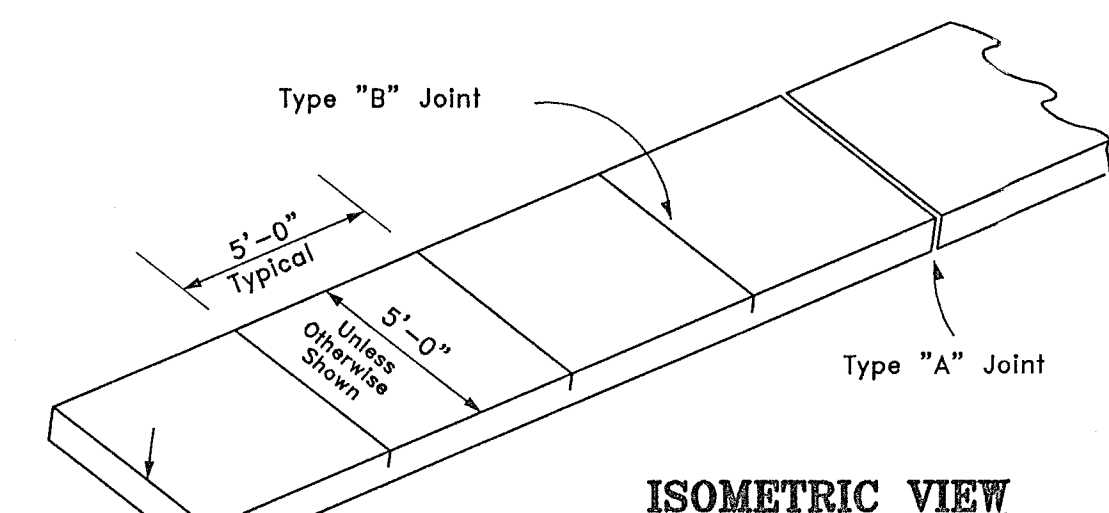
CURB CONNECTION DETAIL
N.T.S.



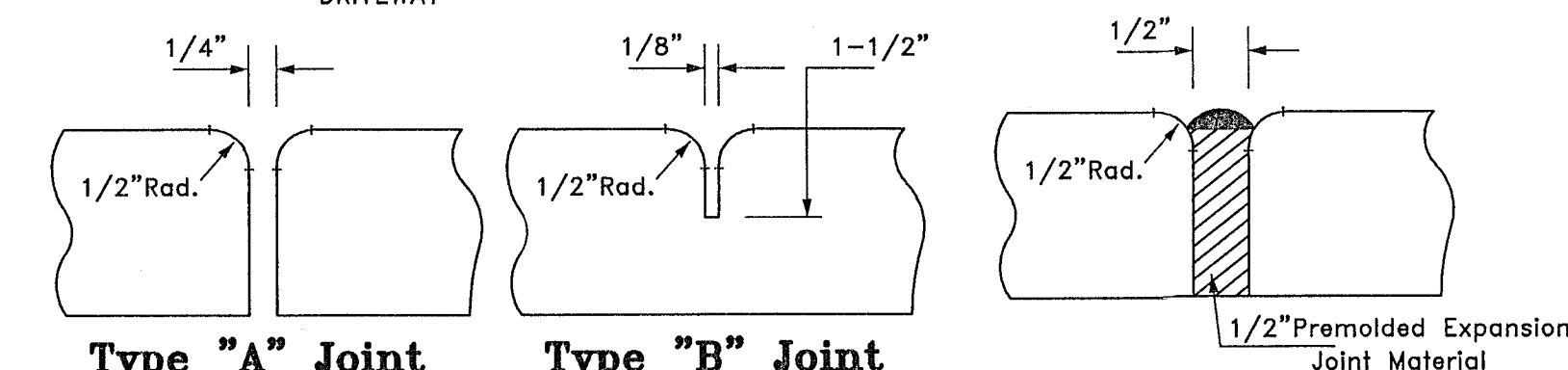
HANDICAP SIGN AND SYMBOL DETAIL
PER FDOT INDEX No. 17355 & 17346
N.T.S.



MOUNTABLE CURB DETAIL
N.T.S.

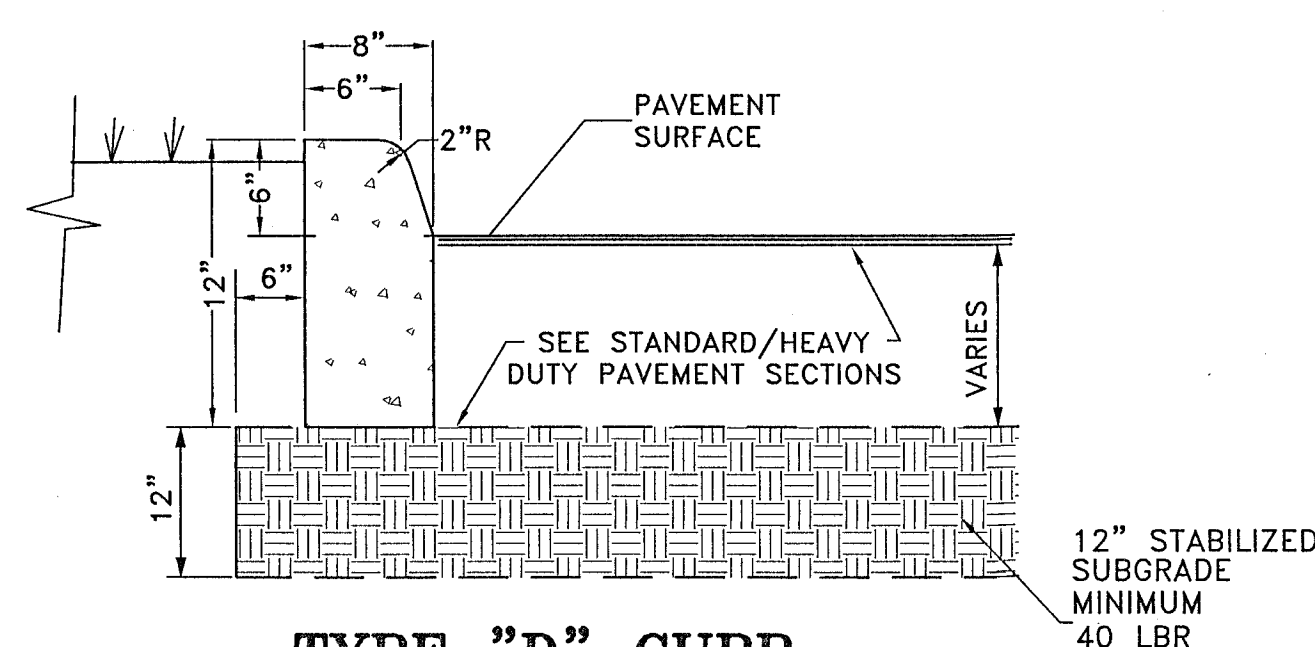


ISOMETRIC VIEW



TYPE "A" Joint
all P.C. & P.T.s of Sidewalk, Junctions with Existing Sidewalk, & 20 L.F. Intervals.
TYPE "B" Joint
5 L.F. Intervals
TYPE "C" Joint
Where Sidewalk Abuts Driveways and Concrete Curbs etc.

SIDEWALK DETAILS
N.T.S.



TYPE "D" CURB
N.T.S.

REVISIONS		
Date	Remarks	By
09/04/01	GENERAL REVISIONS	L.F.L.
09/25/01	REVISIONS PURSUANT TO D.R.C. MEETING	L.F.L.
07/10/01	CONSTRUCTION DRAWINGS REVISIONS	L.F.L.

LAKEWOOD
PAVING, GRADING & DRAINAGE DETAILS
SEC. 36, TWP. 48, RNG. 41, MARGATE, FLORIDA

Schwebke-Shiskin & Associates, Inc.
LAND PLANNERS ENGINEERS LAND SURVEYORS
3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)435-7010 FAX: (954)438-3288

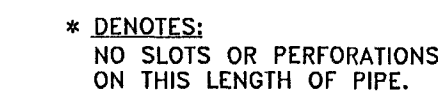
By: **ALFONSO C. TELLO** SECRETARY-TREASURER
Registered Engineer No. 32068 State of Florida

SEP 14 2001
Drawn By: H.D. Date: 04-28-01
Order No. 183010 FB. Sketches & 00000 Pg. 00
Scale: N.T.S.
File No. **MC-438**
Sheet No. PD-5 of 7 Sheets

NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Land Surveyor or Professional Engineer.

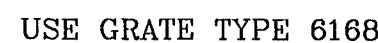
- ALL ELEVATIONS REFER TO N.G.V.D. (1929).
2. ALL WORK SHALL CONFORM TO THE CITY OF MARGATE PUBLIC WORKS REGULATIONS AND STANDARDS BROWARD COUNTY SURFACE WATER MANAGEMENT REGULATIONS AND STANDARDS AND FLORIDA D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION
3. LIME ROCK BASE COURSE: AT LEAST 97% (BY WEIGHT) OF THE MATERIAL SHALL PASS A 3.5" SIEVE AND NO MORE THAN 70% SHALL PASS A 3/4" SIEVE AND THE MATERIAL SHALL BE GRADUATED UNIFORMLY DOWN TO DUST. ALL CRUSHING WHICH MIGHT BE NECESSARY IN ORDER TO MEET SUCH SIZE REQUIREMENT SHALL BE DONE BEFORE THE MATERIAL IS PLACED ON THE PARKING & DRIVES AREA.
4. MATERIAL HAVING A LIME ROCK BEARING RATIO (L.B.R.) LESS THAN 100 WILL NOT BE ALLOWED FOR BASE MATERIAL. STABILIZED SUB-BASE SHALL HAVE A MIN. L.B.R.= 40 UNDER ALL ASPHALT AREAS.
5. BASE MATERIAL SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR COMPACTION TEST, PER AASHTO T-180 METHOD. SUB-BASE MATERIAL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR COMPACTION TEST, PER AASHTO T-180 METHOD.
6. PRIME COAT ON LIME ROCK BASE COURSE SHALL MEET F-D.O.T. STANDARD AS SET FORTH IN SECTION 300.
7. ASPHALTIC CONCRETE SHALL BE OF TYPE S-3. TYPE S-3 ASPHALTIC CONCRETE SHALL MEET F-DOT STANDARD SPECIFICATIONS AS SET FORTH IN SECTION 331, UNLESS SPECIFIED OTHERWISE.
8. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND/OR BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BEGINNING ANY CONSTRUCTION OPERATIONS.
9. TRAFFIC MARKING, STRIPING AND SIGNS TO BE IN CONFORMANCE WITH BROWARD COUNTY SPECIFICATIONS AND MANUAL ON UNIFORM TRAFFIC DEVICES.
10. IN THE EVENT THAT UNSUITABLE SOILS (MUCK) ARE FOUND WITHIN THE LIMITS OF THE PROPOSED PARKING LOT & DRIVES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL SOILS TO ITS FULL DEPTH. THE EXCAVATED MATERIAL SHALL BE SUBSTITUTED WITH 40 LBR SOILS COMPACTED TO 95% IN 12" LAYERS.
11. CONTRACTOR:
 - a. COORDINATE YOUR WORK WITH WATER & SEWER CONTRACTOR TO AVOID POTENTIAL CONFLICTS.
 - b. IF EXISTING IMPROVEMENTS ARE DAMAGED, RESTORE THEM TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 - c. NOTIFY ALL UTILITY COMPANIES BEFORE STARTING WORK.
 - d. YOU ARE SOLELY RESPONSIBLE FOR COORDINATING AND GIVING NOTICE OF REQUIRED INSPECTIONS. IN DOING THIS HONOR THE LEAD TIME NEEDS OF THE RESPECTIVE AGENCIES.
12. ALL DISPOSAL MATERIAL, RUBBISH AND DEBRIS SHALL BE MADE AT LEGAL DISPOSAL SITE OR BY OTHER PRIOR APPROVED MANAGER. MATERIAL CLEARED FROM THE PROJECT AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED SATISFACTORILY. NO SEPARATE PAYMENT WILL MADE FOR THIS.
13. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL THE FINAL ACCEPTANCE OF THE OWNER , ENGINEER OF RECORD, CITY OF MARGATE, AND BROWARD COUNTY.
14. DENSITY TEST SHALL BE PERFORMED EVERY 7000 S.F. FOR BASE AND SUB-BASE. SAID TEST SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR HIS APPROVAL.
15. CORE DRILLED SAMPLES WILL BE PERFORMED TO INSURE THAT THE THICKNESS OF MATERIAL ARE MET AS CALLED FOR IN THIS PLANS. THE CONTRACTOR WILL BE RESPONSIBLE TO INSURE THAT THE DESIGN THICKNESS ARE MET
16. ALL DRAINAGE STRUCTURES SHALL HAVE A MIN. SUMP OF 12" MEASURED FROM LOWEST PIPE INVERT, UNLESS SPECIFIED OTHERWISE. ALL DRAINAGE STRUCTURES SHALL BE PLACED OVER 12" OF 3/4" ASPHALT.
17. ALL PIPE BEDDING SHALL BE OF GOOD GRANULAR QUALITY, FREE OF EXCESSIVE FINES, AN OPEN GRADED STONE, NOT LARGER THAN 3/4" IS RECOMMENDED. PIPE BEDDING SHALL BE PLACED IN A MINIMUM OF 12" THICKNESS.
18. TRENCHES SHALL BE BACK FILLED WITH APPROVED MATERIAL FREE OF LARGE LOGS, STONES OR ROCKS, AND CAREFULLY DEPOSITED AND COMPACTED IN LAYERS NOT TO EXCEED 6" UNTIL ENOUGH FILL HAS BEEN PLACED TO PROVIDE A COVER OF NOT LESS THAN ONE FOOT ABOVE THE PIPE. THE REMAINING OF BACK FILL MATERIAL SHALL BE PLACED IN 12" LAYERS MOISTENED AND COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR TEST AS PER AASHTO T-180 METHOD.
19. INLETS AND MANHOLE LOCATION DICTATE OVER CULVERTS LENGTHS; FOR EXACT LOCATION OF STRUCTURES
20. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DRAINAGE STRUCTURES, PIPES, GRATES AND RELATED MATERIAL TO THE ENGINEER OF RECORD FOR HIS APPROVAL PRIOR TO INSTALLATION.
21. AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL CERTIFY THAT THE DRAINAGE SYSTEM IS CLEAN OF DEBRIS OR ANY OTHER FOREIGN OBJECT. THE SITE SHALL BE CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
22. ALL PIPE CALLED HDPE OR CPP TO BE HIGH STRENGTH CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR. PIPE SHALL MEET AASHTO M294 TYPE 36. SPECIFICATION FOR CORRUGATED POLYETHYLENE PIPE, 12 TO 36 IN DIAMETER, ASTM D1248, ASTM D3350 & ASTM F405.
PIPE INSTALLATION FOR C.P. SHALL BE IN ACCORDANCE WITH ASTM 2321: STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE.
PIPE SHALL BE ADS N-12, HANCOR HI-Q OR APPROVED EQUAL.

NOTES: ** DENOTES WEIR BAFFLE REQUIRED



N.T.S.

NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Land Surveyor or Professional Engineer.



N.T.S.



N.T.S



N.T.S.

NOTE: DESIGN WATER ELEVATION= 7.00' N.G.V.D.

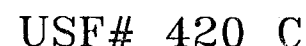
NOTES:

1. PLASTIC FILTER FABRIC (AT EACH SIDE, TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS, AND/OR AS DIRECTED BY THE ENGINEER.
2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 'D' BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR FULL SETTLEMENT. THAT ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH WILL BE CONFORMANT IN ACCORDANCE WITH THE STATE.
4. INVERT ELEVATION TO BE AS SHOWN IN THE STRUCTURE TABLE
AVERAGE OCTOBER GROUND WATER ELEV.=7.00
5. FILTER FABRIC SHALL BE FILTER X, POLY FILTER X, FILTERWEEVE 70, EXCON GTF-400E, MIRAFI 7000, BELTON AEF 650W, OR ARMOCO 1199.

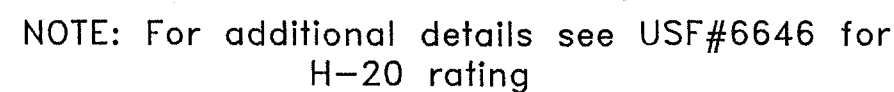
1. ALL STORM DRAINAGE STRUCTURES SHALL BE EQUIPPED WITH FILTER CLOTH SUPPORTED BELOW THE GRATE/INLET WITH WIRE MESH OR A SIMILAR SYSTEM UPON INSTALLATION OF THE BASIN TIPS ON SITE. THE FILTER CLOTH FABRIC IS NOT TO BE REMOVED OR PERFORATED/DISTURBED FROM THE BASINS UNTIL LANDSCAPING, SOD INSTALLATION, PAVEMENT/CURBING INSTALLATION, STRIPING, AND SWEEPING IS COMPLETED ON THE ENTIRE SITE.
2. ALL STRUCTURES SHALL BE VACUUMED CLEAN OF ALL SILT, SAND, AND DEBRIS BEFORE FINAL ACCEPTANCE BY THE ENGINEER AND THE OWNER.
3. ALL STORM DRAINAGE PIPE (PERFORATED OR NON-PERFORATED) WILL BE INSTALLED AND MAINTAINED CLEAN AND CLEAR OF DEBRIS, ROCK, SAND AND SILT.
4. CONTRACTOR(S) SHALL BE CAUTIONED THAT INTRODUCTION OF SUCH MATERIALS AS CONSTRUCTION MATERIALS, CONCRETE AND STUCCO SLURRY OR WASHOFF MATERIALS FROM THESE OPERATIONS, PAINT AND PAINTING ACTIVITY INGREDIENTS, OILS, HYDRAULIC FLUIDS, FUELS AND OR ANY OTHER SUCH DELETERIOUS MATERIALS, WHEN INTRODUCED INTO THE STORM DRAINAGE SYSTEM CAN AND WILL RENDER IT USELESS, POLLUTE THE SITE AND SURROUNDING SITES OR HARM THE SYSTEMS PERFORMANCE LEVEL.

NOTES:

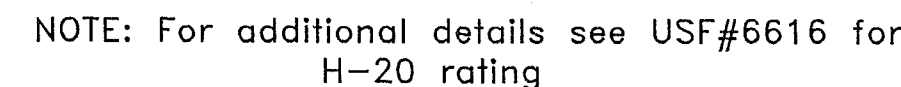
1. ALL ELEVATIONS REFER TO N.G.V.D..
2. ALL WORK SHALL CONFORM TO THE BROWARD COUNTY DEPARTMENT OF NATURAL RESOURCES PROTECTION, SOUTH FLORIDA WATER MANAGEMENT DISTRICT AND THE CITY OF MARGATE PUBLIC WORKS DEPARTMENT.
3. PRIOR TO EXCAVATION THE CONTRACTOR SHALL VERIFY THE LOCATION (VERTICALLY & HORIZONTALLY) OF ALL OF THE EXISTING UTILITIES IN ORDER TO AVOID CONFLICTS WITH THE PROPOSED DRAINAGE. IN CASE OF CONFLICT THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THEIR STRUCTURES, GRATES, ETC. FOR HIS APPROVAL PRIOR TO INSTALLATION.



N.T.S.



N.T.S.



N.T.S.

FILENAME: K:\364841\LAKEWOOD 2\Paving & Drainage\dwg\Paving and Drainage Details.dwg

SEC. 36, TWP. 48, RNG. 41, MARGATE, FLORIDA

LAND PLANNERS ENGINEERS LAND SURVEYORS
3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)435-7010 FAX: (954)438-3288

From 1911 to 1912	1911	1912
1911	1912	1913

SEP 14 2001	Drawn By: L.F.L. Date: 05-22-01	Checked By: A.C.T. Date: 05-22-01
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By: _____ Order No. 183010 FB. Sketches & Scale: N T S

ALFONSO C. TELLO, SECRETARY-TREASURER

Registered Engineer No. 32068 State of Florida File No. **MC-438** Sheet No. PD-6 of 7 Sheets

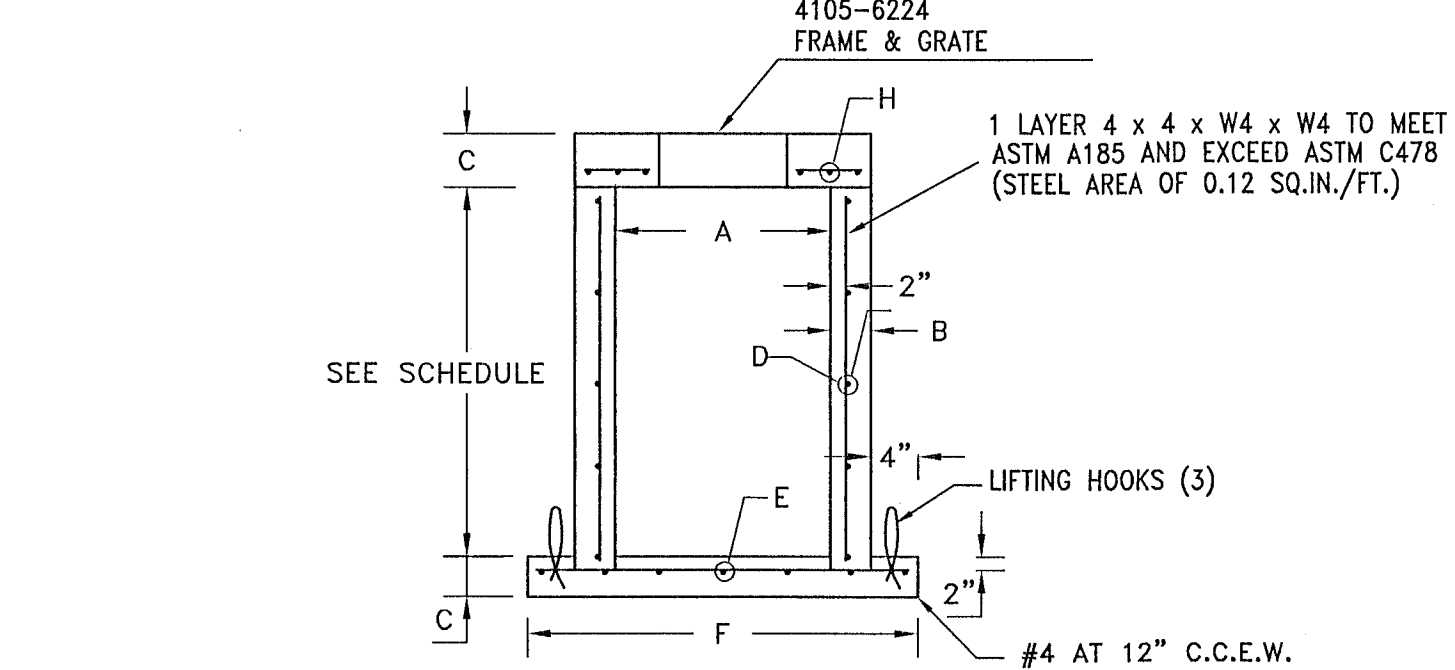
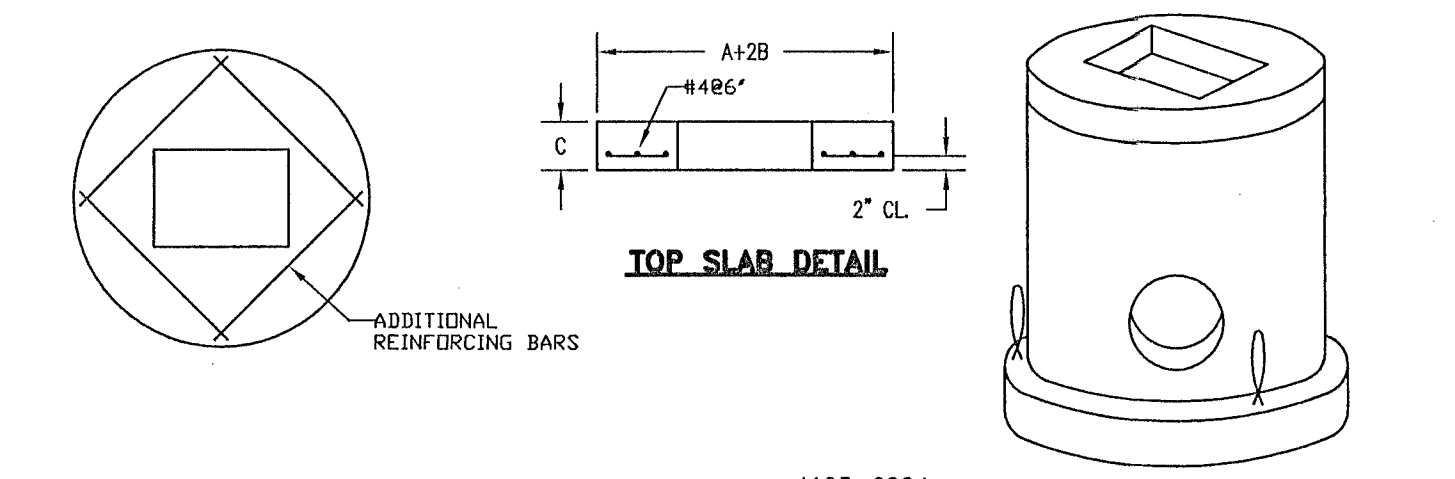
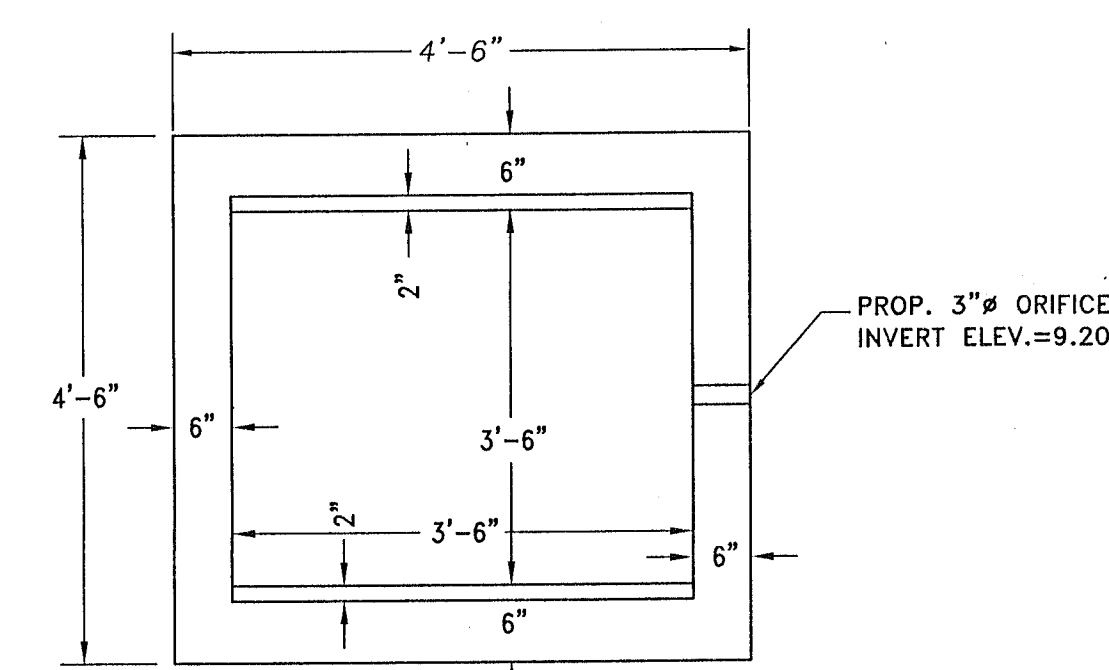


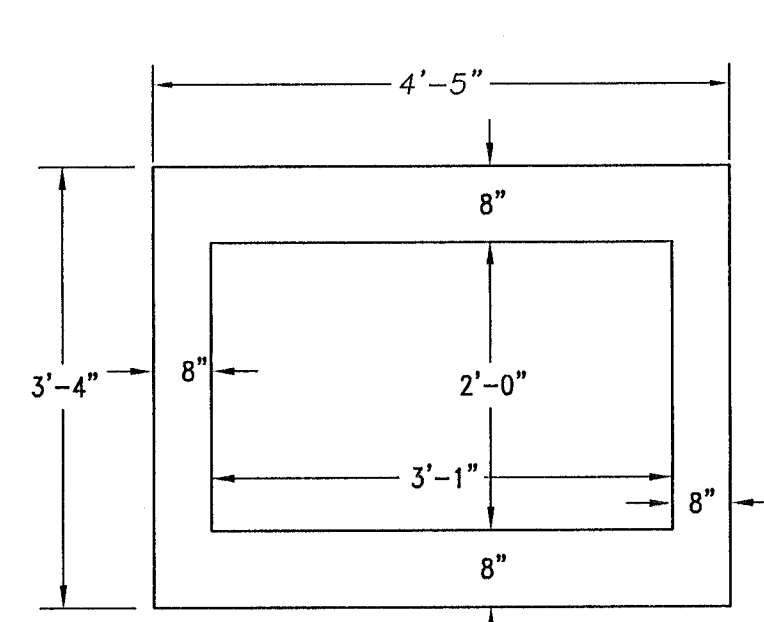
TABLE OF DIMENSIONS									
AØ	B	C	D	E* C.C.E.W.	FØ	GØ	H* C.C.E.W.	HOLDING CAPACITY (gals./ft.)	
3'-6"	4"	8"	ASTM C-478	#4 AT 12"	4'-8"	4'-2"	#4 AT 6"	72	
3'-6"	6"	8"	ASTM C-478	#4 AT 12"	5'-0"	4'-6"	#4 AT 6"	72	
4'-0"	6"	8"	ASTM C-478	#4 AT 12"	6'-0"	5'-0"	#4 AT 6"	94	
4'-0"	8"	8"	ASTM C-478	#4 AT 12"	6'-4"	5'-4"	#4 AT 6"	94	
5'-0"	8"	8"	ASTM C-478	#5 AT 12"	7'-4"	6'-4"	#5 AT 6"	147	
6'-0"	6"	8"	ASTM C-478	#5 AT 6"	8'-0"	7'-0"	#5 AT 6"	211	
6'-0"	8"	8"	ASTM C-478	#5 AT 6"	8'-4"	7'-4"	#5 AT 6"	211	
7'-0"	8"	8"	ASTM C-478	#5 AT 6"	9'-4"	8'-4"	#5 AT 6"	288	
8'-0"	10"	10"	ASTM C-478	#5 AT 6"	10'-8"	9'-8"	#6 AT 6"	376	
10'-0"	12"	12"	ASTM C-478	#5 AT 6"	12'-0"	12'-0"	#6 AT 6"	587	

*GRADE 40, OR FOR EQUIVALENT STEEL DESIGNS.

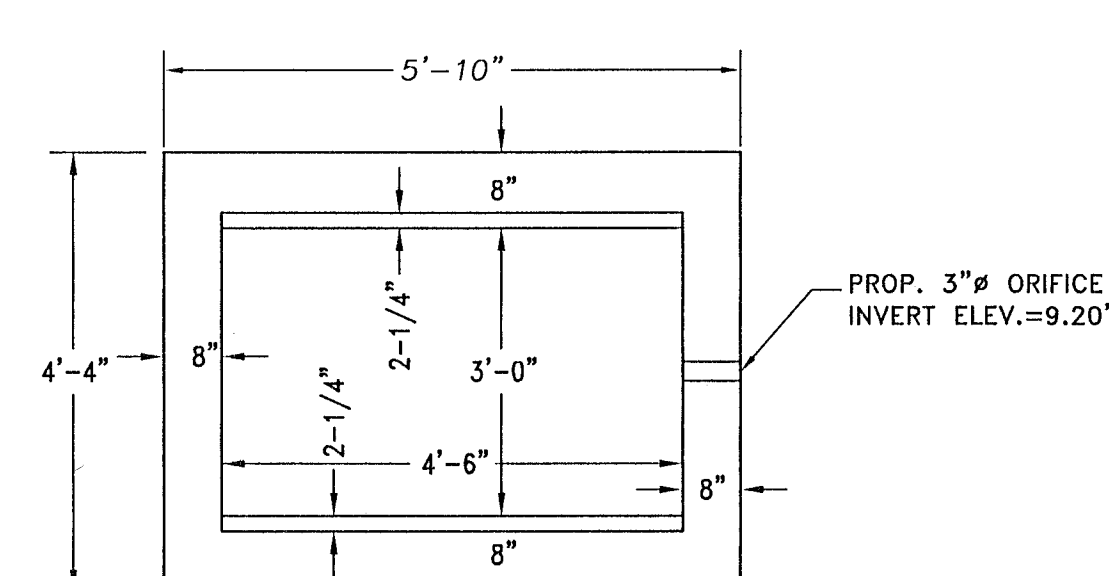
TYPE "C" CATCH BASIN 42"-120" ROUND STRUCTURE N.T.S.



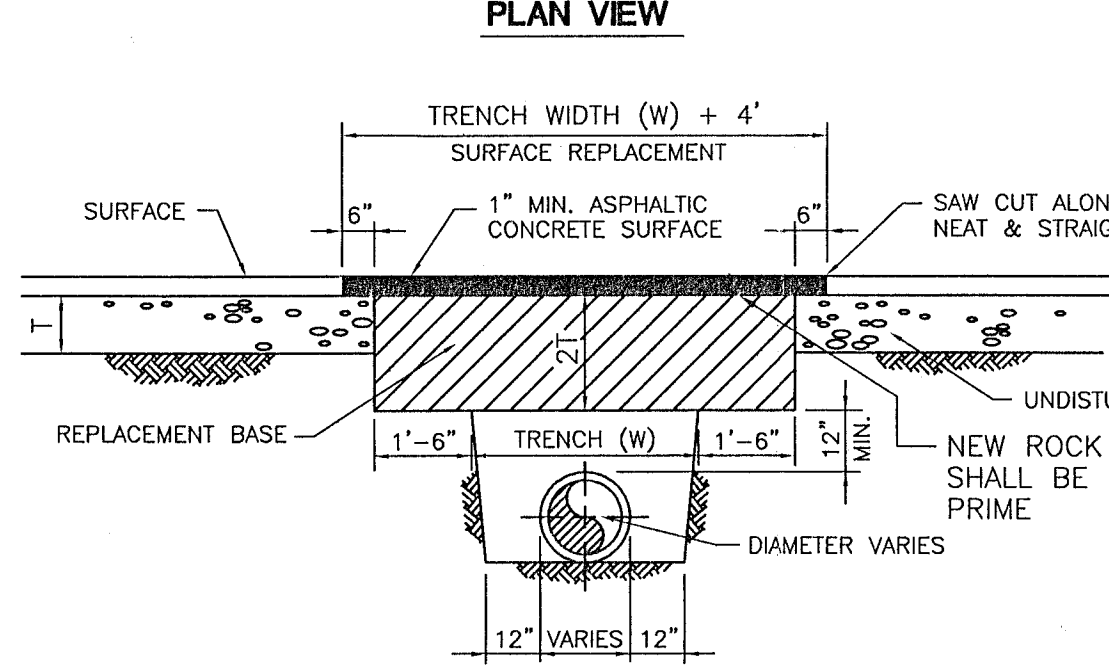
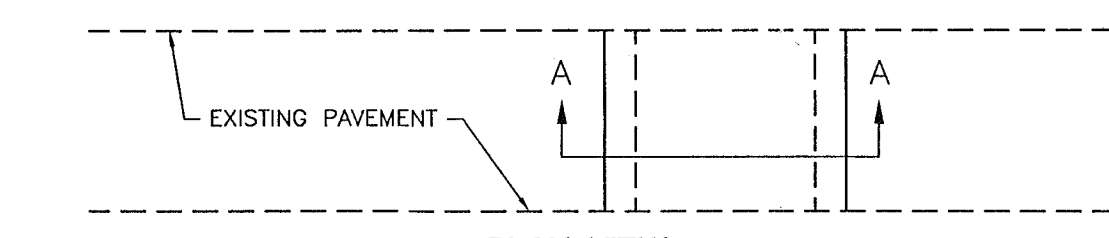
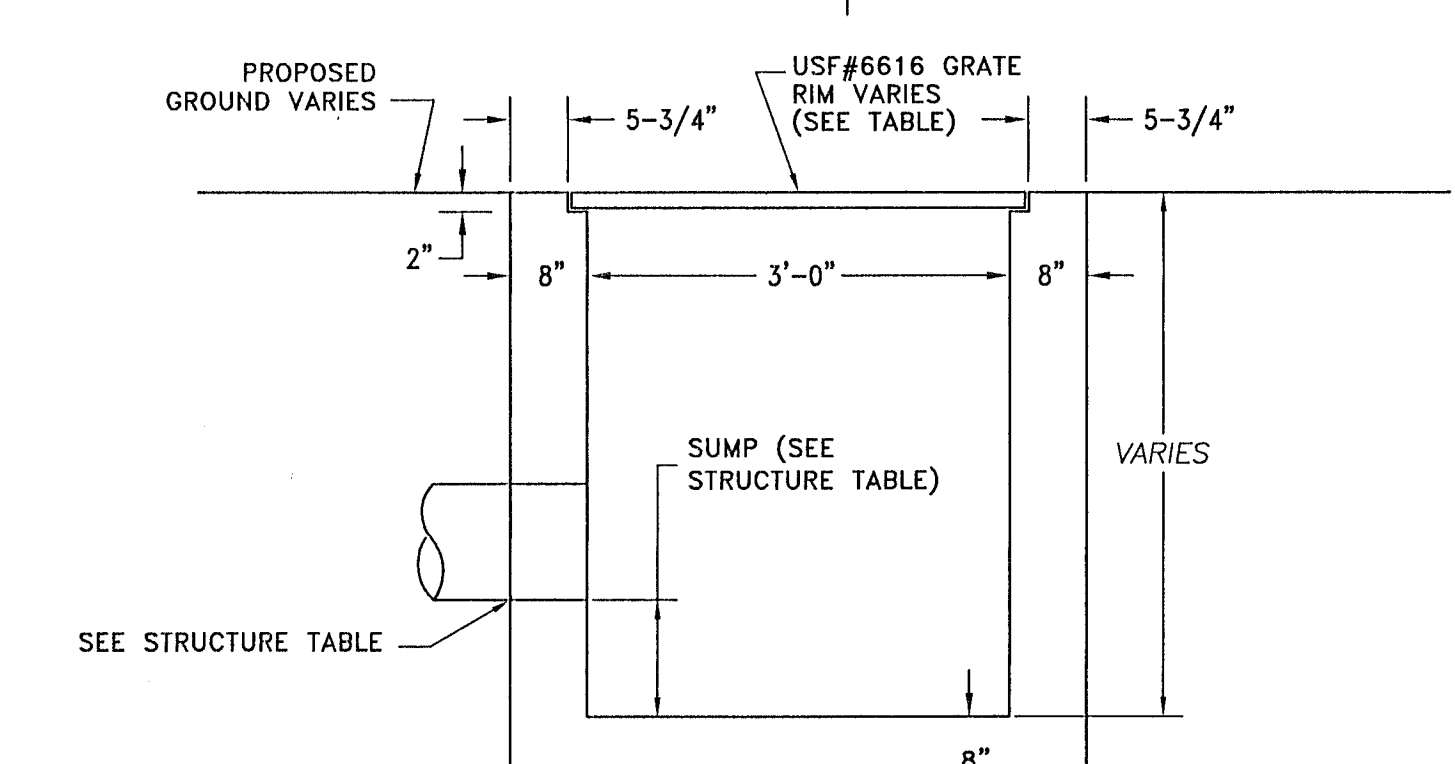
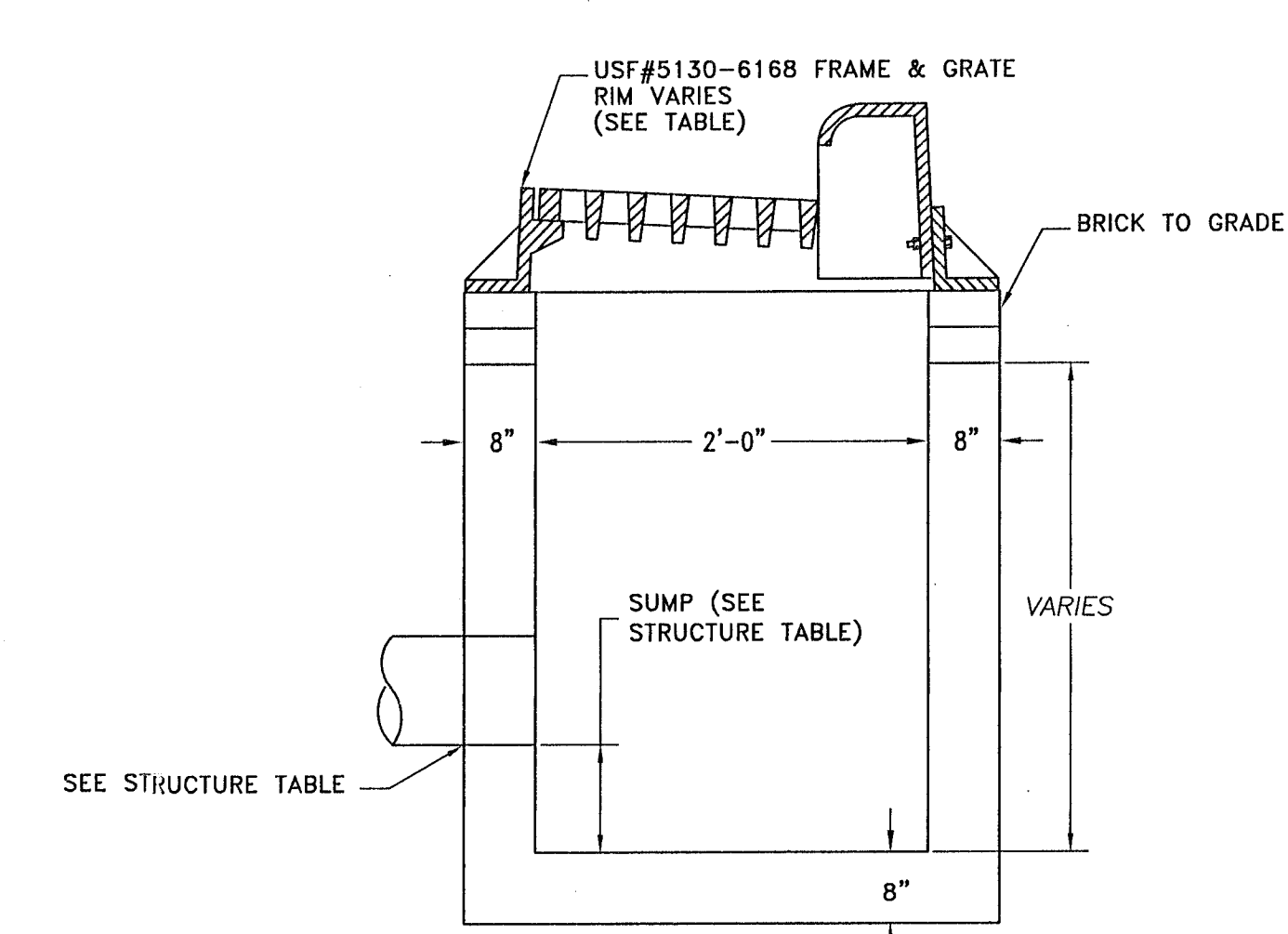
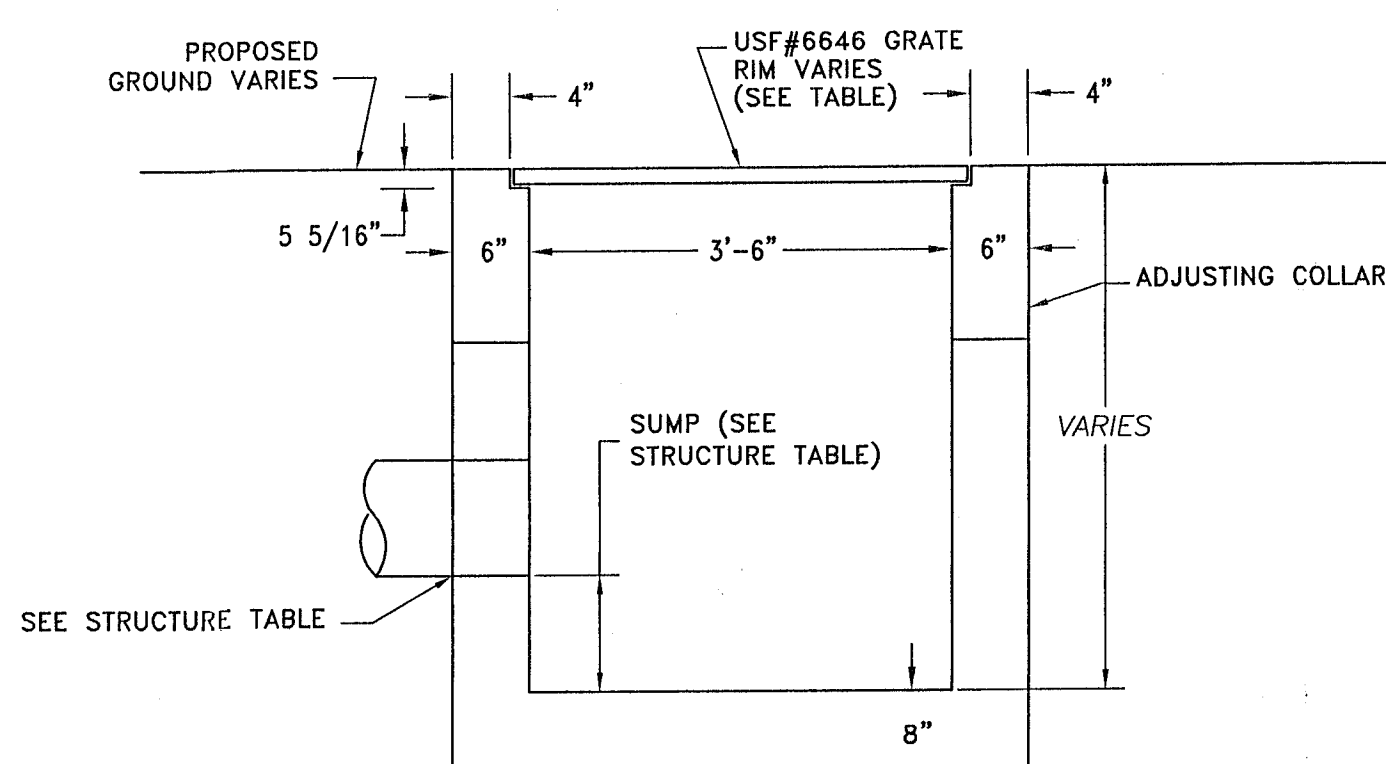
TYPE "P-10" INLET N.T.S.



TYPE "C" CURB INLET N.T.S.

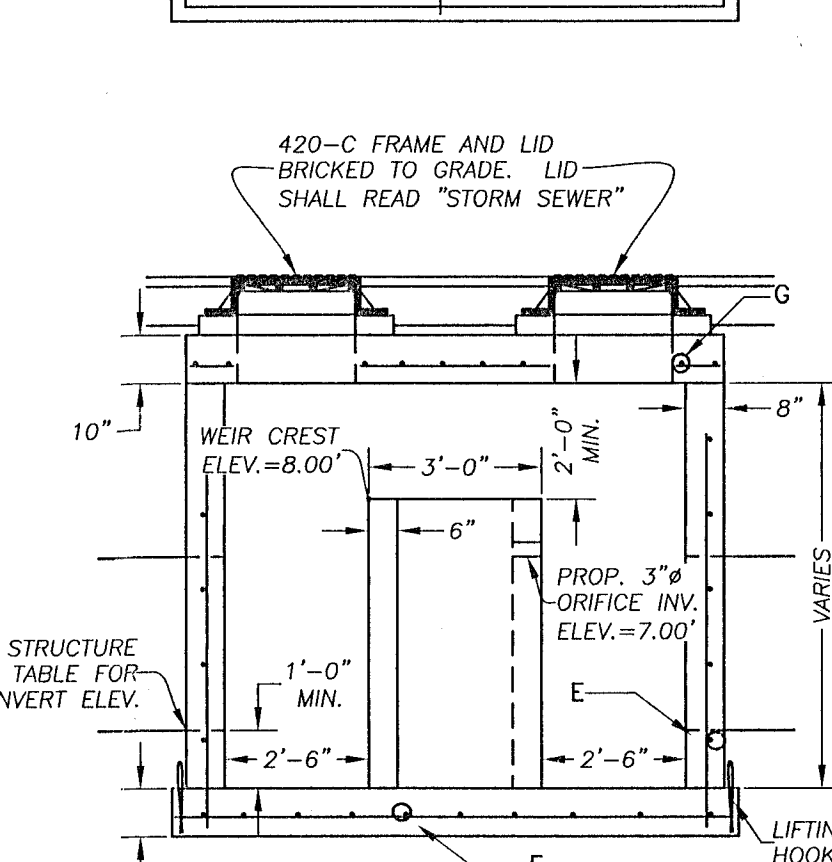
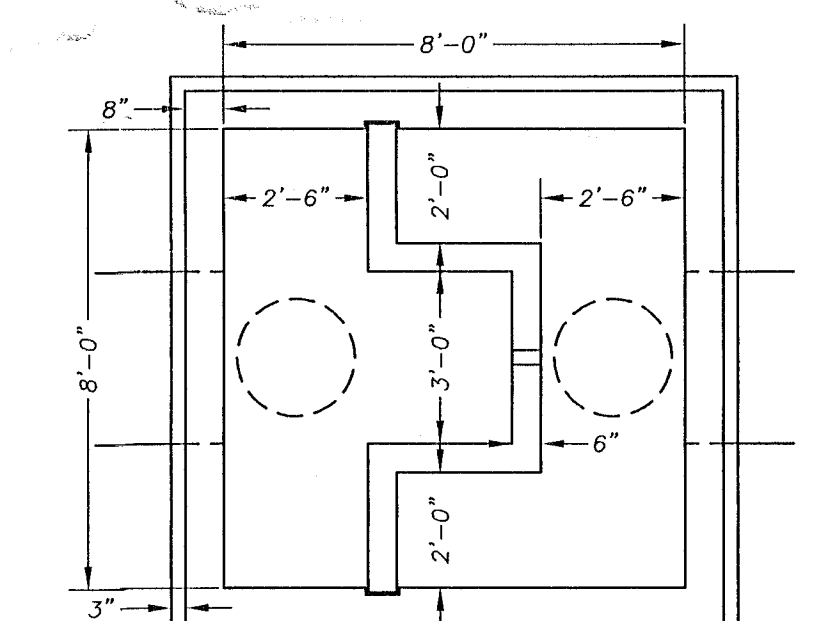


TYPE "E" INLET N.T.S.



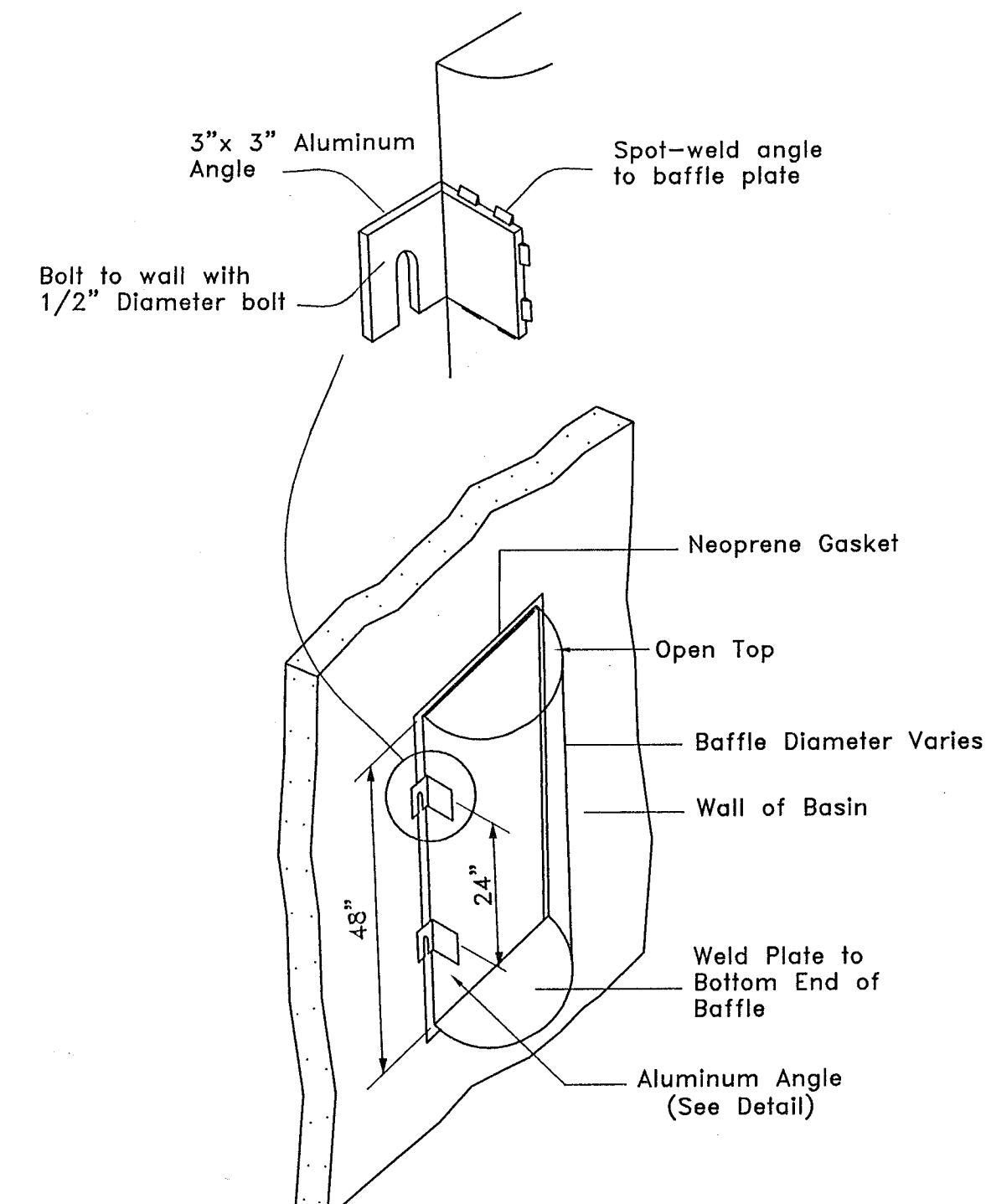
- NOTES:
1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
 2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
 3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
 4. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
 5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
 6. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.

PAVEMENT RESTORATION DETAIL N.T.S.

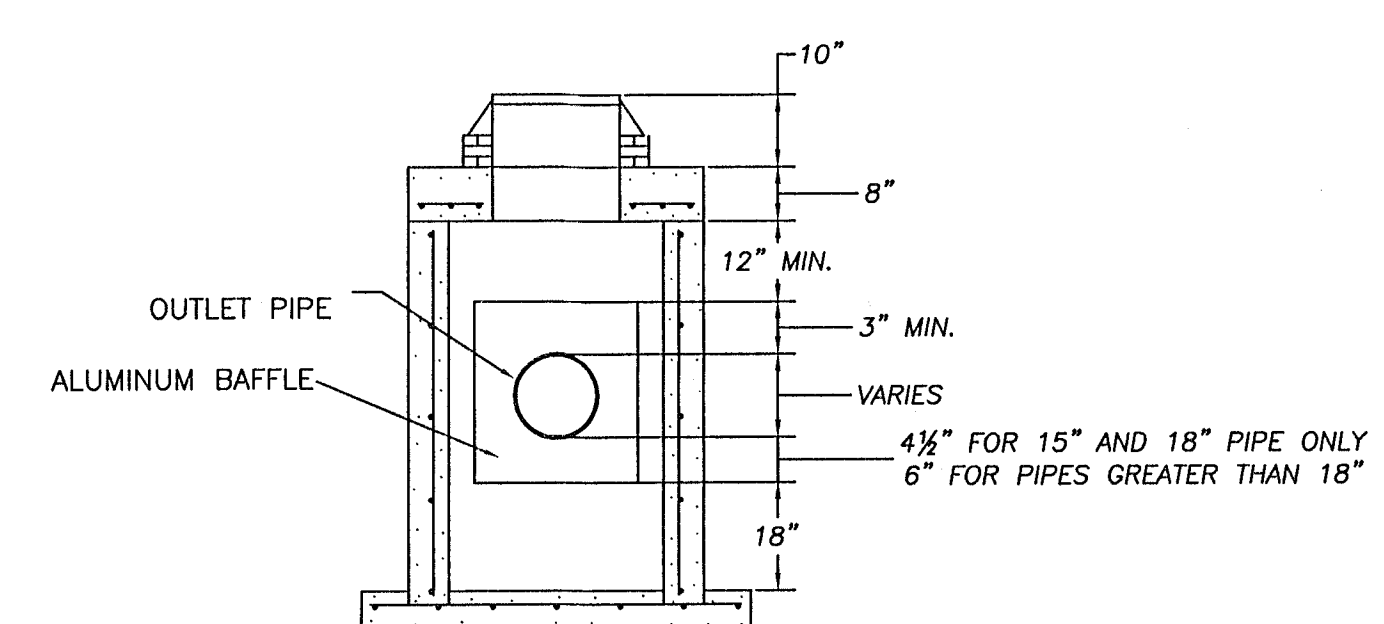


CATCH BASIN TYPE	E	F	G	HOLDING CAPACITY GALS./FT.	MAXIMUM PIPE SIZE
96"x96"	#4@12"V, #4@6"H	#6@12"	#6@6"	478.0	84"CMP, 72"RCP

WEIR STRUCTURE



ALUMINUM BAFFLE DETAILS



WEIR BAFFLE INSTALLATION DETAIL N.T.S.

REVISIONS		
Date	Remarks	By
02/10/01	CONSTRUCTION DRAWINGS REVISIONS	L.F.L.
09/14/01	REVISIONS PER SEWMID COMMENTS	L.F.L.

LAKEWOOD

PAVING, GRADING & DRAINAGE DETAILS

SEC. 36, TWP. 48, RNG. 41, MARGATE, FLORIDA

Schwebke-Shiskin & Associates, Inc.

LAND PLANNERS ENGINEERS LAND SURVEYORS

3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)495-7010 FAX: (954)438-3288

By: ALFONSO C. TELLO, SECRETARY-TREASURER

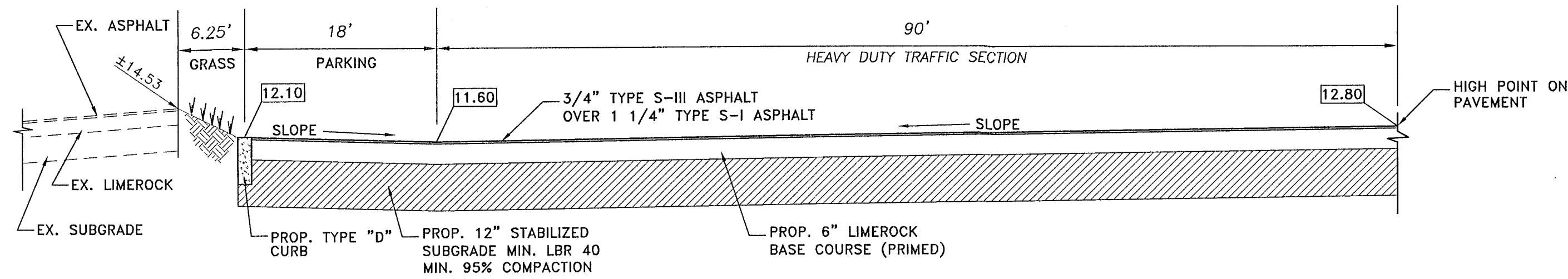
SEP 14 2001

Drawn By: L.F.L. Date: 05-22-01 Checked By: A.C.T. Date: 05-22-01

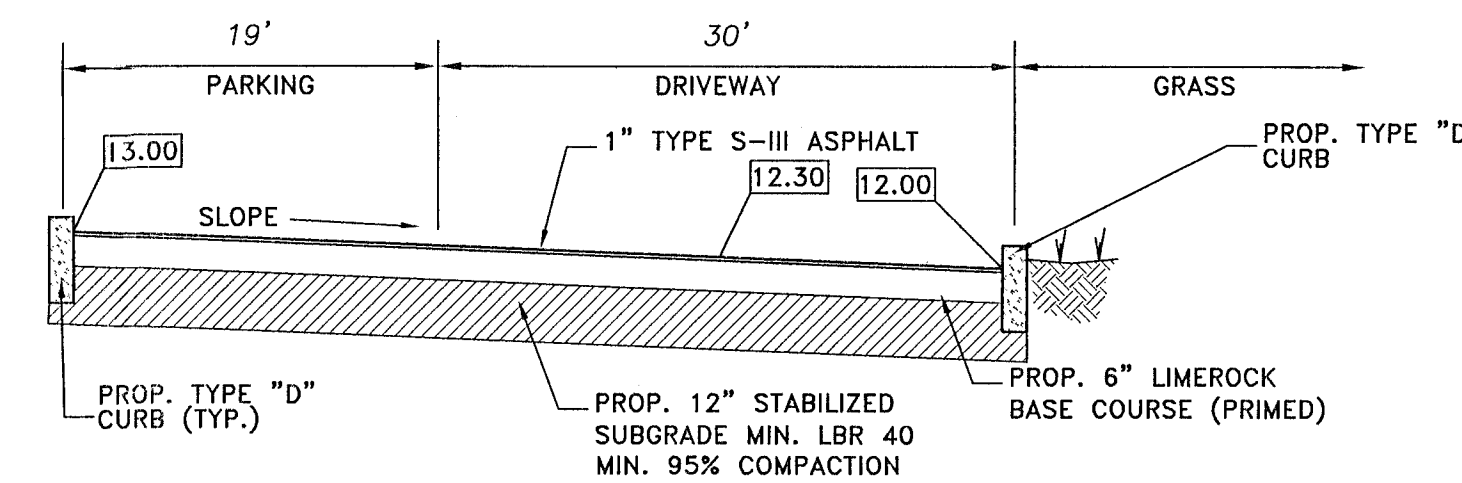
Order No. 183010 FB. Sketches & 00000 Pg. 00 Scale: N.T.S.

Registered Engineer No. 32068 State of Florida File No. MC-438 Sheet No. PD-7 of 7 Sheets

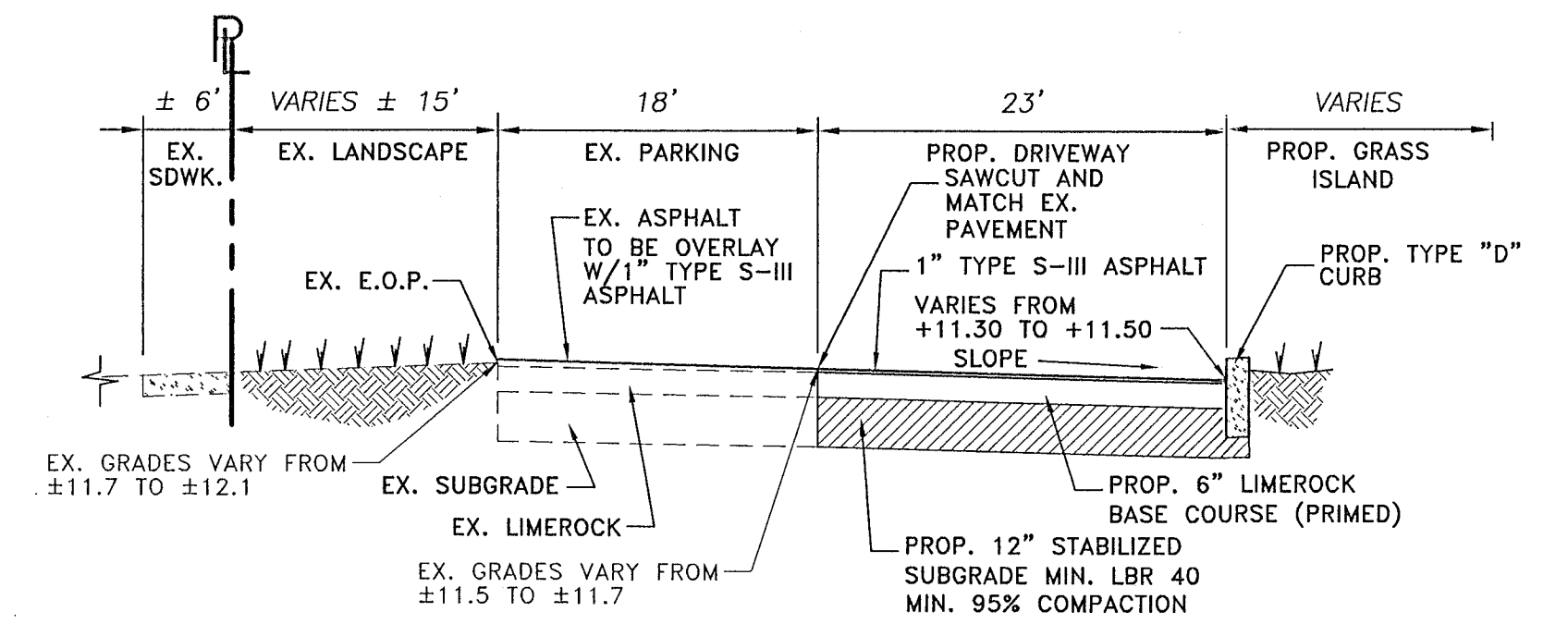
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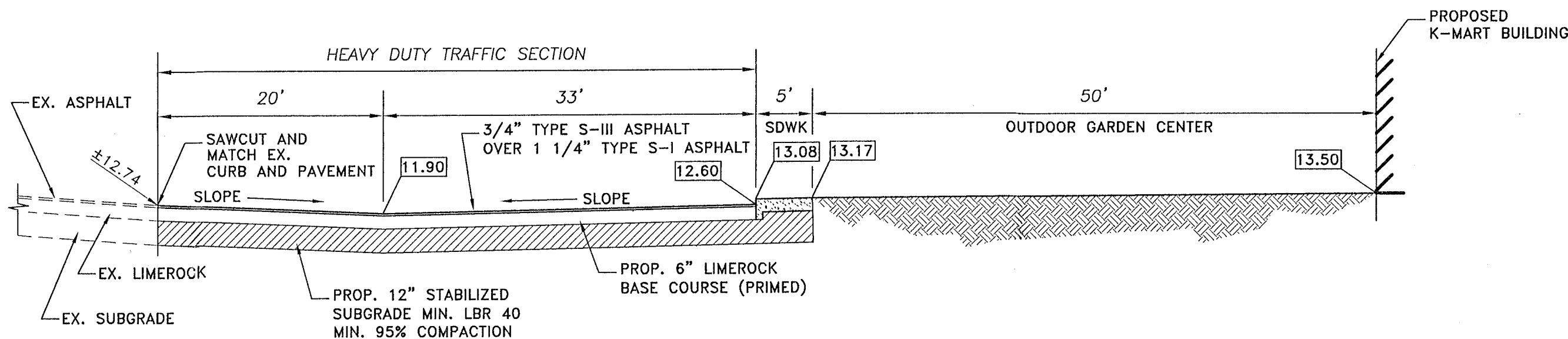
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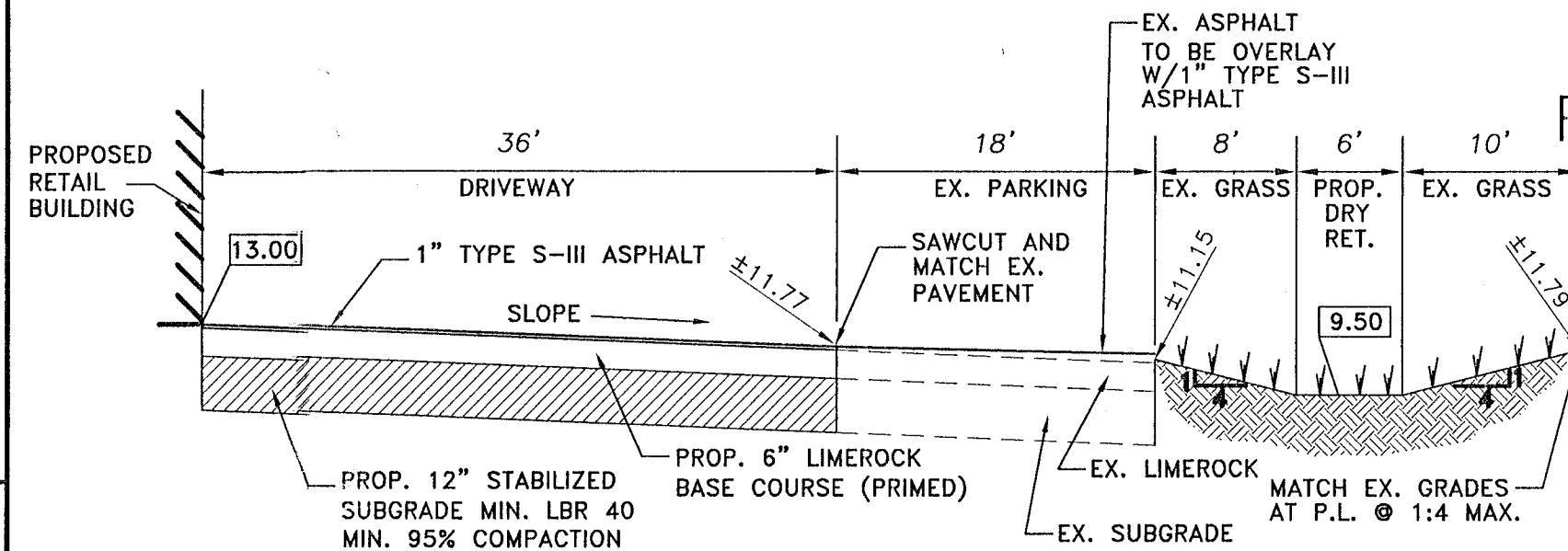
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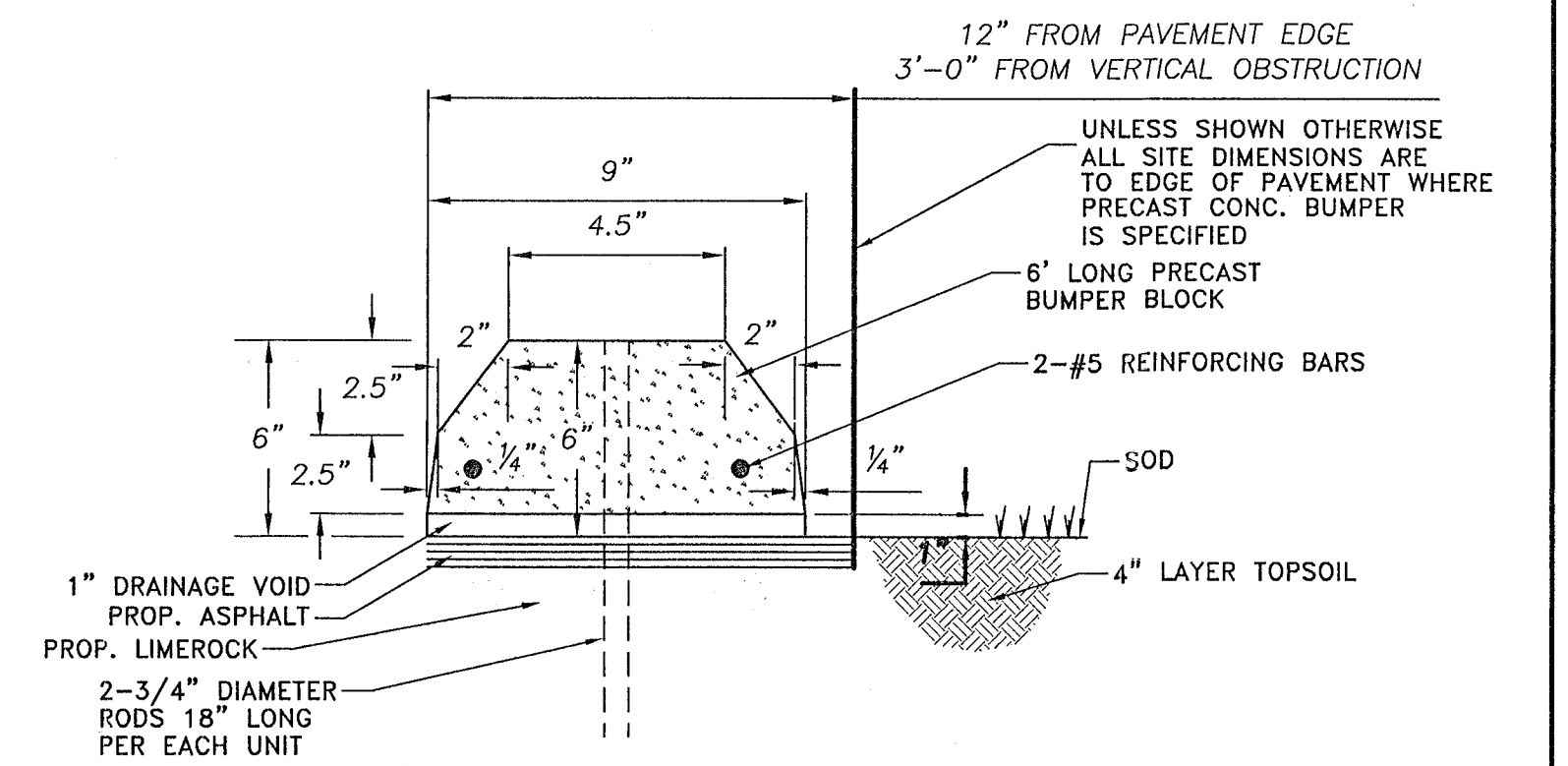
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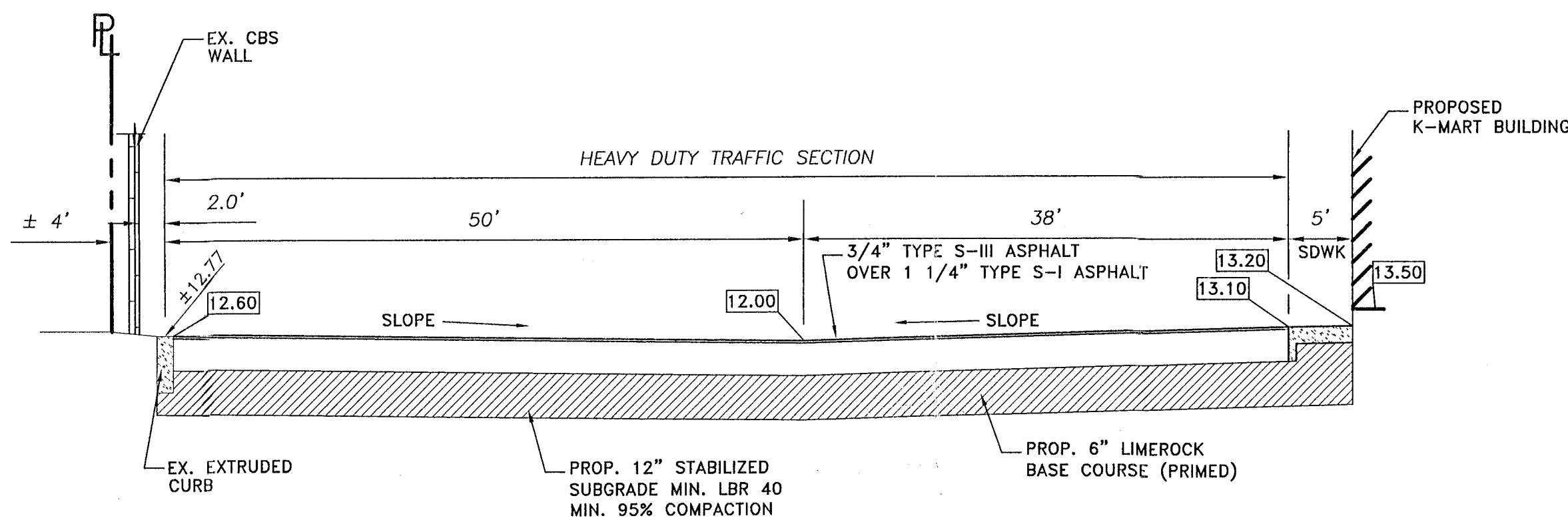
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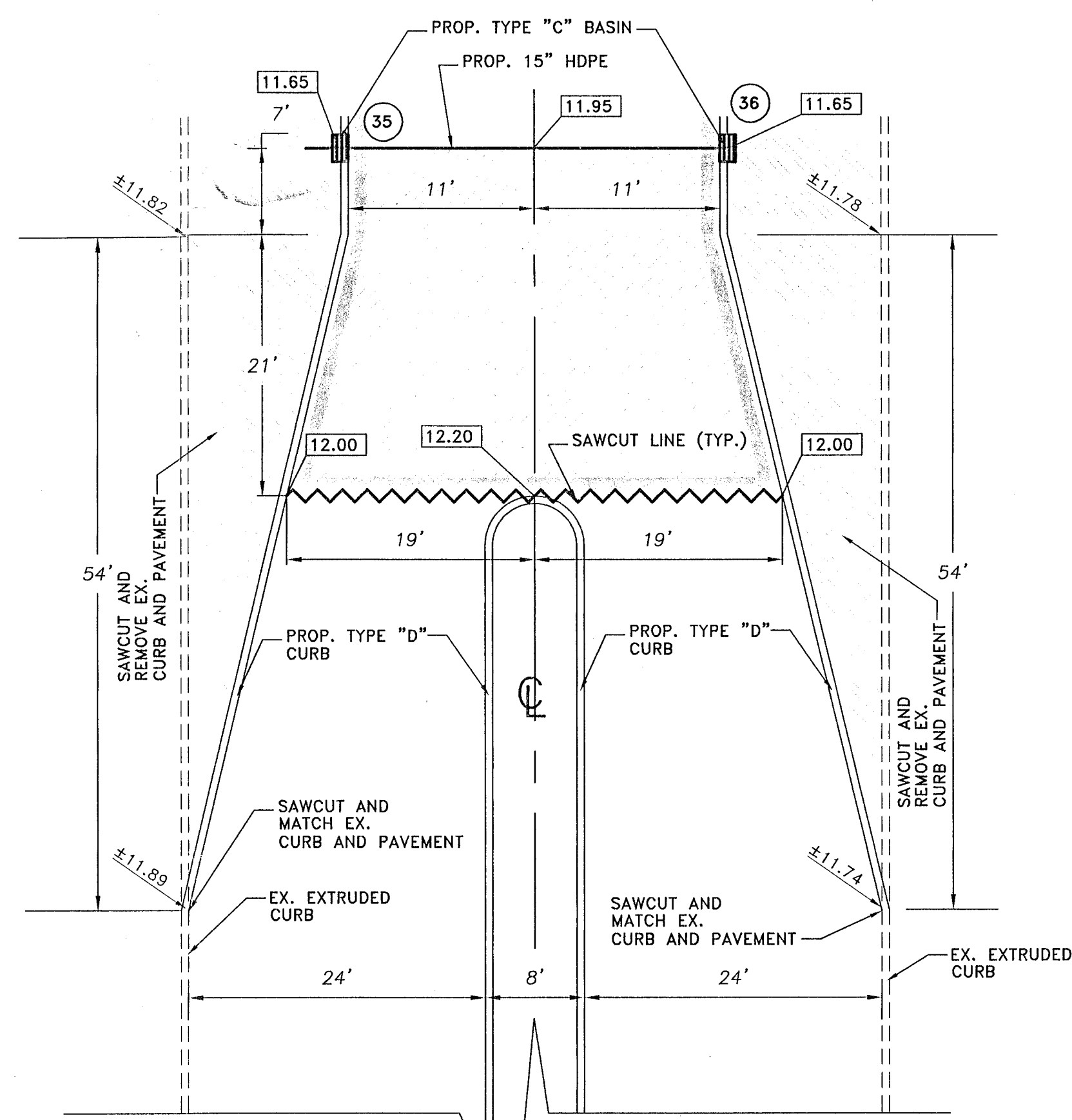
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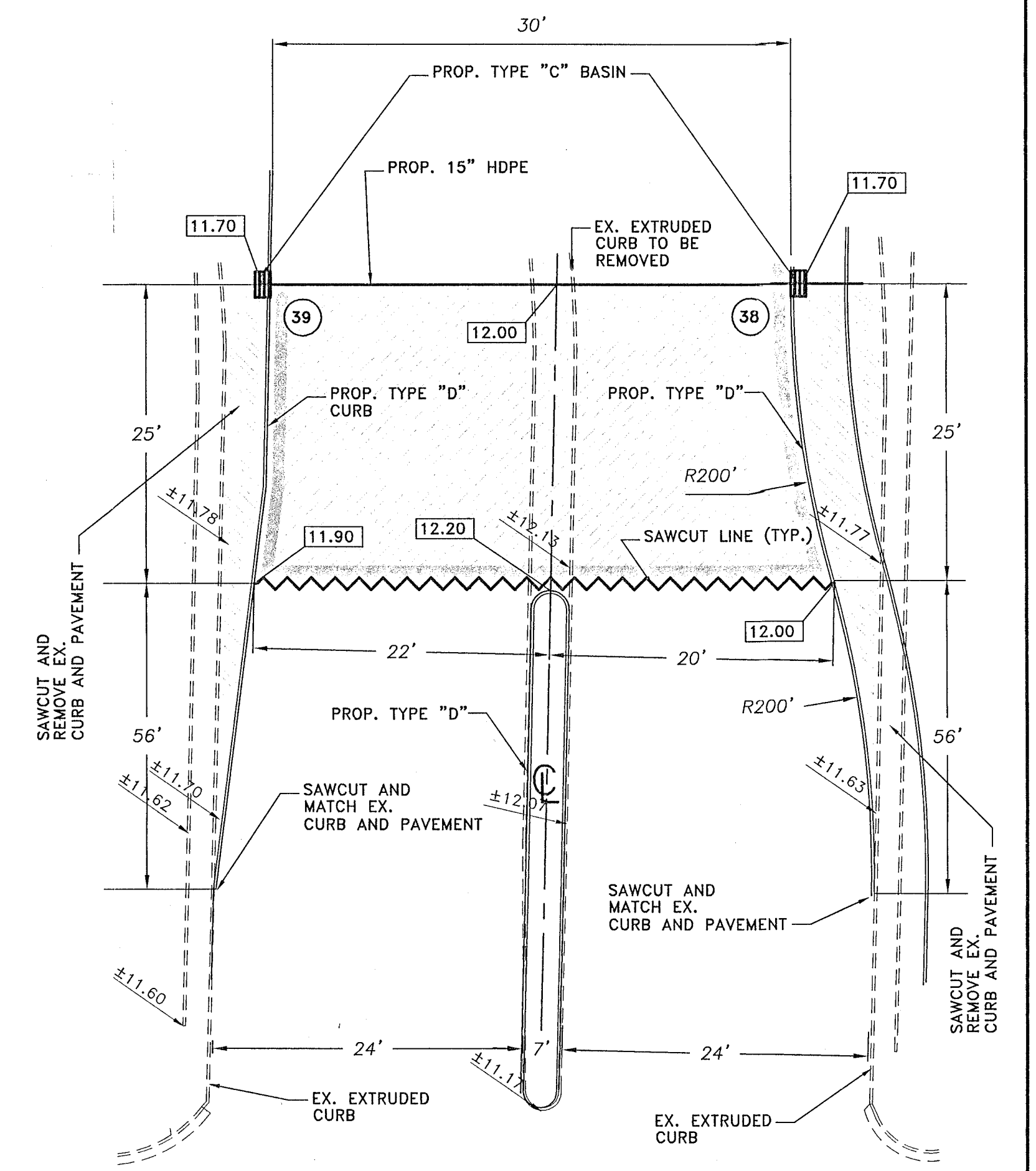
PRECAST CONCRETE WHEEL STOP
N.T.S.



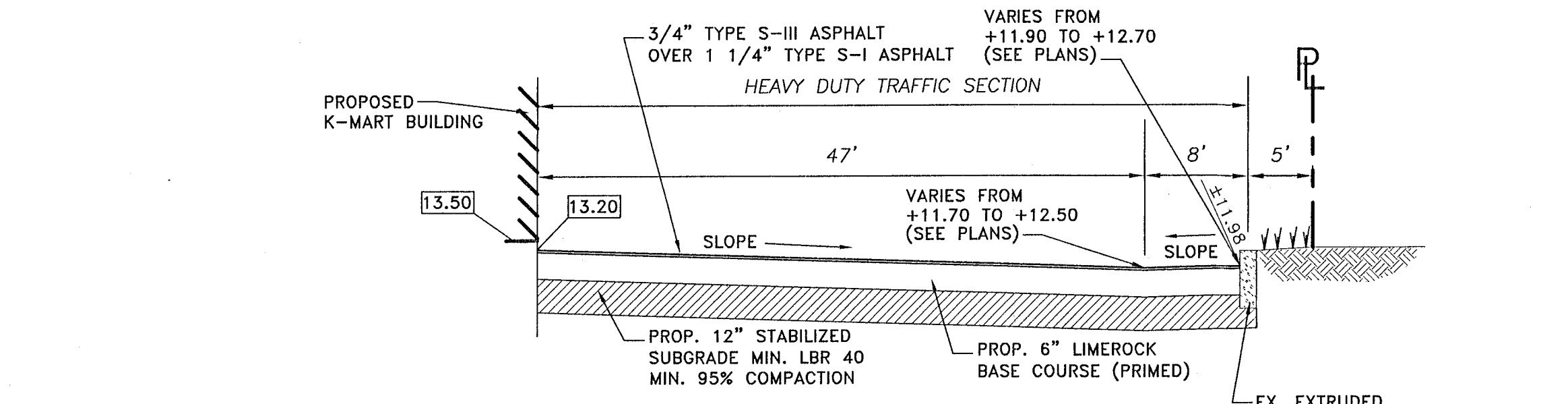
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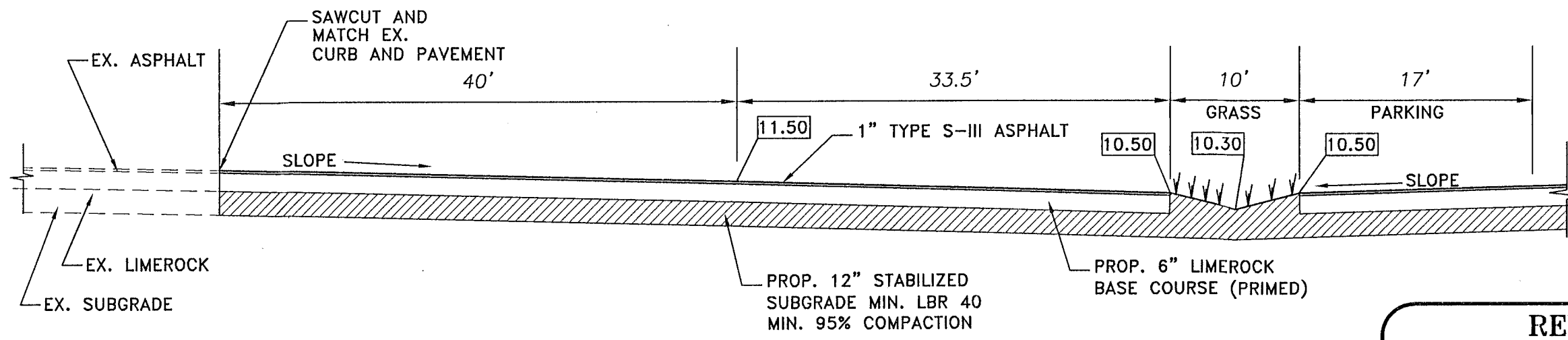
DETAIL "E"
N.T.S.



DETAIL "F"
N.T.S.



SECTION "D-D"
N.T.S.



SECTION "E-E"
N.T.S.

REVISIONS		
Date	Remarks	By
08/20/01	CONSTRUCTION DRAWINGS REVISIONS	H.D.


NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Land Surveyor or Professional Engineer.

LAKEWOOD

PAVING, GRADING & DRAINAGE DETAILS

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By: 
ALFONSO C. TELLO, SECRETARY-TREASURER
Registered Engineer No. 32068 State of Florida

Drawn By: H.D. Date: 08-20-01 Checked By: A.C.T. Date: 08-22-01
Order No. 184389 FB. Sketches & Scale: N.T.S.
File No. MC-438 Sheet No. PD-7A of 7 Sheets